

DEVELOPMENT APPLICATION DRAWING LIST

SHEET NUMBER SHEET NAME

- DA 000 COVER PAGE & DRAWING REGISTER
- DA 002 PROPOSED SITE PLAN
- DA 003 PROPOSED GARAGE FLOOR PLAN
- DA 004 PROPOSED GROUND FLOOR PLAN
- DA 005 PROPOSED FIRST FLOOR PLAN
- DA 006 PROPOSED ROOF PLAN
- DA 007 ELEVATION - NORTH-WEST
- DA 008 ELEVATION - NORTH-EAST
- DA 009 ELEVATION - SOUTH-EAST
- DA 010 ELEVATION - SOUTH-WEST
- DA 011 SECTION A - MAIN HOUSE
- DA 012 SECTION B - POOL, HOME OFFICE & GARAGE
- DA 013 SECTION C - GARAGE AND LIVING
- DA 020 EXTERNAL FINISHES & MATERIALS



LOCATION PLAN
1:1000



VIEW FROM BOWER STREET



REQUIRED MODIFICATIONS AS PER CONDITIONS
IN DEVELOPMENT CONSENT DA2020/0921

PROPOSED NEW MODIFICATIONS TO
DEVELOPMENT CONSENT DA2020/0921



62 IVY STREET DARLINGTON, SYDNEY, NSW 2008
P: +61 2 9690 2211
E: info@cplusc.com.au
W: www.cplusc.com.au

PROJECT
19-030 HOLOCENE HOUSE

PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

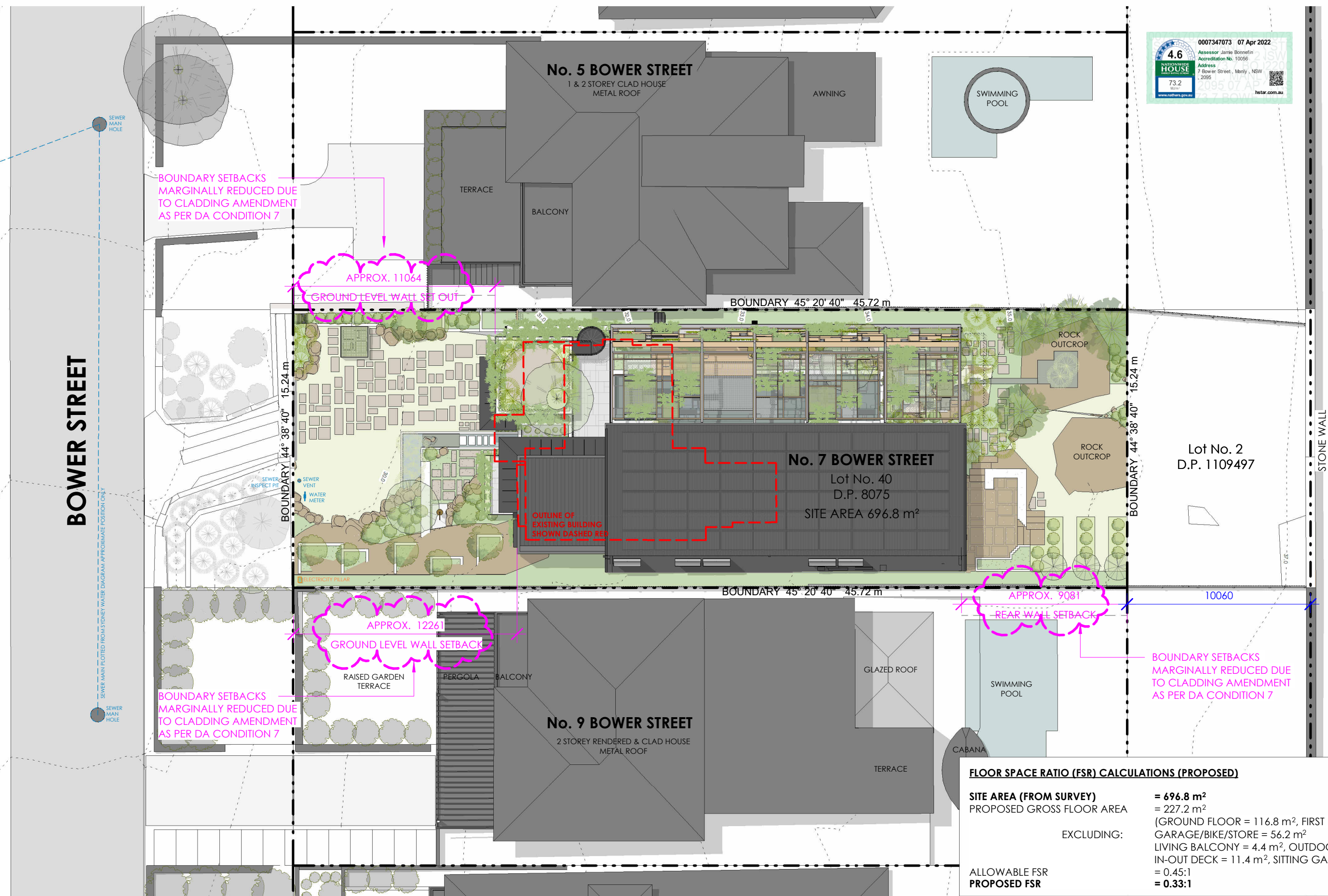
PROJECT CONTACT
CARMEN CHAN (PROJECT ARCHITECT)
E: carmen@cplusc.com.au
P: +61 2 9690 2211

DOCUMENTS BY OTHER CONSULTANTS

- SURVEY PLAN BY C.M.S. SURVEYORS
- BASIX CERTIFICATE BY CERTIFIED ENERGY
- STATEMENT OF ENVIRONMENTAL EFFECTS BY WILLANA URBAN
- LANDSCAPE PLAN BY DUNCAN GIBBS
- STORMWATER MANAGEMENT PLANS BY STELLEN CONSULTING
- GEOTECHNICAL REPORT BY WITT CONSULTING
- BUSHFIRE REPORT BY BUSHFIRE PLANNING SERVICES
- ECOLOGICAL IMPACT STATEMENT BY ACS ENVIRONMENTAL

FOR SECTION 4.55

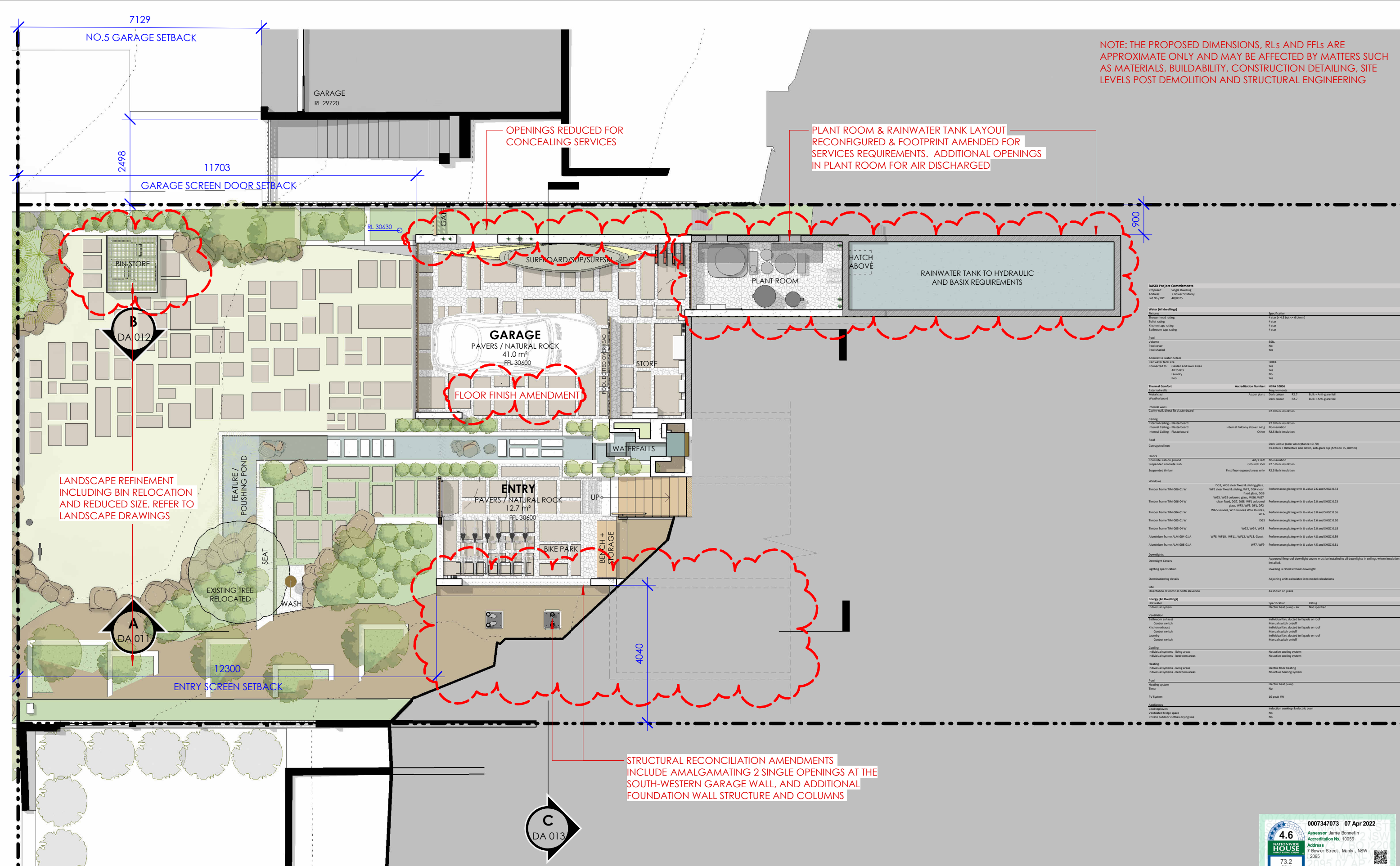
DRAWING TITLE		
COVER PAGE & DRAWING REGISTER		
REVISION DATE	REVISION	DRAWING NUMBER
04/04/2022	2	DA 000




Lot No. 2
D.P. 1109497

FLOOR SPACE RATIO (FSR) CALCULATIONS (PROPOSED)

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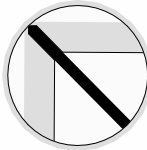
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NOMINATED ARCHITECT 8688

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PROJECT
19-030 HOLOCENE HOUSE

PROJECT ADDRESS
7 BOWER STREET
MANLY, 2095

CLIENT
JURGEN SPANGL & KARIN
MUNDSPERGER

SCALE
1 : 100 @ A3

DRAWN BY
RN/CAR

REVIEWED BY
CC

DRAWING TITLE
PROPOSED GARAGE FLOOR PLAN

REVISION DATE
04/04/2022

REVISION
2

DRAWING NUMBER
DA 003

PRINTED 4/04/2022 2:57:57 PM

0007347073 07 Apr 2022

4.6

NATIONWIDE HOUSE

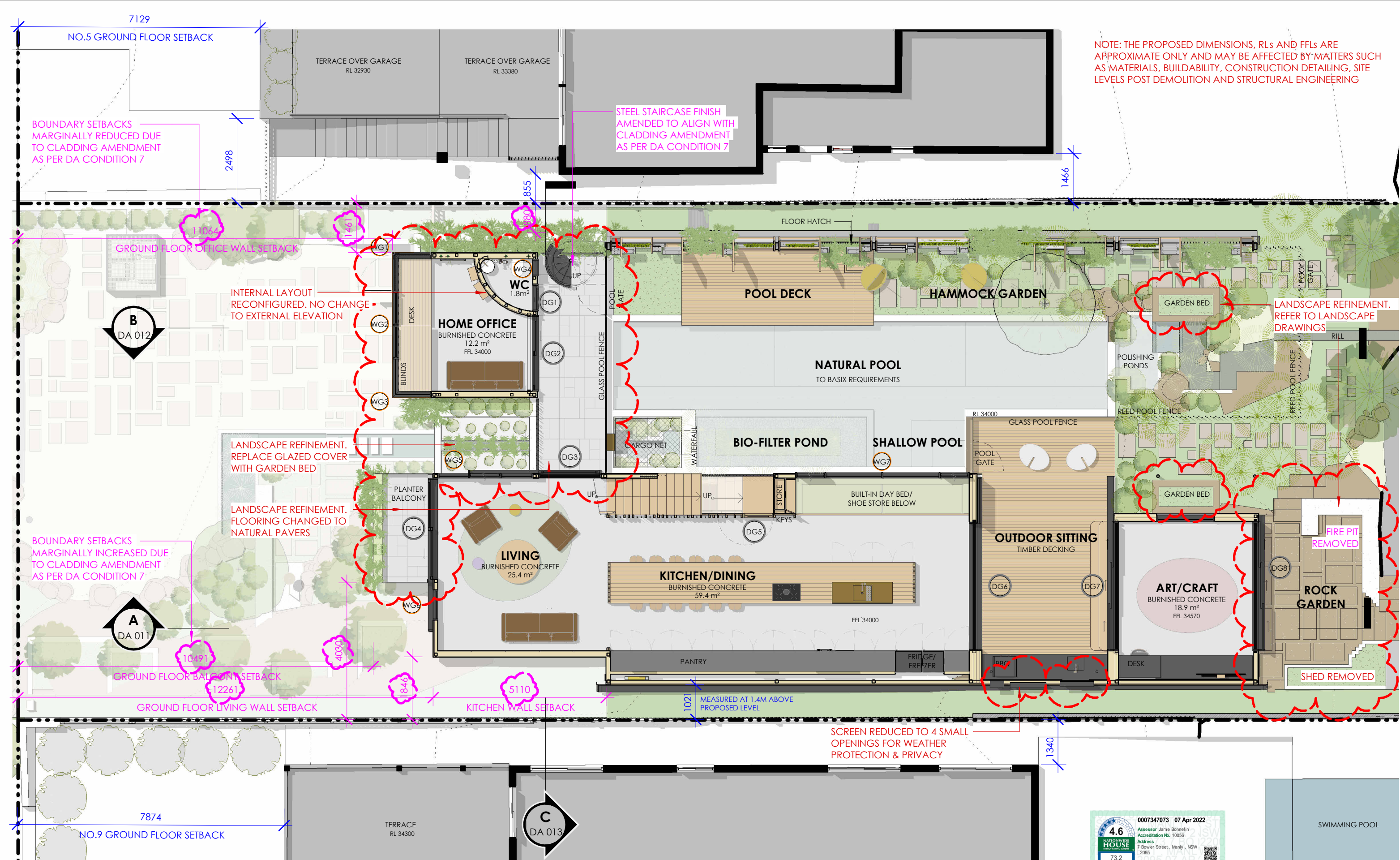
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MUM


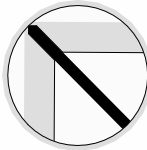
2095 07 APR 2022

73-7 BOWER ST

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NOTE: THE PROPOSED DIMENSIONS, RLs AND FFLs ARE APPROXIMATE ONLY AND MAY BE AFFECTED BY MATTERS SUCH AS MATERIALS, BUILDABILITY, CONSTRUCTION DETAILING, SITE LEVELS POST DEMOLITION AND STRUCTURAL ENGINEERING

DESIGN REFINEMENT TO GREEN CANOPY /PERGOLA STRUCTURE FOR BUILDABILITY, IMPROVED PRIVACY, SOLAR CONTROL

STEEL FINISH AMENDED TO ALIGN WITH UPDATED EXTERNAL CLADDING AS PER DA CONDITION 7

PEBBLE ROOF REPLACED WITH SHEET METAL ROOFING FOR IMPROVED STORMWATER MANAGEMENT AND WATERPROOFING.

GREEN CANOPY

GREEN CANOPY

GREEN CANOPY


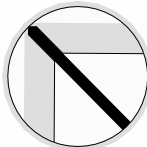
GREEN CANOPY

PHOTOVOLTAIC PANELS TO BASIX REQUIREMENTS

SHEET METAL ROOF
TO BASIX REQUIREMENTS

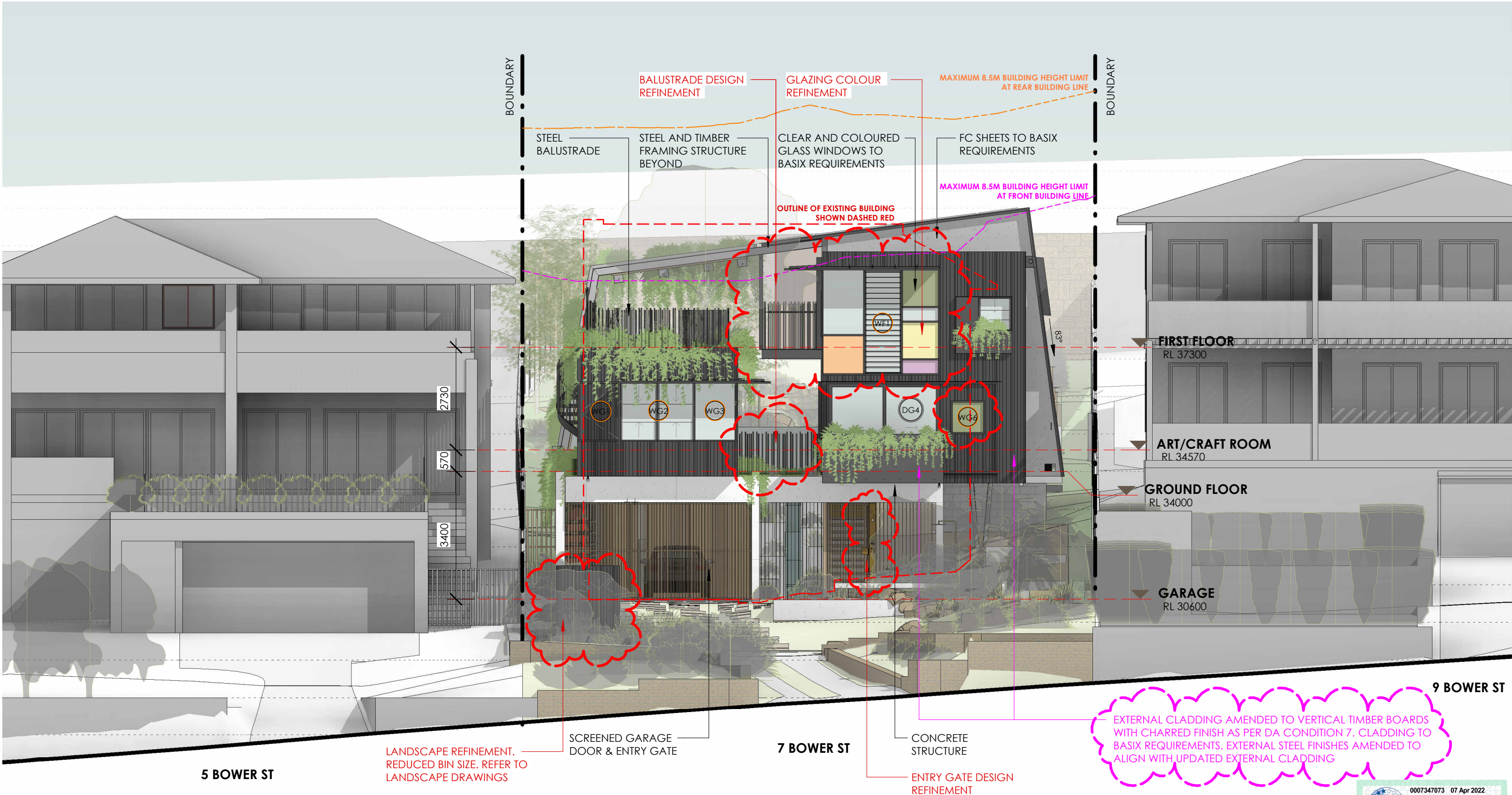
SHEET METAL ROOF
TO BASIX REQUIREMENTS

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				DRAWN BY RN/CAR	REVIEWED BY CC	REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 006	



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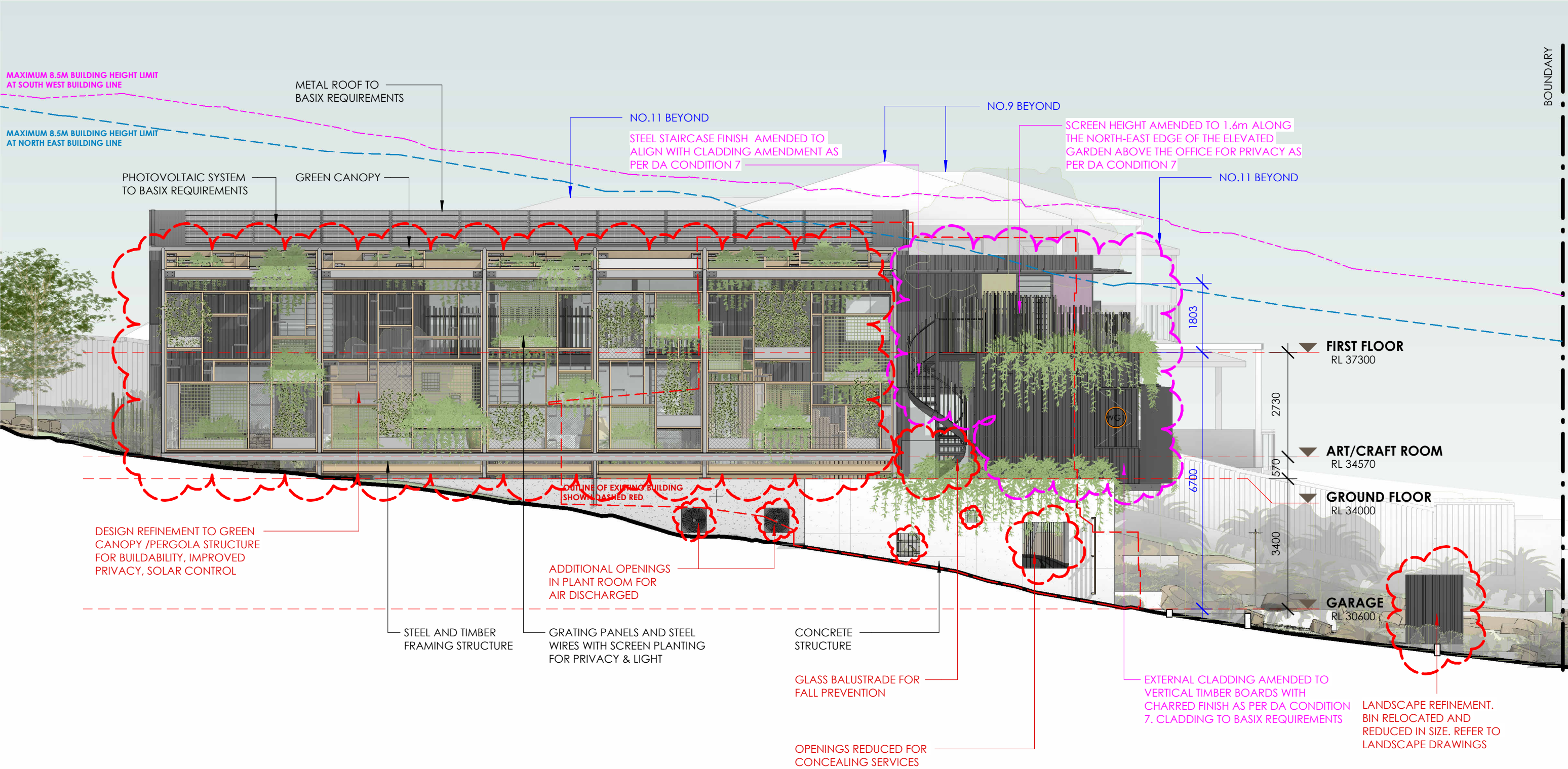


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		PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER		REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 007



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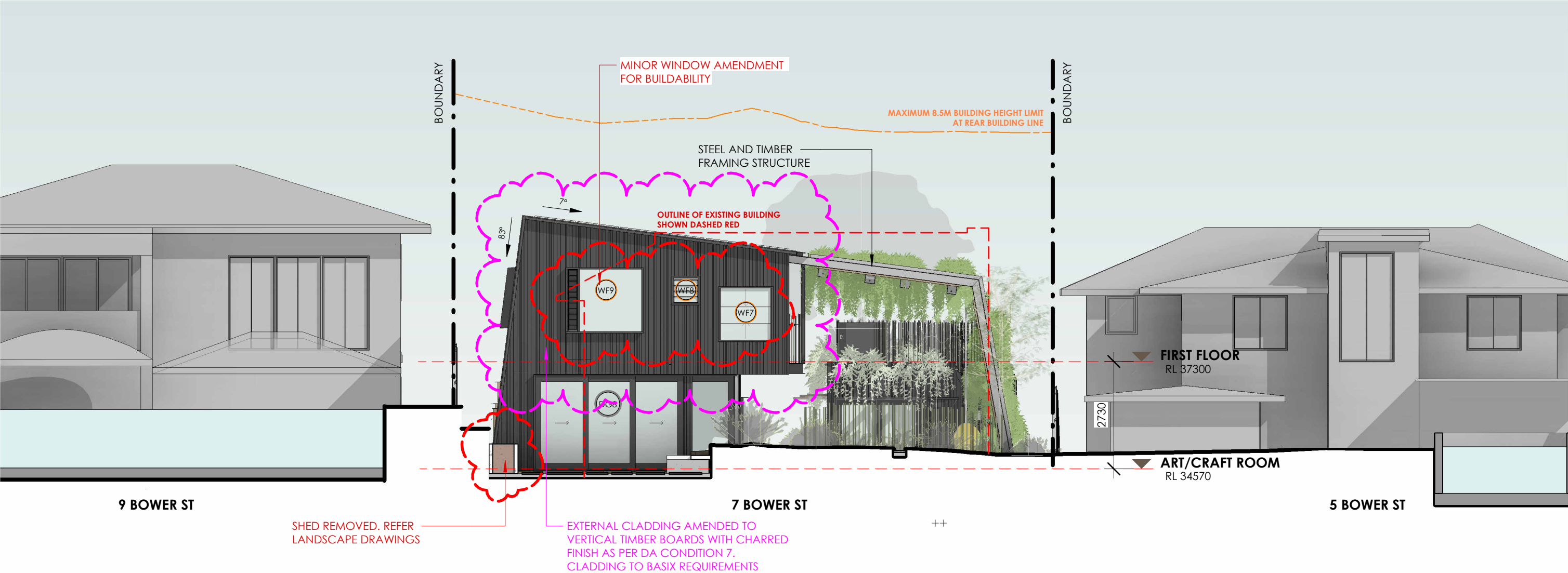


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		PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 008



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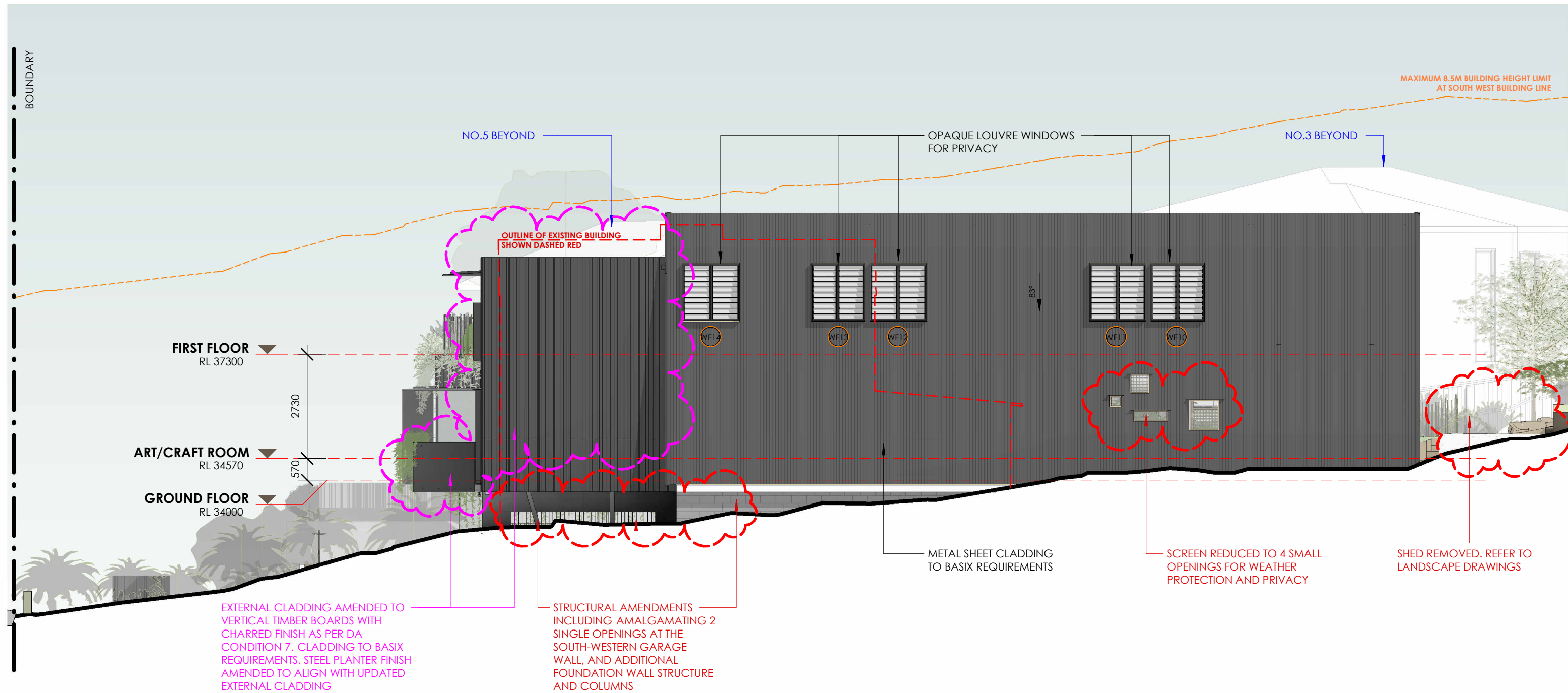


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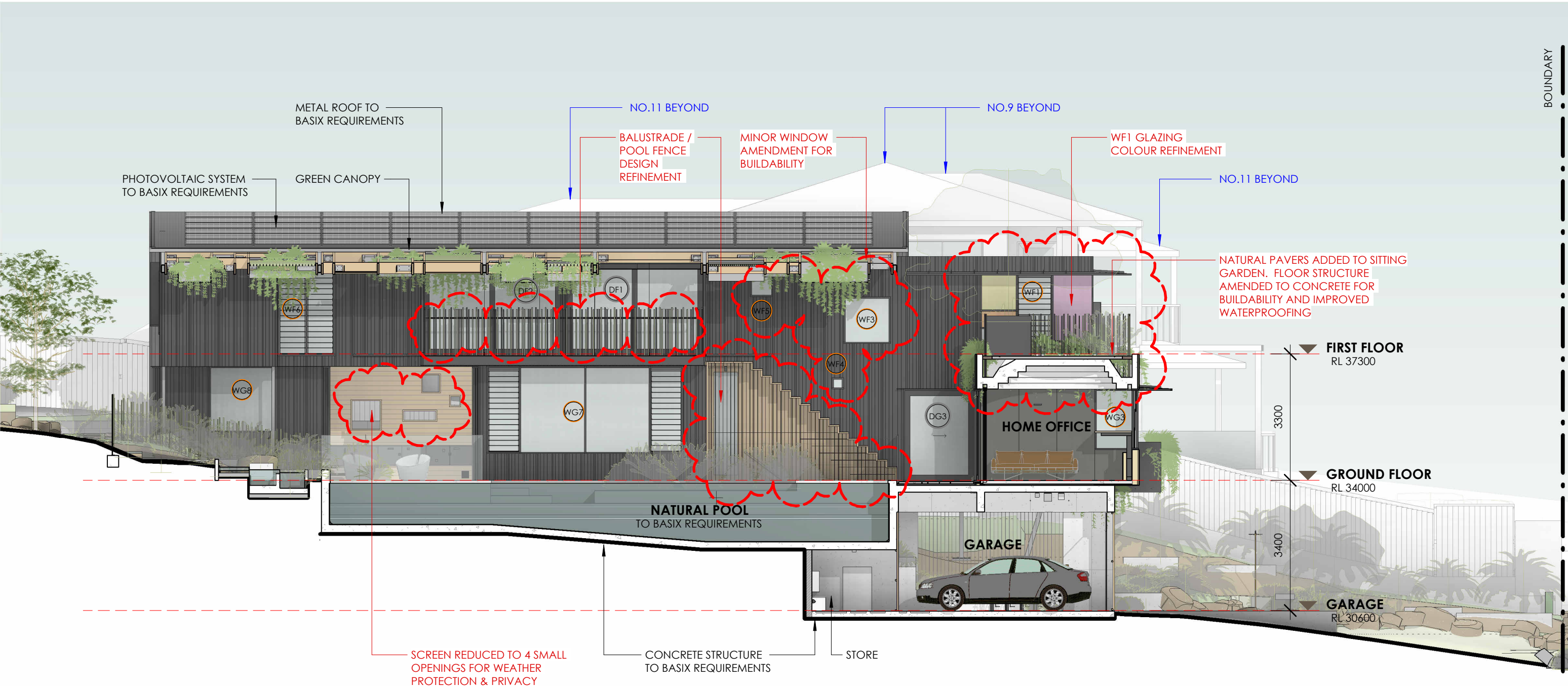


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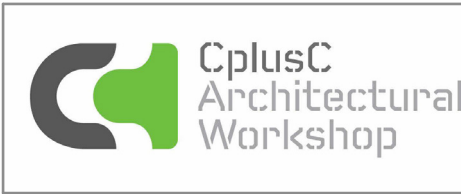
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	PROJECT ADDRESS 7 BOWER STREET MANLY, 2095	CLIENT JURGEN SPANGL & KARIN MUNDSPERGER	DRAWN BY RN/CAR REVIEWED BY CC	REVISION DATE 04/04/2022	REVISION 2	DRAWING NUMBER DA 011	



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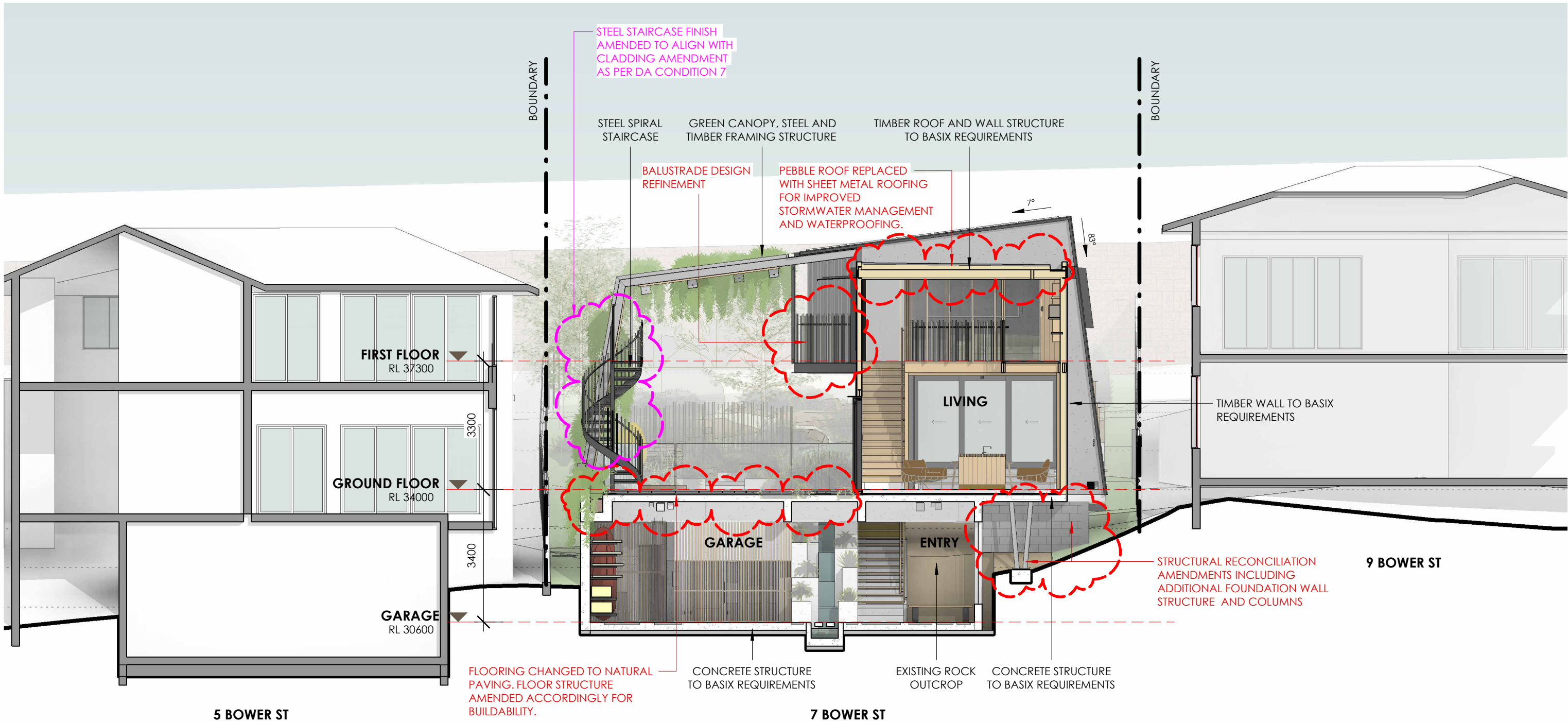


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 <p>CplusC Architectural Workshop</p>		<p>62 IVY STREET DARLINGTON NSW 2008 P: +61 2 9690 2211 E: info@cplusc.com.au W: www.cplusc.com.au</p> <p>NOMINATED ARCHITECT 8688</p>		<p>© COPYRIGHT, ALL RIGHTS RESERVED</p> <p>REPRODUCTION OF THIS DRAWING IN PART OR ON WHOLE IS STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF CPLUSC ARCHITECTURAL WORKSHOP.</p> <p>THERE IS NO IMPLIED OR WRITTEN LICENCE TO USE THESE PLANS UNLESS OTHERWISE AGREED IN WRITING BY CPLUSC ARCHITECTURAL WORKSHOP.</p>		<p>PROJECT 19-030 HOLOCENE HOUSE</p> <p>PROJECT ADDRESS 7 BOWER STREET MANLY, 2095</p> <p>CLIENT JURGEN SPANGL & KARIN MUNDSPERGER</p>		<p>SCALE 1 : 100 @ A3</p> <p>DRAWN BY RN/CAR</p> <p>REVIEWED BY CC</p>		<p>DRAWING TITLE SECTION B - POOL, HOME OFFICE & GARAGE</p> <p>REVISION DATE 04/04/2022</p> <p>REVISION 2</p> <p>DRAWING NUMBER DA 012</p>	
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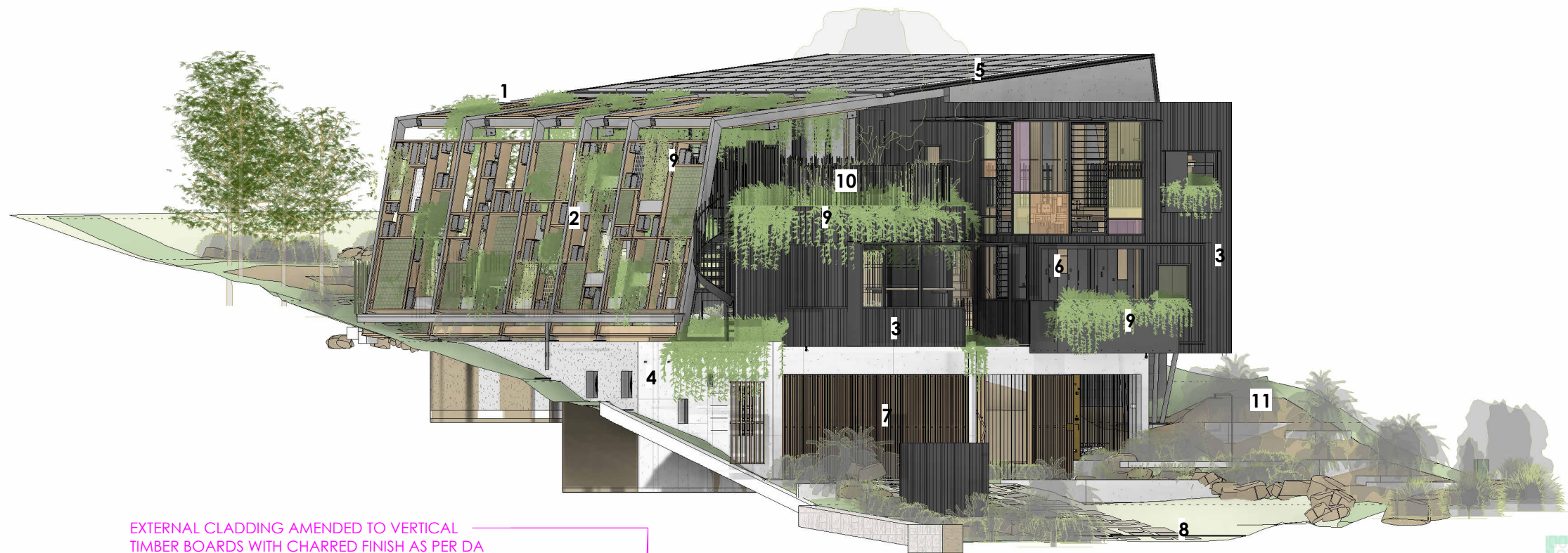
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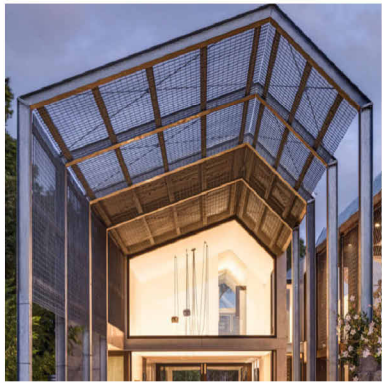
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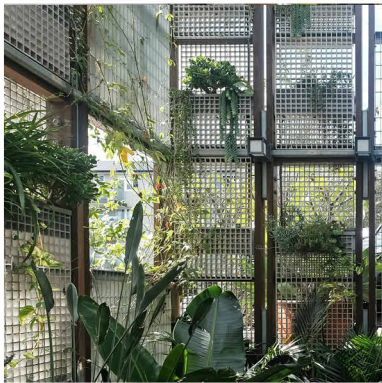




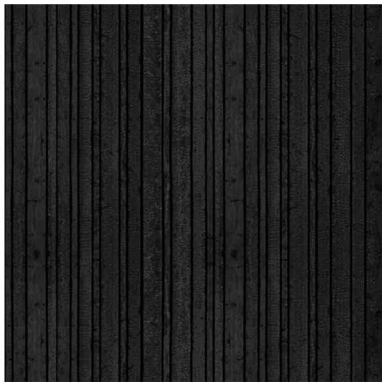
EXTERNAL CLADDING AMENDED TO VERTICAL
TIMBER BOARDS WITH CHARRED FINISH AS PER DA
CONDITION 7. CLADDING TO BASIX
REQUIREMENTS. EXTERNAL STEEL FINISHES AMENDED
TO ALIGN WITH UPDATED EXTERNAL CLADDING



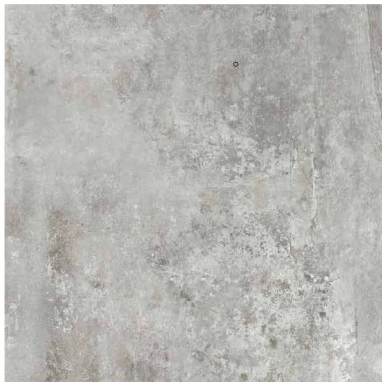
1 STEEL AND TIMBER FRAME
STRUCTURE



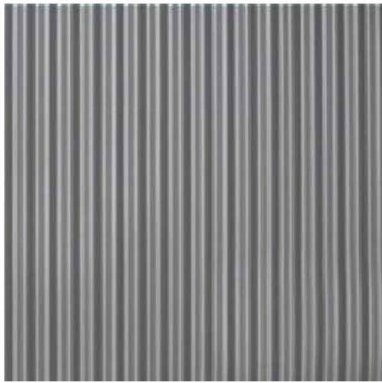
2 GRATING PANELS AND
STEEL WIRES WITH
SCREEN PLANTING



3 LIGHTWEIGHT CLADDING



4 CONCRETE STRUCTURE



5 METAL ROOFING



6 TIMBER FRAMED DOORS
& WINDOWS



7 TIMBER BATTENS AND STEEL CABLE WIRES



8 INTEGRATED STONE PAVERS



9 CREEPING AND
CASCADING PLANTS



10 STEEL BALUSTRADE



11 EXISTING ROCK OUTCROP