

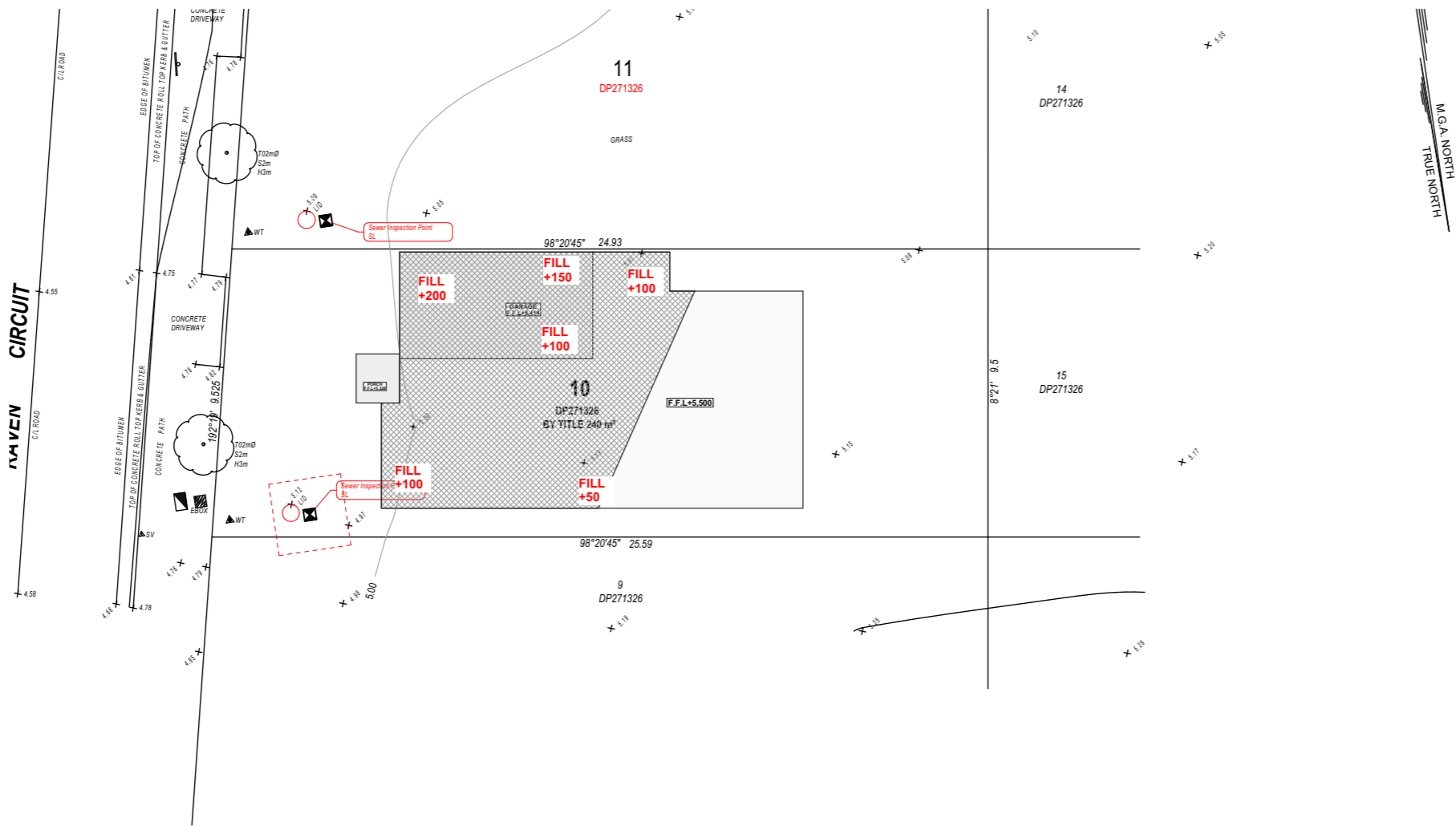
Cut and Fill is only under Slab.
Cut and Fill on the site is minimal, Hence does not
required Retaining wall.



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DA2025/0124



Cut and Fill Plan
1:200



BEFORE
YOU DIG

www.byda.com.au

Zero Damage - Zero Harm

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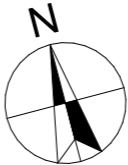
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BUILDING DESIGNER

B	19/05/2025	Changes as per Council Letter
A	24/01/2025	Issue for DA



DRAWING : **Cut and Fill Plan**

CLIENT : **Skymark Luxury Living Pty Ltd**

PROJECT : **DOUBLE STOREY DWELLING**
#10,Raven circuit,Warriewood
Lot-10 D.P 271326

DRAWN BY:
GS

SCALE:
1:200

PAGE SIZE
A3

DATE :
19/05/2025

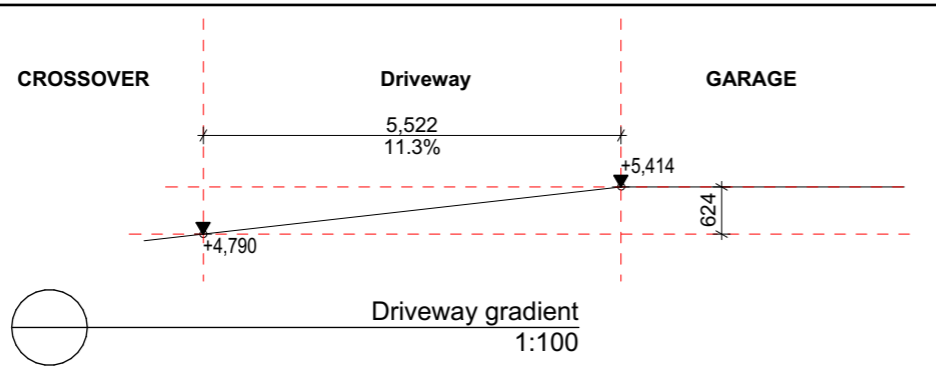
APPLICATION :
DA

PAGE NO:
3

PROJECT NO.
2411 791

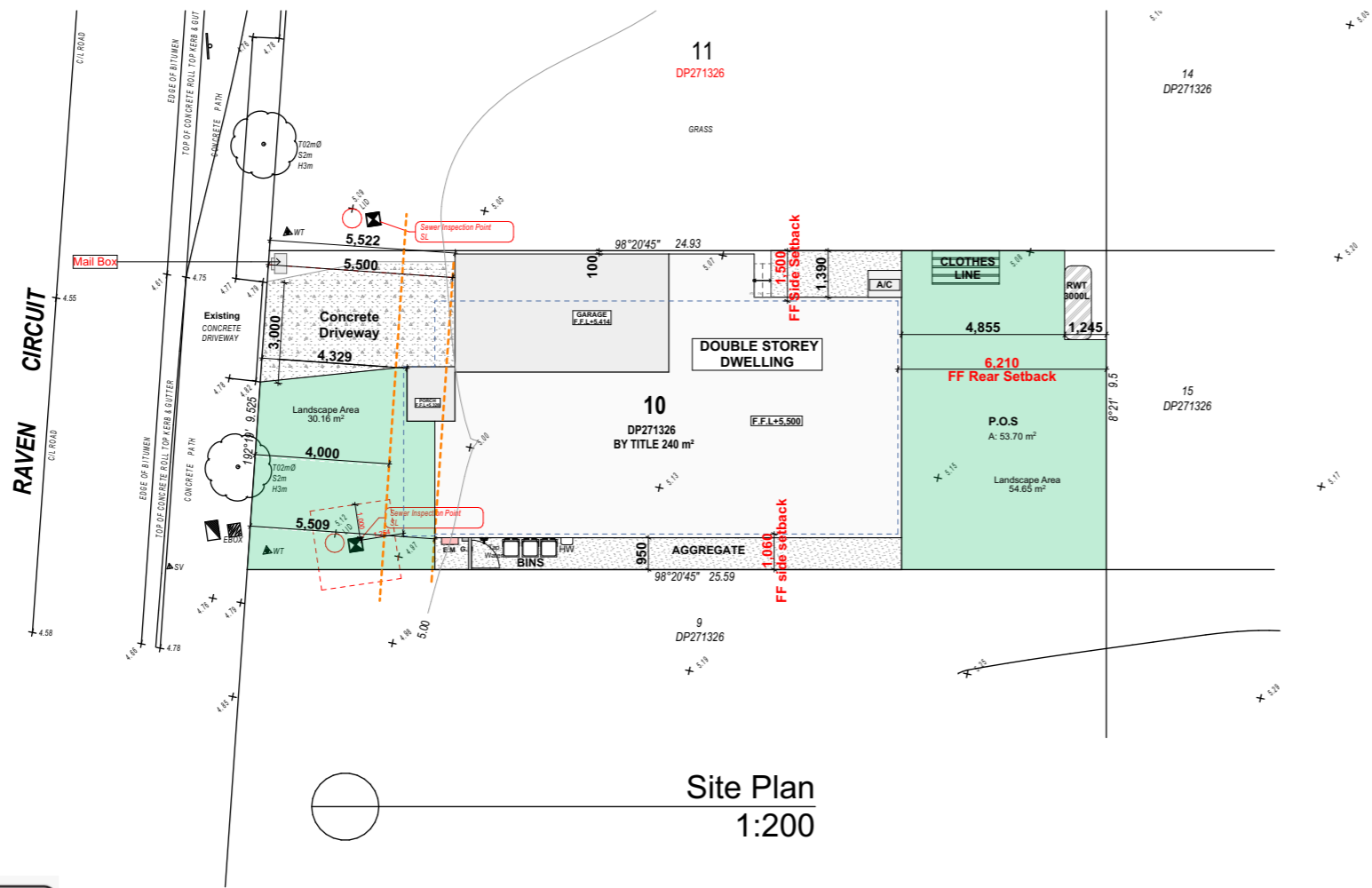
ISSUE
B

SITE CALCUALTIIONS		
No.	Name	Area SQM
01	Site Area	240.00
02	Landscape Area	84.81




























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SURVEY LEGEND

SUBJECT BOUNDARY	
ADJOINING BOUNDARY	
EASEMENT	
CONTOUR MAJOR	
CONTOUR MINOR	
BUILDING LINE	
GUTTER LINE	
RIDGE LINE	
FENCE	
TOP KERB	
BOTTOM KERB	
OVERHEAD POWER	
WALL	
TOP OF BANK	
BOTTOM OF BANK	
TOP OF ROCK	
BOTTOM OF ROCK	

LEGEND		
Ref.img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).

<u>SYMBOLS</u>	<u>ABBREVIATIONS</u>
BENCHMARK	B = BOTTOM NUMBERS
ELECTRICITY BOX	BM = BENCHMARK
GATE	EL = ELECTRICAL POLE
IGN	FF = FIRST FLOOR
HYDRANT	FL = FLOOR LEVEL
KEB OUTLET/L	G = GAS VALVE
MAIL	GF = GROUND FLOOR
STOP VALVE	GM = GAS METER
WASTEWATER CONTROL PIT	GU = GUTTER RL
WASTEWATER CONTROL TANK	H = HYDRANT
WATER METER	IL = INVERT LEVEL
WATER TAP	KO = KEB OUTLET
POWER POLE	LH = LIGHT POLE
SEWER MANHOLE	MB = MAIL BOX
S/N GRATE	PP = POWER POLE
TELSTRA PIT	R = ROOF LINE
UNCLASSIFIED PIT	RL = REDUCED LEVEL
TREE & TRUNK	RR = ROOF RIDGE
	S = SEWER CONNECTION
	SL = SECOND FLOOR
	SL = SURFACE LEVEL
	SV = STOP VALVE
	SVP = SEWER INLET PIPE
	T = TOP WINDOWS
	TW = TOP OF WALL
	WT = WATER TAP
	WM = WATER METER



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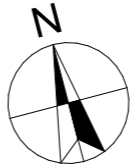
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DRAWING : Site Plan

CLIENT : Skymark Luxury Living Pty Ltd

PROJECT : DOUBLE STOREY DWELLING
#10,Raven circuit,Warriewood
Lot-10 D.P 271326

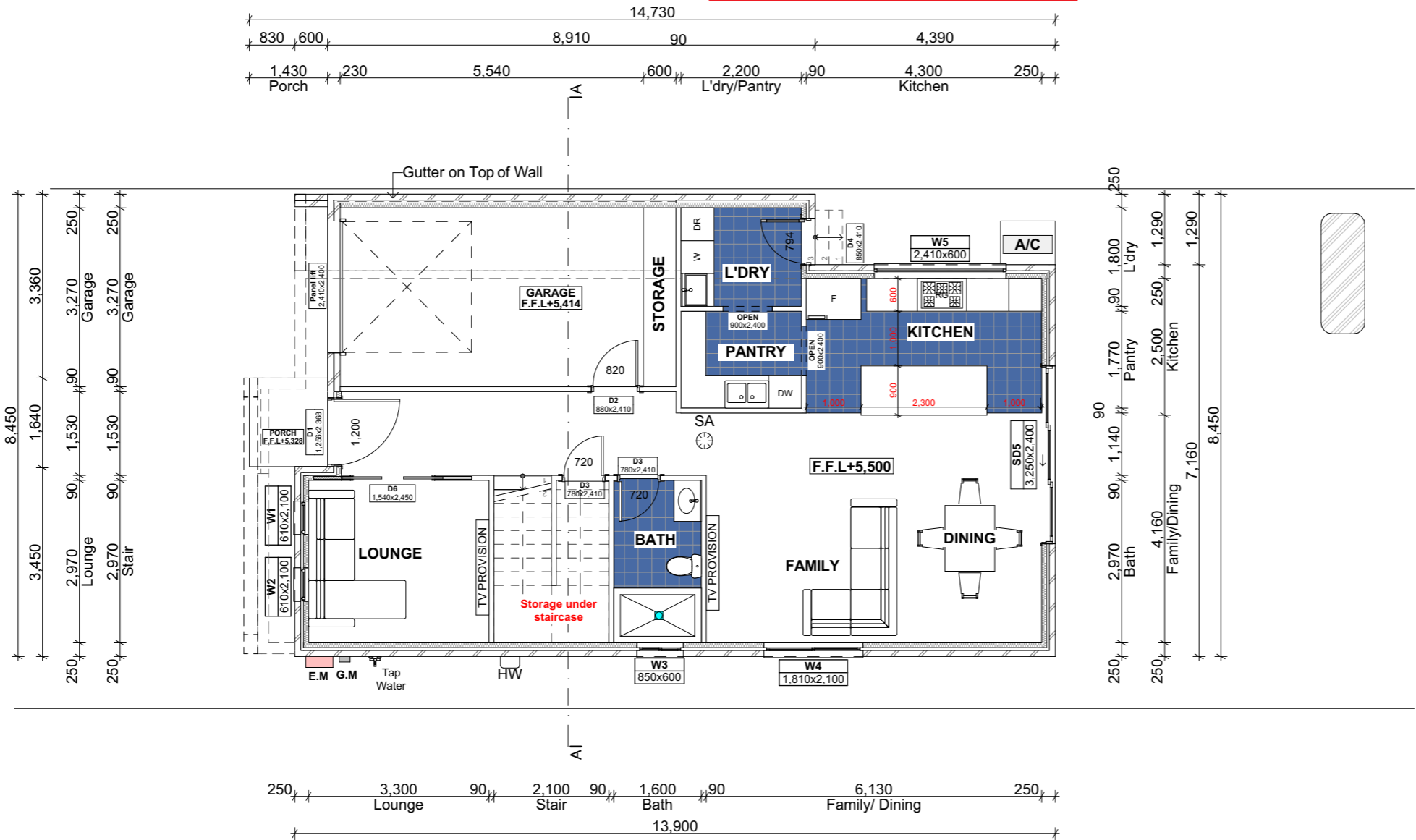
DRAWN BY: GS	DATE : 19/05/2025	PROJECT NO. 2411 791
SCALE: 1:200	APPLICATION : DA	ISSUE
PAGE SIZE A3	PAGE NO: 4	B

External Walls with vapour permeable membrane as per manufacturer detail.



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0.

Ground Floor
1:100

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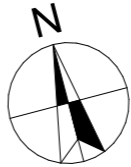
LEGEND		
Ref.img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).



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DRAWING : **Ground Floor Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#10,Raven circuit,Warriewood
Lot-10 D.P 271326

DRAWN BY: GS
SCALE: 1:100
PAGE SIZE: A3
DATE : 19/05/2025
APPLICATION : DA
PAGE NO: 5
PROJECT NO. 2411 791
ISSUE B

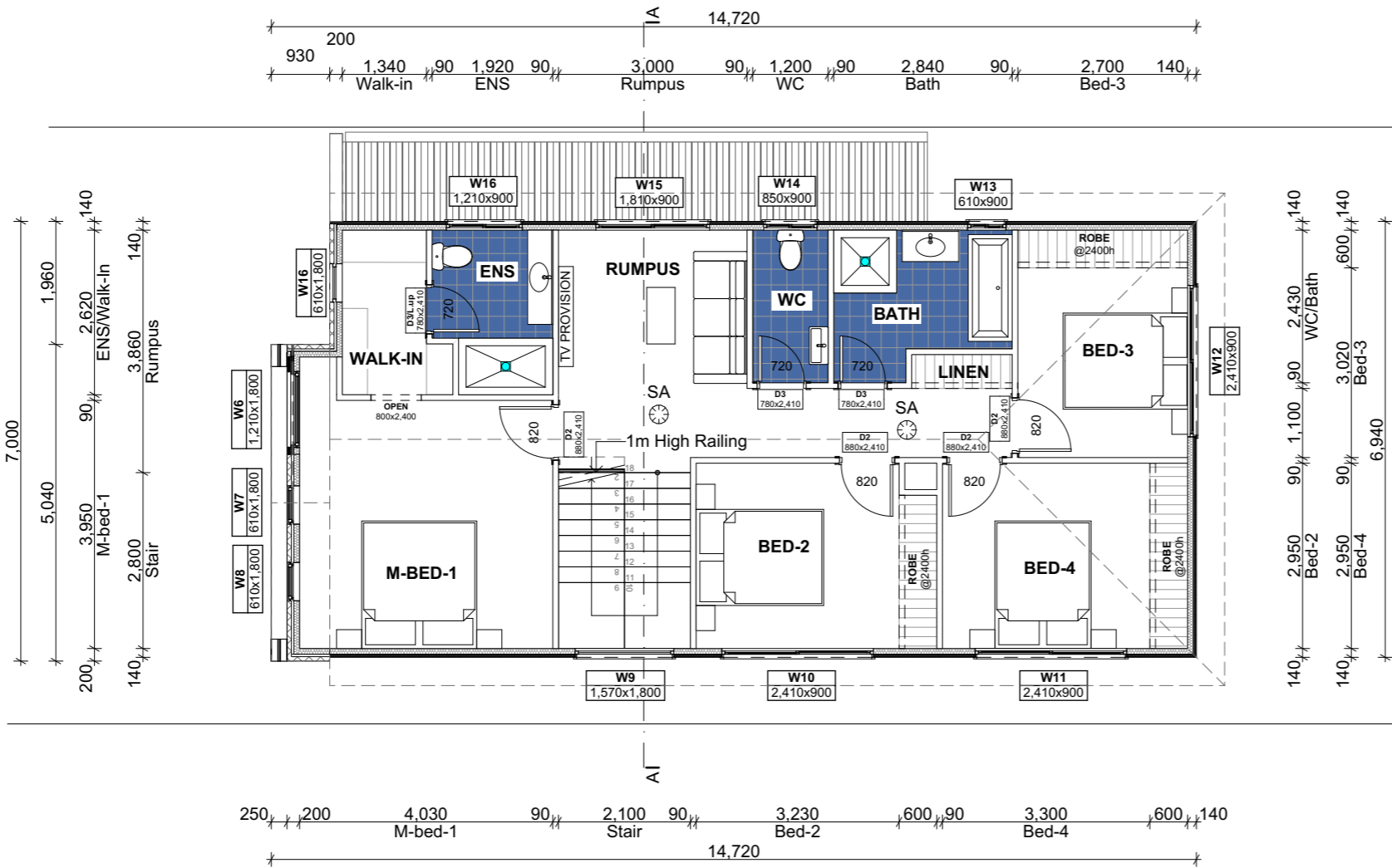
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Selected Cladding with vapour permeable membrane as per manufacturer detail.



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2.

First Floor
1:100



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LEGEND		
Ref.img	Mark	Name
	S.A	Smoke Alarm (AS3786 Hard Wired to Mains)
	R.W.T	Rain Water Tank
	E.M	Electric Meter
	A/C	Air Conditioner
	HW	Wall Mounted Hot water System
	P.O.S	Private Open Space
	FW	Floor Waste
	MV	Mechanical Ventilation (All vent to exhaust outside).
	ME	Mechanical Ventilation (All vent to exhaust outside).

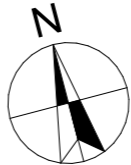
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DRAWING : **First Floor Plan**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#10,Raven circuit,Warriewood
Lot-10 D.P 271326

DRAWN BY: GS
SCALE: 1:100
PAGE SIZE: A3
DATE : 19/05/2025
APPLICATION : DA
PAGE NO: 6
PROJECT NO. 2411 791
ISSUE **B**

Fig. 10.8.3(explanatory)Example of roof space with low level ventilation

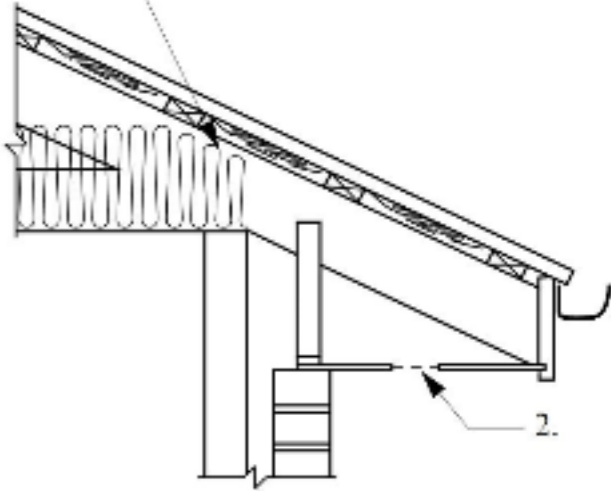
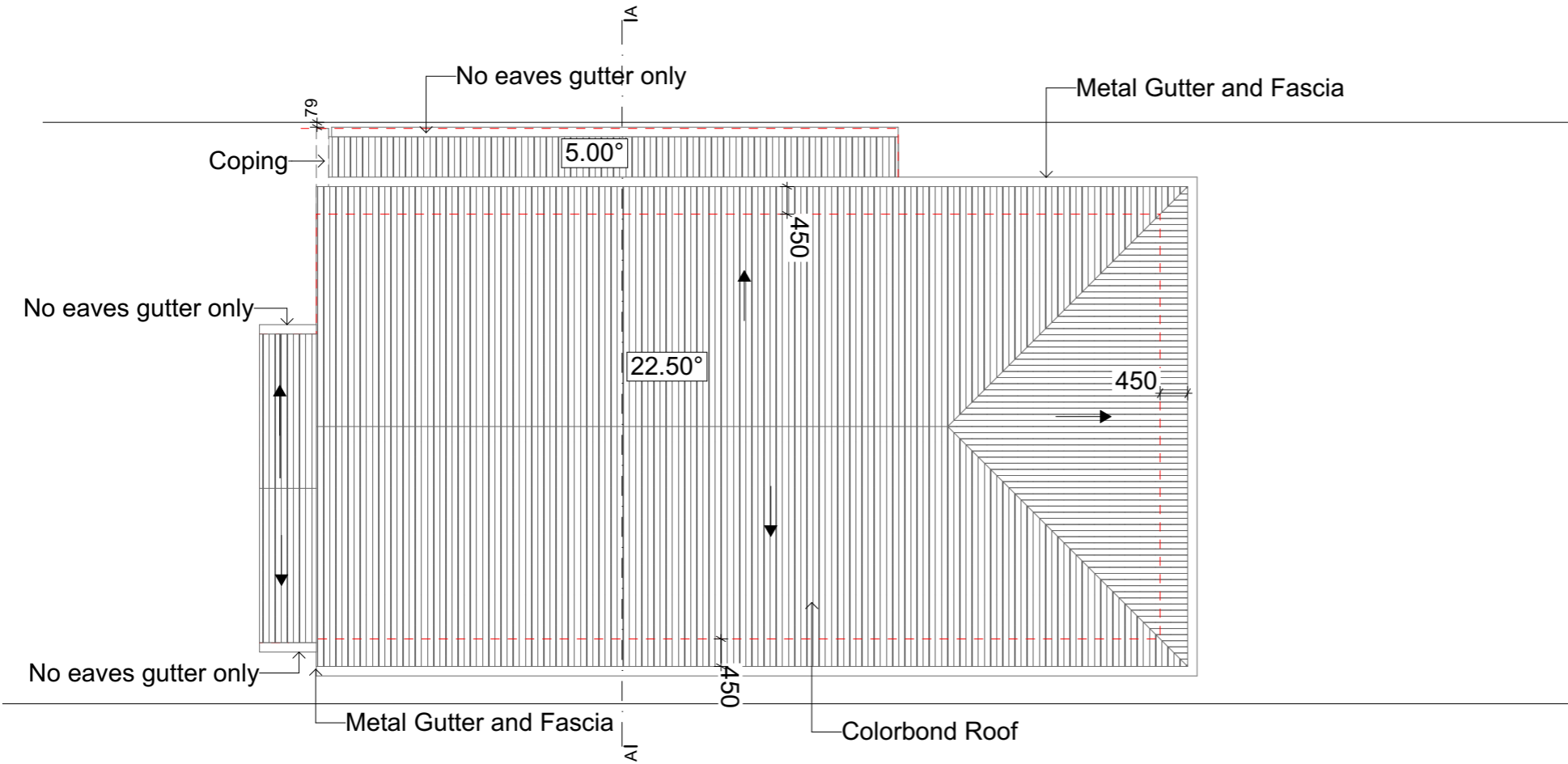


Figure Notes
1. Min 20 mm gap maintained between insulation and sarking
2. Eave ventilation opening in accordance with Table 10.8.3.



3. Roof
1:100





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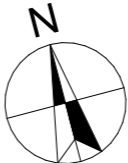
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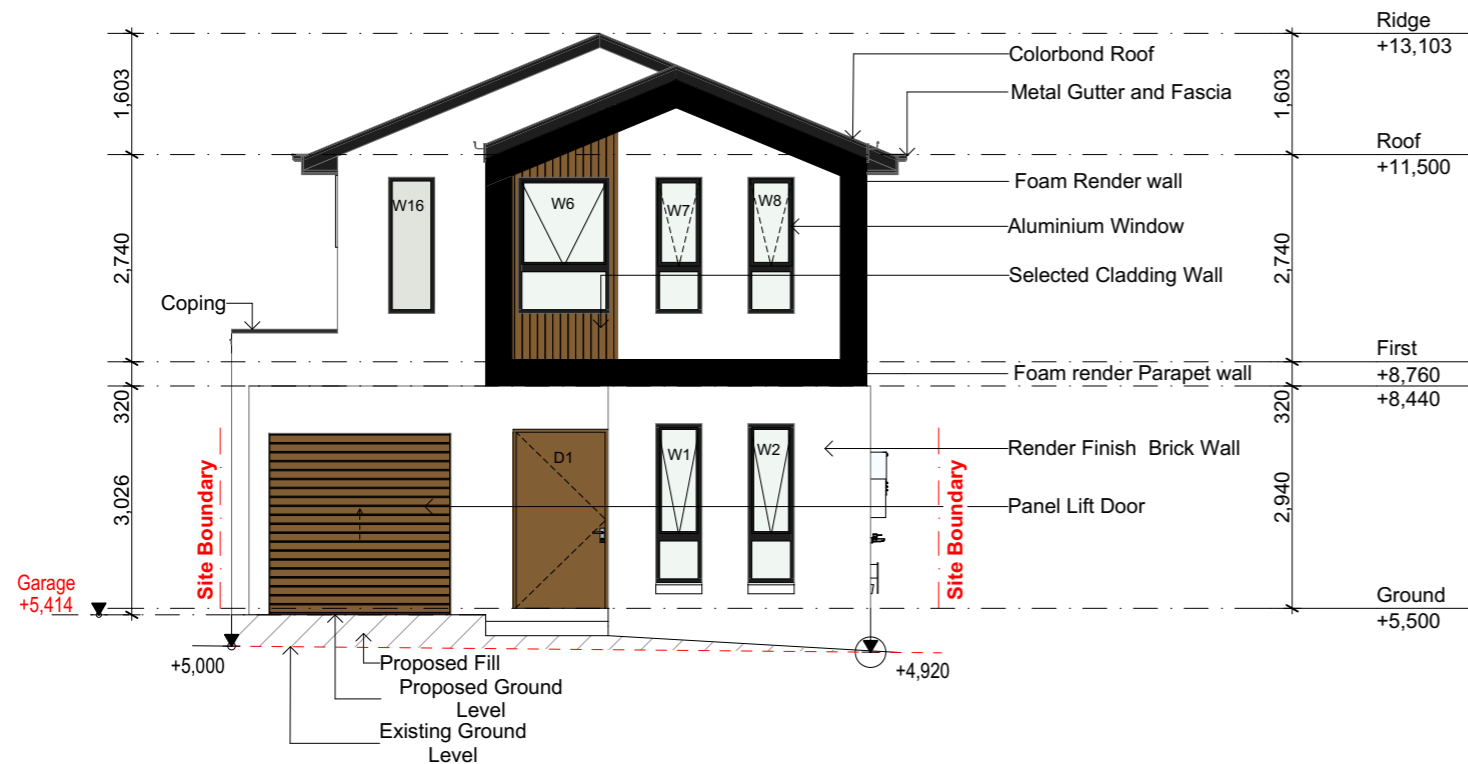
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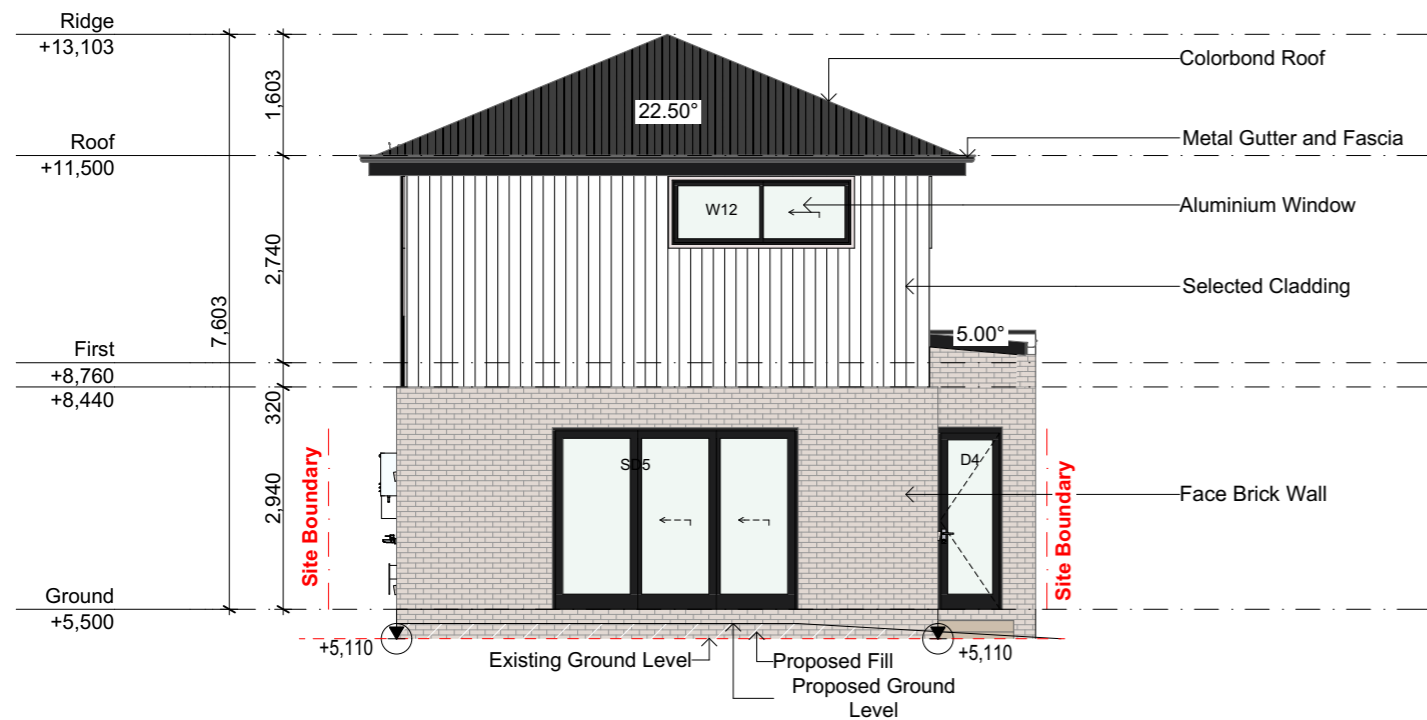


DRAWING :	Roof Plan
CLIENT :	Skymark Luxury Living Pty Ltd
PROJECT :	DOUBLE STOREY DWELLING #10,Raven circuit,Warriewood Lot-10 D.P 271326

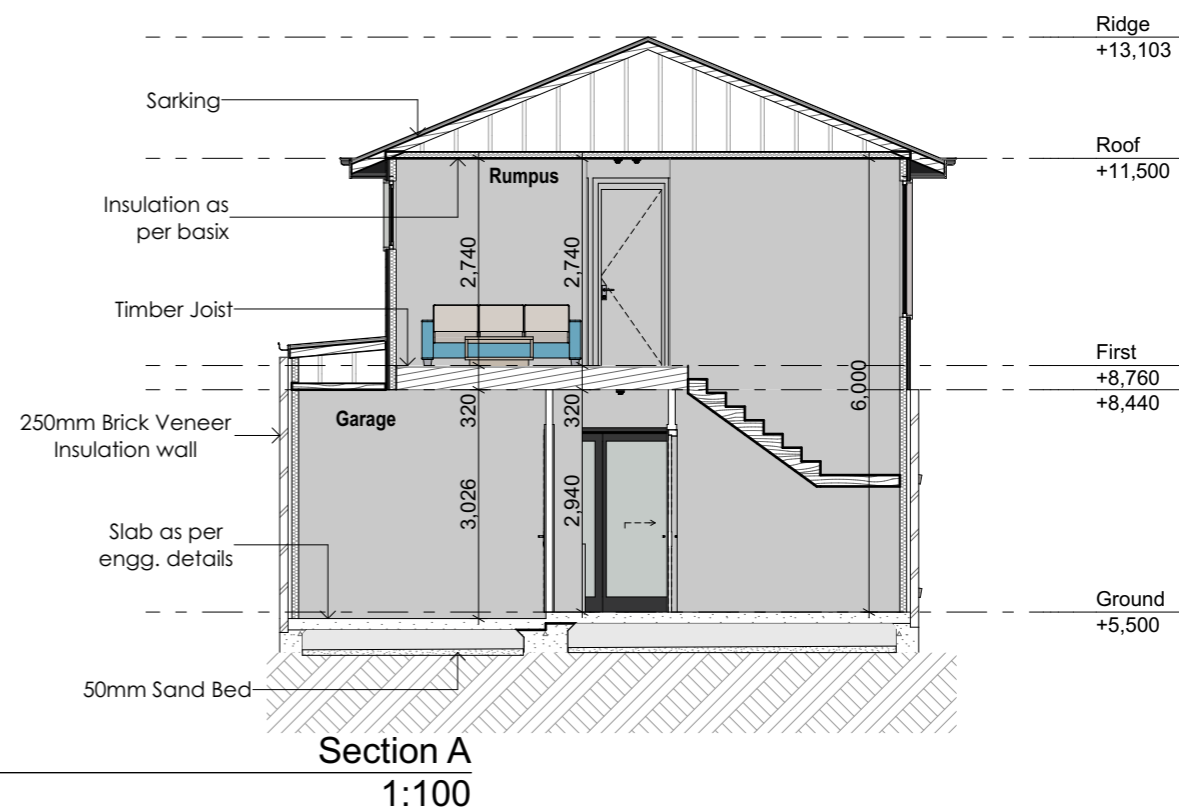
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GS	19/05/2025	2411 791
SCALE:	APPLICATION :	ISSUE
1:100	DA	B
PAGE SIZE	PAGE NO:	
A3	7	



1 West Elevation (Front)
1:100



2 East Elevation (Rear)
1:100



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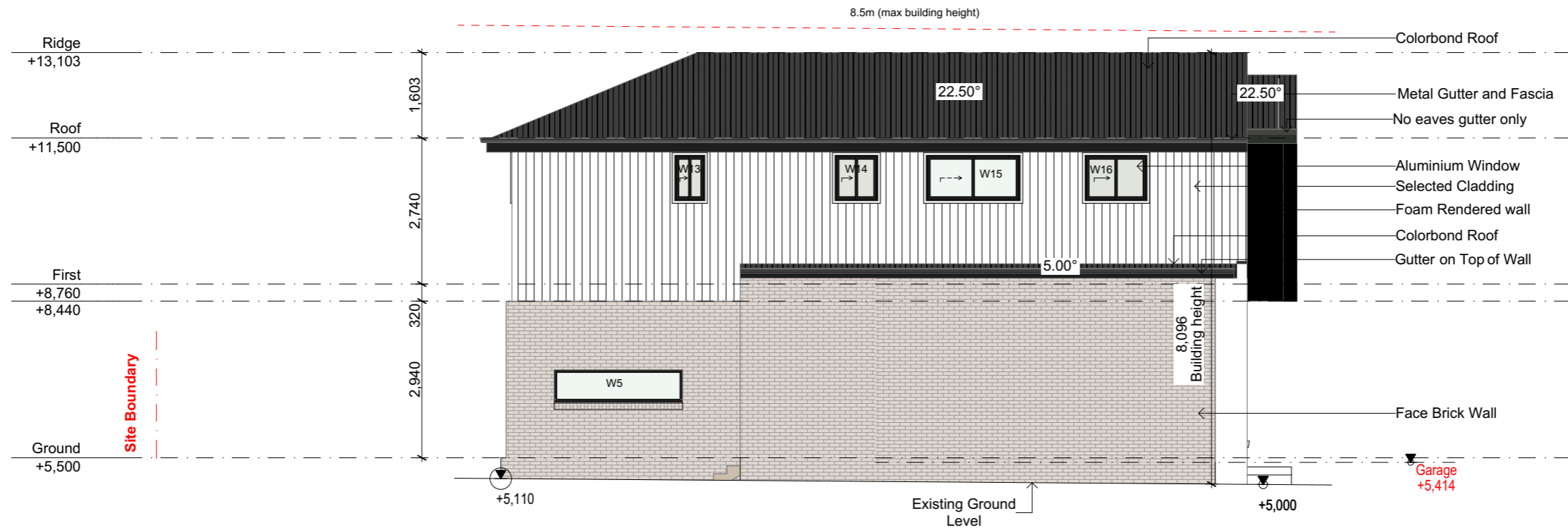


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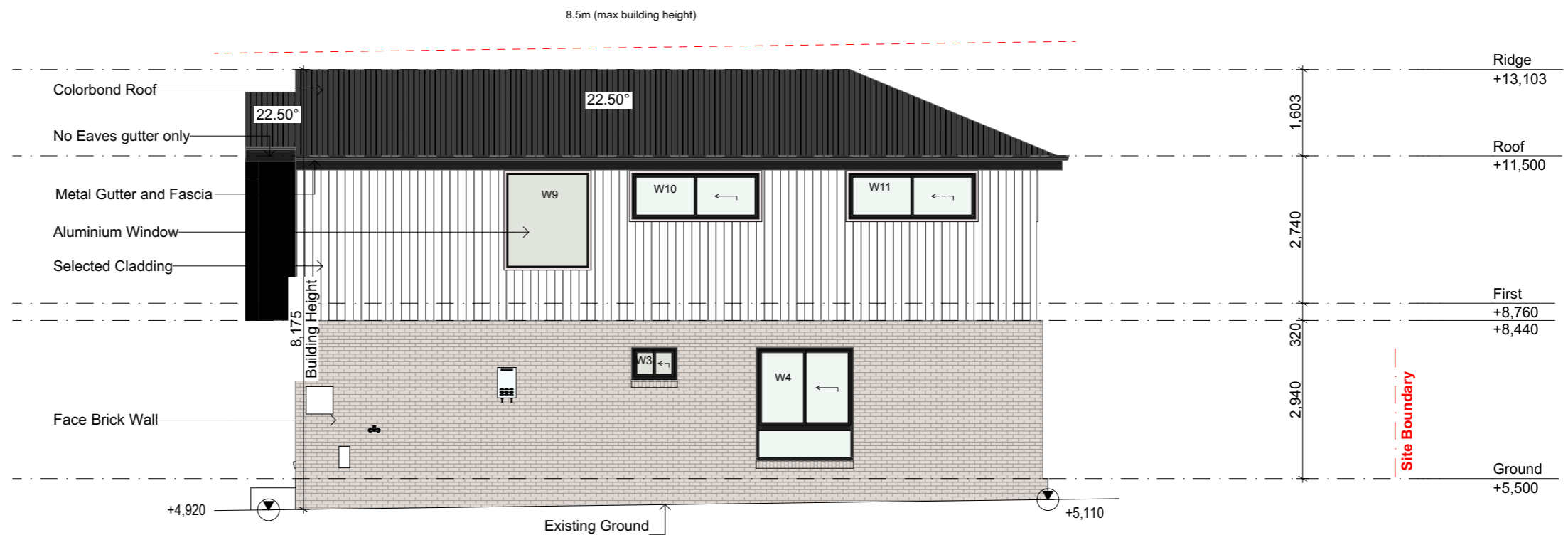
DRAWING : Elevations & Section
CLIENT : Skymark Luxury Living Pty Ltd
PROJECT : DOUBLE STOREY DWELLING
#10, Raven circuit, Warriewood
Lot-10 D.P 271326

DRAWN BY: GS
SCALE: 1:100
PAGE SIZE: A3
DATE : 19/05/2025
APPLICATION : DA
PAGE NO: 8

PROJECT NO. 2411 791
ISSUE B



3 North Elevation (left Side)
1:100



4 South Elevation (Right Side)
1:100

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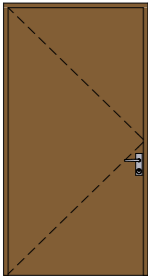
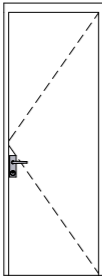
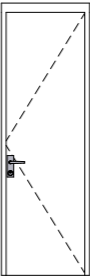
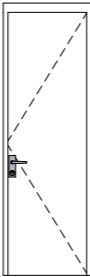
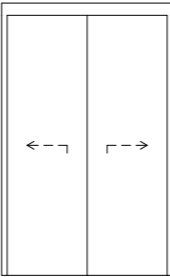




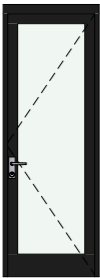
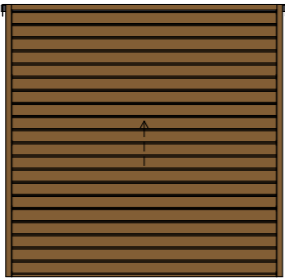
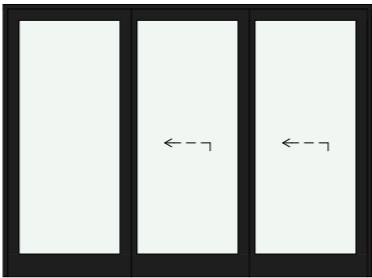
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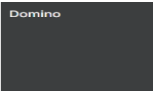

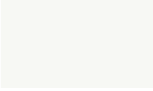




DRAWING : **Side Elevations**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#10, Raven circuit, Warriewood
Lot-10 D.P 271326

DRAWN BY: GS
SCALE: 1:100
PAGE SIZE A3
DATE : 19/05/2025
APPLICATION : DA
PAGE NO: 9

PROJECT NO. **2411 791**
ISSUE **B**

Door Shedule							
Element ID	D1	D2	D3	D3/L.up	D6	OPEN	OPEN
Wallhole Dimensions (W x H)	1,256×2,368	880×2,410	780×2,410	780×2,410	1,540×2,450	800×2,400	900×2,400
Leaf Dimensions	1,200×2,340	820×2,340	720×2,340	720×2,340	1,440×2,340	---	---
Elevation							
Quantity	1	5	4	1	1	1	2
Position	Exterior	Interior	Interior	Interior	Interior	Interior	Interior

Aluminium Door Schedule			
ID	D4	Panel lift	SD5
Frame Dimensions (W X H)	850×2,410	2,410×2,400	3,250×2,400
Elevation			
QTY	1	1	1
Position	Exterior	Exterior	Exterior

SCHEDULE OF FINISHES		
ELEMENT	SPECIFICATION	COLOUR
Walls		PGH Bricks- Botanicals- Sandalwood
Feature Wall		Dulux-Domino
F.F Walls		James hardie- Axon cladding 133mm smooth- Vivid white
Render Color Facade		Dulux-Vivid White
Window		Monument
Roof		Colorbond- Monument
Gutter		Monument
Fascia		Monument



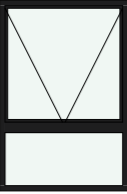




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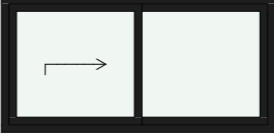
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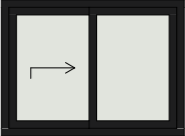

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Window Schedule					
ID	W1	W2	W3	W4	W5
Frame Dimensions	610×2,100	610×2,100	850×600	1,810×2,100	2,410×600
Elevation					
Glass	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Clear	Glass - Clear
QTY	1	1	1	1	1

Window Schedule					
ID	W6	W7	W8	W9	W10
Frame Dimensions	1,210×1,800	610×1,800	610×1,800	1,570×1,800	2,410×900
Elevation					
Glass	Glass - Clear	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Clear
QTY	1	1	1	1	1

Window Schedule					
ID	W11	W12	W13	W14	W15
Frame Dimensions	2,410×900	2,410×900	610×900	850×900	1,810×900
Elevation					
Glass	Glass - Clear	Glass - Clear	Glass - Obscure	Glass - Obscure	Glass - Clear
QTY	1	1	1	1	1

Window Schedule		
ID	W16	W16
Frame Dimensions	1,210×900	610×1,800
Elevation		
Glass	Glass - Obscure	Glass - Obscure
QTY	1	1

NOTE:
- TO BE CHECKED AND CONFIRMED BY BUILDER ON SITE BEFORE PLACING ORDER.
- FALL PREVENTION FROM WINDOWS
- WINDOWS TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF BCA CLAUSE 3.9.2.5
1- If Opening withing 1700mm above the floor; and climable elements between 150 and 750 mm above the floor, opening must be permanently restricted to 125mm; or fitted with a non-removable robust screen.
2-If opening between 865 and 1700mm above the floor; and no climable elements between 150 and 760mm bove the floor, opening must be restricted to 125mm; or fitted with a removable robust screen.
3- If opening between 865 of the floor; and climable elements between 150 and 760mm above the floor;or fitted with a non-removable robust screen.
4-If no opening within 1700mm of the floor. No restrictions apply.

Part 3.9.2.6 Protection of openable windows - bedrooms
(a) A window opening in a bedroom must be provided with protection, where the floor below the window is 2 m or more above the surface beneath.
(b) Where the lowest level of the window opening covered by (a) is less than 1.7 m above the floor, the window opening must comply with the following:
(i) The openable portion of the window must be protected with-
(A) a device capable of restricting the window opening; or
(B) a screen with secure fittings;
(ii) A device or screen required by (i) must-
(A) not permit a 125 mm sphere to pass through the window opening or screen; and
(B) resist an outward horizontal action of 250 N against the-
(aa) window restrained by a device; or
(bb) screen protecting the opening; and
(C) have a child resistant release mechanism if the screen or device is able to be removed, unlocked or overridden.
(c) Where a device or screen provided in accordance with (b)(i) is able to be removed, unlocked or overridden, a barrier with a height not less than 865 mm above the floor is required to the openable window in addition to window protection.
(d) A barrier covered by (c) must not-
(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.

3.9.2.7 Protection of openable windows - rooms other than bedrooms
(a) A window opening in a room other than a bedroom must be provided with protection where the floor below the window is 4 m or more above the surface beneath.
(b) The openable part of the window covered by (a) must be protected with a barrier with a height of not less than 865 mm above the floor.
(c) A barrier required by (b) must not-
(i) permit a 125 mm sphere to pass through it; and
(ii) have any horizontal or near horizontal elements between 150 mm and 760 mm above the floor that facilitate climbing.



northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

DA2025/0124

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NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the building designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Innovative Eco Designs and is to be used only for work when authorised in writing by Innovative Eco Designs.
All boundaries and contours are subject to survey drawing. All levels to Australian Height Data. It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
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B	19/05/2025	Changes as per Council Letter
A	24/01/2025	Issue for DA

DRAWING : **Windows Schedule**
CLIENT : **Skymark Luxury Living Pty Ltd**
PROJECT : **DOUBLE STOREY DWELLING**
#10,Raven circuit,Warriewood
Lot-10 D.P 271326

DRAWN BY:
GS
SCALE:
PAGE SIZE
A3
DATE :
19/05/2025
APPLICATION :
DA
PAGE NO:
11

PROJECT NO.
2411 791
ISSUE
B

LEGEND

Existing trees to be retained

Proposed tree plantings

Proposed shrub plantings

Proposed groundcover plantings

Concrete driveway / path pavement

Non slip tiles pavement

Proposed garden bed

Proposed garden bed in open OSD with no floating mulch

Proposed turf area

Porous decorative pebble surface

Timber garden edge

Unit paver stepping stones

SPECIFICATION NOTES

PLANTING MATERIALS

Planting Mix:
Imported planting mix to planting beds is to comprise an approved soil mix of:

- 60% Soil mix (75% coarse sand and 25% blacksoil)
- 10% Mushroom compost
- 10% Composted sawdust
- 10% Pine bark fines
- 10% Composted manure

Mulch:
Mulch shall mean hardwood (25mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded hardwood mulch to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

Plant Material:
All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

Plants are available from **Andreasens Green** wholesale nursery, contact Darren (02) 8777 4713, email darren@andreasensgreen.com.au or approved equivalent.

Turfed areas:
All new turf areas are to be selected weed free Soft Leaf Buffalo. Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points. All new turf area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

PREPARATION AND HARDWORKS

Excavating for Spot Planting
To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

Staking
Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.

- 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie

TIES: Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

Loose Nepean River Pebble
MATERIAL: Nepean river pebble gravel to be of uniform size or graded material in the size 20mm grade to nominal 75mm thickness as available from Australian Native Landscapes. Ph: (02) 9450 1444.

Timber Edge
MATERIAL: Timber edging shall consist of:
Edging: 100 x 50mm hardwood
Pegs: 50 x 50 x 400mm hardwood.
Fastenings: to be 75x3.75mm diam. galvanised nails
INSTALLATION: Setout alignment of timber edges on site for approval of Superintendent. Excavate to approved alignment and place edge band within trench to confirm peg locations. Install pegs and affix timber edge in accordance with details. All timber edging to finish flush with adjoining turf.

MAINTENANCE / PLANT ESTABLISHMENT

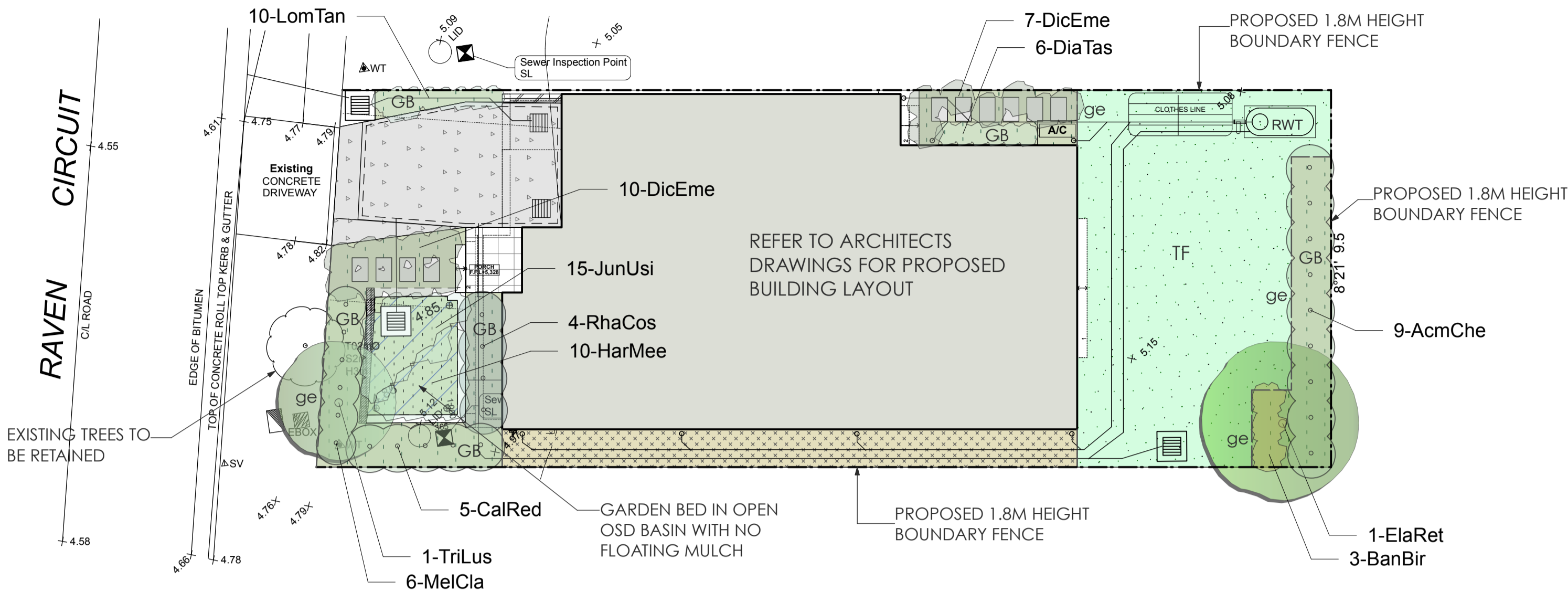
- Landscape Contractors to provide 12 months for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

NOTE:

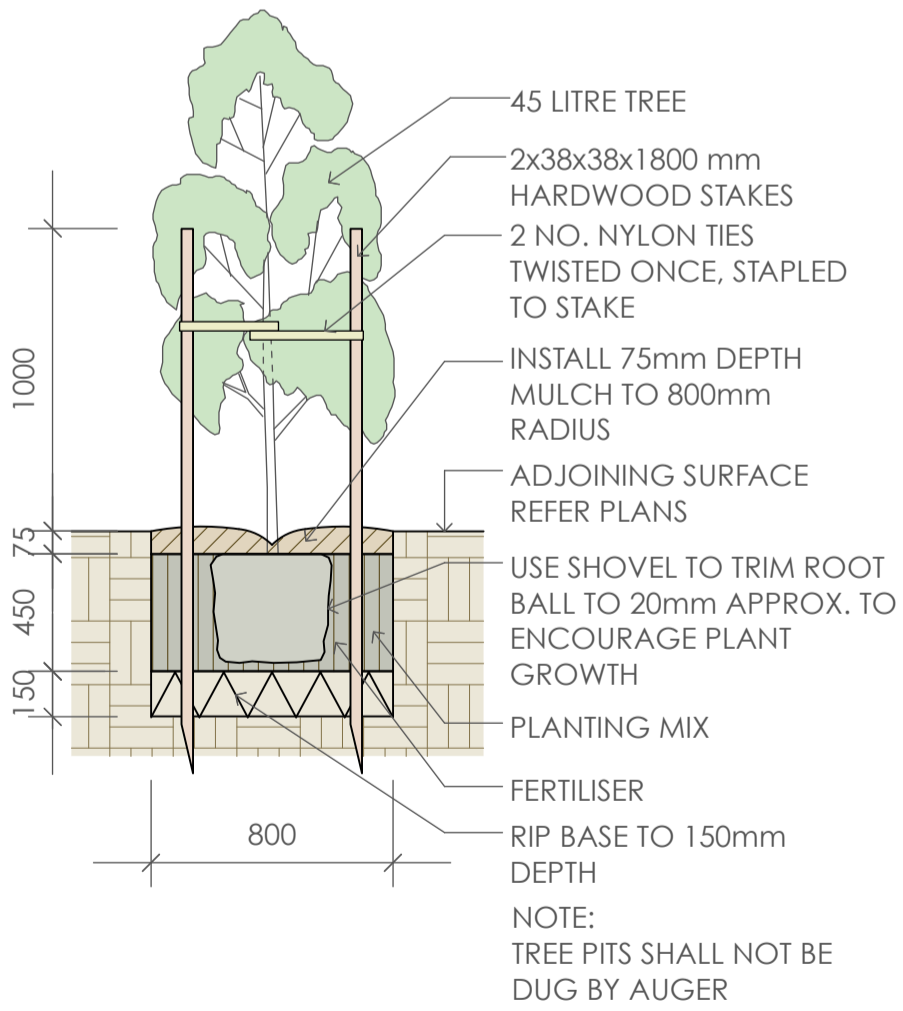
- All finished levels are to be verified by Contractor on site.
- All landscape works be in strict accordance with Council's landscape code and guidelines
- This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.

Plant Schedule							
ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
Trees							
ElaRet	1	Blueberry Ash	Elaeocarpus reticulatus	45Litre	8 - 10m	3 - 4m	N
TriLus	1	Water Gum	Tristaniaopsis laurina 'Luscious'	45Litre	6 - 8m	3.5 - 6m	N
Shrubs							
AcmChe	9	Forest Flame	Acmena 'Cherry Surprise'	200mm	3.0 - 5.0m	1.2 - 1.5m	N
CalRed	5	Red Alert Bottle Brush	Callistemon 'Red Alert'	200mm	1.0 - 1.5m	2.0 - 3.0m	N
MelCla	6	Claret Tops Honey Myrtle	Melaleuca 'Claret Tops'	200mm	0.9 - 1.1m	0.6 - 1.0m	N
RhaCos	4	Cosmic White Rhipirolepis	Rhipirolepis indica 'Cosmic White'	200mm	1.5 - 2.0m	1.2 - 1.5m	N
Ground Covers							
JunUsi	15	Tussock Rush	Juncus usitatus	150mm	0.5 - 0.7m	0.8 - 1.0m	N
HarMee	10	Meema	Hardenbergia violacea 'Meema'	150mm	0.4 - 0.6m	1.5 - 2.0m	N
DicEme	17	Emerald Falls Dichondra	Dichondra 'Emerald Falls'	150mm	0.0 - 0.3m	0.9 - 1.2m	N
DiaTas	6	Flax Lily	Dianella tasmanica 'Tasred'	150mm	0.4 - 0.5m	0.4 - 0.5m	N
LomTan	10	Spiny-headed mat rush	Lomandra longifolia 'Tanika'	150mm	0.45 - 0.6m	0.6 - 0.9m	N
BanBir	3	Birthday Candle	Banksia spinulosa 'Birthday Candle'	150mm	0.45 - 0.6m	0.9 - 1.2m	N

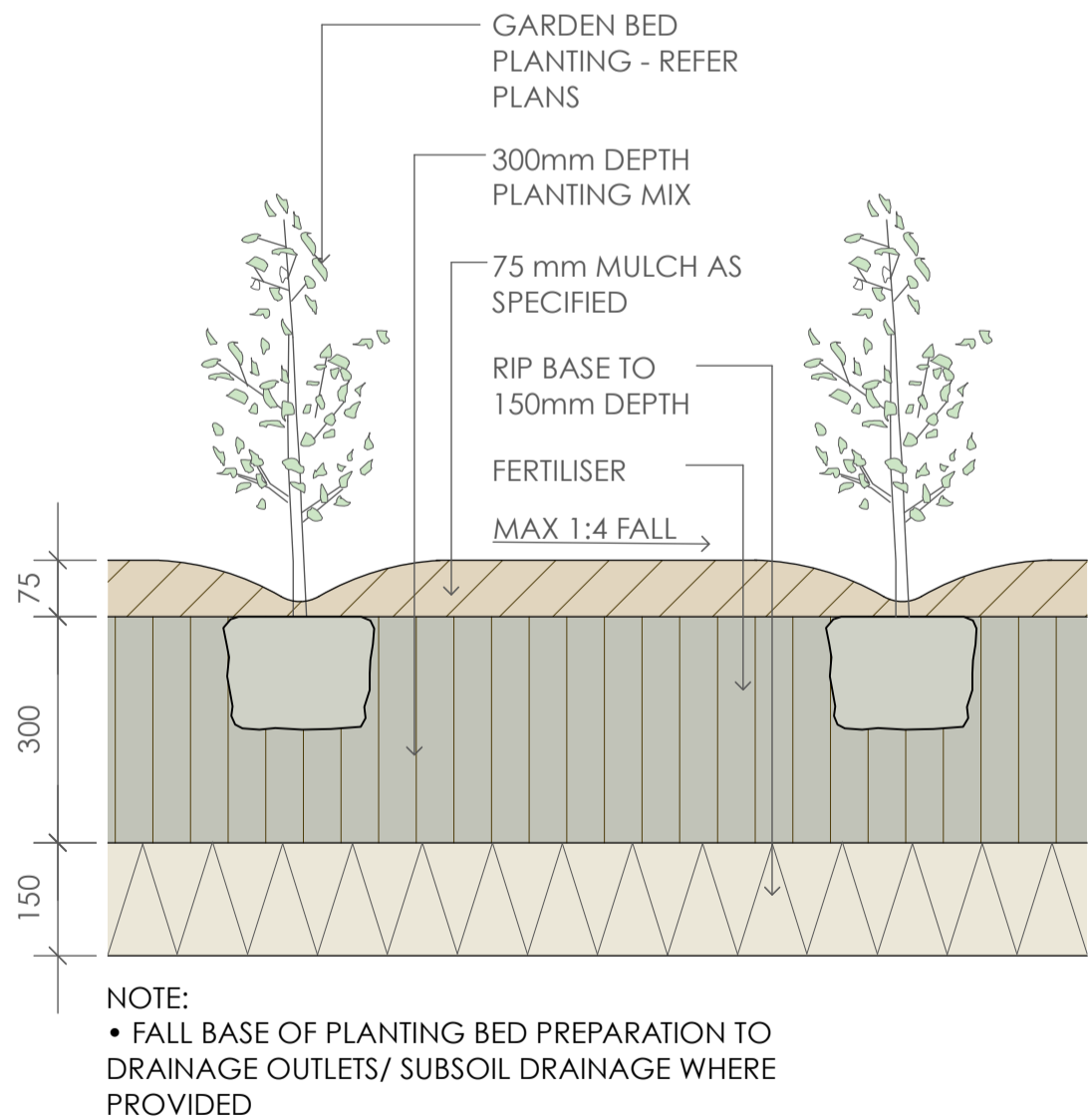
LANDSCAPED AREA CALCULATIONS	
Total site area	240m2 (approx.)
Total building area	111m2 (approx.)
Total paved area	18m2 (approx.)
(including driveway and patios)	
Total landscaped area	88m2 (approx.)
(36.7% of site area)	



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2025/0124

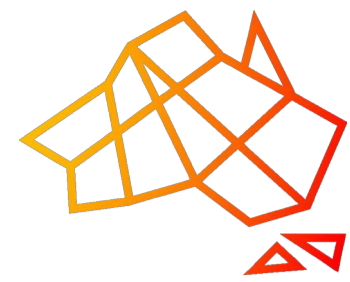


1 45 Litre Tree Planting
scale 1:25



2 Planting Bed Detail
scale 1:10

GENERAL NOTES: 1. Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent. 2. Verify all dimensions on site. 3. Refer to legend for all symbol and code keys. 4. Read in conjunction with the specifications 5. Read in conjunction with all associated drawings					DESIGNED: GD	PREPARED FOR: D PROJECTS PTY LTD	PREPARED BY: Greenland Design Pty Ltd ABN 73 139 152 855 Registered Landsc. Architect: Bao Ly Cecil Hills NSW 2171 T: 0403 164 198 E: gd@greenlanddesign.com.au	PROJECT: PROPOSED RESIDENCE	DRAWING TITLE: Landscape Plan	DATE: MAY 2025	
	A	FOR DA	CL	01.05.25	DRAWN: CL					SCALE: 1:200 @ A3 1:100 @ A1	ISSUE: A
	ISSUE	AMENDMENT	DRAWN	DATE						DRAWING NO: 2953A.GD.01	



AUSTRAX STRUCTURAL CIVIL ENGINEERS

STORMWATER MANAGEMENT PLAN AND DETAIL

10 RAVEN CIRUIT, WARRIEWOOD NSW

LEGEND:

	STORMWATER LINE
	CHARGED LINE
	SUBSOIL LINE
	STORMWATER RISING MAIN
	OVERFLOW LINE
	AUTHORITY STORMWATER LINE
	AUTHORITY SEWER LINE
	AUTHORITY WATER LINE
	EXISTING STORMWATER LINE
	AUTHORITY ELECTRICITY LINE
	AUTHORITY UNDERGROUND ELECTRICITY LINE
	AUTHORITY COMMS LINE
	FENCE LINE
	GRATED SURFACE INLET PIT
	GRATED SURFACE INLET PIT WITH ENVIROPOD INSERT
	JUNCTION PIT
	KERB INLET PIT
	EXISTING GRATED SURFACE INLET PIT
	EXISTING JUNCTION PIT
	EXISTING KERB INLET PIT
	EXISTING TELSTRA PIT
	EXISTING HYDRANT
	EXISTING STOP VALVE
	EXISTING GAS VALVE
	EXISTING POWER POLE
	EXISTING BOUNDARY TRAP
	EXISTING SEWER MANHOLE

ABBREVIATIONS:

Ø or DIA	DIAMETER
CL	CENTER LINE
CO	CLEAR OUT
DGS	DENSE GRADED SUB-BASE
DP	DOWNPIPE
e	EXISTING
FFL	FINISHED FLOOR LEVEL
GTD	GRATED TRENCH DRAIN
GSIP	GRATED SURFACE INLET PIT
IL	INVERT LEVEL
K&G	KERB & GUTTER
OPF	OVERLAND FLOW PATH
OSD	ON-SITE DETENTION
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RL	REDUCED LEVEL
RW	RETAINING WALL
RWT	RAINWATER TANK
SMH	SEWER MAN HOLE
SW	STORMWATER
SV	STOP VALVE
TOK	TOP OF KERB
TOW	TOP OF WALL
TWL	TOP WATER LEVEL
UPVC	UNPLASTICISED POLYVINYL CHLORIDE
UNO	UNLESS NOTED OTHERWISE
FF	FIRST FLUSH DEVICE
TYP	TYPICAL
OPF	OVERLAND FLOW PATH
RWO	RAINWATER OUTLET
CO	CLEAR OUT POINT
FF	FIRST FLUSH
DDO	DISH DRAIN OUTLET
PD	PLANTER DRAIN
FW	FLOOR WASTE
J	CAPPING
(1.0)	PIT TAG/NUMBER
RH	RAINHEAD
DP	DOWNPIPE DROP
DP	DOWNPIPE
NRV	NON RETURN VALVE
WP	WALL PENETRATION
DP	DOWNPIPE SPREADER
RH	RAINHEAD
WL	WARNING LIGHT
0.00	SPOT LEVELS
BM	BENCHMARK

DIAL BEFORE YOU DIG SHOULD BE CONTACTED PRIOR TO ANY EXCAVATION ON SITE

TM: TRADE MARK OF THE ASSOCIATION OF DIAL BEFORE YOU DIG SERVICES LTD. USED UNDER LICENSE.

SERVICES SHOWN ON PLAN ARE INDICATIVE, EXACT DEPTH AND LOCATION TO BE CONFIRMED ONSITE. CONTRACTOR TO CARRY OUT DIAL BEFORE YOU DIG APPLICATION AND ENGAGE A REGISTERED SURVEYOR TO PEG OUT ALL EXISTING SERVICES PRIOR TO ANY WORK COMMENCING ONSITE.



SITE LOCATION

DRAWING REGISTER

NUMBER	NAME	REVISION
SWDP01	COVER SHEET	B
SWDP02	EROSION SEDIMENT CONTROL PLAN	B
SWDP03	STORMWATER MANAGEMENT PLAN	B
SWDP04	STORMWATER DRAINAGE DETAILS	B

DRAINAGE NOTES:

ALL PIPES TO BE LAID ON 75mm SAND BED WITH THE BARRELS FULLY SUPPORTED

100mm AND 150mm DIAMETER PIPES TO BE LAID ON MINIMUM 1% GRADE

MINIMUM DEPTH OF COVER FOR PIPES NOT SUBJECT TO VEHICULAR LOADING TO BE 300mm

ALL DRAINAGE PIPES LAID UNDER PAVEMENT SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS

BACKFILL TRENCHES WITH COMPACTED SAND OR APPROVED AGGREGATE MATERIAL

ALL PITS TO HAVE 600x600mm INTERNAL DIMENSIONS (U.N.O.)

SILT ARRESTORS TO HAVE 900x900mm INTERNAL DIMENSIONS

HEAVY DUTY GRATES AND COVERS ARE TO BE PROVIDED IN TRAFFICABLE AREAS

PIT GRATE TO BE TYPE WELDLK OR APPROVED EQUIVALENT

ALL PITS SHALL BE PROVIDED WITH A LOCKING CLIP

ALL PITS SHALL BE MAINTAINED REGULARLY

TOP OF BENCHING SHALL BE TO THE HALF OF THE OUTLET PIPE DIAMETER

MAXIMUM FRONT ENTRY PIPE: -
STRAIGHT ENTRY - Ø750
SKEW ENTRY 45° - Ø525

Ø100 SUBSOIL DRAINAGE PIPE 3000mm LONG WRAPPED IN FABRIC SOCK TO BE PROVIDED ADJACENT TO INLET PIPES

COMPRESSIVE STRENGTH f_c FOR CAST IN SITU CONCRETE TO BE A MINIMUM OF 20MPa AT 28 DAYS

PROVIDE CLEANING EYES TO ALL DOWNPIPES NOT DIRECTLY CONNECTED TO PITS

ISOLATED JOINTS TO BE PROVIDED TO ISOLATE CONCRETE PAVEMENTS FROM PITS

ALL TRENCH GRATES PROVIDED SHALL HAVE A MINIMUM CLEAR WIDTH OF 200mm

STORMWATER DRAINAGE CONNECTIONS TO THE MAIN SYSTEM SHALL BE TO THE REQUIREMENTS AND THE SATISFACTION OF LOCAL COUNCIL

STORMWATER PIPE BEDDING/PAVING NOTES:

WHERE TRENCH BASE IS ROCK A MINIMUM OF 75mm BEDDING TO BE PROVIDED UNDER PIPE COLLARS.

STORMWATER PIPE BEDDING DETAIL TO BE IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS. BEDDING DETAILS TO BE CONFIRMED UPON EXCAVATION & PRIOR TO INSTALLATION OF PIPEWORK.

FOOTPATH REINSTATEMENT NOTES:

REMOVE ALL SAND FILL WITHIN THE FOOTPATH AREA TO THE EXISTING SUBGRADE.

SUPPORT ALL AUTHORITY SERVICES TO STRUCTURAL ENGINEERS DETAILS DURING EXCAVATION.

REINSTATE FOOTPATH SUBGRADE.

THE CONTRACTOR SHALL PROVIDE CERTIFICATION OF COMPACTION FROM A NATA REGISTERED TESTING AUTHORITY. MINIMUM THREE TESTS PER LAYER AS FOLLOWS:

SELECT FILL	95% MODIFIED
SELECT FILL (LESS THAN 300mm BELOW BASE COURSE)	98% MODIFIED
BASE COURSE	100% MODIFIED

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REV	DESCRIPTION	DATE	APP



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PH: 0423095373

2/4 COLONY CLOSE, TUGGERAH NSW
671 HUNTER STREET, NEWCASTLE NSW
38 STATION STREET, BONNELLS BAY NSW

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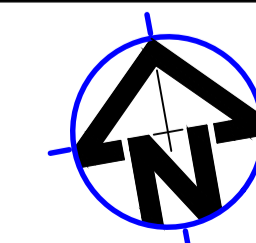
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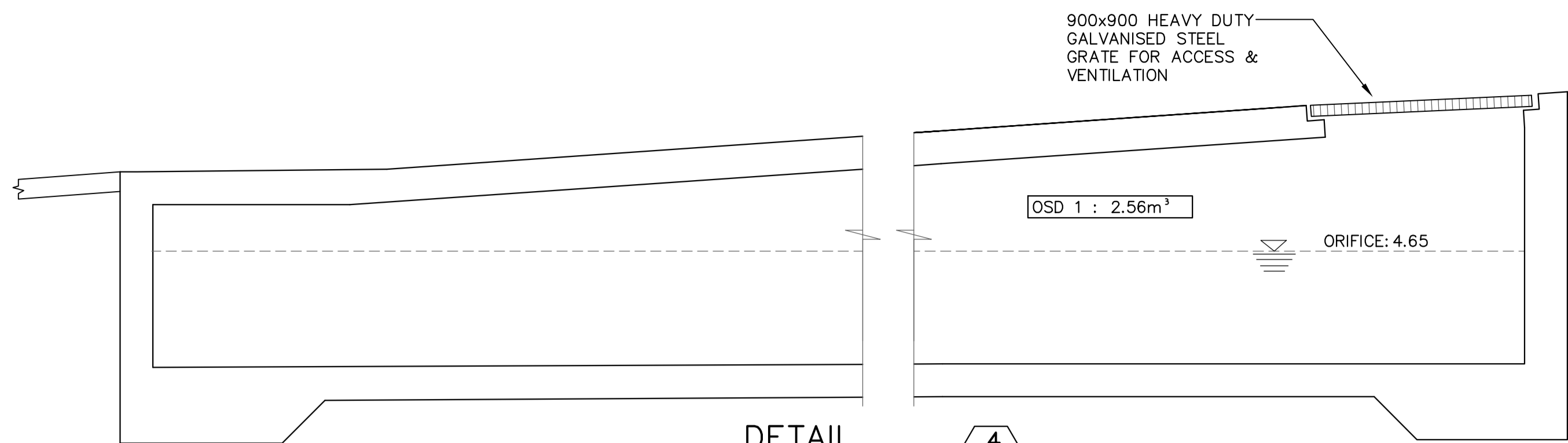
PROJECT
10 RAVEN CIRCUIT
WARRIEWOOD NSW

COUNCIL
NORTHERN
BEACHES
COUNCIL



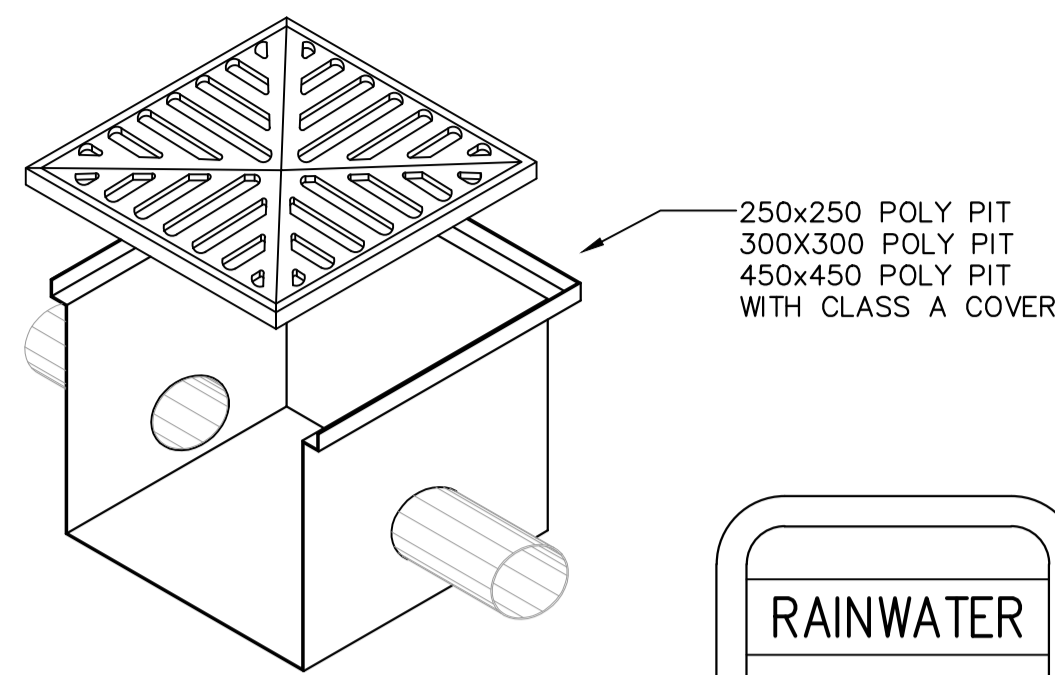
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COVER SHEET
DRAWING
FOR APPROVAL

DATE	DESIGNED:	ENGINEER:	CHECKED:
15.05.2025	G.K	G.K.	G.K.
SCALE	PROJECT NO.	DRAWING NO.	REVISION NO.
1:200-A3	GCE.24478	SWDP01	A



DETAIL
DCP - ONSITE
DETENTION TANK

4



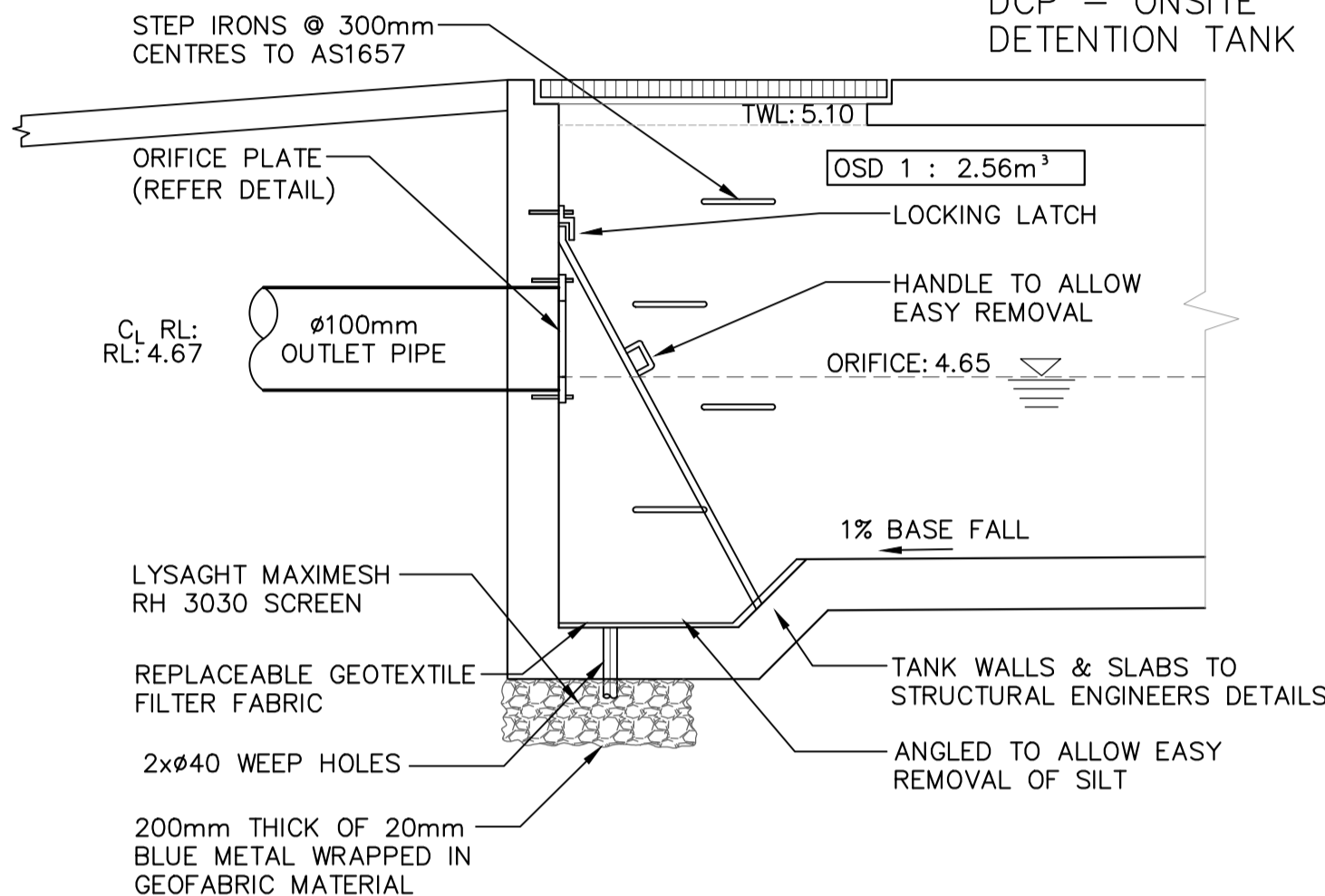
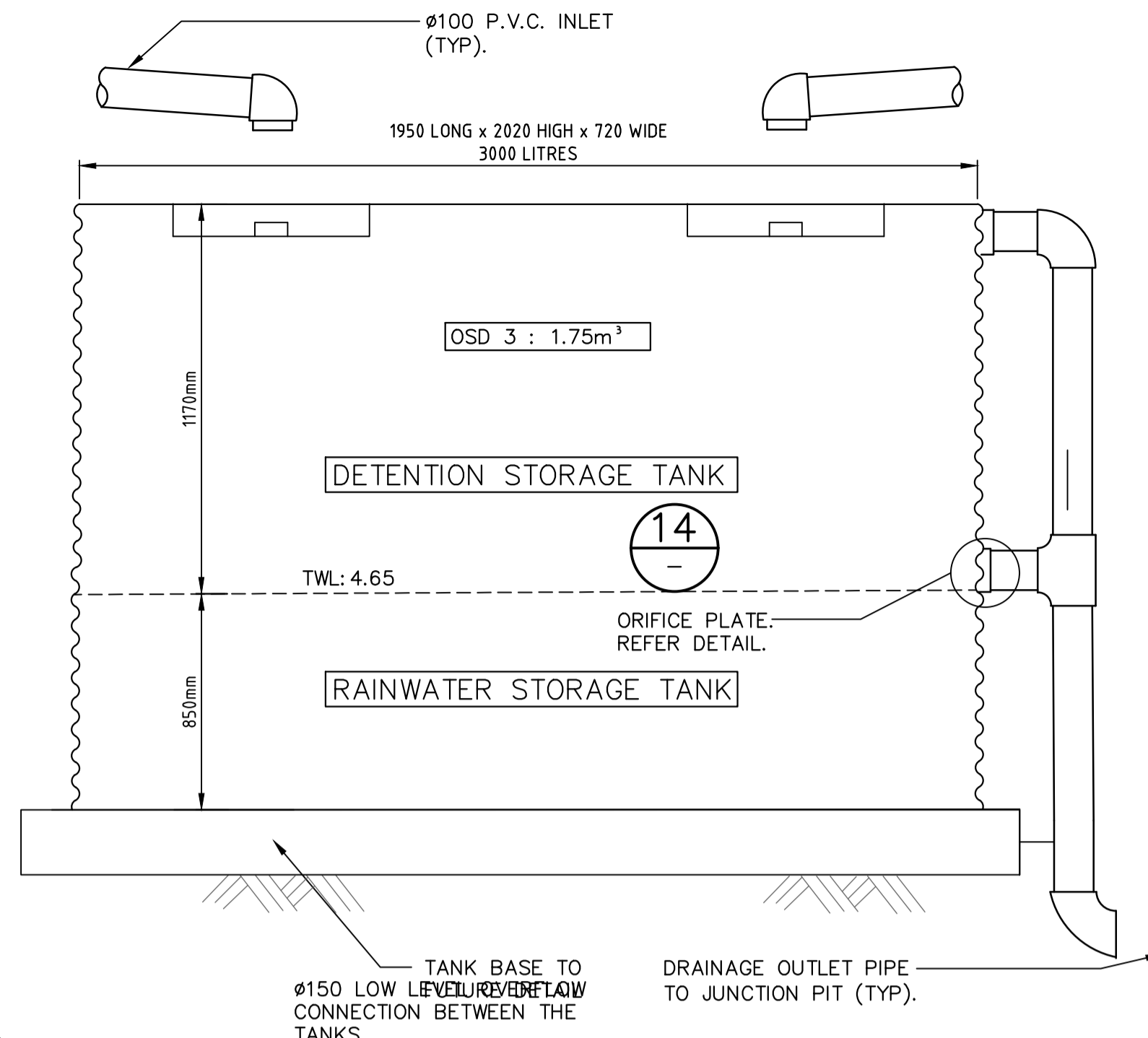
DETAIL
POLY PIT CLASS A
COVER
(FOR LANDSCAPED AND
BACKYARD AREAS ONLY)

7



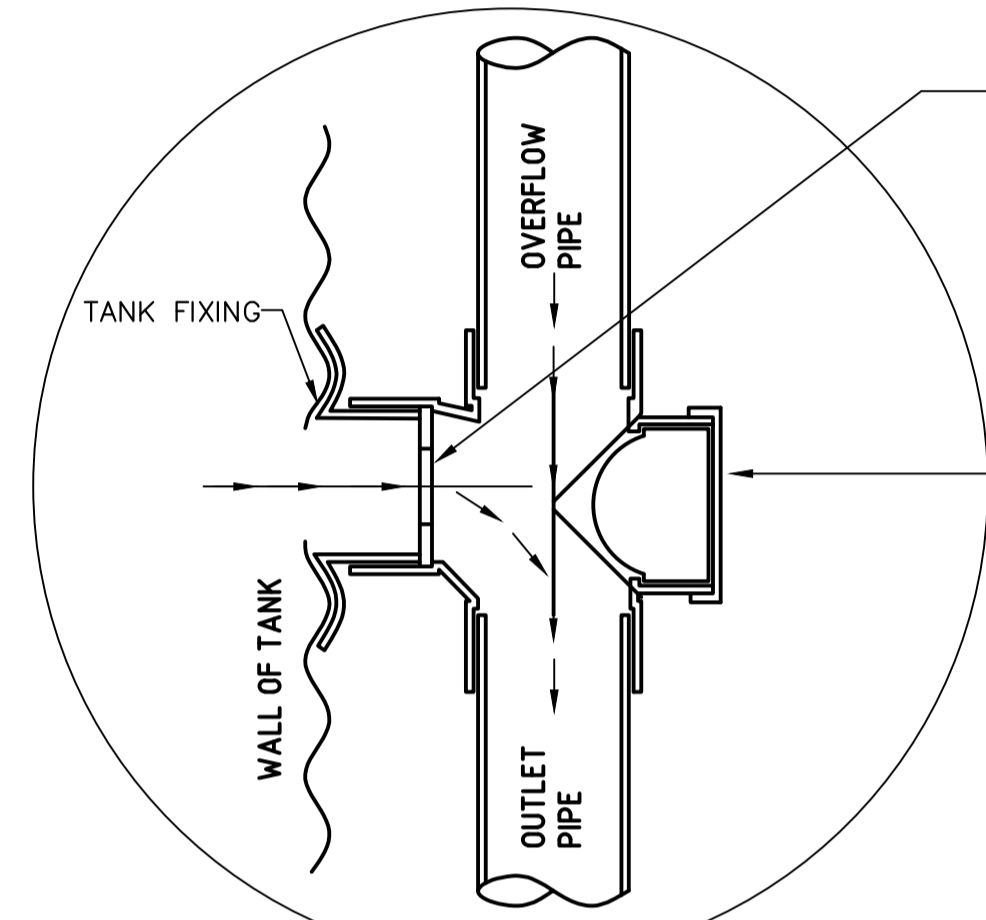
DETAIL
RAINWATER SIGN

6



DETAIL
DCP - ONSITE
DETENTION TANK

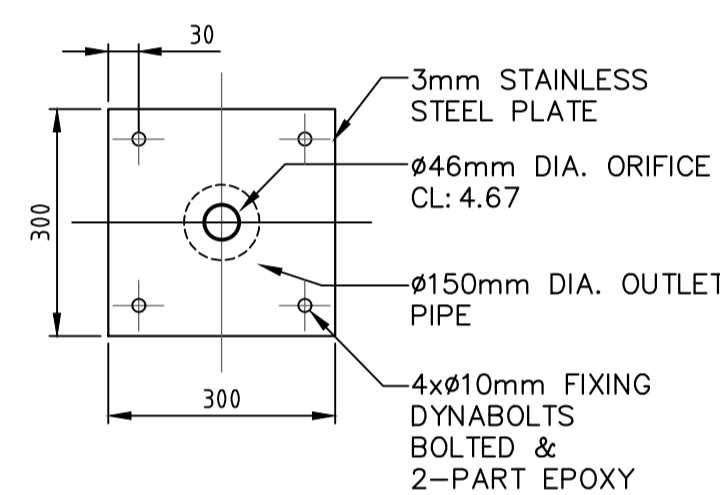
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TANKWORKS DETENTION KIT (OR SIMILAR)

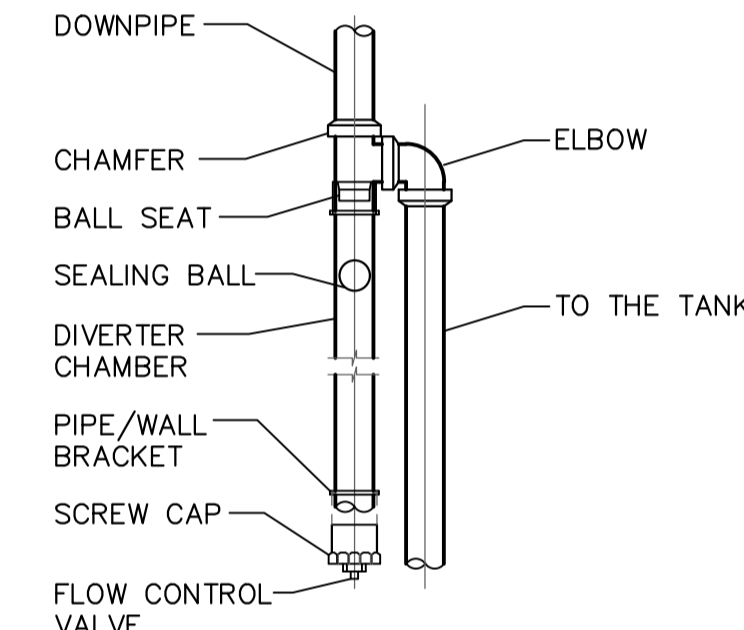
DETAIL
CLEANING EYE

14



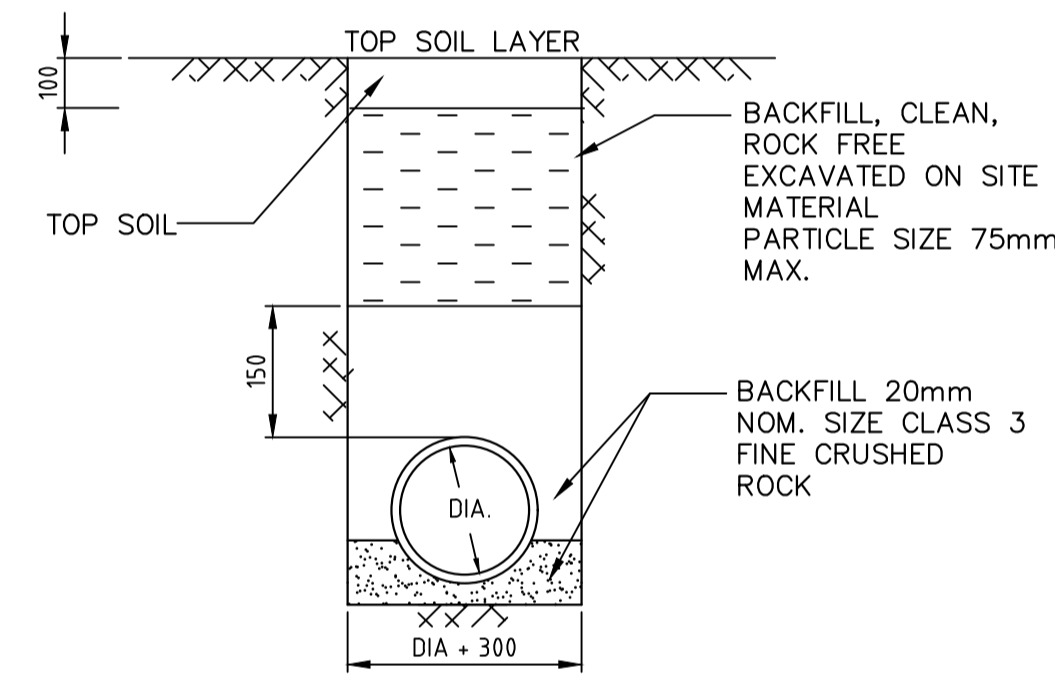
DETAIL
ORIFICE PLATE

9



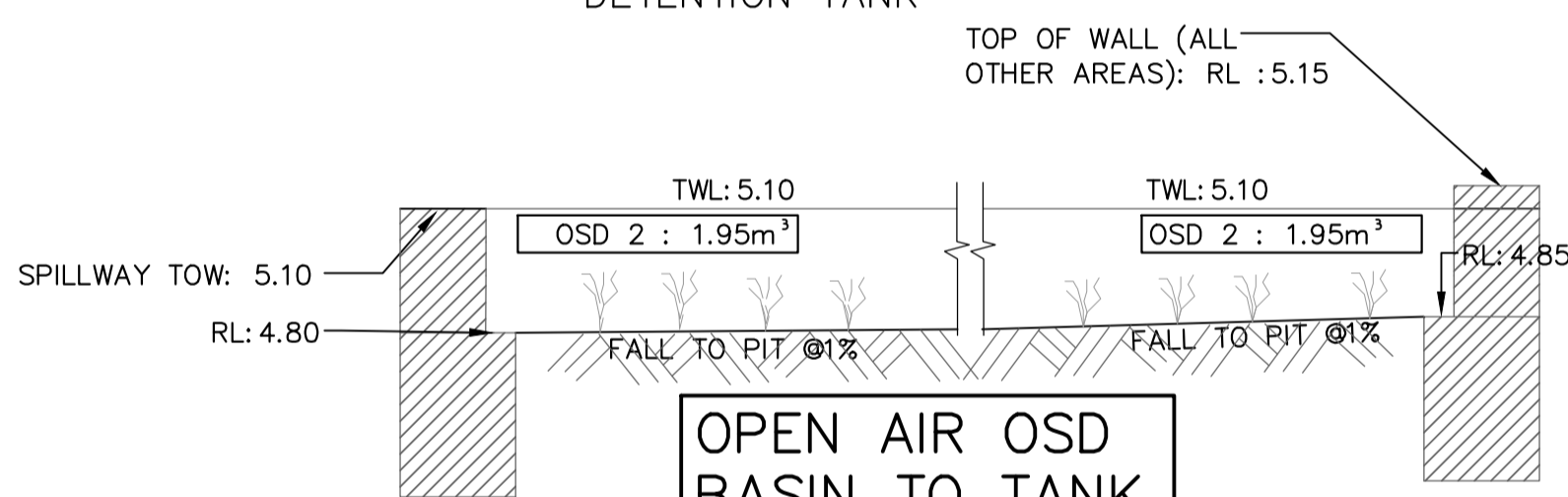
DETAIL
RAINWATER
STORAGE TANK

10



DETAIL
TRENCH FOR
PIPING
NOT UNDER
PAVEMENT

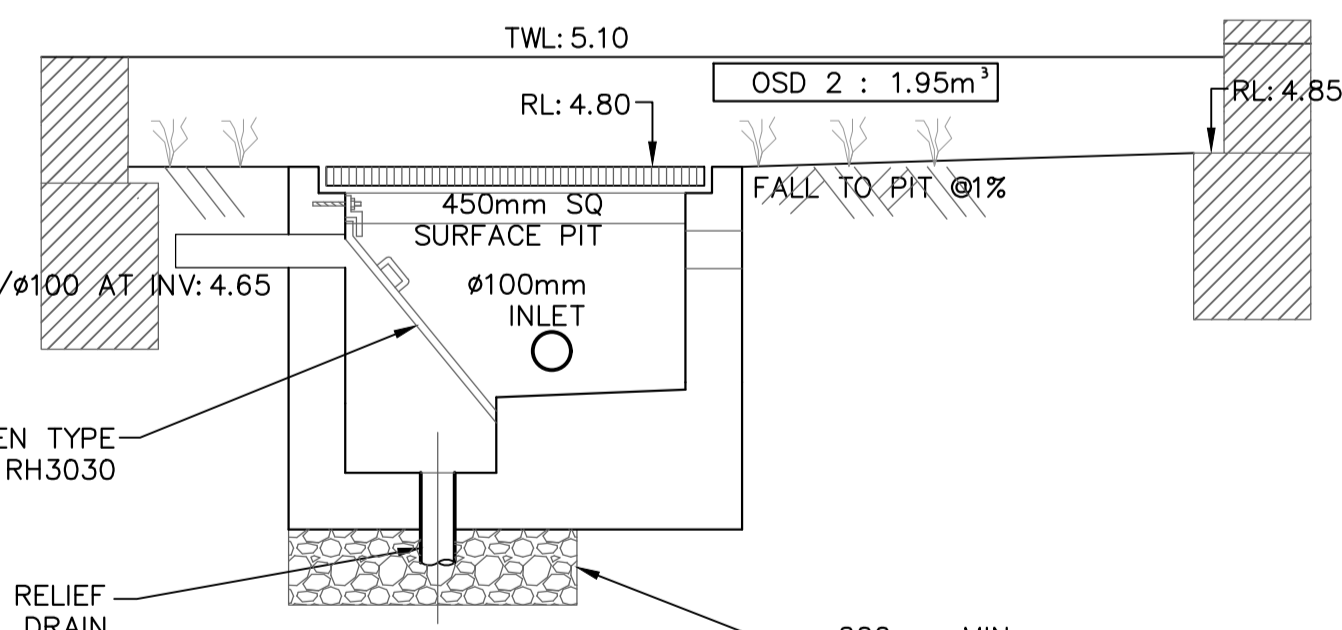
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OPEN AIR OSD
BASIN TO TANK

SECTION
A

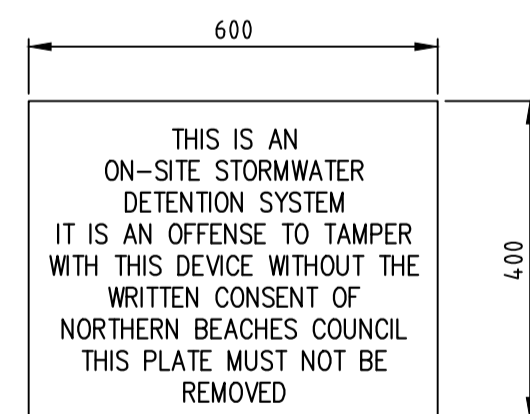
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OPEN AIR OSD
BASIN TO TANK

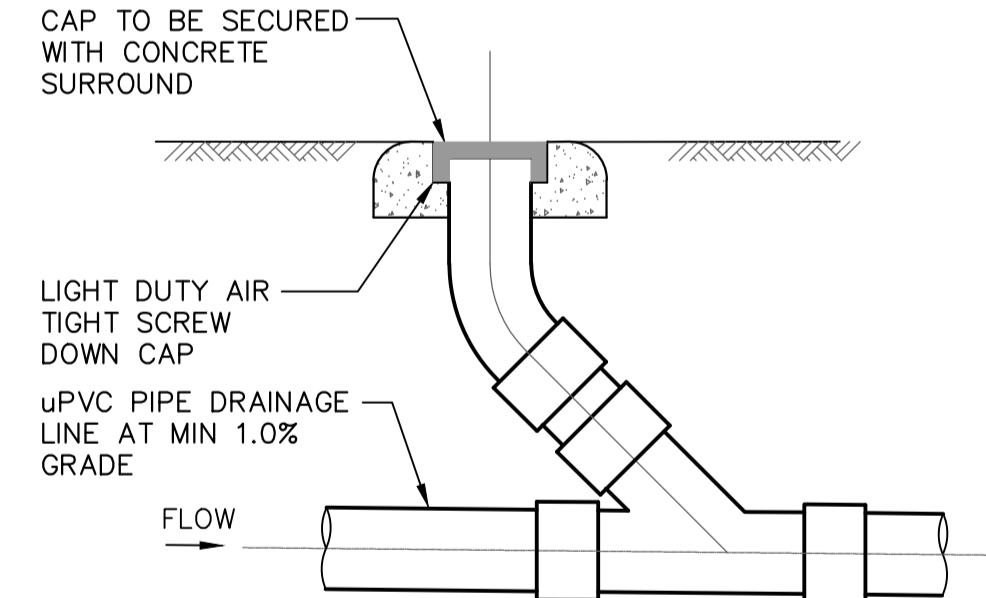
SECTION
B

SCALE 1:20



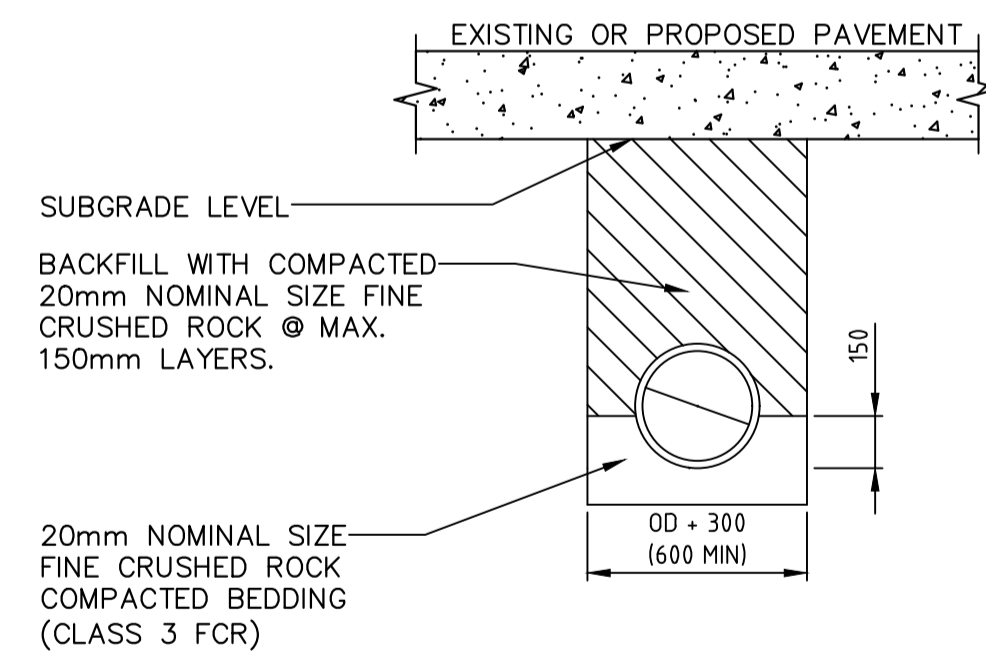
DETAIL
OSD SIGN

8



DETAIL
CLEANING EYE

11



DETAIL
TRENCH FOR
PIPING UNDER
PAVEMENT

12

REV	DESCRIPTION	DATE	APP
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SCALE 1:200-A3	PROJECT NO. GCE.24478	DRAWING NO. SWDP04	REVISION NO. D