



Hall & Hart HOMES

PROPOSED 'CLIFTON 38'



AT
LOT 5, NO. 46 MARTIN STREET, FRESHWATER
FOR
ADAM HILL & MARTHA HILL

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SCHEDULE OF DRAWINGS

PAGE NO.	SHEET NAME
1	COVER PAGE
2	SITE PLAN
3	GROUND FLOOR PLAN
4	FIRST FLOOR PLAN
5	WINDOW SCHEDULE
6	ELEVATIONS
7	ELEVATIONS
8	SECTIONS
9	BASIX
10	SLAB/DRAINAGE PLANS
11	MID FLOOR PLAN
12	SITE MANAGEMENT/SEDIMENT PLAN
13	SITE ANALYSIS
14	WET AREA PLANS

REV	DATE	DESCRIPTION	DRW	CHK
A	08/05/21	SITING FOR D1	CM/CR	GL
B	26/05/21	DESIGN AFTER D1	CR	
C	29/08/21	E-MAILED AMENDMENTS	CR	
D	02/08/21	E-MAILED AMENDMENTS	CR	
D-2	27/08/21	E-MAILED AMENDMENTS	CR	
E	30/08/21	PLANS FOR D2	CR	
F	23/09/21	PLANS FOR TENDER	CR	
F-2	2/11/21	PLANS FOR TENDER	CR	CM/MDK /CP
G	16/02/22	LODGEMENT PLANS	PG	SS
H	08/03/22	MARKUPS/TV-3 & TV-4	SS	SS
I	21/03/22	MARKUPS	SS	-
J	08/04/22	ADDRESS RFI FROM COUNCIL DATED 05/04/2022	SS	-

LODGEMENT PLANS

CLIENT SIGNATURE: _____

Hall & Hart
HOMES

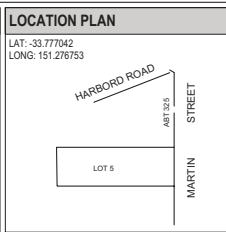
PO BOX 2005, PARRAMATTA NSW 2150
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No. 275897C

NOTES:
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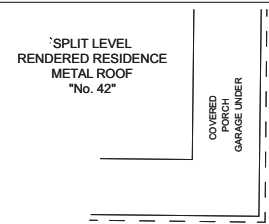
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FOR:	ADAM HILL & MARTHA HILL		HOUSE TYPE	CLIFTON 38		DRAWN:	SS	CHECKED:	SS	LODGEMENT:	DA/CC
ADDRESS:	LOT 5, NO. 46 MARTIN STREET FRESHWATER		MODEL:	METRO		DATE DRAWN:	8/04/2022	APPROVED FOR CONSTRUCTION:		JOB NO:	H0485
			FACADE:	LH		SCALE:		PAGE NO:	1 of 15	REV:	J
			GARAGE SIDE:	DESIGNER LIVING							
COUNCIL:	NORTHERN BEACHES		INCLUSIONS:								
			DP No:	4947							
			DRAWING:	COVER PAGE							

LEGEND	
	HOT WATER TANK
	WATER METER
	TELECOM PIT
	MANHOLE (SEWER)
	VEHICLE CROSSING
	KERB INLET PIT
	LIGHT POLE
	ELECTRICITY POLE
	HYDRANT
	STOP VALVE
	KERB OUTLET
	SERVICE CONDUIT
	TREE (DIAMETER)
	GARDEN BED
	SHRUB



EARTHWORKS LEGEND	
	EXISTING
	TO BE REMOVED
	CUT AREA
	FILL AREA
	BATTER TO NGL
	DROP EDGE BEAM
	RETAINING WALL



WINDOW SCHEDULE		
NO.	HEAD RL	SILL RL
W1	46.34	44.95
W2	49.45	47.95
W3	43.47	42.53
W4	46.24	45.00
W5	49.47	47.98
W6	46.23	45.26
W7	49.47	48.35

DOOR SCHEDULE		
NO.	HEAD RL	FLOOR RL
D1	43.49	41.78

www.dialbeforeyoudig.com.au

DIAL 1100
BEFORE YOU DIG

TREE SCHEDULE			
NO.	DIAMETER	SPREAD	HEIGHT
T1	0.4	3	10
T2	0.3	3	11
T3	0.5	3	11
T4	0.7	3	11
T5	0.3	3	11
T6	0.3	3	11
T7	0.4	3	10
T8	0.1	2	5
T9	0.1	2	5
T10	0.1	2	5
T11	0.1	2	5
T12	0.1	2	5
T13	0.1	2	5
T14	0.1	2	5
T15	0.3	4	6
T16	0.3	4	6
T17	0.3	4	6
T18	0.1	2	2.5

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CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

SURVEY NOTES

CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY

DIMENSIONS SHOWN (BEARINGS AND DISTANCES) HAVE BEEN DETERMINED BY LAND AND PROPERTY INFORMATION PLANS ONLY. BOUNDARIES HAVE NOT BEEN ACCURATELY DETERMINED.

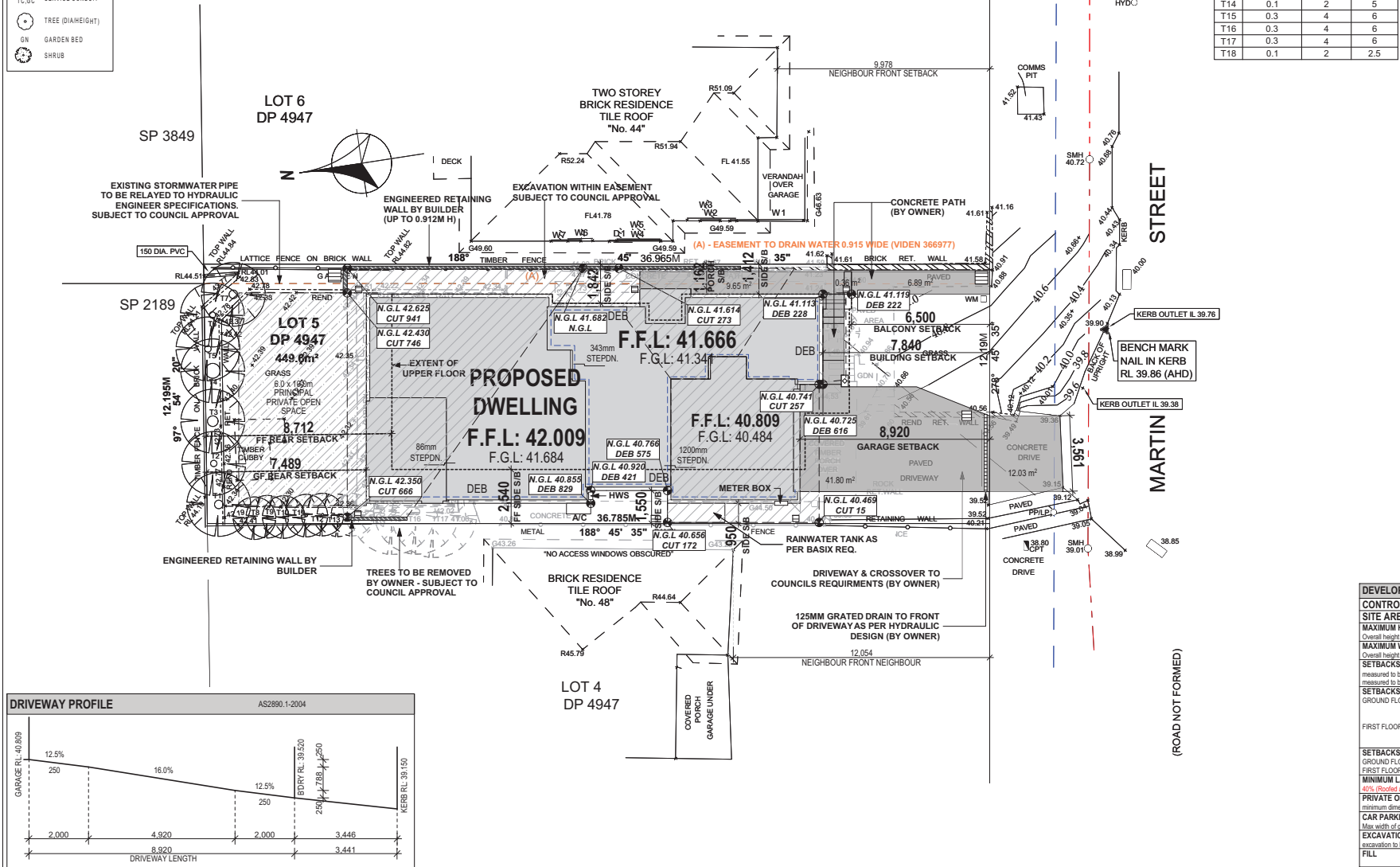
SERVICES SHOWN HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY SITE WORKS, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO DETERMINE EXACT POSITION OF ANY UNDERGROUND PIPES, CABLES ETC.

DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROX.

- GENERAL NOTES**
- STORMWATER DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITY REQUIREMENTS
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER
 - FINAL LOCATION OF BUILDING TO BE VERIFIED ON-SITE BY REGISTERED SURVEYOR
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY DISCREPANCIES TO BE REFERRED BACK TO HALL & HART HOMES BEFORE PROCEEDING
 - SITE CLASSIFICATION N
 - WIND CLASSIFICATION N2
 - CUT AND FILL HOUSE BUILDING PLATFORM APPROXIMATELY TO RL 41.684 AND GARAGE TO RL 41.684
 - HOUSE FINISHED FLOOR LEVEL 42.009, 325 MM ABOVE PLATFORM LEVEL. GARAGE FINISHED FLOOR LEVEL 40.809, 325 MM ABOVE PLATFORM LEVEL
 - RETAINING WALLS WHERE REQUIRED - TO BE PROVIDED BY THE OWNER
 - TREES TO REMOVED WHERE REQUIRED - TO BE REMOVED BY THE OWNER

LANDSLIP AREA B - FLANKING SLOPES FROM 5 - 25 DEGREES

COASTAL MANAGEMENT AS IDENTIFIED ON NORTHERN BEACHES MAPS



DEVELOPMENT CONTROLS - NORTHERN BEACHES COUNCIL - WARRINGAH			
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA		449.60m²	
MAXIMUM HEIGHT (as per LEP)			
Overall height of dwelling to natural ground level	8.50m	8.235m	YES
MAXIMUM WALL HEIGHT			
Overall height from underside of ceiling on uppermost floor to natural ground level	7.20m	7.662m	YES
SETBACKS FROM FRONT B'DY TO NON-CLASSIFIED ROADS			
measured to balcony (two story element with parapet over)	6.50m	6.50m	YES
measured to building line	6.50m	7.84m	YES
SETBACKS FROM SIDE BOUNDARIES			
GROUND FLOOR			
RHS	0.9m	1.412m	YES
LHS	0.9m	0.95m	YES
FIRST FLOOR			
RHS - subject to building envelope (see sections page)	0.9m	1.412m	YES
LHS - subject to building envelope (see sections page)	0.9m	2.540m	YES
SETBACKS FROM REAR BOUNDARIES			
GROUND FLOOR	6.00m	7.489m	YES
FIRST FLOOR	6.00m	8.712m	YES
MINIMUM LANDSCAPED AREA REQ'D			
40% (Roofed areas, driveways, paved areas and any area less than 2m to be excluded)	179.84m²	123.32m²	NO
PRIVATE OPEN SPACE (as defined by Sepp)			
minimum dimension 5m	60m²	60m²	YES
CAR PARKING			
Max width of garage door 6m or 50% of the building width	6.0m	4.81m	YES
EXCAVATION			
excavation to be minimised	1.0m	0.941m	YES
FILL			
Max fill	1.0m	0.829m	YES

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ADAM HILL & MARTHA HILL

ADDRESS:

LOT 5, NO. 46 MARTIN STREET
FRESHWATER

COUNCIL:

NORTHERN BEACHES

DP No:

4947

HOUSE TYPE

CLIFTON 38

MODEL:

METRO

FACADE:

LH

GARAGE SIDE:

DESIGNER LIVING

INCLUSIONS:

DRAWING:

SITE PLAN

DRAWN:

SS

CHECKED:

SS

LODGEMENT:

DA/CC

DATE DRAWN:

8/04/2022

APPROVED FOR CONSTRUCTION:

JOB NO:

H0485

SCALE:

1:200

PAGE NO:

2 of 15

REV:

J

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NOTE:
STEEL & H/W TIMBER POSTS TO ENG'S DETAILS TO SUPPORT STEEL BEAMS OVER TO BE LOCATED WITHIN TIMBER STUD WALL FRAMES. REFER TO STRUCTURAL ENGINEERS PLANS FOR POST TYPE & LOCATIONS

⊗ DENOTES LOCATION OF SMOKE ALARM

NOTE:
ELECTRICAL & GAS METER POSITIONS ARE TO BE CONFIRMED BY CONTRACTORS ON SITE TO CLOSEST POINT OF CONNECTION

ALL WET AREAS ARE TO BE PROVIDED WITH A SMART TILED FLOOR WASTE

ALL GLAZING TO COMPLY WITH AS 1288 - 2006 GLASS IN BUILDINGS

ALL TOUGHENED GLASS TO COMPLY WITH CLAUSE 3.6.4.5 OF THE BCA AND AS 1288 - 2006 GLASS IN BUILDINGS

AIR CONDITIONING DUCT AND OUTLET LOCATIONS ARE INDICATIVE ONLY AND MAY BE ADJUSTED ONSITE AS REQUIRED

AIR-CONDITIONING ZONES:
ZONE 1 - TBC
ZONE 2 - TBC
ZONE 3 - TBC
ZONE 4 - TBC

PROVIDE 2340H INTERNAL DOORS & 2400H SQUARE SET OPENINGS TO GROUND FLOOR ONLY (EXCLUDING BEDROOM ROBES *) UNLESS OTHERWISE NOTED

PROVIDE NYLON MESH FLY TO ALL OPENING WINDOWS AND SLIDING/ STACKER DOORS

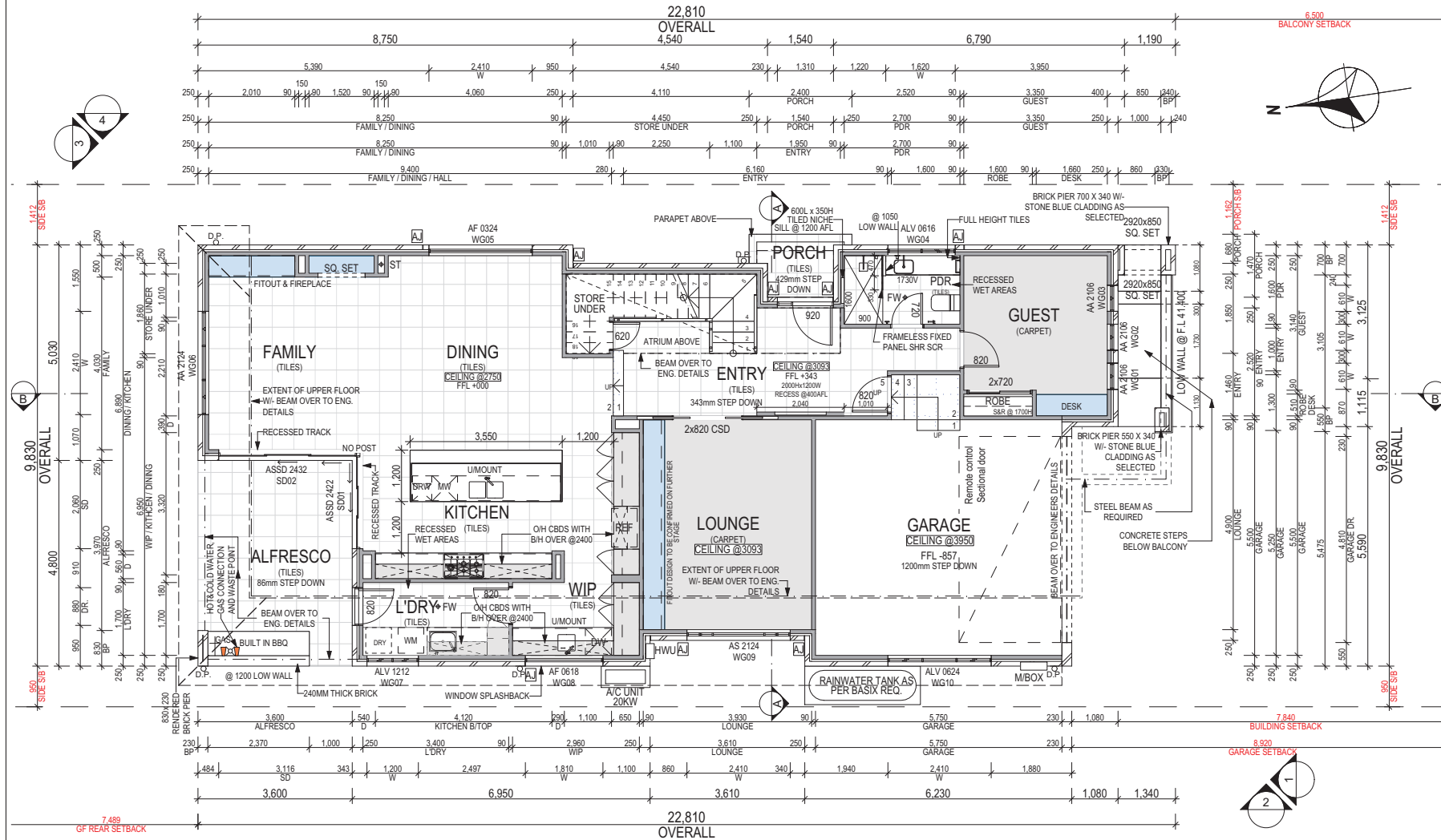
FULL HEIGHT TILES TO ENSUITE, BATH & POWDER (EXCLUDING SEPARATE WCs & LAUNDRY) INCLUDES SQUARE SET WALL & CEILING JUNCTIONS

PROVIDE APPROXIMATELY 92MM X 18MM DAR SKIRTING AND 67MM X18MM DAR ARCHITRAVE TO THE ENTIRE DWELLING

PROVIDE SQUARE SET CORNICE THROUGHOUT

■ = PROVISIONAL ALLOWANCE ITEM

FLOOR AREAS	
ALFRESCO	17.32
PORCH	2.29
FIRST FLOOR	160.20
GARAGE	36.18
GROUND FLOOR	145.89
BALCONY	8.21
370.09 m ²	



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ADDRESS: LOT 5, NO. 46 MARTIN STREET FRESHWATER
COUNCIL: NORTHERN BEACHES
DP No: 4947

HOUSE TYPE: CLIFTON 38
MODEL: METRO
FACADE: LH
GARAGE SIDE: DESIGNER LIVING
INCLUSIONS:
DRAWING: GROUND FLOOR PLAN

DRAWN: SS
CHECKED: SS
LODGEMENT: DA/CC
DATE DRAWN: 8/04/2022
APPROVED FOR CONSTRUCTION:
JOB NO: H0485
SCALE: 1:100, 1:200
PAGE NO: 3 of 15
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☉ DENOTES LOCATION OF SMOKE ALARM

ALL WET AREAS ARE TO BE PROVIDED WITH A FLOOR WASTE

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AIR-CONDITIONING ZONES:
ZONE 1 - TBC
ZONE 2 - TBC
ZONE 3 - TBC

PROVIDE 2040H INTERNAL DOORS & 2100H SQUARE SET OPENINGS TO FIRST FLOOR ONLY UNLESS OTHERWISE NOTED

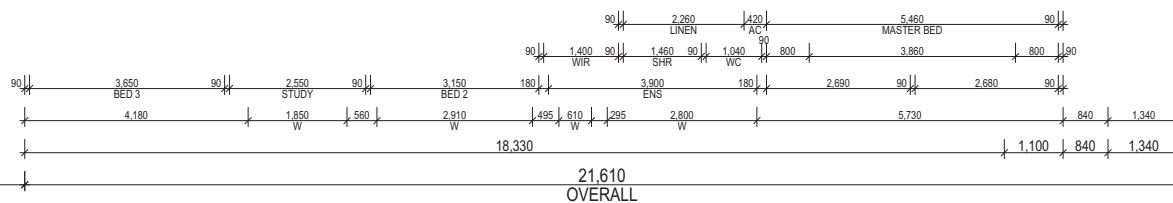
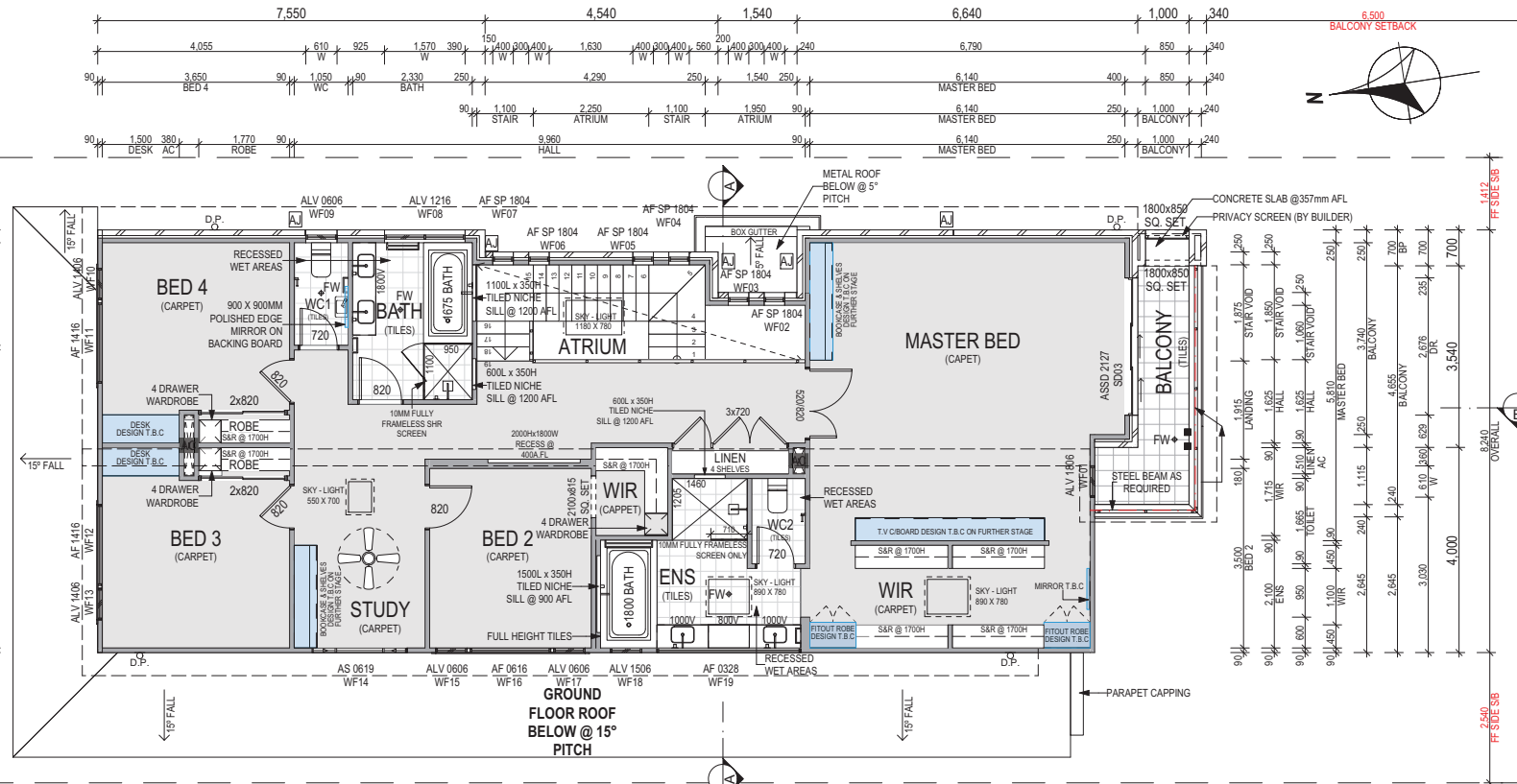
PROVIDE NYLON MESH FLY TO ALL OPENING WINDOWS AND SLIDING/ STACKER DOORS

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PROVIDE SQUARE SET CORNICE THROUGHOUT

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ALFRESCO	17.32
PORCH	2.29
FIRST FLOOR	160.20
GARAGE	36.18
GROUND FLOOR	145.89
BALCONY	8.21
TOTAL	370.09 m²

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ADAM HILL & MARTHA HILL
ADDRESS:
LOT 5, NO. 46 MARTIN STREET
FRESHWATER

COUNCIL:
NORTHERN BEACHES

DP No:
4947

HOUSE TYPE
MODEL:
CLIFTON 38
FACADE:
METRO
GARAGE SIDE:
LH
INCLUSIONS:
DESIGNER LIVING

DRAWING:
FIRST FLOOR PLAN

DRAWN:
SS

DATE DRAWN:
8/04/2022

SCALE:
1:100, 1:200

CHECKED:
SS

APPROVED FOR CONSTRUCTION:
JOB NO:
H0485

PAGE NO:
4 of 15

REV:
J

Hall & Hart
HOMES

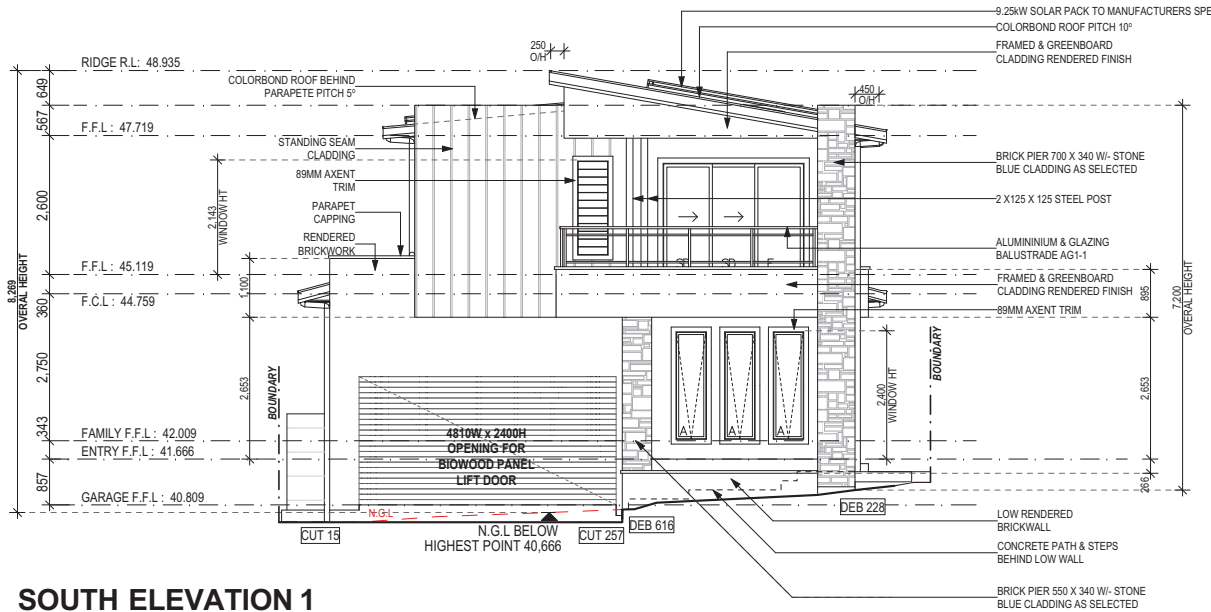
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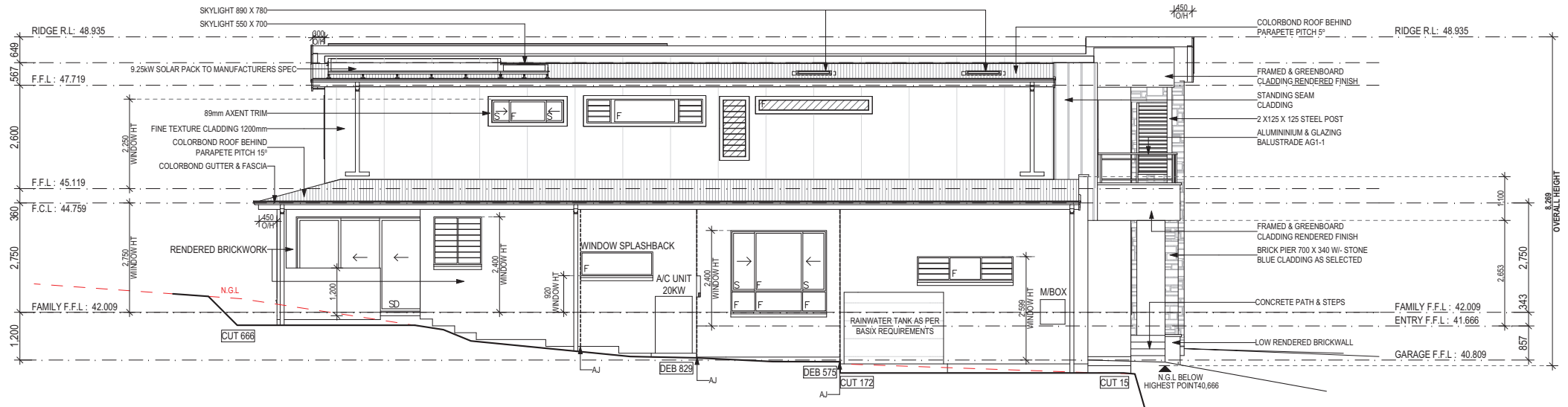
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ARTICULATION JOINTS

AJ
DENOTES ARTICULATION JOINT IN BRICKWORK. FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER IN ACCORDANCE WITH CLAUSE 3.3.1.8 OF THE NCC.



SOUTH ELEVATION 1
1:100



WEST ELEVATION 2
1:100

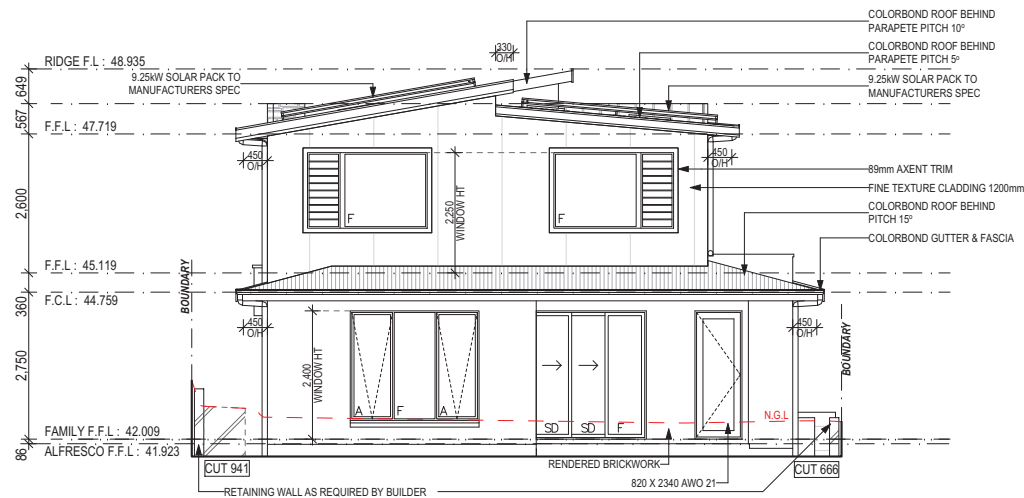
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COUNCIL:	NORTHERN BEACHES	FACADE:	LH	SCALE:	1:100			PAGE NO:	6 of 15
DP No:	4947	GARAGE SIDE:	DESIGNER LIVING					REV:	J
		INCLUSIONS:							
		DRAWING:	ELEVATIONS						

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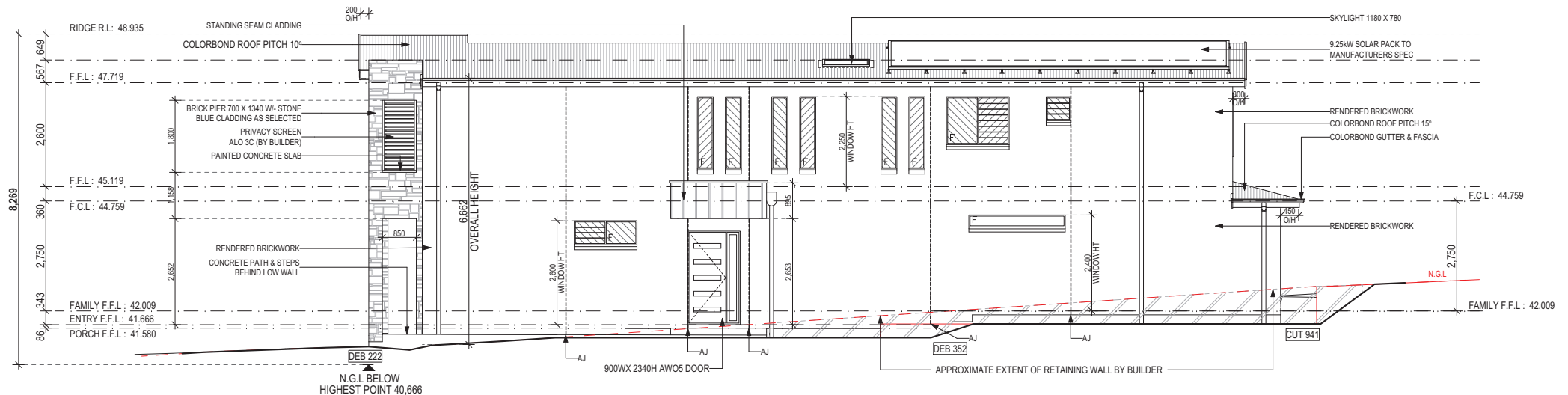
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NORTH ELEVATION 3

1:100



EAST ELEVATION 4

1:100

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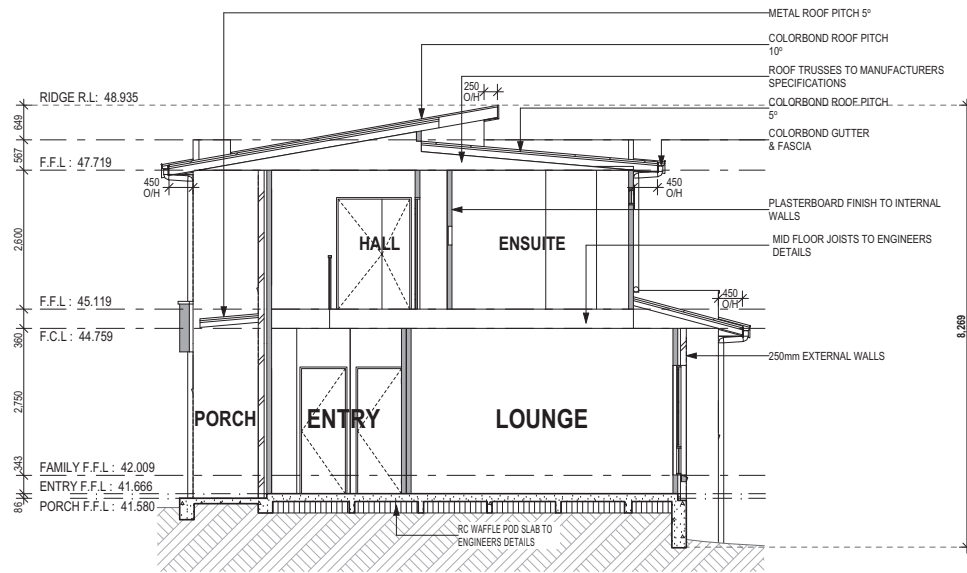
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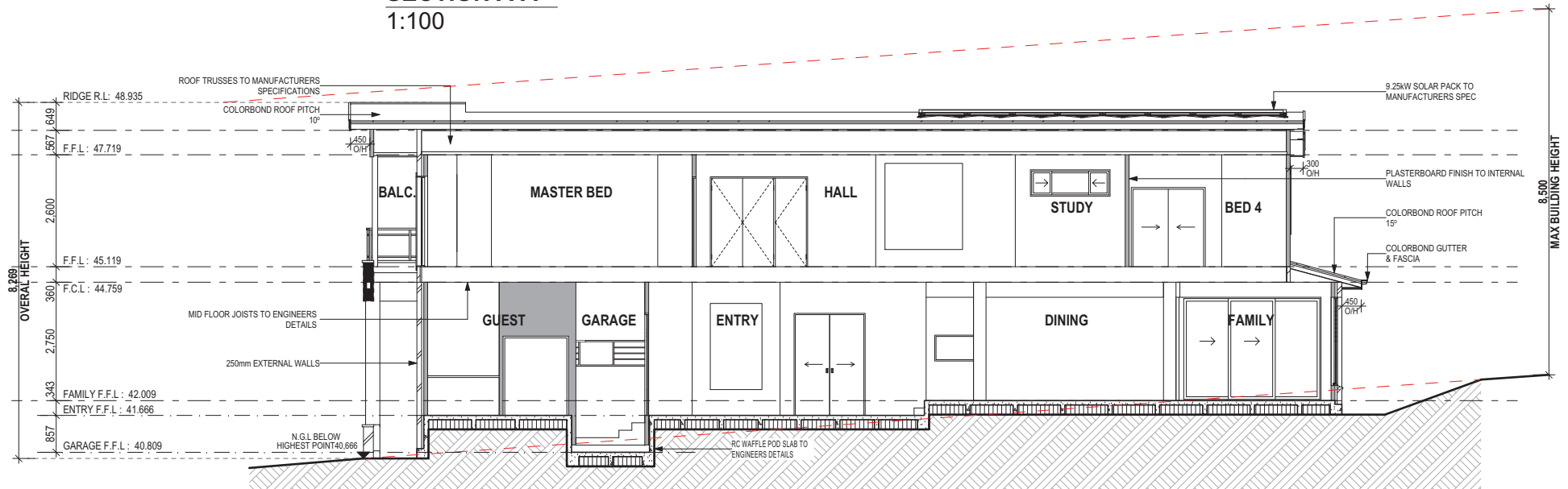
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		INCLUSIONS:							
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SECTION A-A
1:100



SECTION B-B
1:100

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INSULATION NOTES

- R2.5 EXTERNAL WALL INSULATION (INCLUDING WALL BETWEEN GARAGE & HOUSE)
- R4.1 CEILING INSULATION (EXCLUDING GARAGE, PORCH, ALFRESCO & BALCONY)
- SARKING TO TILED ROOF
- R1.5 ANTICON BLANKET TO METAL ROOF WHERE APPLICABLE
- WALL SARKING TO ALL EXTERNAL WALLS
- R2.0 SOUNDSREEN INSULATION BETWEEN GROUND AND FIRST FLOOR

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COUNCIL:

NORTHERN BEACHES

DP No:

4947

HOUSE TYPE

MODEL:

CLIFTON 38

FACADE:

METRO

GARAGE SIDE:

LH

INCLUSIONS:

DESIGNER LIVING

DRAWING:

SECTIONS

DRAWN:

SS

DATE DRAWN:

8/04/2022

SCALE:

1:100

CHECKED:

SS

APPROVED FOR CONSTRUCTION:

LODGEMENT:

DA/CC

JOB NO:

H0485

PAGE NO:

8 of 15

REV:

J



BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1258621S_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 09 March 2022
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Hill H0485_02	
Street address	46 Martin Street Freshwater 2096	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 4947	
Lot no.	5	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✓ 45	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 52	Target 50

Certificate Prepared by	
Name / Company Name: Frys Energywise	
ABN (if applicable): 631418543	

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Description of project

Project address		Assessor details and thermal loads	
Project name	Hill H0485_02	Assessor number	DMN12/1441
Street address	46 Martin Street Freshwater 2096	Certificate number	0006779979-01
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan 4947	Area adjusted cooling load (MJ/m² year)	26
Lot no.	5	Area adjusted heating load (MJ/m² year)	34
Section no.	-	Ceiling fan in at least one bedroom	No
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	No
Site details		Project score	
Project type	separate dwelling house	Water	✓ 45 Target 40
No. of bedrooms	5	Thermal Comfort	✓ Pass Target Pass
Site area (m²)	450	Energy	✓ 52 Target 50
Roof area (m²)	220		
Conditioned floor area (m²)	249.0		
Unconditioned floor area (m²)	20.0		
Total area of garden and lawn (m²)	123		

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but ≤ 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

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Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction	Area		
Floor - concrete slab on ground	At or part of floor area square metres		
Floor - suspended floor above garage	At or part of floor area		

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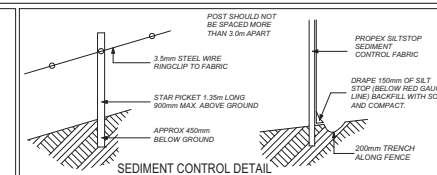
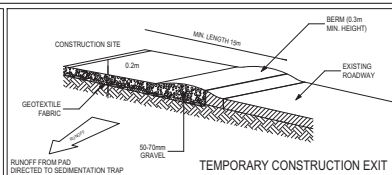
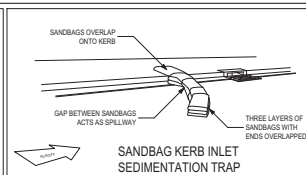
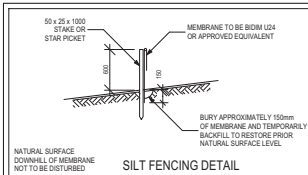
Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 3.0 - 3.5		✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, not ducted. Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off		✓	✓
Laundry: natural ventilation only, or no laundry. Operation control: n/a		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 5 of the bedrooms / study;		✓	✓

BASIX Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_19_1 Certificate No: 1258621S_02 Wednesday, 09 March 2022 page 57

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 3 of the living / dining rooms;		✓	✓
• the kitchen;		✓	✓
• all bathrooms/toilets;		✓	✓
• the laundry;		✓	✓
• all hallways;		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	
Legend			
In these commitments, "applicant" means the person carrying out the development.			
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).			
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.			
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.			

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<div>Hall & Hart HOMES</div> <div>PO BOX 2005, PARRAMATTA NSW 2150 TELEPHONE: (02) 8662 0037 WEBSITE: WWW.HALLHARTHOMES.COM.AU BUILDERS LICENCE No: 275897C</div>	NOTES: PLEASE NOTE DETAILS SHOWN ON THESE PLANS ARE INTENDED TO BE ACCURATE. HOWEVER, INFORMATION WRITTEN INTO INDIVIDUAL CONTRACTS WILL TAKE PRECEDENCE OVER PLANS - ALL DIMENSIONS ARE IN MILLIMETRES - DO NOT SCALE - USE WRITTEN DIMENSIONS HALL & HART HOMES PTY LTD WILL TAKE NO RESPONSIBILITY FOR ANY VERBAL DISCUSSIONS OR INTERACTIONS. ALL CHANGES AND SPECIAL INCLUSIONS MUST BE DOCUMENTED IN WRITING AND SHOWN ON PLANS	FOR: ADAM HILL & MARTHA HILL	HOUSE TYPE	DRAWN:	CHECKED:	LODGE	
	ADDRESS: LOT 5, NO. 46 MARTIN STREET FRESHWATER	COUNCIL: NORTHERN BEACHES	FACADE: GARAGE SIDE: INCLUSIONS:	CLIFTON 38 METRO LH DESIGNER LIVING	SS	SS	DA/CC
	COUNCIL:	DP No:	DRAWING:	BASIX	DATE DRAWN: 8/04/2022	APPROVED FOR CONSTRUCTION:	JOB NO: H0485
		4947			SCALE:	PAGE NO: 9 of 15	REV: J



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CHECK ALL DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS. FIGURED DIMENSIONS TO BE TAKEN IN REFERENCE TO SCALING. CONFIRM ALL DIMENSIONS ON SITE.

SITEWORK STAGES

NOTE: THE SITE CONSTRUCTION WORKS WILL BE COMPLETED IN THE FOLLOWING STAGES:

- STAGE 1: SITE SETUP (ONE OFF)
- STAGE 2: DETAILED DEMOLITION AND SALVAGE (LOW CYCLE)
- STAGE 3: GENERAL DEMOLITION, PILING AND EXCAVATION (MEDIUM CYCLE)
- STAGE 4: SURFACE EXCAVATION AND UNDERPINNING (MEDIUM CYCLE)
- STAGE 5: BULK EXCAVATION (HIGH CYCLE)
- STAGE 6: CRANE INSTALLATION (ONE OFF)
- STAGE 7: BUILDING STRUCTURE (HIGH CYCLE)
- STAGE 8: CRANE REMOVAL (ONE OFF)
- STAGE 9: CONSTRUCTION GENERALLY (MEDIUM CYCLE)

DEFINITIONS

- ONE OFF: SINGLE DAYS OF ACTIVITY FOR DELIVERY AND INSTALLATION ASSOCIATED WITH 'ONE STREET' MOBILE CRANE AGE SUBJECT TO SEPARATE CRANE AGE PERMITS OR THE USE OF LOW LOADER EQUIPMENT FOR HEAVY MACHINERY DELIVERY.
- LOW CYCLE: FEW TRUCK MOVEMENTS UP TO 1 PER HOUR (8 PER DAY)
- MEDIUM CYCLE: INCREASING TRUCK MOVEMENT UP TO 2 PER HOUR (16 PER DAY)
- HIGH CYCLE: HIGH TRUCK MOVEMENTS UP TO 3 PER HOUR (24 PER DAY)

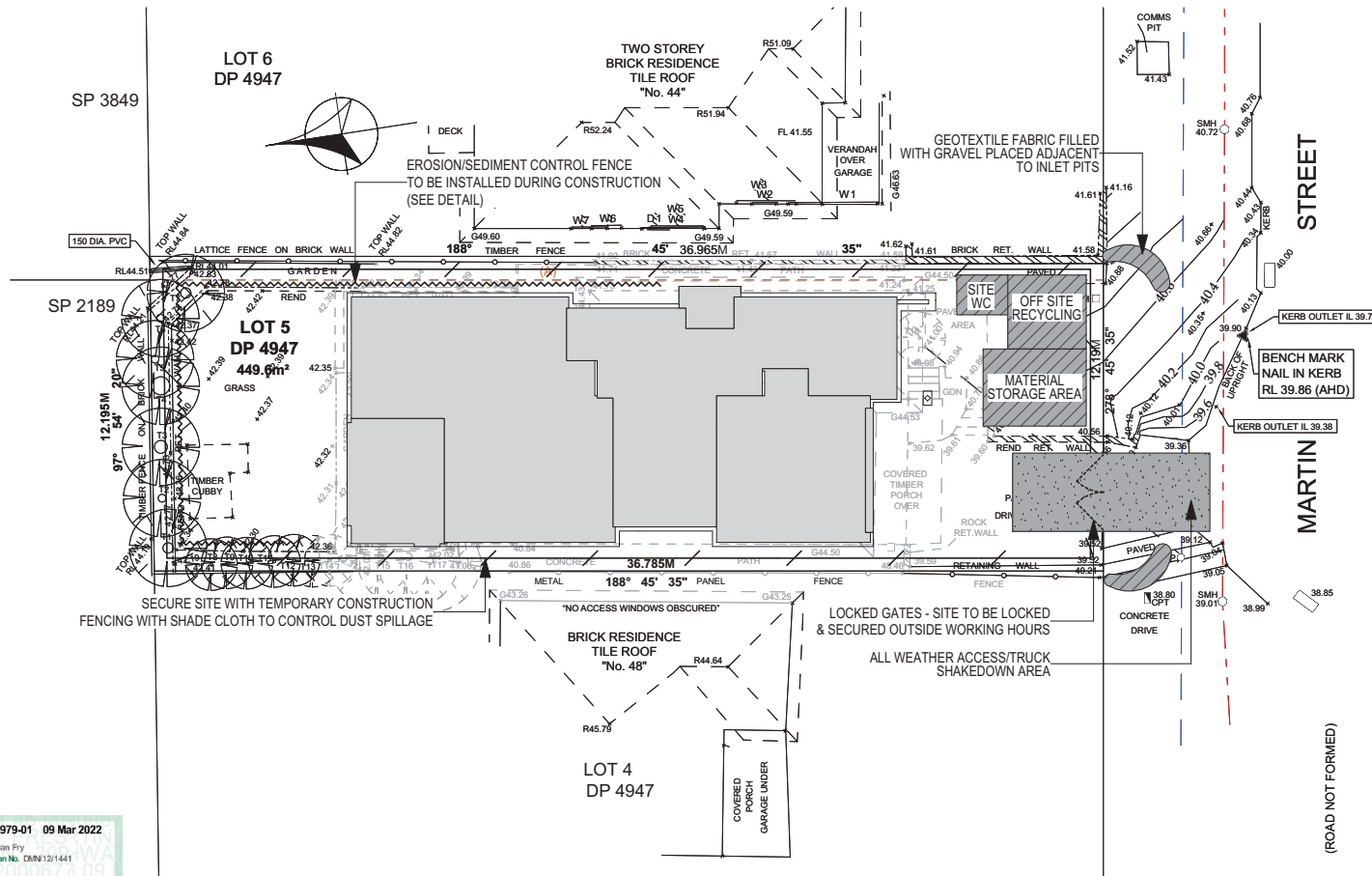
ANTICIPATED DUST DISTURBANCE

NOTE: THE FOLLOWING CONSTRUCTION PROCESSES ARE ANTICIPATED TO GENERATE DUST:

- SITE CLEARANCE
- GROUND EXCAVATION
- MASONRY MATERIAL DELIVERY

TO CONTROL DUST, A COMBINATION OF THE FOLLOWING MEASURES WILL BE IMPLEMENTED:

- BOUNDARY FENCES FITTING WITH SHADE CLOTH
- EXCAVATION - TO BE WATERED DOWN AT THE EXCAVATION FACE
- MATERIAL STOCK PILES - TO BE WATERED DOWN AND COVERED WITH PLASTIC SCAFFOLD - TO BE FITTED WITH SHADE CLOTH
- TRUCKS - TIPPER RAYS TO BE COVERED WITH PROTECTIVE SHADE CLOTH
- SITE DISTURBANCE - KEEP TO A MINIMUM AT ANY ONE TIME
- REDUCE WORKS ON HIGH WIND DAYS
- REGULAR CLEAR DRY SEDIMENT MATERIAL FROM SEDIMENT BARRIERS
- BROOM SWEEPING TO BE KEPT TO A MINIMUM



NOTES:

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FOR:

ADAM HILL & MARTHA HILL

ADDRESS:

LOT 5, NO. 46 MARTIN STREET
FRESHWATER

COUNCIL:

NORTHERN BEACHES

DP No:

4947

HOUSE TYPE

MODEL:

CLIFTON 38

FACADE:

METRO

GARAGE SIDE:

LH

INCLUSIONS:

DESIGNER LIVING

DRAWING:

SITE MANAGEMENT/SEDIMENT PLAN

DRAWN:

SS

CHECKED:

SS

LODGE:

DA/CC

DATE DRAWN:

8/04/2022

APPROVED FOR CONSTRUCTION:

JOB NO:

H0485

SCALE:

1:200

PAGE NO:

12 of 15

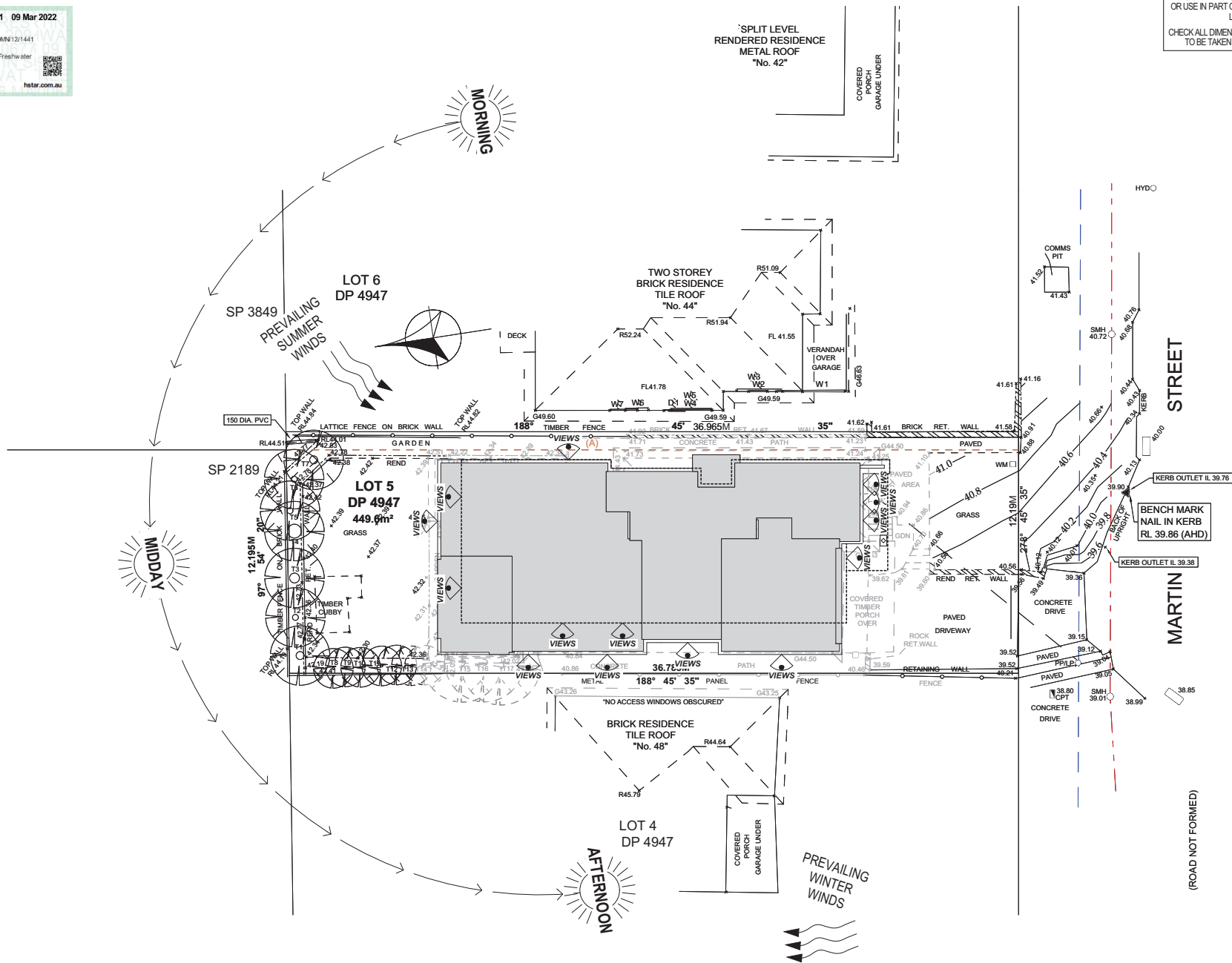
REV:

J

Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2150
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No. 275897C

SITE ANALYSIS LEGEND	
SUN DIRECTION	→
WINDOW VIEWS	
SUN SYMBOL	
WIND DIRECTION	→→→

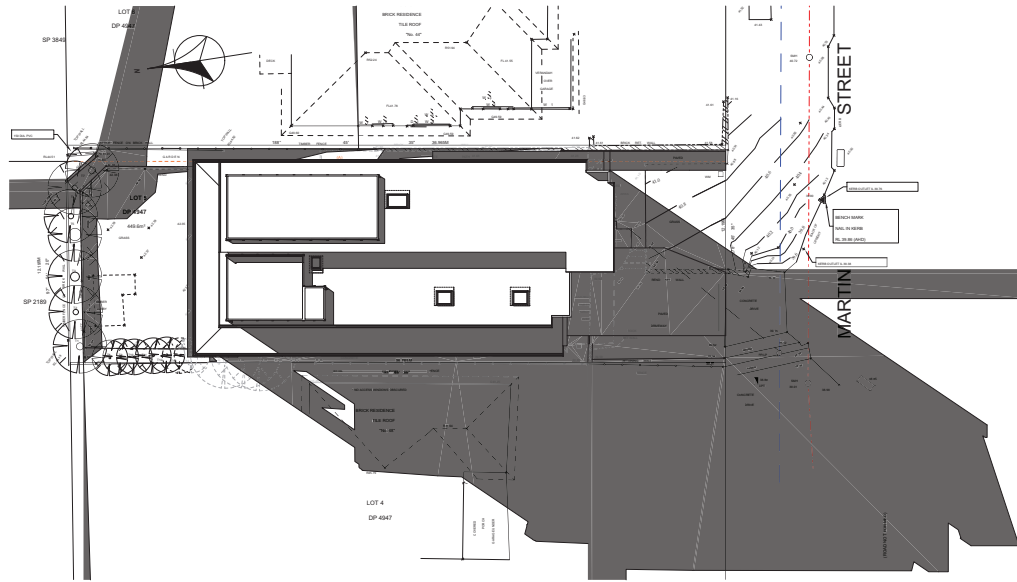


NOTES:
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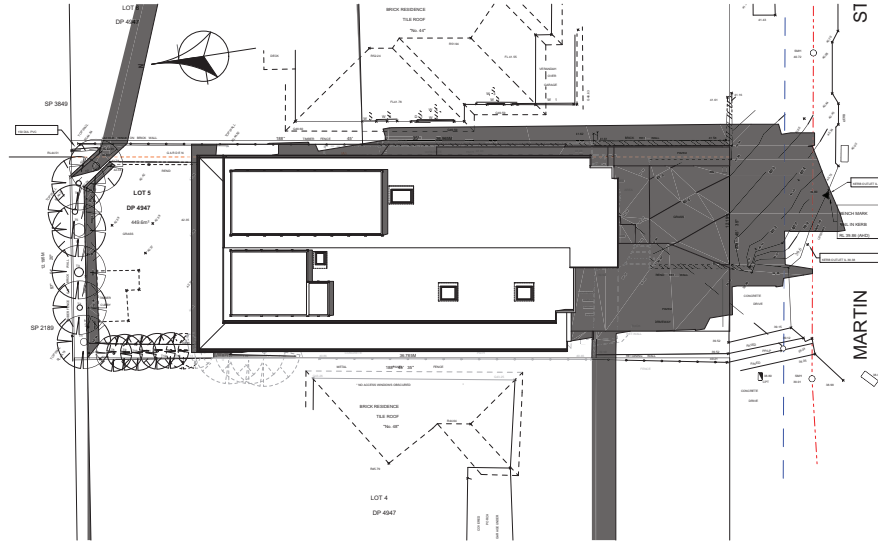
FOR:	ADAM HILL & MARTHA HILL
ADDRESS:	LOT 5, NO. 46 MARTIN STREET FRESHWATER
COUNCIL:	NORTHERN BEACHES
DP No:	4947

HOUSE TYPE	CLIFTON 38
MODEL:	METRO
FACADE:	LH
GARAGE SIDE:	DESIGNER LIVING
INCLUSIONS:	
DRAWING:	SITE ANALYSIS

DRAWN:	SS	CHECKED:	SS	LODGE:	DA/CC
DATE DRAWN:	8/04/2022	APPROVED FOR CONSTRUCTION:		JOB NO:	H0485
SCALE:	1:200	PAGE NO:	13 of 15	REV:	J



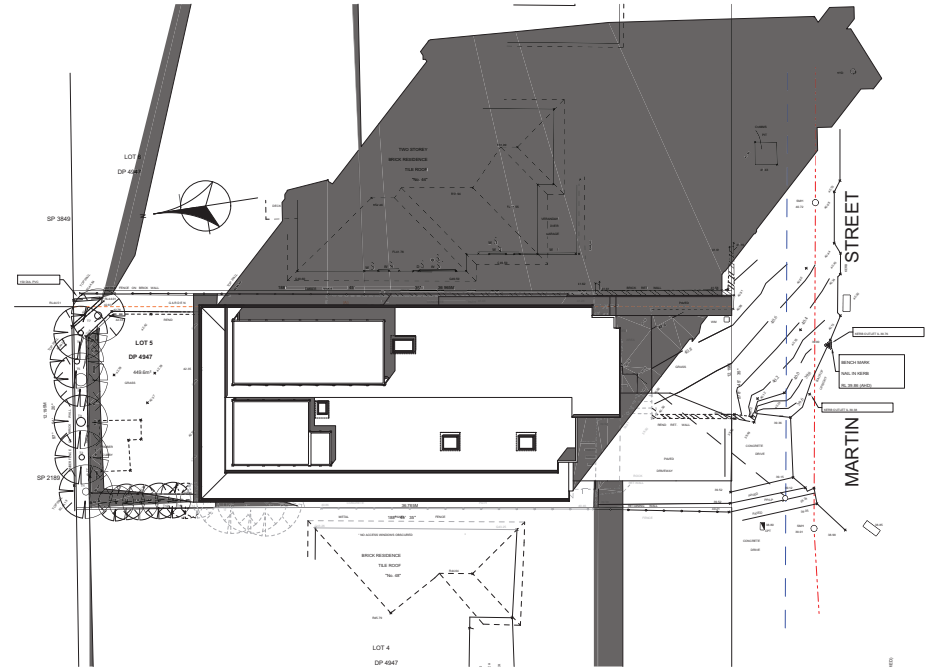
JUNE 21 9am
1:300



JUNE 21 12pm
1:300



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JUNE 21 3pm
1:300

Hall & Hart
HOMES

PO BOX 2005, PARRAMATTA NSW 2150
TELEPHONE: (02) 8662 0037
WEBSITE: WWW.HALLHARTHOMES.COM.AU
BUILDERS LICENCE No.: 275897C

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FOR: ADAM HILL & MARTHA HILL		HOUSE TYPE MODEL: CLIFTON 38		DRAWN: SS	CHECKED: SS	LODGE/MENT: DA/CC	
ADDRESS: LOT 5, NO. 46 MARTIN STREET FRESHWATER		FACADE: METRO GARAGE SIDE: LH INCLUSIONS: DESIGNER LIVING		DATE DRAWN: 8/04/2022	APPROVED FOR CONSTRUCTION:	JOB NO: H0485	
COUNCIL: NORTHERN BEACHES	DP No: 4947	DRAWING: SHADOW DIAGRAMS		SCALE: 1:300		PAGE NO: 15 of 15	REV: J

GENERAL NOTES

- All civil, structural and hydraulic works associated with this project shall be to consulting engineer's details.
- Exact location of site boundaries are to be confirmed on site by client or clients surveyor prior to commencement of work

DEVELOPMENT APPLICATION NOTES

Note 1: All materials and workmanship shall be in accordance with the latest relevant Australian standard and building code of Australia. All plumbing and drainage works shall also be in accordance with the by laws of Sydney Water.

Note 2: Written dimensions shall take precedence over scaled measurements. All dimensions and levels shall be verified by contractor on site, and initial setout approved by construction manager prior to commencement of work. If in doubt, contact Landscape Architect.

Note 3: Contractor shall confirm extent of existing vegetation to be removed/transplanted on site prior to commencement of works.

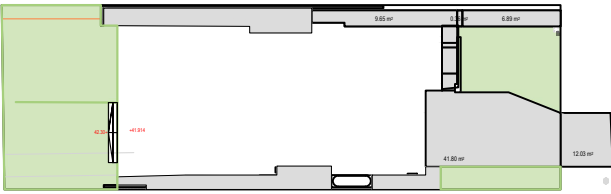
Note 4: Excavator shall strip approved topsoil from all areas to be excavated and shall store material in an approved location on site. All excavation shall be carried out as necessary, including over excavation in lawn areas (as required) to ensure min 150mm depth of top soil is able to be provided for garden areas (as required) to ensure that min. 350mm topsoil depth is able to be provided. Topsoil depths refer to depth over subsoil, not over rock or concrete.

Note 5: Contractor shall ensure that damp proof courses on buildings are not breached and that air vents are not blocked or restricted.

Note 6: Retaining walls shall be constructed to heights as necessary to retain existing/proposed ground levels, with final extent of walling to be as required and to construction manager's on-site approval.

Note 7: Waterproofing and drainage line in gravel filled trench, or other approved drainage layer, shall be installed to rear of all wall where retaining.

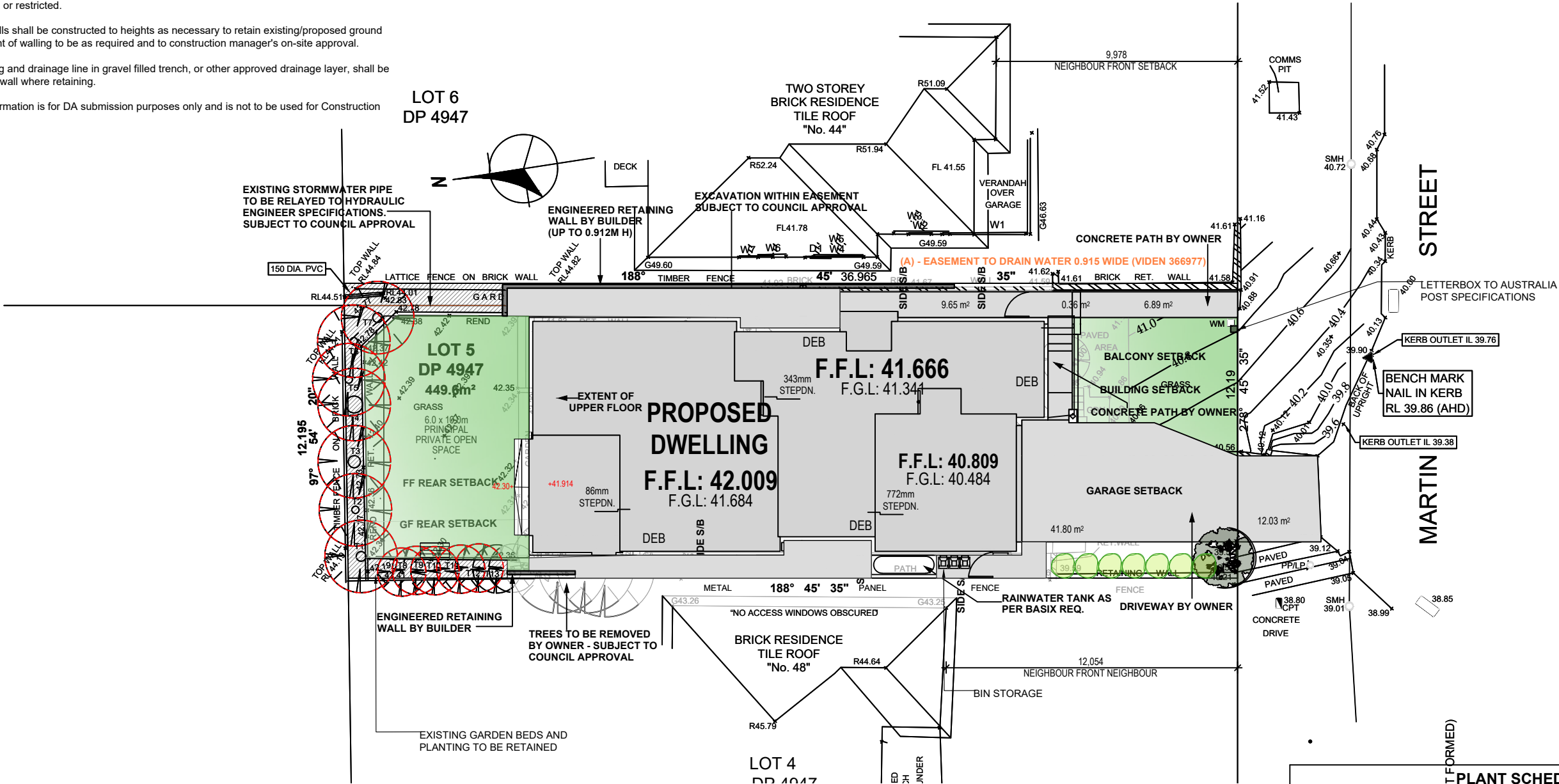
Note: The above information is for DA submission purposes only and is not to be used for Construction purposes



DEVELOPMENT CONTROLS			
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA		668.9m2	
MAXIMUM SITE COVERAGE			
Minimum landscaped area required	179.84m2	132.26m2	NO

LEGEND

- SITE BOUNDARY LINE
- EXISTING TREE RETAINED
- PROPOSED RL
- GARDEN EDGE
- CONCRETE ACCESS PATH
- TURF
- EXISTING GARDEN BEDS TO BE RETAINED
- PROPOSED GARDEN BEDS
- PROPOSED CLOTHES LINE
- PROPOSED GATE AND FENCE
- GARBAGE BINS



PLANT SCHEDULE					
Latin Name	Common Name	Quantity	Pot Size	Spread	Height
<i>Syzygium 'Cascade'</i>	Lilly Pilly	7	200mm	2000	2500
<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	1	200mm	5000	10000



SMART CHOICE LANDSCAPES
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Campbelltown
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E: smartchoicelandscapes@mail.com
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PO Box 2005, Parramatta NSW 2150
T: (02) 8662 0037
W: www.hallhart-homes.com.au
Builders Licence no: 275897c



Issue Description

Date

LANDSCAPE CONCEPT PLAN
at
LOT 5, NO. 46 MARTIN STREET, FRESHWATER
for
ADAM HILL & MARTHA HILL

SCALE:
1:200 @ A3
Project No: CR202201
Dwg No: LC01
Rev: A

SPECIFICATION NOTES

SERVICES

Before landscape work is commenced. The Landscape Contractor is to establish the position of all servicelines and ensure tree planting is to be carried out at least 3 metres away from these services. Service lids, vents and hydrants shall be left exposed and not covered by any landscape finishes (turfing, paving, garden beds etc.) Finish adjoining surfaces flush with pit lids.

PLANTING MIXTURE

Shall be LANDSCAPE NATIVE MIX.

MULCH

APPLICATION: Place mulch to the required depth, (refer to drawings clear of plant stems, and rake to an even surface finishing 25mm below adjoining levels. Ensure mulch is watered in and tamped down during installation.

MULCH TYPE:

Shall be WOOD CHIP MULCH. Play areas to be EUCU MULCH

PLANT MATERIAL

All plants supplied are to conform with those species listed in the Plant Schedule on the drawings. Generally plants shall be vigorous, well established, hardened off, of good form consistent with species or variety, not soft or forced, free from disease or insect pests with large healthy root systems and no evidence of having been restricted or damaged. Trees shall have a leading shoot. Immediately reject dried out, damaged or unhealthy plant material before planting. All stock is to be container grown for a minimum of six (6) months prior to delivery to site.

ROOT PRUNING

Remove plant from container and root prune to ensure all circling roots have been either severed or aligned radially into the surrounding soil. Plant as per detail.

FERTILISER

MASS PLANTING AREAS:

Native and non native plants (excludes Proteaceae family)

Type: Nutricote Standard Black 270 Day - 16: 4.4: 8.3

Installation: Evenly distribute 5g per litre (rootball size)of fertiliser onto backfill area around rootball prior to placing mulch.

TURF: Nutricote Standard Brown 360 Day blend - 16: 4.4: 8.3

Installation: Evenly spread and mix 1 kilo of fertiliser per 60m2 into topsoil prior to placing turf.

TREE PLANTING :

Native and non native trees (excludes Proteaceae family)

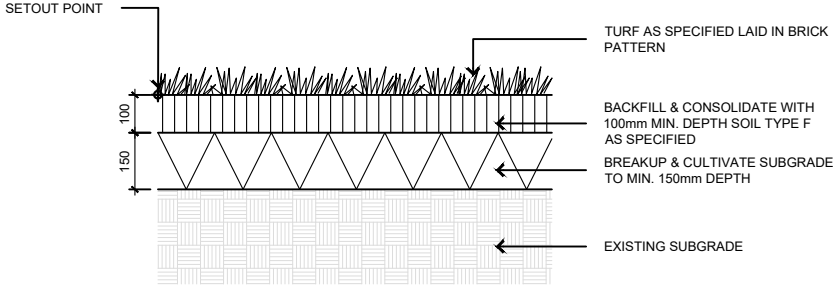
Type: Nutricote Standard Brown 360 Day blend - 16: 4.4: 8.3

Installation: Distribute 5g per litre (rootball size)of fertiliser into backfill around rootball. Apply in 3 evenly spread layers as hole is filled. First layer is to be half way up the rootball, second layer 3/4 up the rootball and third layer 50-100mm from the soil finished surface level. This application ensures that the nutrients leeches evenly downwards into the soil profile and encourages outward root system growth.

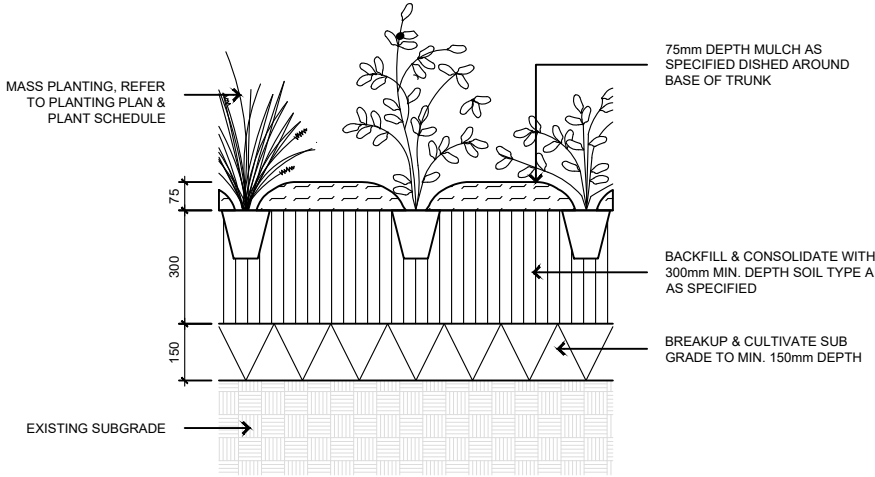
TURF

Obtain turf from a specialist grower of cultivated turf. Turf shall be of even thickness free from weeds and other foreign matter, lay in stretcher pattern with joints staggered and close butted. Water immediately after laying.

- TURF TYPE: Sapphire soft leaf buffalo

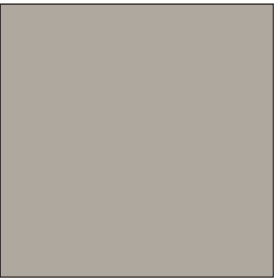


1 Turf Detail

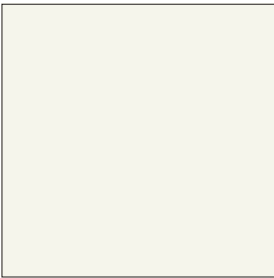


2 Mass planting detail

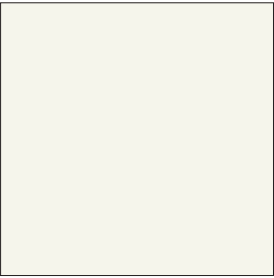
FACADE



ROOF | GUTTER | FASCIA



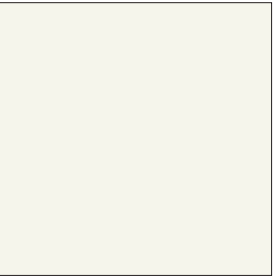
WINDOWS



CLADDING 1



STONE CLAD



RENDER



GARAGE | BALUSTRADE



LOT 5, NO. 46 MARTIN STREET FRESHWATER