

- BASIX COMMITMENTS:
- SECONDARY DWELLING
- 1.All construction to comply with Basix certificate 11452185
 - 2. Low water use planting to 100sqm of the site
 - 3.Rainwater tank at least 2000litres to be installed to collect runoff from at least 94 sqm of roof connected to toilet, one outdoor tap.
 - 4. Minimum 4 star water rating shower heads to be installed
 - 5. Minimum 5 star water rating toilets to be installed
 - 6.Minimum 5 star water taps to be installed
 - 7.Floor to be concrete on ground (27sqm) & suspended concrete 32.5sqm) with R1.2 insulation below
 - 8.Minimum R3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R3.4)
 - 9. 55mm foil backed blanket to be installed below all roofs with minimum R2.95 insulation to ceiling
 - 10. The primary type of lighting to all rooms to be fluorescent, or LED
 - 11.Gas instantaneous hot water system (5 stars) to be installed
 - 12.Ceiling fans to be installed to living & bedroom areas & 3-phase airconditioning to living areas
 - 13 gas cooktop & electric oven to be installed
 - 14.fixed outdoor clothes drying line to be installed

- HOUSE & POOL
- 1.All construction to comply with Basix certificate A393896
 - 2.Rainwater tank at least 1011litres to be installed to collect runoff from at least 80 sqm of roof connected to a tap within 10m of pool
 - 3.Maximum capacity of pool to be 36,000 litres with a pump timer and pool cover.
 - 4.Electric heat pump pool heating to be installed
 - 5. 40% of all new or altered lighting fixtures to be fluorescent, compact fluorescent or LED
 - 6. Minimum R1.16 insulation to be installed to all external brick veneer walls (minimum combined Rvalue with construction R1.7)
 - 7.Minimum R1.3 insulation to be installed to all external timber framed walls (minimum combined Rvalue with construction R1.7)
 - 8. 55mm foil backed blanket to be installed below all roofs with minimum R1.74 insulation to ceiling

SITE CALCULATIONS

Site Area : 834.2 sqm

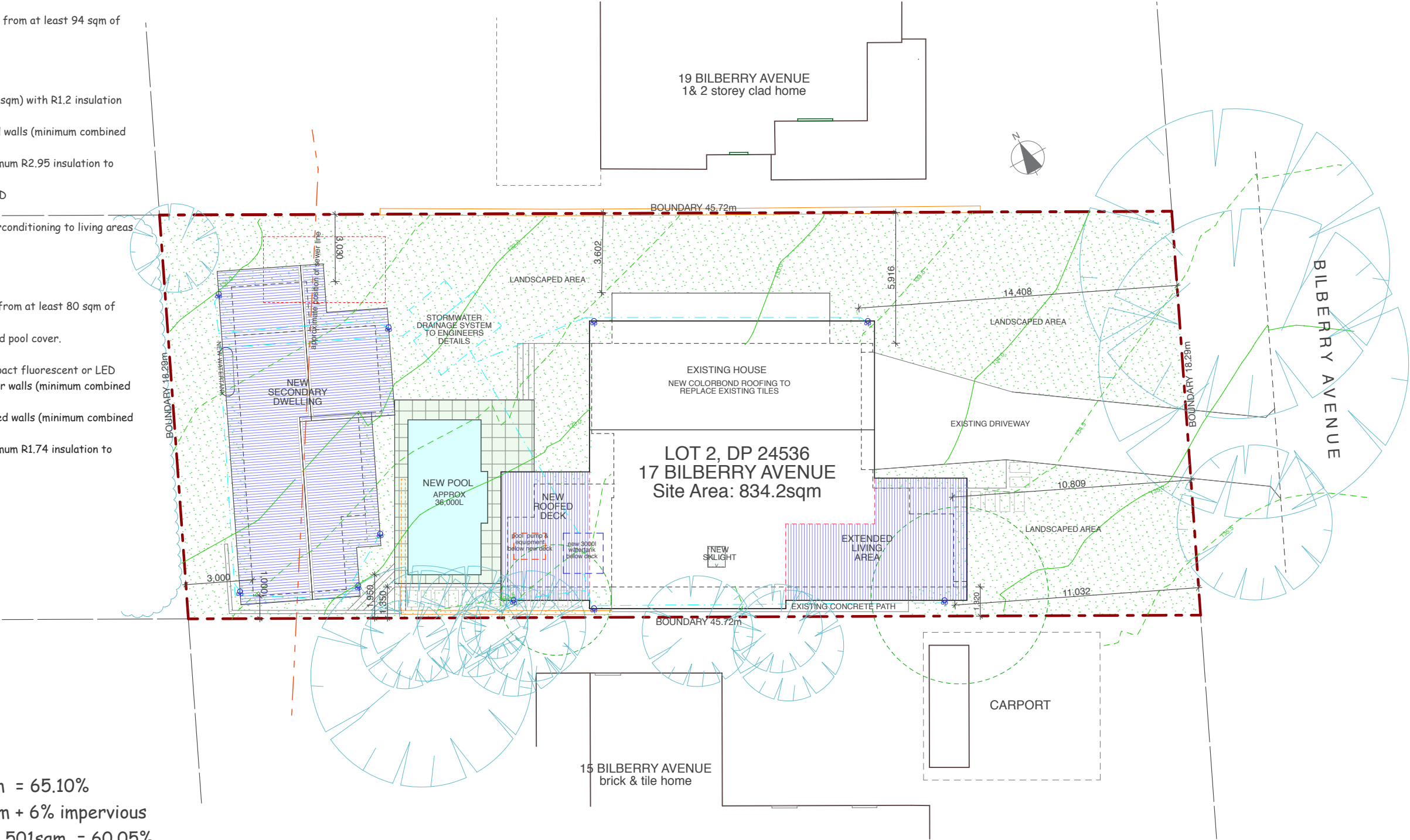
LANDSCAPE AREA

Existing Soft Landscaped area - 543sqm = 65.10%
Proposed Soft Landscaped area - 451sqm + 6% impervious outdoor entertaining area (pool) - 50sqm = 501sqm = 60.05%

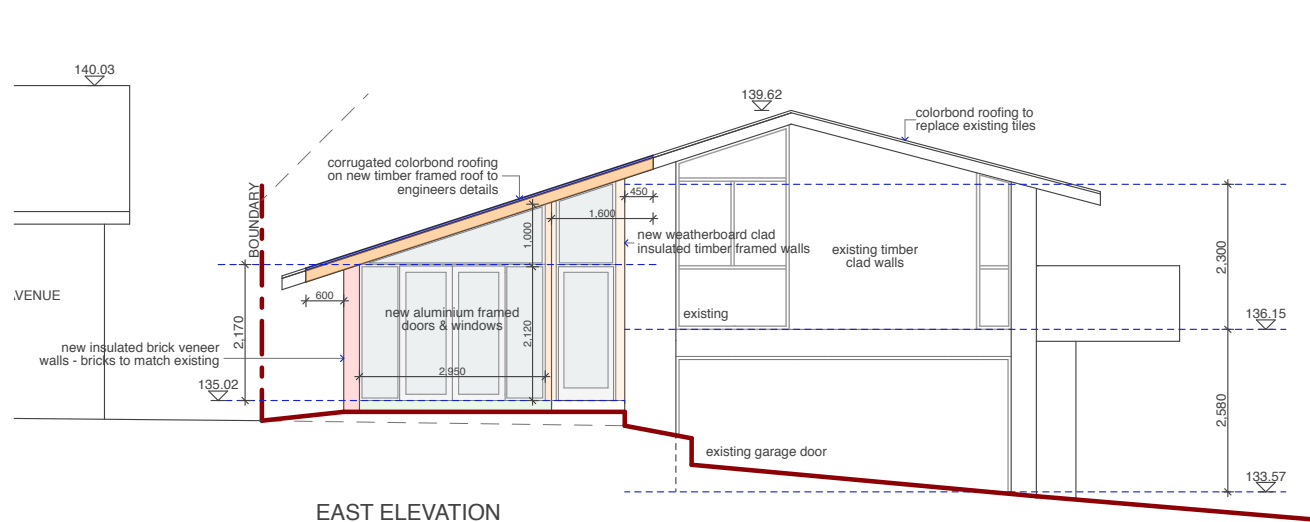
FLOOR AREA

Existing - house 130 sqm + garage 30 sqm = 160 sqm
Proposed -house 166 sqm + garage 30 sqm = 196 sqm

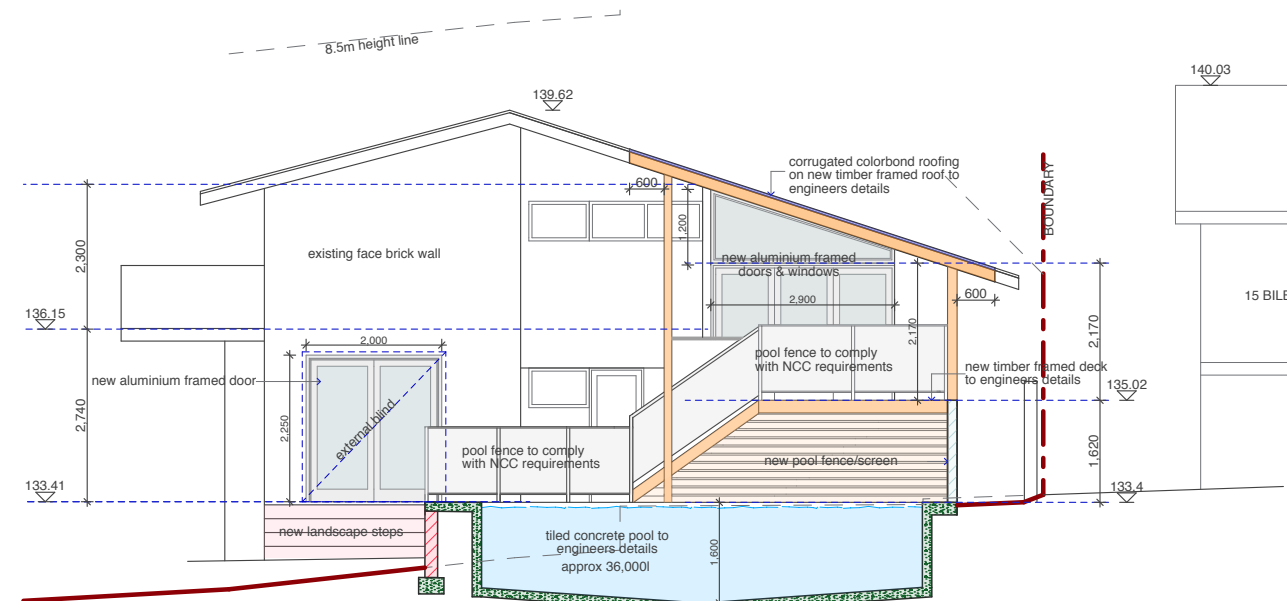
Proposed Floor area Secondary Dwelling- 59.6sqm



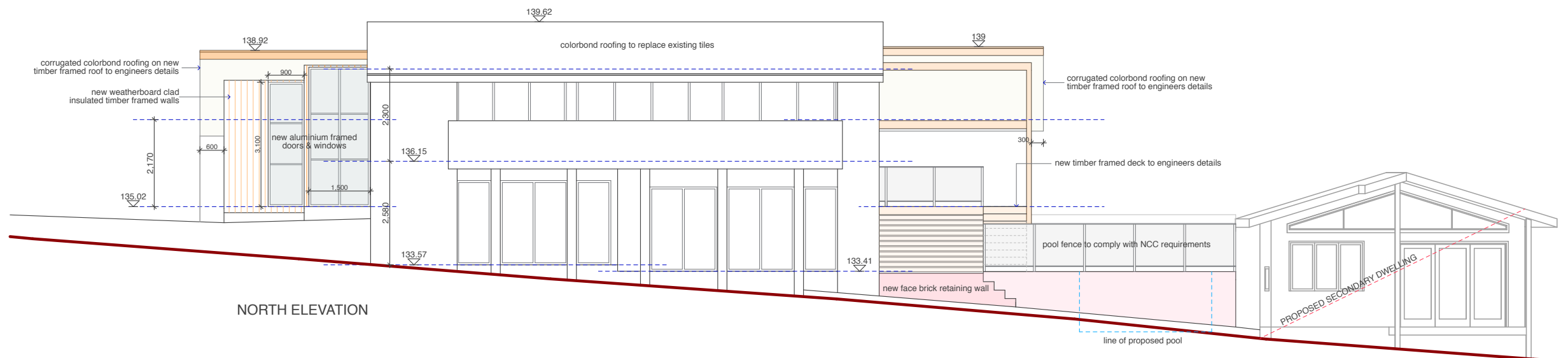
	JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173	PROPOSED ALTERATIONS & ADDITIONS for: B. & B. Bolewski at: Lot 21, DP24536, 17 Bilberry Avenue BILGOLA PLATEAU 2017	drawing title	date: NOVEMBER 2020
			SITE PLAN	scale: 1:200 (A3)
			NOTE: Use figured dimension only. Do not scale off drawings . All levels and dimensions to be verified prior to construction of work	drawing number DA-01



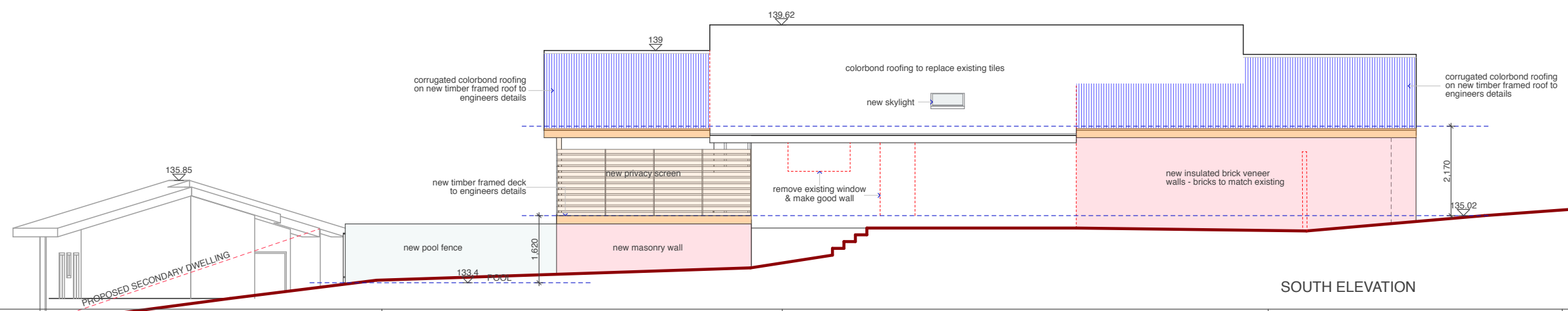
EAST ELEVATION



WEST ELEVATION

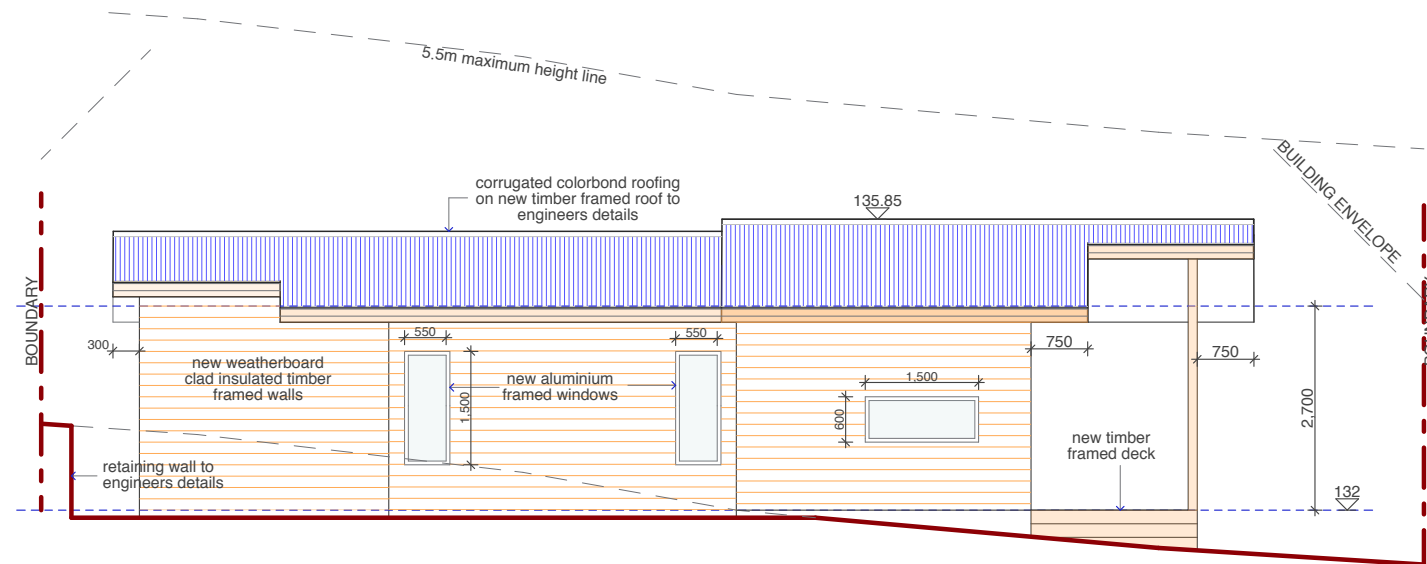


NORTH ELEVATION

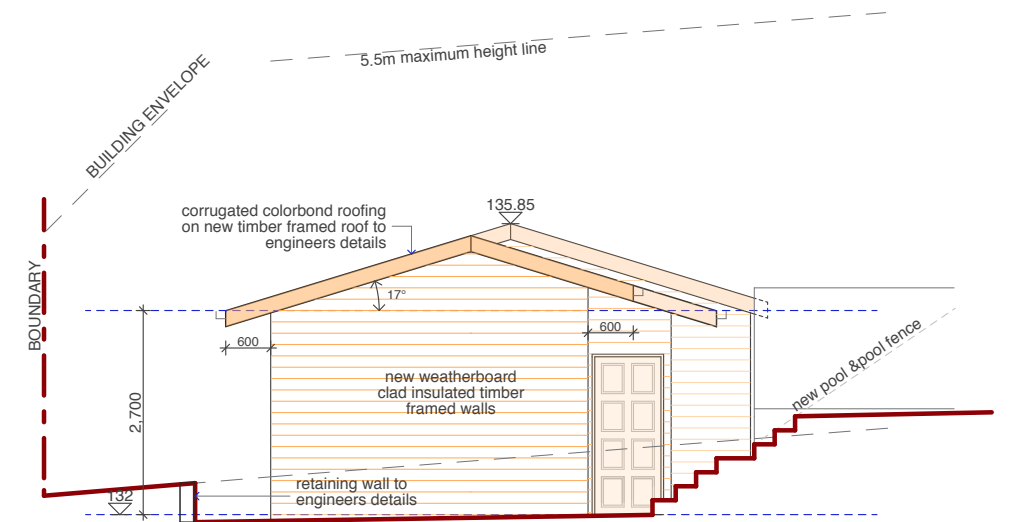


SOUTH ELEVATION

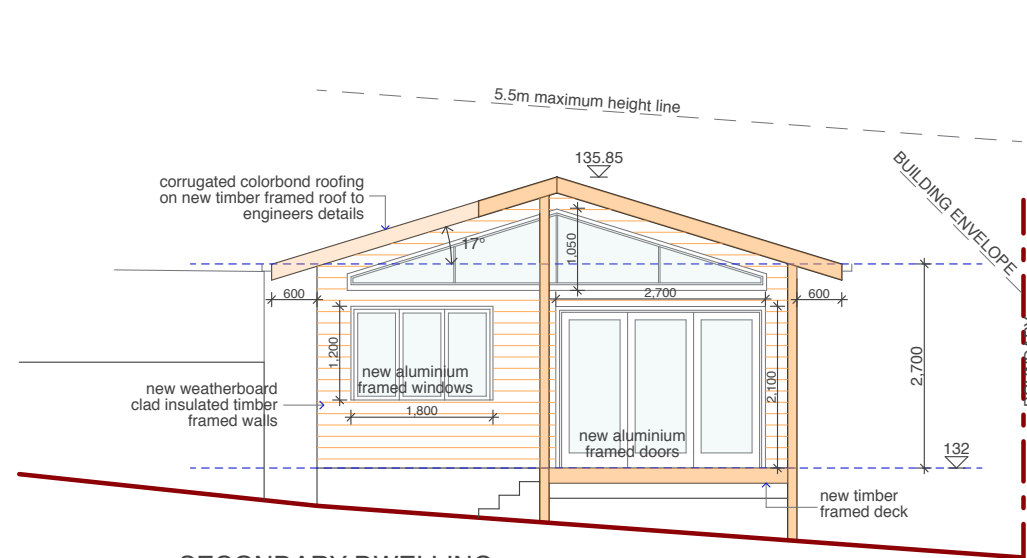
<p>AMENDMENTS</p>	<p>JO WILLMORE DESIGNS 11 Hudson Parade Clareville NSW 2107 (02) 9918 2479 ABN 27 370 370 173</p>	<p>PROPOSED ALTERATIONS & ADDITIONS</p> <p>for: B. & B. Bolewski at: Lot 21, DP24536, 17 Bilberry Avenue BILGOLA PLATEAU 2017</p>	<p>drawing title</p> <p>HOUSE ELEVATIONS</p> <p>NOTE: Use figured dimension only. Do not scale off drawings. All levels and dimensions to be verified prior to construction of work</p>	<p>date: NOVEMBER 2020</p> <p>scale:</p> <p>drawing number</p> <p>2</p>
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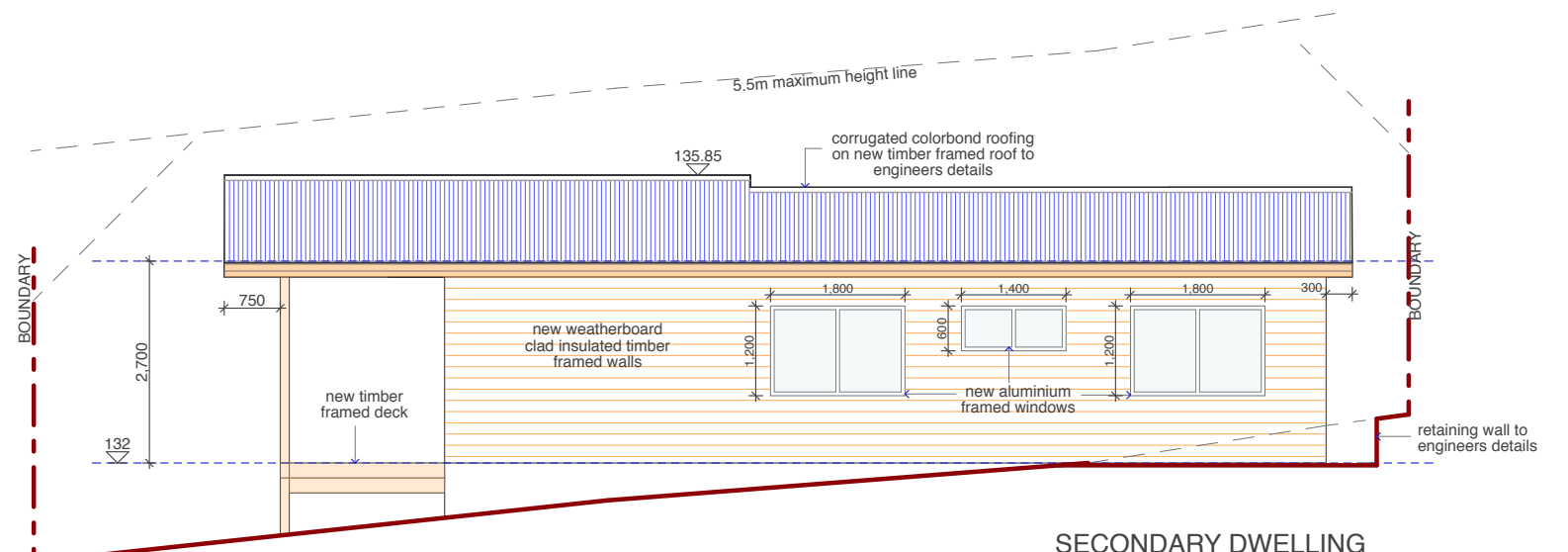
SECONDARY DWELLING
EAST ELEVATION



SECONDARY DWELLING
SOUTH ELEVATION



SECONDARY DWELLING
NORTH ELEVATION



SECONDARY DWELLING
WEST ELEVATION

AMENDMENTS

JO WILLMORE DESIGNS
11 Hudson Parade
Clareville NSW 2107
(02) 9918 2479
ABN 27 370 370 173

PROPOSED ALTERATIONS & ADDITIONS

for: B. & B. Bolewski
at: Lot 21, DP24536, 17 Bilberry Avenue
BILGOLA PLATEAU 2017

drawing title

SECONDARY DWELLING ELEVATIONS

NOTE: Use figured dimension only.
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of work

date: NOVEMBER 2020

scale:

drawing number

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