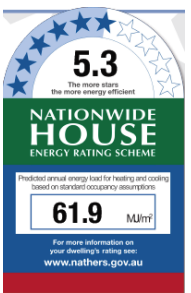


Denotes Demo Works

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2019/1286



Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E-Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Basix
Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Denotes Existing House To Be Demolished

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans



Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Site Plans - Site Plan
Site Plan

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

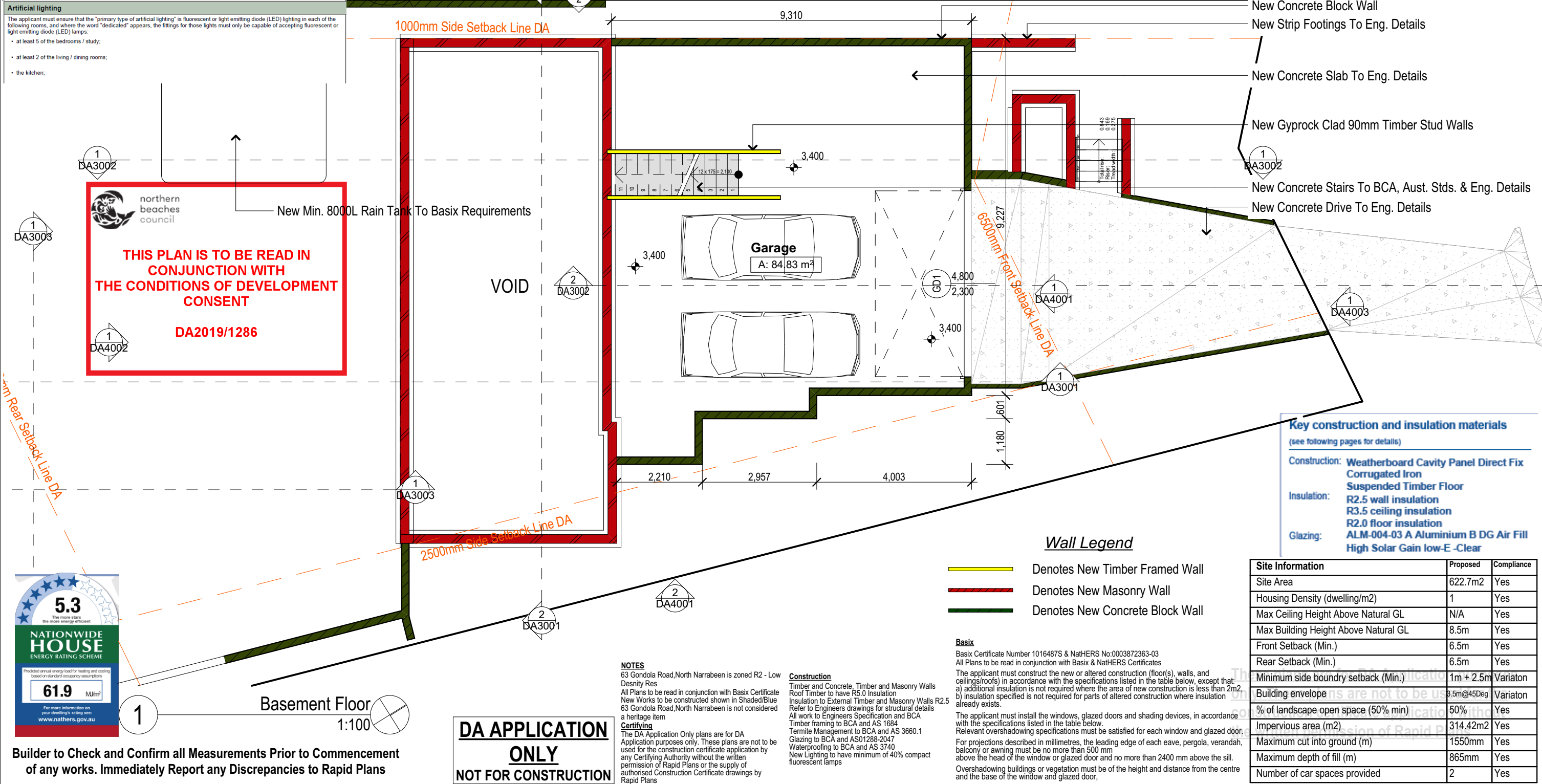
Date: 4/03/20
Checked By: GBJ
Drawing No.
DA1004



Energy Commitments
Hot water
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.
Cooling system
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0
Heating system
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 2.5 - 3.0
Ventilation
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted, Operation control: manual switch on/off Kitchen: individual fan, not ducted, Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a

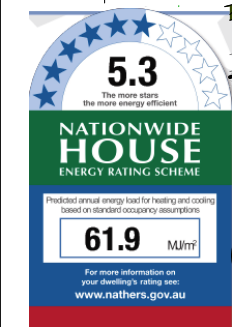
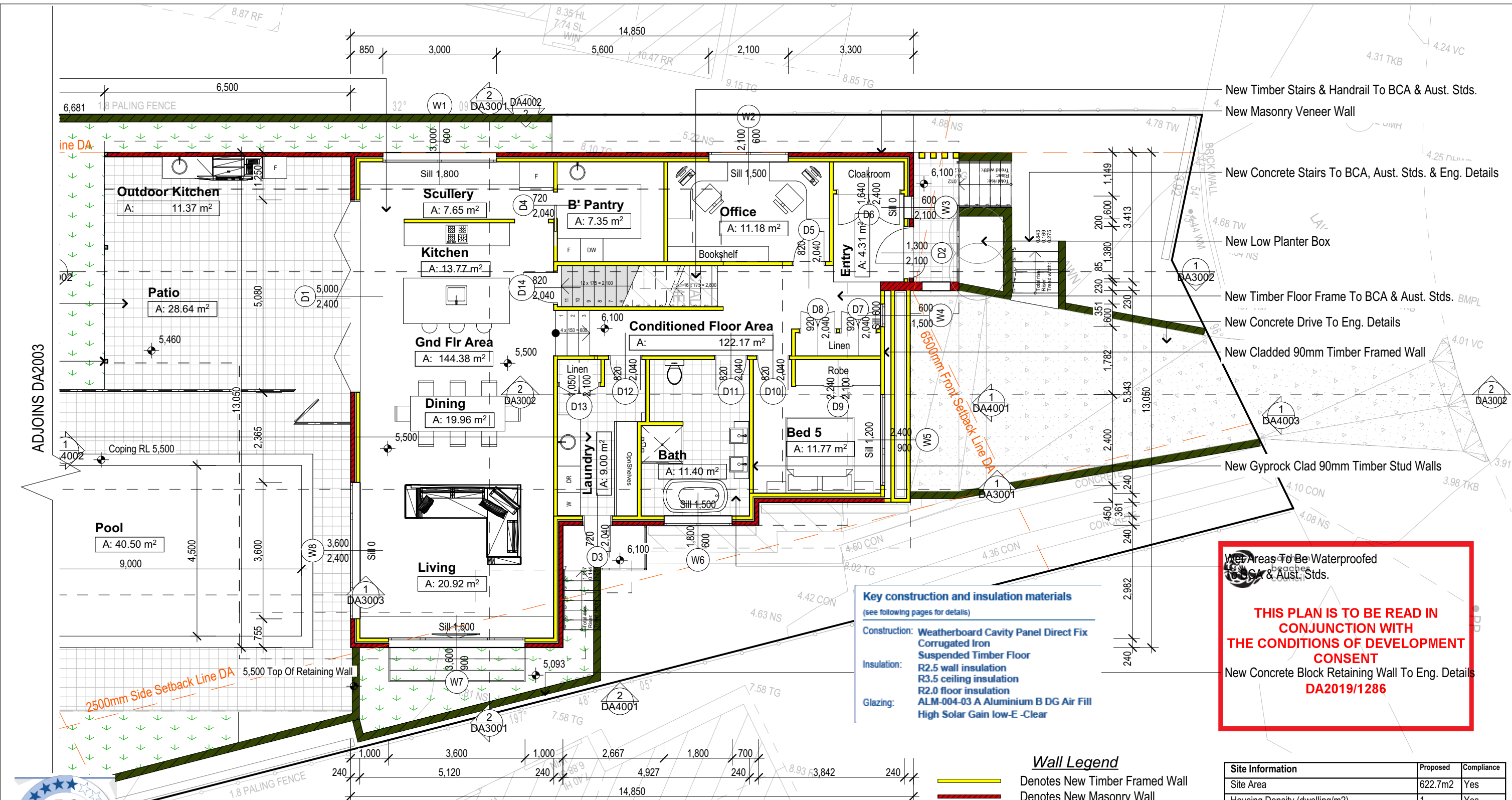
Artificial lighting
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">• at least 5 of the bedrooms / study;• at least 2 of the living / dining rooms;• the kitchen;

Energy Commitments
• all bathrooms/toilets;
• the laundry;
• all hallways;
Natural lighting
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool
The development must not incorporate any heating system for the swimming pool.
The applicant must install a timer for the swimming pool pump in the development.
Alternative energy
The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

Thermal Comfort Commitments
Simulation Method
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.



	<p>Rapid Plans www.rapidplans.com.au PO Box 6193 Frenchs Forest DC NSW 2086 Fax : (02) 9905-8865 Mobile: 0414-945-024 Email : gregg@rapidplans.com.au</p>		<p>Project North</p>	<p>© Copyright Rapid Plans 2019</p>	<p>Rapid Plans reserves all rights to this drawing, this drawing remains the property of Rapid Plans and may not be copied without written consent, all content including intellectual, remain the property of Rapid Plans, all copies of this drawing will be returned to Rapid Plans upon request.</p>	<p>The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.</p>	<p>Client: Greg Beeman</p>	<p>Client: Greg Beeman Project Name New Dwelling 63 Gondola Road, North Narrabeen 2101</p>	<p>Lot 218 D.P. 16212 Drawing Title: Plans - Basement/Lower Ground Floor Plan Basement Floor</p>	<p>Scale: A3 as noted Status: DA Rev2 Project No. RP1018BEE</p>	<p>Date: 4/03/20 Checked By: GBJ Drawing No. DA2001</p>
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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Ground Floor Plan
Ground Floor Plan

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE
Date: 4/03/20
Checked By: GBJ
Drawing No.
DA2002

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Wet Areas To Be Waterproofed
To BCA & Aust. Stds.

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT
DA2019/1286**

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

New Concrete Slab To Eng. Details

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

New Concrete Slab To Eng. Details

New Steel Post To Eng. Details

New Concrete Slab To Eng. Details

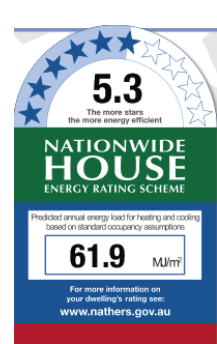
Wet Areas To Be Waterproofed
To BCA & Aust. Stds.



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1286

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.



New 69kL Pool To
Manufacturers Details

New Concrete Block Retaining
Wall To Eng. Details

**Builder to Check and Confirm all Measurements Prior to Commencement
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omissions to the Designer. Do not scale the drawings. Drawings shall not be
used for construction purposes until issued by the Designer for construction.

Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:
Plans - Ground Floor Plan 2
Ground Floor Plan

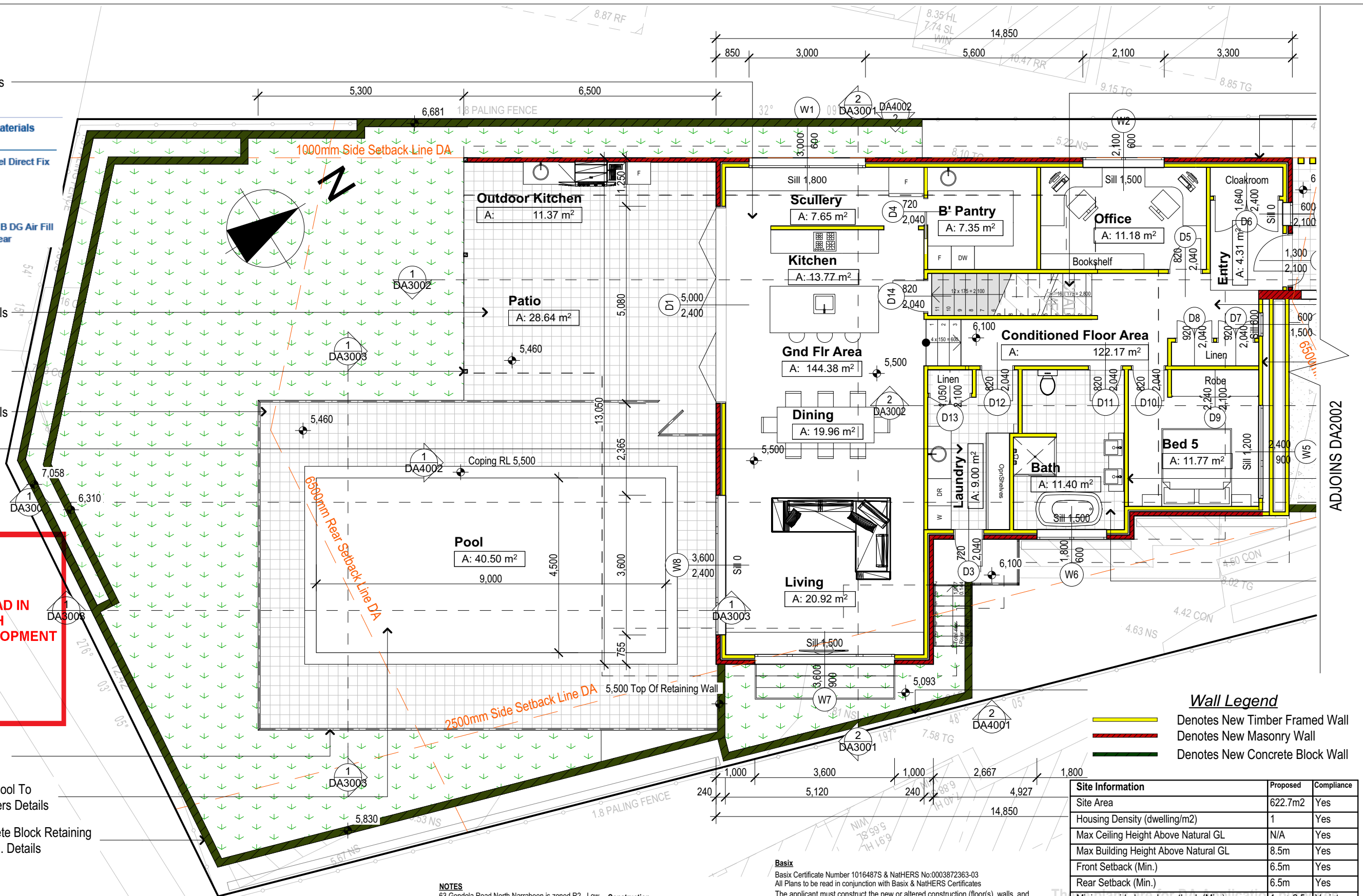
Scale: A3 as noted
Status: **DA Rev2**
Project No.
RP1018BEE

Date: 4/03/20

Checked By: GBJ

Drawing No.

DA2003



Wall Legend

- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor/s), walls, and
ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation
already exists.

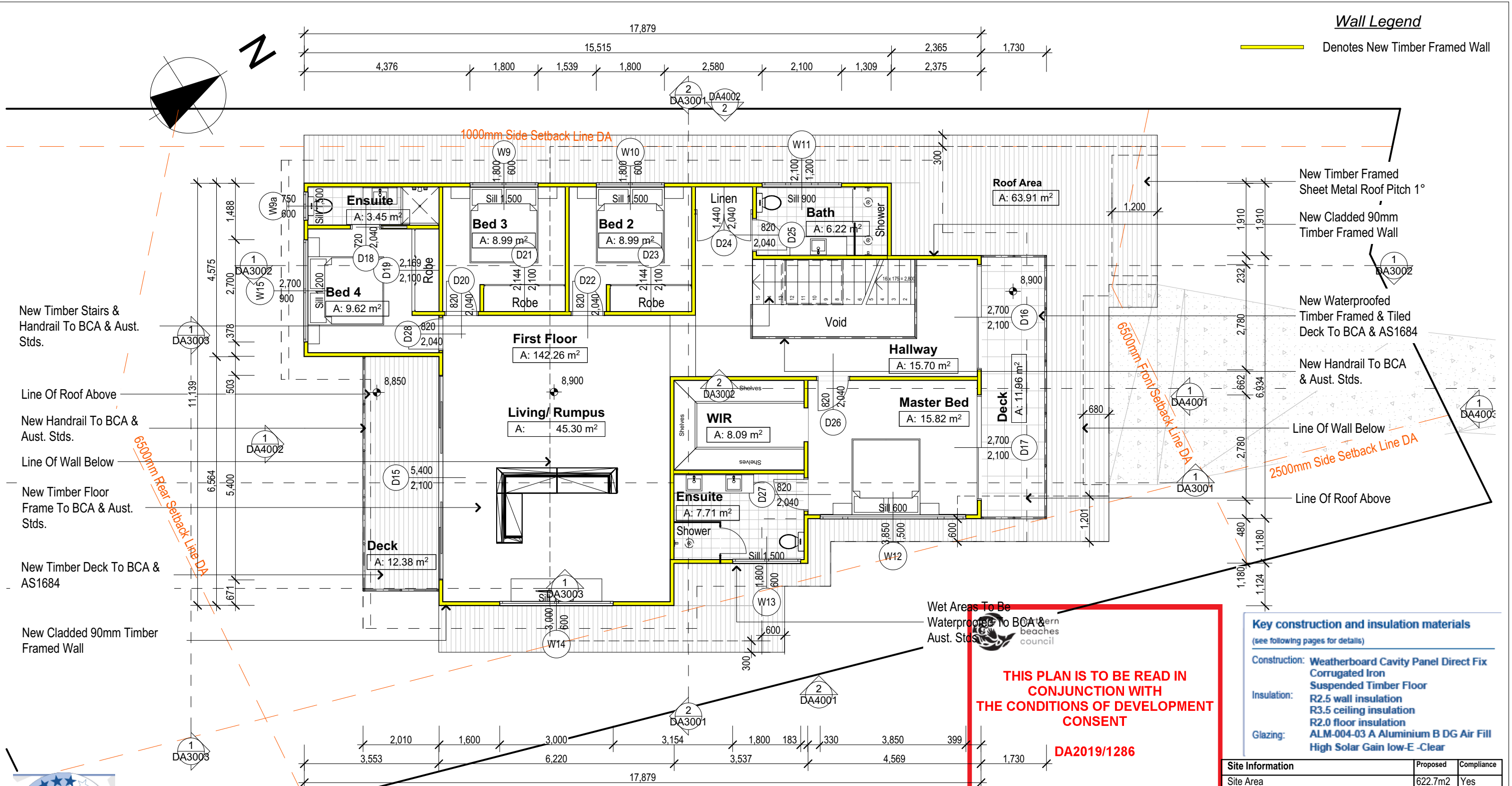
The applicant must install the windows, glazed doors and shading devices, in accordance
with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre
and the base of the window and glazed door.

Wall Legend

Denotes New Timber Framed Wall



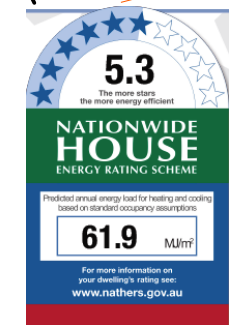
Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor

Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation

Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E-Clear

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue 63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

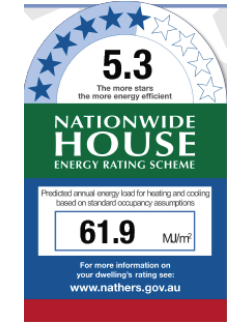
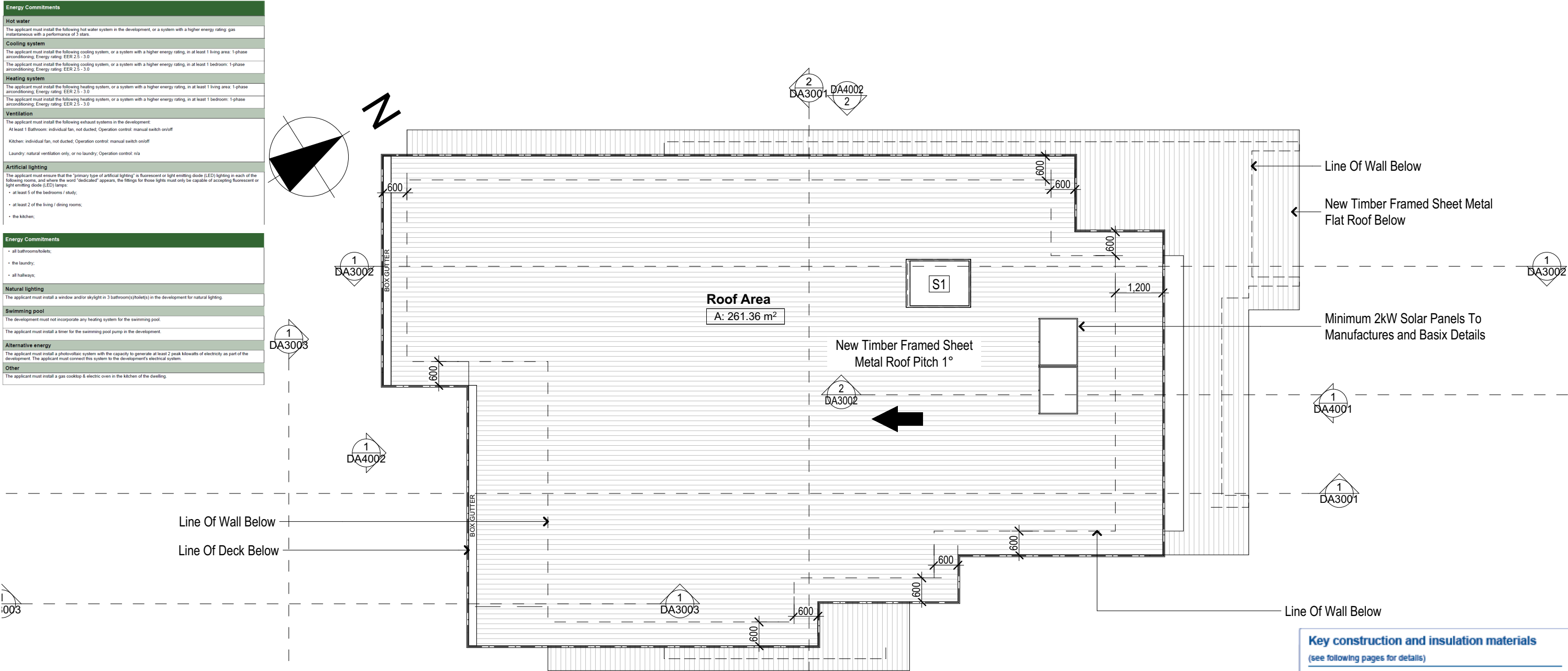
Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Energy Commitments
Hot water The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 3 stars.
Cooling system The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: EER 2.5 - 3.0 The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: EER 2.5 - 3.0
Heating system The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning: Energy rating: EER 2.5 - 3.0 The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning: Energy rating: EER 2.5 - 3.0
Ventilation The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, not ducted; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a
Artificial lighting The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 5 of the bedrooms / study; • at least 2 of the living / dining rooms; • the kitchen;

Energy Commitments
• all bathrooms/toilets; • the laundry; • all hallways;
Natural lighting The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.
Swimming pool The development must not incorporate any heating system for the swimming pool. The applicant must install a timer for the swimming pool pump in the development.
Alternative energy The applicant must install a photovoltaic system with the capacity to generate at least 2 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.
Other The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.



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PO Box 6193 Frenchs Forest
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Fax : (02) 9905-8865
Mobile: 0414-945-024
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Plans - Roof Plan
Roof Plan

Scale: **A3 as noted**
Status: **DA Rev2**
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA2005

 **northern beaches council**

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/1286

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

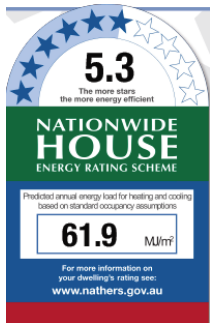
Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variaton
Building envelope	3.5m@45Deg	Variaton
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue. 63 Gondola Road, North Narrabeen is not considered a heritage item.

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5 Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.
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Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E-Clear

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	314.42m ²	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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New Skylight To Manufacturers Details
New Timber Framed Sheet Metal Roof Pitch 1°

New Timber Deck To BCA & AS1684
New Handrail To BCA & Aust. Stds.

New Masonry Veneer Wall

New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.

New 69kL Pool To Manufacturers Details

New Strip Footings To Eng. Details

Section 1
1:100

New Timber Framed Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Timber Floor Frame To BCA & Aust. Stds.

RL +8,900
First

New Masonry Veneer Wall
New 1800mm High Timber Privacy Screen

RL +5,500
Ground

New Concrete Block Retaining Wall To Eng. Details

New Fill Area
RL +3,400
Basement

New Strip Footings To Eng. Details

Section 2
1:100

New Strip Footings To Eng. Details

Minimum 2kW Solar Panels To Manufacturers and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

RL +8,900
First

New Timber Floor Frame To BCA & Aust. Stds.

Upr Ground

RL +5,500
Ground

New Concrete Slab To Eng. Details

New Concrete Retaining Wall To Eng. Details
RL +3,400
Basement

New Gyprock Clad 90mm Timber Stud Walls

New Cladded 90mm Timber Framed Wall

RL +8,900
First

New Concrete Slab To Eng. Details

RL +5,500
Ground

RL +3,400
Basement

Project North



DA APPLICATION ONLY
NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen 2101
Lot 218 D.P. 16212

Drawing Title:
Sections - Section 1
Section 1, Section 2
Scale: A3 as noted
Date: 4/03/20
Status: DA Rev2
Checked By: GBJ
Project No: RP1018BEE
Drawing No: DA3001

New Skylight To Manufacturers Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°

RL +8,900
First

New Timber Floor Frame To BCA & Aust. Stds.

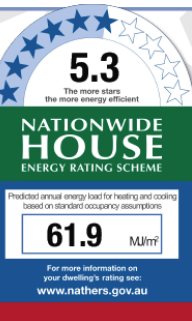
RL +6 100
Upr Ground
RL +5,500
Ground

New Concrete Stairs To BCA,
Aust. Stds. & Eng. Details

RL +3,400
Basement

Section Stairs
1:100

1



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Rapid Plans
www.rapidplans.com.au
PO Box 6193 Frenchs Forest
DC NSW 2086
Fax: (02) 9905-8865
Mobile: 0414-945-024
Email: gregg@rapidplans.com.au



Project North



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Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Sections - Section 2
Section Stairs, Section Drive

Scale: A3 as noted

Status: DA Rev2

Project No.

RP1018BEE

Date: 4/03/20

Checked By: GBJ

Drawing No.

DA3002



THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2019/1286

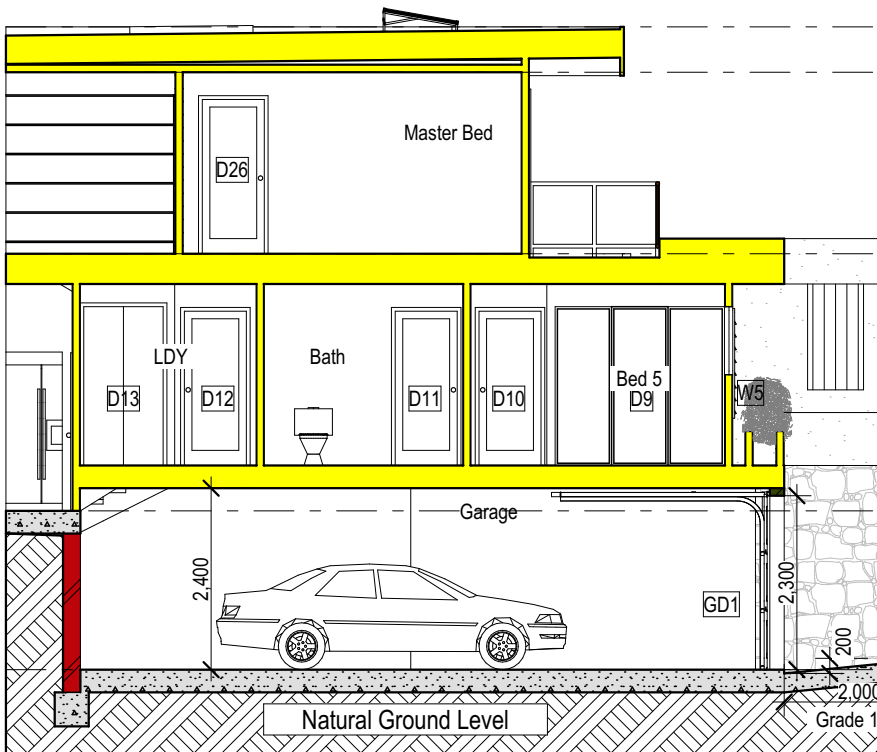
Boy

New Concrete Layback To Aust.
Stds & Council Regulations

New Concrete Drive To Eng. Details

Crossover/Verge

Gondola Road



Section Drive
1:100

2

NOTES

63 Gondola Road, North Narrabeen is zoned R2 - Low
Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered
a heritage item
Certifying
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authorised Construction Certificate drawings by
Rapid Plans

Construction

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Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix

Basix Certificate Number 1016487S & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

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Overshadowing buildings or vegetation must be of the height and distance from the centre
and the base of the window and glazed door,

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Wall Legend

- Denotes New Timber Framed Wall/Floor
- Denotes New Concrete Block Wall
- Denotes New Masonry Wall
- Denotes Concrete Slab/Footing

Site Information	Proposed	Compliance
Site Area	622.7m ²	Yes
Housing Density (dwelling/m ²)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m ²)	314.42m ²	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

RL +11,900
Ridge
RL +11,300
FCL

RL +11,900
Ridge
RL +11,300
FCL

RL +8,900
First

RL +8,900
First

New 69kL Pool To Manufacturers Details

New Min. 1200 high Pool Safety Barrier
To BCA & Aust. Stds.

New Concrete Block Retaining Wall To
Eng. Details

RL +5,500
Ground

RL +5,500
Ground

New Concrete Slab To Eng. Details

RL +3,400
Basement

RL +3,400
Basement

Natural Ground Level

1

Section Pool
1:100

RL +11,900
Ridge
RL +11,300
FCL

RL +11,900
Ridge
RL +11,300
FCL

RL +8,900
First

RL +8,900
First

New Min. 1200 high Pool Safety
Barrier To BCA & Aust. Stds.

New Concrete Slab To Eng. Details

RL +5,500
Ground

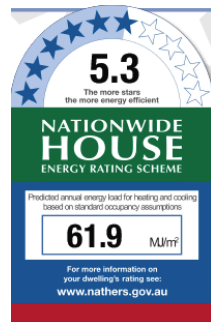
RL +5,500
Ground

New 69kL Pool To Manufacturers
Details

RL +3,400
Basement

RL +3,400
Basement

Natural Ground Level



1

Section Pool
1:100

Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans

**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

NOTES

63 Gondola Road, North Narrabeen is zoned R2 - Low Density Res
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen is not considered a heritage item
Certifying
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Construction

Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number 10164875 & NatHERS No.0003872363-03
All Plans to be read in conjunction with Basix & NatHERS Certificates

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

Key construction and insulation materials

(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R2.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear



**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1286

Water Commitments

Landscape

The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.

Fixtures

The applicant must install showerheads with a minimum rating of 3 star (> 6 but <= 7.5 L/min) in all showers in the development.

The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.

The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.

The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.

Alternative water

Rainwater tank

The applicant must install a rainwater tank of at least 8000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

The applicant must configure the rainwater tank to collect rain runoff from at least 160 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must connect the rainwater tank to:

- all toilets in the development
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

Swimming pool

The swimming pool must not have a volume greater than 69 kilolitres.

Water Commitments

The swimming pool must have a pool cover.

The swimming pool must be outdoors.

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundary setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes



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PO Box 6193 Frenchs Forest
NSW 2086
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Mobile: 0414-945-024
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Project North



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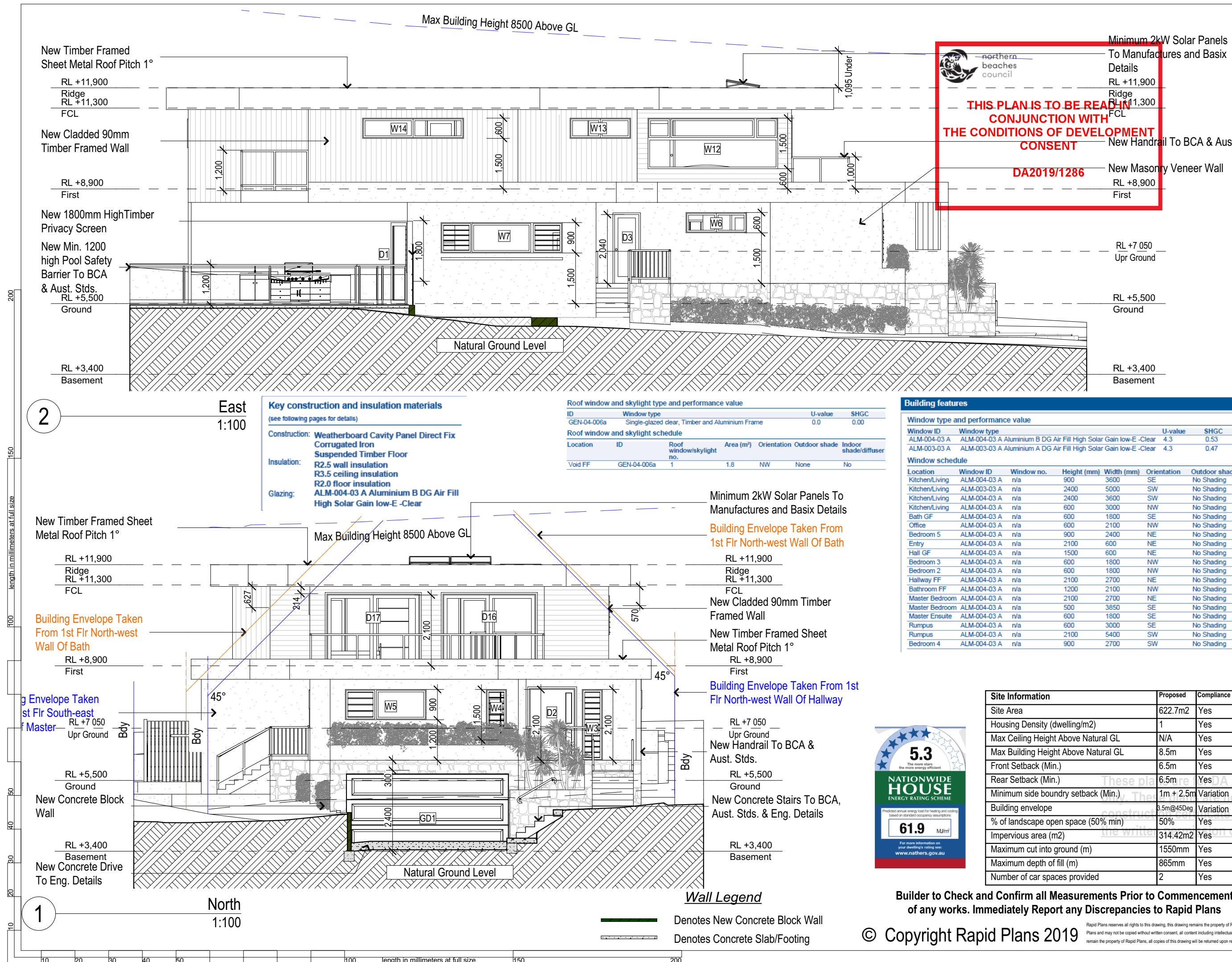
Client:
Greg Beeman

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212
Drawing Title:
Sections - Section Pool
Section Pool

Scale: A3 as noted
Status: DA Rev2
Project No.
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No.
DA3003



2 East 1:100

1 North 1:100

Key construction and insulation materials
(see following pages for details)
Construction: Weatherboard Cavity Panel Direct Fix
Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill
High Solar Gain low-E -Clear

Roof window and skylight type and performance value

ID	Window type	U-value	SHGC
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame	0.0	0.00

Roof window and skylight schedule

Location	ID	Roof window/skylight no.	Area (m²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

Building features

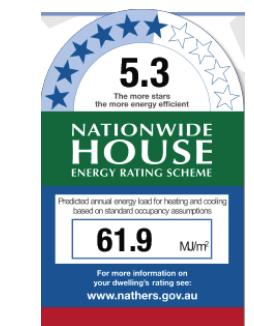
Window type and performance value

Window ID	Window type	U-value	SHGC
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.3	0.53
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.3	0.47

Window schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

Wall Legend
Denotes New Concrete Block Wall
Denotes Concrete Slab/Footing



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Number of car spaces provided	2	Yes

Rapid Plans
Building Design and Architectural Drafting

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BUILDING DESIGNERS AUSTRALIA NSW

NOTES
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Glazing to BCA and AS01288-2047
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Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101
Lot 218 D.P. 16212
Drawing Title:
Elevations - Elevations 1
North, East

Scale: A3 as noted
Status: DA Rev2
Project No:
RP1018BEE

Date: 4/03/20
Checked By: GBJ
Drawing No:
DA4001

NOTES
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Project North

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client: Greg Beeman
Project Name: **New Dwelling**
63 Gondola Road, North Narrabeen 2101
Lot 218 D.P. 16212

Drawing Title:

Elevations - Elevations 2

South, West

Scale: A3 as noted Date: 4/03/20

Status: DA Rev2 Checked By: GBJ

Project No: RP1018BEE

Drawing No. DA4002

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Timber Framed Sheet Metal Roof Pitch 1°
RL +8,900

First
New Masonry Veneer Wall

New Handrail To BCA & Aust. Stds.
RL +6 800
Upr Ground

RL +5,500
Ground



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT DA2019/1286

Minimum 2kW Solar Panels To Manufactures and Basix Details

RL +11,900
Ridge
RL +11,300
FCL

Building Envelope Taken From 1st Flr South-west Wall Of Bed 4

RL +8,900
First

New Masonry Veneer Wall

New Masonry Wall

RL +5,500
Ground

New Concrete Slab To Eng. Details

RL +3,400
Basement

1

South
1:100

Max Building Height 8500 Above GL

New Timber Framed Sheet Metal Flat Roof

RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Masonry Wall
RL +8,900
First

New Steel Post To Eng. Details

RL +6 800
Upr Ground

RL +5,500
Ground

Natural Ground Level

Roof window and skylight type and performance value						
ID	Window type			U-value	SHGC	
GEN-04-006a	Single-glazed clear, Timber and Aluminium Frame			0.0	0.00	
Roof window and skylight schedule						
Location	ID	Roof window/skylight no.	Area (m ²)	Orientation	Outdoor shade	Indoor shade/diffuser
Void FF	GEN-04-006a	1	1.8	NW	None	No

Key construction and insulation materials
(see following pages for details)

Construction: Weatherboard Cavity Panel Direct Fix Corrugated Iron
Suspended Timber Floor
Insulation: R2.5 wall insulation
R3.5 ceiling insulation
R2.0 floor insulation
Glazing: ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear

Building features

Window type and performance value				
Window ID	Window type	U-value	SHGC	
ALM-004-03 A	ALM-004-03 A Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.3	0.53	
ALM-003-03 A	ALM-003-03 A Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.3	0.47	

Window schedule						
Location	Window ID	Window no.	Height (mm)	Width (mm)	Orientation	Outdoor shade
Kitchen/Living	ALM-004-03 A	n/a	900	3600	SE	No Shading
Kitchen/Living	ALM-003-03 A	n/a	2400	5000	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	2400	3600	SW	No Shading
Kitchen/Living	ALM-004-03 A	n/a	600	3000	NW	No Shading
Bath GF	ALM-004-03 A	n/a	600	1800	SE	No Shading
Office	ALM-004-03 A	n/a	600	2100	NW	No Shading
Bedroom 5	ALM-004-03 A	n/a	900	2400	NE	No Shading
Entry	ALM-004-03 A	n/a	2100	600	NE	No Shading
Hall GF	ALM-004-03 A	n/a	1500	600	NE	No Shading
Bedroom 3	ALM-004-03 A	n/a	600	1800	NW	No Shading
Bedroom 2	ALM-004-03 A	n/a	600	1800	NW	No Shading
Hallway FF	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Bathroom FF	ALM-004-03 A	n/a	1200	2100	NW	No Shading
Master Bedroom	ALM-004-03 A	n/a	2100	2700	NE	No Shading
Master Bedroom	ALM-004-03 A	n/a	500	3850	SE	No Shading
Master Ensuite	ALM-004-03 A	n/a	600	1800	SE	No Shading
Rumpus	ALM-004-03 A	n/a	600	3000	SE	No Shading
Rumpus	ALM-004-03 A	n/a	2100	5400	SW	No Shading
Bedroom 4	ALM-004-03 A	n/a	900	2700	SW	No Shading

New Timber Framed Sheet Metal Roof Pitch 1°
RL +11,900
Ridge
RL +11,300
FCL

New Cladded 90mm Timber Framed Wall

New Handrail To BCA & Aust. Stds.
RL +8,900
First
Building Envelope Taken From 1st Flr South-east Wall Of Living Room

New 1800mm High Timber Privacy Screen
New Min. 1200 high Pool Safety Barrier To BCA & Aust. Stds.
RL +5,500
Ground

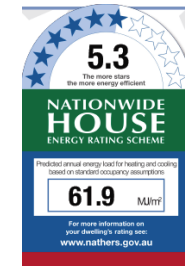
New Concrete Block Retaining Wall To Eng. Details

RL +3,400
Basement

New 69kL Pool To Manufacturers Details

Wall Legend

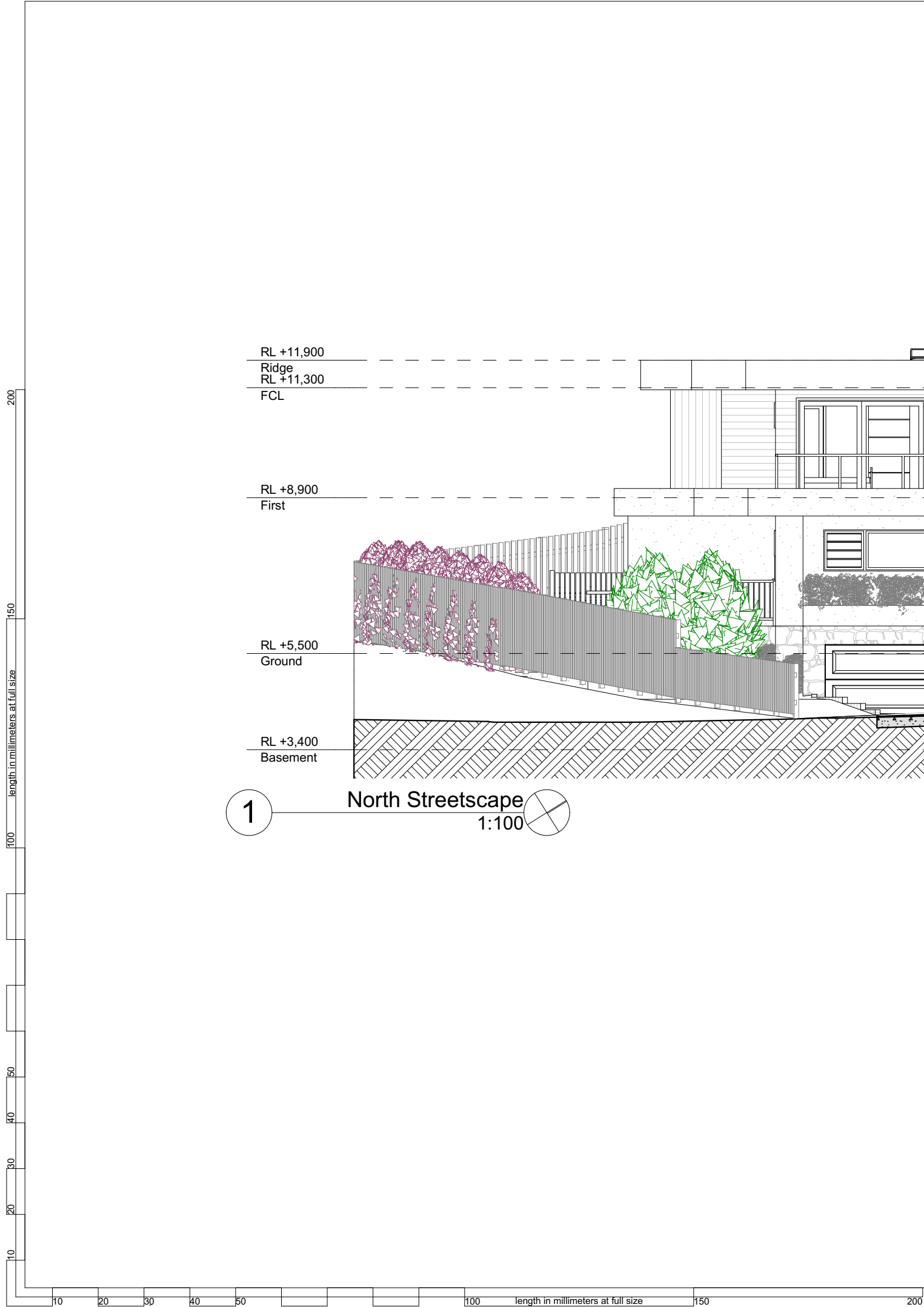
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Concrete Slab/Footing



Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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northern
beaches
council

**THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT**

DA2019/1286

Site Information	Proposed	Compliance
Site Area	622.7m2	Yes
Housing Density (dwelling/m2)	1	Yes
Max Ceiling Height Above Natural GL	N/A	Yes
Max Building Height Above Natural GL	8.5m	Yes
Front Setback (Min.)	6.5m	Yes
Rear Setback (Min.)	6.5m	Yes
Minimum side boundry setback (Min.)	1m + 2.5m	Variation
Building envelope	3.5m@45Deg	Variation
% of landscape open space (50% min)	50%	Yes
Impervious area (m2)	314.42m2	Yes
Maximum cut into ground (m)	1550mm	Yes
Maximum depth of fill (m)	865mm	Yes
Number of car spaces provided	2	Yes

**Builder to Check and Confirm all Measurements Prior to Commencement
of any works. Immediately Report any Discrepancies to Rapid Plans**

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Rapid Plans www.rapidplans.com.au
PO Box 6193 Frenchs Forest DC NSW 2086
Fax : (02) 9905-8865
Mobile: 0414-945-024
Email : gregg@rapidplans.com.au



NOTES
63 Gondola Road, North Narrabeen is zoned R2 - Low
Density Res.
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
63 Gondola Road, North Narrabeen
is not considered a heritage item

Construction
Timber and Concrete, Timber and Masonry Walls
Roof Timber to have R5.0 Insulation
Insulation to External Timber and Masonry Walls R2.5
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact
fluorescent lamps
All workmanship and materials shall be in accordance
with the requirements of Building Codes of Australia.

Certifying
The DA Application Only plans are for DA
Application purposes only. These plans are not to be
used for the construction certificate application by
any Certifying Authority without the written
permission of Rapid Plans or the supply of
authorised Construction Certificate drawings by
Rapid Plans

Basix
Basix Certificate Number 1016487S & NatHERS
No.0003872363-03
All Plans to be read in conjunction with Basix &
NatHERS Certificates
The applicant must construct the new or altered
construction (floor(s), walls, and ceilings/roofs) in
accordance with the specifications listed in
the table below, except that a) additional insulation
is not required where the area of new construction
is less than 2m², b) insulation specified
is not required for parts of altered construction
where insulation already exists.
The applicant must install the windows, glazed
doors and shading devices, in accordance with
the specifications listed in the table below.
Relevant overshadowing specifications must be
satisfied for each window and glazed door.
For projections described in millimetres, the
leading edge of each eave, pergola, verandah,
balcony or awning must be no more than 500 mm
above the head of the window or glazed door and
no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of
the height and distance from the centre and the
base of the window and glazed door.



**DA APPLICATION
ONLY
NOT FOR CONSTRUCTION**

The builder shall check and verify all
dimensions and verify all errors and omissions to the
Designer. Do not scale the drawings. Drawings shall
not be used for construction purposes until issued
by the Designer for construction.

Client
Greg Beeman
Project Name
New Dwelling
63 Gondola Road, North Narrabeen
2101

Lot 218 D.P. 16212

Drawing Title:

Elevations - E/05 North Streetscape

North Streetscape

Scale: A3 as noted Date: 4/03/20

Status: DA Rev2 Checked By: GBJ

Project No: Drawing No:

RP1018BEE DA4003