




Reference number 4745

Member of the Fire Protection Association of Australia

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## **Lot 2, DP 210657, 24 Ogilvy Road, Clontarf, NSW 2093.**

Wednesday, 11 September 2024

Prepared and certified by:	Matthew Willis <b>BPAD – Level 3 Certified Practitioner</b> Certification No: BPD-PA 09337		11/09/2024 11/04/2025
Can this proposal comply with AS3959-2018 (inc section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019)?	Yes		
What is the recommended AS 3959-2018 level of compliance?	BAL-40 and BAL-29		
Can this development comply with the requirements of PBP?	Yes		
Plans by "Archisoul Architects" (Appendix 1) dated.	2/4/2025		

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# **Bushfire Risk Assessment**

***Wednesday, 11 September 2024***

### **Contact**

*Harrison Dumesich*

*Archisoul Architects*

*Unit 23/28-34 Roseberry Street*

*Balgowlah NSW 2093*

*9976 5449*

### **Subject Property**

*Lot 2, DP 210657*

*24 Ogilvy Road*

*Clontarf NSW 2093*

## **BUSHFIRE RISK ASSESSMENT CERTIFICATE**

**THIS FORM IS TO BE COMPLETED BY A RECOGNISED CONSULTANT IN BUSHFIRE RISK ASSESSMENT IN ACCORDANCE WITH SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT.**

Property Address	Lot 2, DP 210657, number 24 Ogilvy Road Clontarf
Description of the Proposal	Construction of a new dwelling
Plan Reference	23/7/24
BAL Rating	BAL-40 and BAL-29
Does the Proposal Rely on Alternate Solutions?	<b>Yes</b>

I, **Matthew Willis of Bushfire Planning Services Pty Ltd** have carried out a bushfire risk assessment on the above-mentioned proposal and property. A detailed Bushfire Assessment Report is attached which includes the submission requirements set out in Planning for Bushfire Protection 2019 together with recommendations as to how the relevant Specifications and requirements are to be achieved.

I hereby advise, in accordance with Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203:

1. That I am a person recognised by the NSW Rural Fire Service as a qualified consultant in bushfire risk assessment; and
2. That subject to the recommendations contained in the attached Bushfire Risk Assessment Report the proposed development conforms to the relevant specifications and requirements\*

\*The relevant specifications and requirements being specifications and requirements of the document entitled Planning for Bush Fire Protection prepared by the NSW Rural Fire Service in co-operation with the Department of Planning and any other document as prescribed by Section 4.14 of the Environmental Planning and Assessment Act 1979 No 203.

I am aware that the Bushfire Assessment Report, prepared for the above-mentioned site is to be submitted in support of a development application for this site and will be relied upon by Northern Beaches Council as the basis for ensuring that the bushfire risk management aspects of the proposed development have been addressed in accordance with Planning for Bushfire Protection 2019.

<b>REPORT REFERENCE</b>	<i>Wednesday, 11 September 2024</i>
<b>REPORT DATE</b>	<i>Wednesday, 11 September 2024</i>
<b>CERTIFICATION NO/ACCREDITED SCHEME</b>	<i>FPA A BPAD A BPD-PA 09337</i>

### **Attachments:**

- Bushfire Risk Assessment Report
- Recommendations

**SIGNATURE:** ---  ----- **DATE:** -----Wednesday, 11 September 2024

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# 1 Executive Summary.

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Bushfire Planning Services has been requested to supply a Bushfire Risk Assessment on Lot 2, DP 210657, number 24 Ogilvy Road Clontarf.

Assessing the site using the “normal” assessment methodology generally used for bushfire assessment results in this proposal being determined to be within the Flame Zone of a small, area of foreshore vegetation to the south-west of the subject lot.

Given the location of this proposal, size and shape of the mapped hazard, a Flame Zone result is considered to be excessive and would pose an unnecessary cost and design impost upon the proponent.

The hazard itself is an elongated remnant of foreshore vegetation running along the northern face of middle harbour to the south and well-established residential development along the mapped hazards northern interface and beyond.

At its closest point, the mapped hazard itself is an area of Sydney Coastal Lily-Pilly Palm Gallery Rainforest situated around a small gully which runs downhill, north to south past the subject lot to the waters of Middle Harbour.

From a risk perspective the chances of the vegetation in the area carrying a bushfire of any significance are considered to be slim. I was unable to find any recorded fire history for the mapped hazard with the nearest recorded fires over 3 km away to the east and north.

To justify a realistic outcome for this proposal the Short Fire Run methodology created by the RFS has been used. Multiple different fire scenarios could be used for the purposes of this assessment, some would create a similar outcome to the “normal” assessment methodology while some would create an outcome with a lesser intensity than the design fire/scenario used in this assessment.

It is considered that the assessment methodology and variables used in this assessment are logical and also provide a common-sense and realistic outcome for this proposal.

The works proposed for the subject lot are for the construction of a new dwelling, see attached plans for details.

The subject lot is on the northern side of Ogilvy Road and at its closest point to the hazard the proposed new work has a separation distance to the south of approximately 16m.

The vegetation that is considered to be the hazard to this proposal is situated on land that slopes down slope away from the property at an angle of approximately 13.02 degrees.

For the purposes of this assessment this vegetation is considered to be Rainforest.

The remaining vegetation within the study area is contained within the boundaries of established allotments and is managed land and of low threat to this proposal.

The calculations and assumptions outlined in this report show that the development will be required to comply with the construction requirements of AS 3959-2018 BAL-40 on its exposed southern, eastern and western aspects, and BAL-29 on the northern aspects and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

The following table is a summary of the pertinent findings of this assessment.

Aspect	North	East	South	West
<b>Vegetation type</b>	Managed land	Managed land	Managed land/rainforest	Managed land
<b>Slope</b>	N/A	N/A	10-15 degrees downslope	N/A
<b>Setback within lot 2</b>	N/A	N/A	6m	N/A
<b>Setback outside lot 2</b>	N/A	N/A	10m	N/A
<b>Total setback</b>	N/A	N/A	16m	N/A
<b>Bal level</b>	N/A	N/A	BAL-40 <sup>1</sup>	N/A
<p><i>Note: The above table is a summary of the significant variables used to determine the highest BAL for this proposal. THIS TABLE IS NOT INTENDED FOR CONSTRUCTION! Only the highest BAL level is shown, aspects marked as N/A will still have a BAL. Refer to section 11 for construction requirements for these other aspects.</i></p>				

## 2 General.

This proposal relates to the construction of a new dwelling on the subject lot and its ability to comply with the rules and regulations for building in a bushfire prone area.

The methodology used on this report is based on Planning for Bushfire Protection 2019 (PBP) as published by the New South Wales Rural Fire Service.

Any wording that appears in *blue italics* is quotes from Planning for Bushfire Protection 2019. Some of the measurements used in this report have been taken from aerial photographs and as such are approximate only.

<sup>1</sup> By method 2 and SFR calculations.

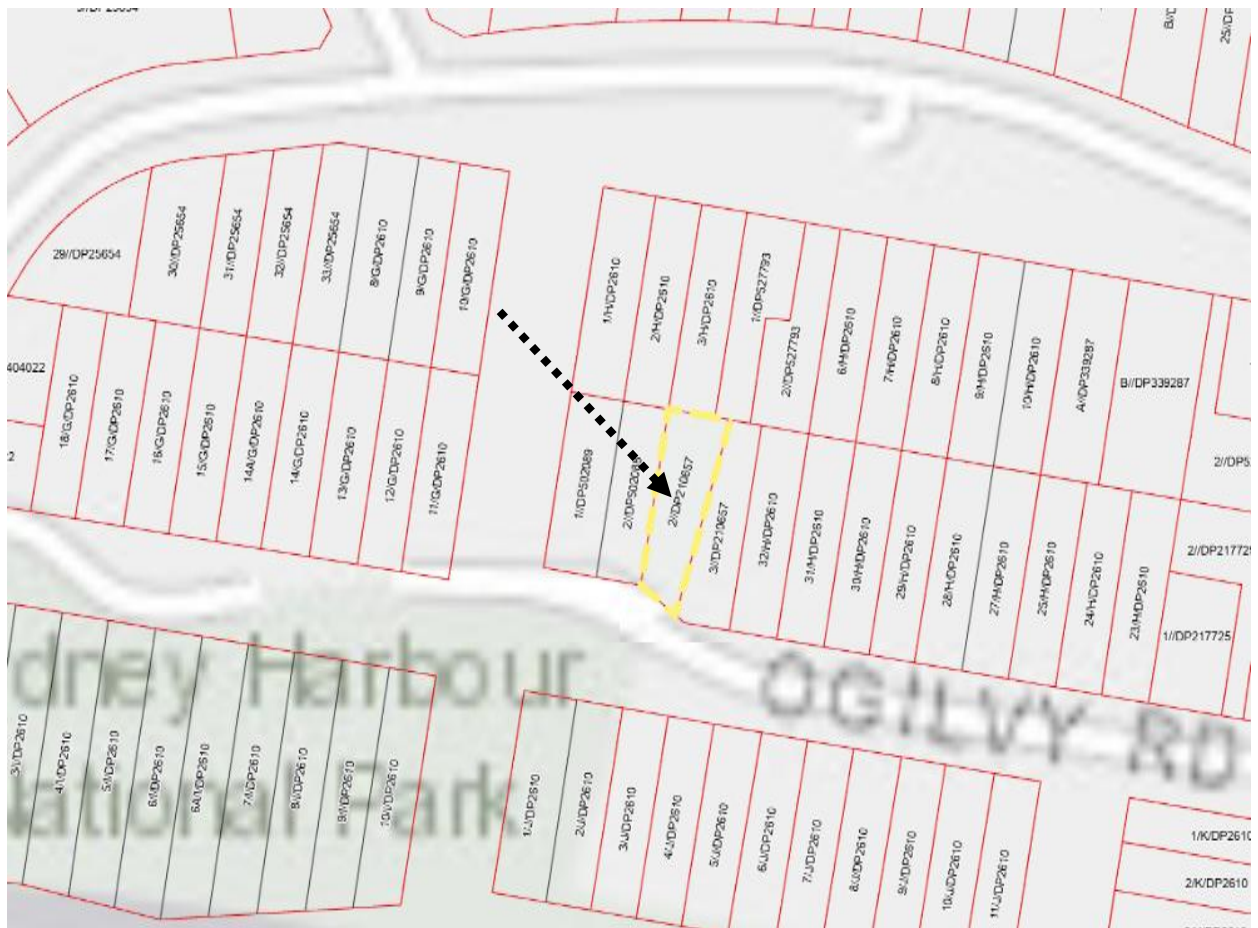
### 3 Block Description.

The subject block is situated on the northern side of Ogilvy Road in an established area of Clontarf.

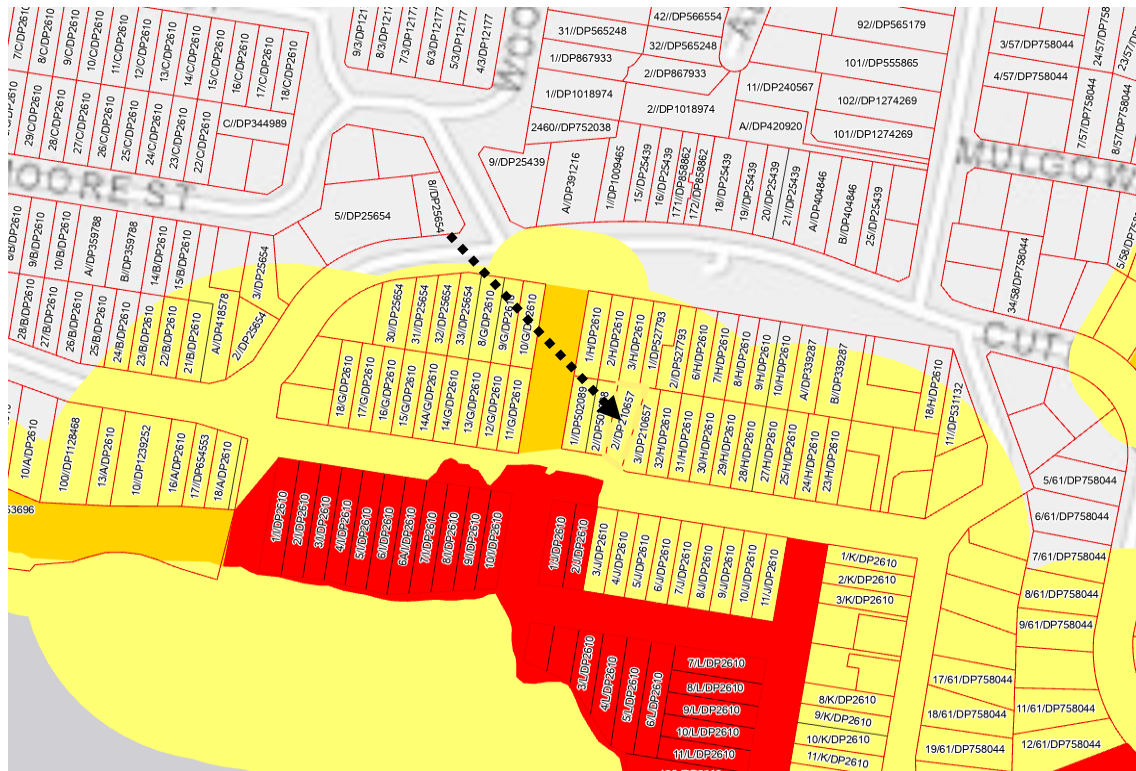
The lot currently contains a multi-level class 1 dwelling.

The lands surrounding the proposed site on the subject lot to a distance of at least 16m contain existing development or land that is otherwise not considered to be a significant bushfire hazard.

- Lot; 2
- DP; 210657.
- LGA; Northern Beaches.
- Area; 470.1m2.
- Address; 24 Ogilvy Road, Clontarf.



*Map 1 shows the cadastral layout around the subject lot.*



*Map 2 is an extract from the councils' bushfire prone land map. The map shows lot 2 to be within the buffer zone of category 1 and 2 bushfire vegetation.*

## 4 Vegetation.

The study area for the vegetation is 140m surrounding the subject block.

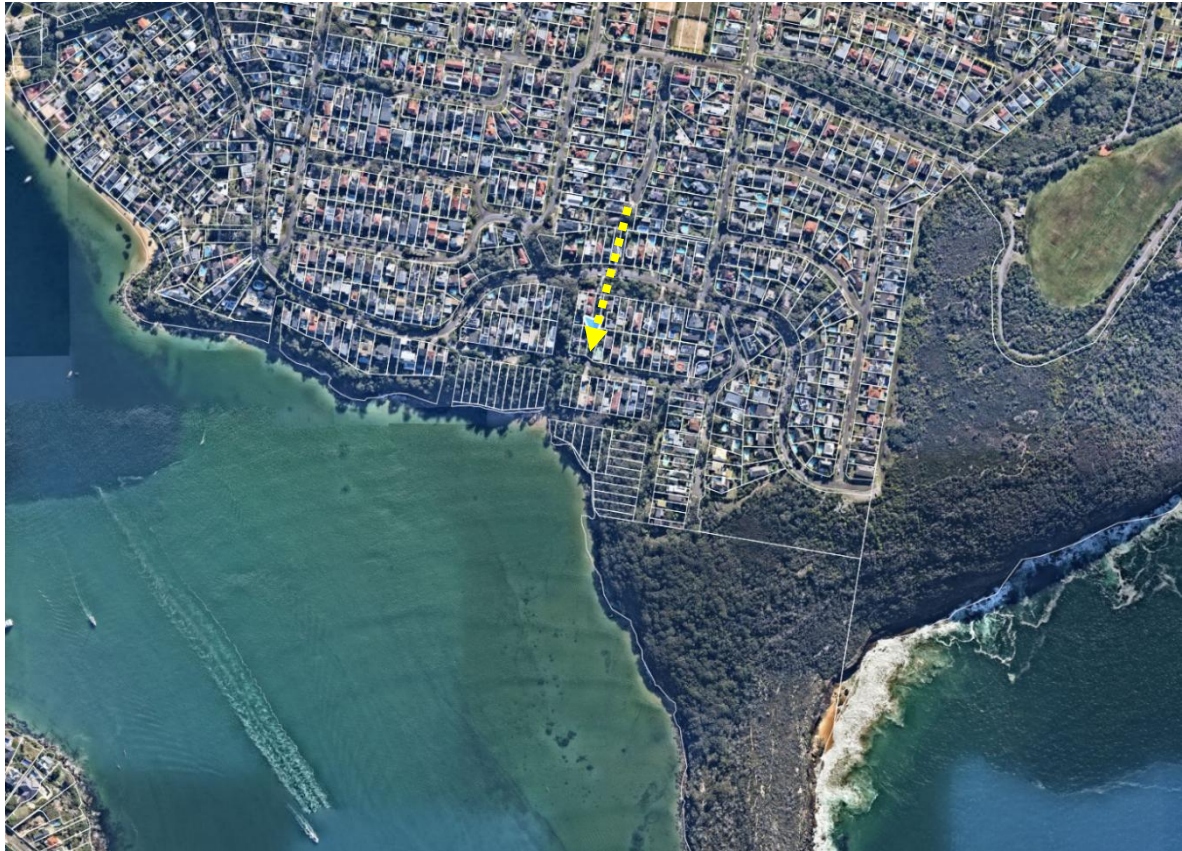
The vegetation within the study area for this development is considered to be largely managed land.

The only potential hazard to this development is the vegetation within an area of undeveloped land to the south and to a lesser degree to the west.

The larger area of vegetation to the south has been identified as Sydney Coastal Lilly Pilly Palm Gallery Rainforest which is a Northern Warm Temperate Rainforest and has a vegetation form of Rainforest. Further to the east is an area of Sydney Coastal Sandstone Foreshore Forest.

For the purpose of assessment area of Coastal Lily Pilly Palm Gallery Rainforest is considered to be the more significant hazard proposal.





*Photo 1 - An overview of the vegetation within the general area.*



*Photo 2 is a closer view of the vegetation in the area.*

Table 1 outlines the vegetation orientation and distance from the development area.

Aspect	North	East	South	West
<b>Vegetation type</b>	Managed land	Managed land	Managed land/rainforest	Remnant
<b>Setback within lot 2</b>	N/A	N/A	6m	N/A
<b>Off-site setback</b>	N/A	N/A	10m	N/A
<b>Total setback</b>	N/A	N/A	16m	N/A

*Table 1 - Any aspect marked with "N/A" in the table above indicates that it is considered there is none or only a secondary hazard in that direction.*

## 5 Known constraints on subject block.

I have not been informed or know of any places of cultural or environmental significance within the boundaries of the subject block. Given the nature of the surrounding land it is considered highly unlikely that anything of significance will be affected by this development.

*This area has been left intentionally blank.*



## 6 Slope.

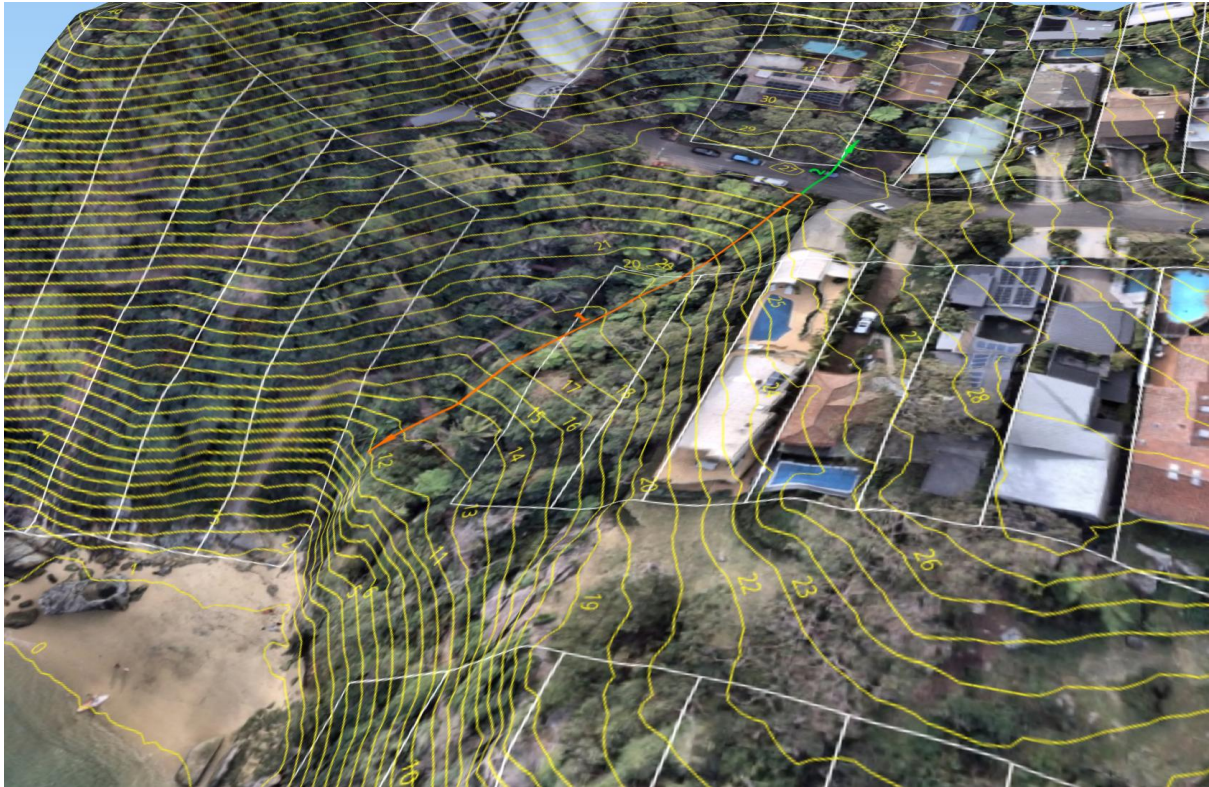
The slope of the land beneath the hazard that is most likely to influence bushfire behaviour has been calculated by topographical map analysis to a distance of 100m from the subject lot. An extract of the 1 m topographical map for the area is shown below and the relevant slope analysis is shown in the embedded table.

For the purposes of this assessment the slope between the northern interface of the southern area of mapped hazard and the steep drop down to the foreshore has been used as the effective slope for this assessment, this is represented as line 1 in the following image.

The site slope is shown as line 2.



*This area has been left intentionally blank.*



*Map 3. The above overlaid aerial image is a 3D representation topography beneath the mapped hazard. As can be seen the effective slope is taken from the 12 m contour up to the hazard interface to the north.*

*This area has been left intentionally blank.*

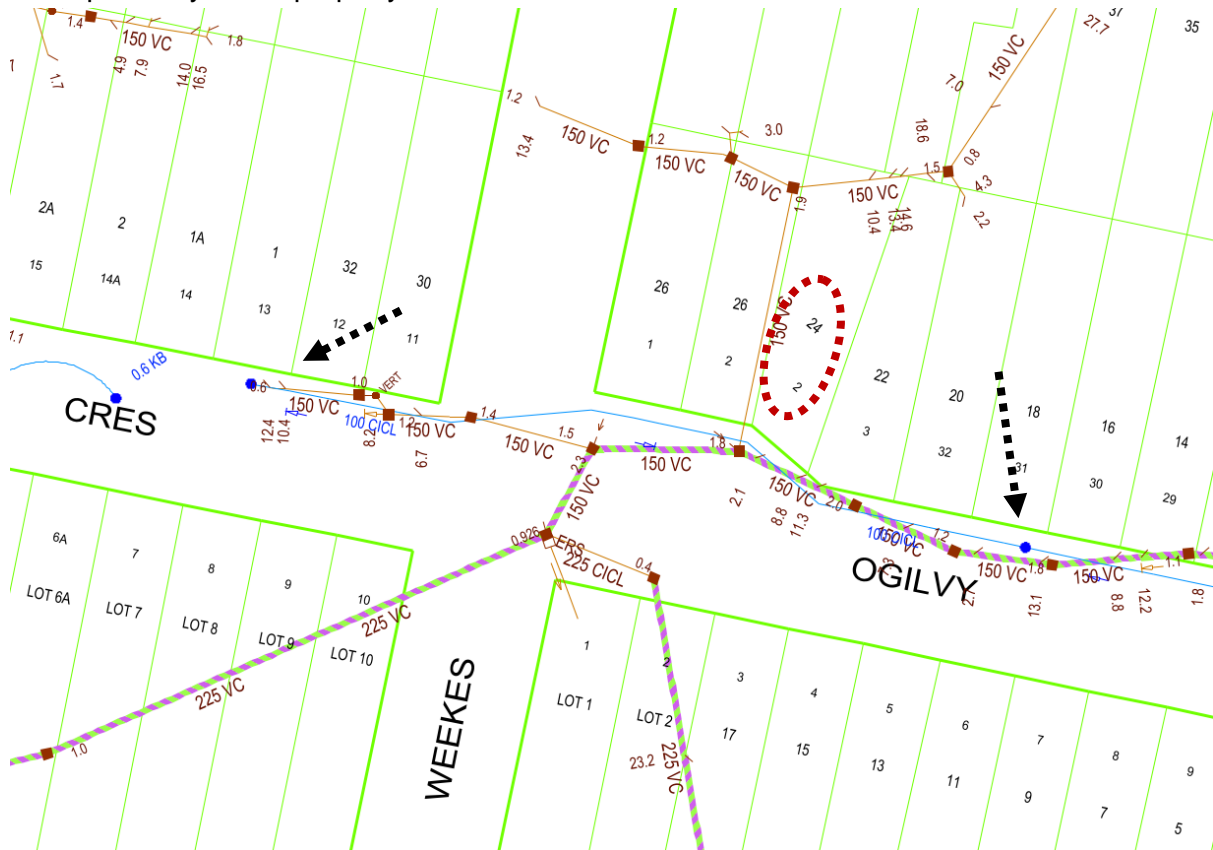


## 7 Utilities.

### 7.1 Water.

The subject block will be serviced by a reticulated water supply.

The following map is an extract from Sydney waters hydrant map. Hydrants are indicated by a blue dot on a blue line. As can be seen there is at least one hydrant point indicated within close proximity of the property.



## *Analysis of development and recommendation.*

### **9 Expected fire behaviour.**

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For the purposes of this assessment the fire behaviour is considered to be a fire starting on the foreshore, moving up the first 12m of steep land and then continuing to the north towards the subject lot. The fire then would be influenced by the slope between the 12 and 27m contours until it reached the hazard/managed land interface.

The vegetation to the west of the subject lot has also been considered however it has been discounted as a secondary hazard as it produced a lower outcome than the hazard used in this assessment.

### **10 Compliance with Planning for Bushfire Protection.**

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As previously mentioned, this assessment utilises the RFS developed Short Fire Run Methodology. This methodology utilises Method 2 of AS 3959 and incorporates an allowance for limited fire growth due to the size of the hazard and its distance for fire run potential.

This methodology produces more realistic outcomes for small areas of vegetation.

The variables used in this assessment are;

- FDI for the Greater Sydney area = 100.
- Vegetation fuel loads = Surface fuel of 10 ton per hectare with a total fuel loading of 13.2 ton per hectare.
- Elevated fuel height = 2 m
- Slope beneath hazard = 13.02° downslope.
- Site slope = 8.38° downslope.
- Elevation of the receiver = 5.47 m (peak).
- Flame width = 23.79 m

The following table shows the variables and outcomes of the method 2 calculations incorporating the Short Fire Run methodology.

**Site Street Address:** 24 Ogilvy Road, Clontarf  
**Assessor:** Matthew Willis; Bushfire Planning Services  
**Local Government Area:** Northern Beaches **Alpine Area:** No

#### Equations Used

Transmissivity: Fuss and Hammins, 2002  
 Flame Length: RFS PBP, 2001/Vesta/Catchpole  
 Rate of Fire Spread: Noble et al., 1980  
 Radiant Heat: Drysdale, 1985; Sullivan et al., 2003; Tan et al., 2005  
 Peak Elevation of Receiver: Tan et al., 2005  
 Peak Flame Angle: Tan et al., 2005

**Run Description:** South

#### Vegetation Information

**Vegetation Type:** Rainforest  
**Vegetation Group:** Forest and Woodland  
**Vegetation Slope:** 13.02 Degrees **Vegetation Slope Type:** Downslope  
**Surface Fuel Load(t/ha):** 10 **Overall Fuel Load(t/ha):** 13.2  
**Vegetation Height(m):** 2 **Only Applicable to Shrub/Scrub and Vesta**

#### Site Information

**Site Slope:** 8.38 Degrees **Site Slope Type:** Downslope  
**Elevation of Receiver(m):** default **APZ/Separation(m):** 16

#### Fire Inputs

**Veg./Flame Width(m):** 23.79 **Flame Temp(K):** 1090

#### Calculation Parameters

**Flame Emissivity:** 95 **Relative Humidity(%):** 25  
**Heat of Combustion(kJ/kg)** 18600 **Ambient Temp(K):** 308  
**Moisture Factor:** 5 **FDI:** 100

#### Program Outputs

**Level of Construction:** BAL E2 **Peak Elevation of Receiver(m):** 5.47  
**Radiant Heat(kW/m2):** 38.16 **Flame Angle (degrees):** 44  
**Flame Length(m):** 22.38 **Maximum View Factor:** 0.576  
**Rate Of Spread (km/h):** 2.95 **Inner Protection Area(m):** 16  
**Transmissivity:** 0.871 **Outer Protection Area(m):** 0  
**Fire Intensity(kW/m):** 20097

As can be seen the expected radiant heat level using the Short Fire Run methodology has resulted in an expected heat level of less than 40kW/m2 making the appropriate BAL for this proposal BAL-40.

## 11 Siting.

The current site provides adequate separation between the proposed building and surrounding vegetation for a compliant structure to be built.

#### Recommendation;

Nil.

## 12 Construction and design.

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All new work is to be undertaken in accordance with the relevant requirements of the NCC and AS3959 2018. The following recommendations are a minimum level of construction. Constructing the proposal to a higher level than that recommended is allowable under AS3959.

**Recommendation; all new work to the southern, eastern and western aspects.**

1. New construction on the southern, eastern and western aspects shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
2. New construction on the southern, eastern and western aspects shall also comply with the requirements of BAL-40 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.

**Recommendation; all new work to the northern aspect.**

3. New construction on the northern aspects shall comply with the requirements of section 3 of Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" and,
4. New construction on the northern aspects shall also comply with the requirements of and BAL-29 Australian Standard AS3959-2018 "Construction of buildings in bush fire-prone areas" or NASH Standard "National Standard Steel Framed Construction in Bushfire Areas" and any additional construction requirements contained within section 7.5, 7.5.1, 7.5.2, 7.5.3, 7.5.4 (where applicable) of the Rural Fire Services document Planning for Bushfire Protection 2019.
5. New roofing valleys and guttering should be fitted with a non-combustible leaf protection to stop the accumulation of debris.

*AS-3959 2018 is available as PDF from;*

[https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340\\_saig\\_as\\_as\\_2685241/](https://infostore.saiglobal.com/en-au/standards/as-3959-2018-122340_saig_as_as_2685241/)

## 13 Utilities.

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### 13.1 Water.

The proposed development will have access to a reticulated water supply. There is at least one hydrant indicated within the required distance from the dwelling.

**Recommendation;**

Nil.

## 13.2 Electricity and Gas.

### Recommendation;

6. Any new electricity or gas connections are to comply with the requirements of table 7.4a of Planning for Bushfire Protection.

## 14 Asset Protection Zone (APZ).

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The Asset Protection Zone is *“An area surrounding a development managed to reduce the bushfire hazard to an acceptable level. The width of an APZ will vary with slope, vegetation and construction level”*.

### Recommendation;

7. At the commencement of building works and in perpetuity the entire property shall be managed as an Asset Protection Zone in accordance with the requirements of Planning for Bushfire Protection, the RFS document Standards for Asset Protection Zones and in a manner that does not create a bushfire hazard to the property.

## 15 Landscaping.

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### Recommendation;

8. Any new fencing is to be constructed in accordance with section 7.6 of Planning for Bushfire Protection 2019.
9. Any new landscaping to the site is to comply with the principles of Appendix 4 and section 3.7 of Planning for Bush Fire Protection 2019. In this regard the following landscaping principles are, where applicable, to be incorporated into the development<sup>2</sup>:
  - Suitable impervious areas being provided immediately surrounding the building such as courtyards, paths and driveways;
  - Grassed areas/mowed lawns/ or ground cover plantings being provided in close proximity to the building;
  - Restrict planting in the immediate vicinity of the building which may over time and if not properly maintained come in contact with the building;
  - Maximum tree cover should be less than 30%, and maximum shrub cover less than 20%;
  - Planting should not provide a continuous canopy to the building (i.e. trees or shrubs should be isolated or located in small clusters);
  - When considering landscape species consideration needs to be given to estimated size of the plant at maturity;

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<sup>2</sup>Refer to referenced documents for a complete description.

- Avoid species with rough fibrous bark, or which retain/shed bark in long strips or retain dead material in their canopies;
- Use smooth bark species of trees species which generally do not carry a fire up the bark into the crown;
- Avoid planting of deciduous species that may increase fuel at surface/ ground level (i.e. leaf litter);
- Avoid climbing species to walls and pergolas;
- Locate combustible materials such as woodchips/mulch, flammable fuel stores away from the building;
- Locate combustible structures such as garden sheds, pergolas and materials such timber garden furniture way from the building; and
- Use of low flammability vegetation species.

## 16 Constraints on the subject block.

None known.

Recommendation;

Nil

## 17 Access/Egress.

All roads in the area are considered to be capable of handling emergency service vehicles. Access from the roadway onto the property is also considered to be adequate for firefighting purposes.

Recommendation

Nil

## 18 Compliance or non compliance with the specifications and requirements for bushfire protection measures.

<p>APZ</p> <p>A defensible space is provided onsite.</p> <p>An APZ is provided and maintained for the life of the development.</p>	<p>Achievable with the implementation of the recommendations in section 13</p>
<p>SITING AND DESIGN:</p> <p>Buildings are sited and designed to minimise the risk of bush fire attack.</p>	<p>Achievable with the implementation of the recommendations in section 10</p>

<p><b>CONSTRUCTION STANDARDS:</b></p> <p>It is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact.</p>	<p>Achievable with the implementation of the recommendations in section 11</p>
<p><b>ACCESS</b></p> <p>Safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>	<p>Achievable with the implementation of the recommendations in section 16</p>
<p><b>WATER AND UTILITY SERVICES:</b></p> <ul style="list-style-type: none"> <li>adequate water and electricity services are provided for firefighting operations</li> <li>Gas and electricity services are located so as not to contribute to the risk of fire to a building.</li> </ul>	<p>Achievable with the implementation of the recommendations in section 12</p>
<p><b>LANDSCAPING:</b></p> <ul style="list-style-type: none"> <li>it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause Ignitions.</li> </ul>	<p>Achievable with the implementation of the recommendations in section 14</p>

## 19 Conclusions.

Based on the above report and with the implementation of the recommendation contained within this report the consent authority should determine that this development can comply with the requirements of AS 3959-2018 and 'Planning for Bushfire Protection' guidelines.

The recommendations contained within this report are to be implemented in their entirety. Changing one aspect may have an adverse effect on the rest of the recommendations.

Bushfires are affected by many external influences such as climactic conditions, vegetation type, moisture content of the fuel, slope of the land and human intervention to name a few and are difficult to predict.

This report does not intend to provide a guarantee that the subject property will survive if a bushfire should impact the surrounding area. The purpose of this report is to show the developments level of compliance or in some cases non-compliance with the New South Wales legislation regarding building in bushfire prone areas.

Where non-compliance is found measures will be suggested that should make the building less susceptible to the various attack mechanisms of a bushfire and comply with the performance requirements of the Building Code of Australia.

The opinions expressed in this report are based on the writers' experience and interpretation of the relevant guidelines and standards. Notwithstanding the above, these guidelines and

standards are open to interpretation. All care has been taken to ensure that the opinions expressed in this report are consistent with past successful outcomes.

Some of the information used in the compilation of this assessment has been provided by the proponent or the proponent's representatives. While we believe this information to be true and have accepted the information in good faith however this company or its representatives will not accept any responsibility if the provided information is determined to be incorrect.

This document is to assist the consenting authorities with their assessment of this proposal. The recommendations contained in this assessment reflect the normal conditions that are typically applied by the consent authority for a proposal such as this however the conditions of consent for the proposal will be supplied by the certifying authority on approval of the development and may not necessarily be the same as the recommendations of this assessment.

The recommendations in this assessment are for planning guidance only, construction details and compliance with all building requirements are the responsibility of the Architect/Designer, Builder and Certifier.

To avoid confusion, unless specifically referenced by the consenting authority, it is strongly recommended that once this proposal has been approved that this document is no longer referenced and that only the official conditions of consent as reflected in documentation by the certifying body are used for construction guidance.

If any further clarification is required for this report, please do not hesitate to contact me using the details above.

Yours Sincerely



**Matthew Willis**  
*Grad Dip Planning for Bushfire Prone Areas*  
*Bushfire Planning Services Pty Limited*



## 20 References.

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- *Australian Building Codes Board (2019). National Construction Code Volume One - Building Code of Australia. ABCB*
- *Australian Building Codes Board (2019). National Construction Code Volume two - Building Code of Australia. ABCB.*
- *Keith, D.A. (2004). Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT. NSW Department of Environment and Conservation.*
- *National Association of Steel Framed Housing (2014). "Steel Framed Construction in Bush Fire Areas. NASH*
- *Ramsay, C and Rudolph, L (2003) "Landscape and Building Design for Bush fire Areas". CSIRO Publishing, Collingwood.*
- *Resources and Energy NSW (2016). ISSC 3 Guide for the Managing Vegetation in the Vicinity of Electrical Assets. NSW Government*
- *Rural Fire Service NSW (2005) "Standards for Asset Protection Zones"*
- *Standards Australia (2018). "AS 3959, Construction of buildings in bush fire prone areas".*
- *Standards Australia (2018). "AS/NZS 1530.8.1 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Radiant heat and small flaming sources".*
- *Standards Australia (2018). "AS/NZS 1530.8.2 Methods for fire tests on building materials, components and structures - Tests on elements of construction for buildings exposed to simulated bush fire attack - Large flaming sources".*
- *Standards Australia (2014). "AS/NZS 1596 The storage and handling of LP Gas".*

## 21 Appendix 1 - Plans .

### Development Application // New Dwelling

Wednesday, 2 April 2025

APPLICANT: David and Christine LaRose


24 OGILVY ROAD CLONTARF 2093



OPTION	DRAWING No.	DESCRIPTION	REV	ISSUED
DEVELOPMENT APPLICATION (stage 2)				
DA01		COVER PAGE	01	☑
DA02		EXISTING SITE ANALYSIS	01	☑
DA03		EXISTING SITE PHOTOS	01	☑
DA04		EXISTING GARAGE FLOOR PLAN	01	☑
DA05		EXISTING GROUND FLOOR PLAN	01	☑
DA06		EXISTING FIRST FLOOR PLAN	01	☑
DA07		EXISTING ROOF PLAN	01	☑
DA08		EXISTING NORTH & SOUTH ELEVATIONS	01	☑
DA09		EXISTING EAST & WEST ELEVATIONS	01	☑
DA10		DEMOLITION PLANS	01	☑
DA11		PROPOSED SITE PLAN	01	☑
DA12		PROPOSED FSR CALCULATION	01	☑
DA13		PROPOSED GARAGE FLOOR PLAN	01	☑
DA14		PROPOSED GROUND FLOOR PLAN	01	☑
DA15		PROPOSED FIRST FLOOR PLAN	01	☑
DA16		PROPOSED ROOF PLAN	01	☑
DA17		PROPOSED SOUTH ELEVATIONS	01	☑
DA18		PROPOSED EAST ELEVATIONS	01	☑
DA19		PROPOSED NORTH ELEVATIONS	01	☑
DA20		PROPOSED WEST ELEVATIONS	01	☑
DA21		PROPOSED SECTION A	01	☑
DA22		PROPOSED SECTION B	01	☑
DA23		PROPOSED SECTION C	01	☑
DA24		PROPOSED POOL SECTIONS	01	☑
DA25		HEIGHT LIMIT STUDY	01	☑
DA26		3D VIEWS	01	☑
DA27		3D VIEWS	01	☑
DA28		PROPOSED DOOR SCHEDULES	01	☑
DA29		PROPOSED WINDOW SCHEDULES	01	☑
DA30		SHADOW DIAGRAMS PLAN - SUMMER SOLTICE	01	☑
DA31		SHADOW DIAGRAMS 3D - WINTER SOLTICE	01	☑
DA32		EXTERNAL FINISHES SCHEDULE	01	☑
DA33		EXTERNAL FINISHES SCHEDULE	01	☑
DA34		WASTE MANAGEMENT PLAN	01	☑





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REV	DATE	DESCRIPTION																	
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)																	





STREET FACADE



FRONT SOUTH FACING FACADE



REAR NORTH-EAST FACADE



REAR YARD



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :

**EXISTING SITE PHOTOS**

PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

REVISION NO.

**01**

DRAWING NO.

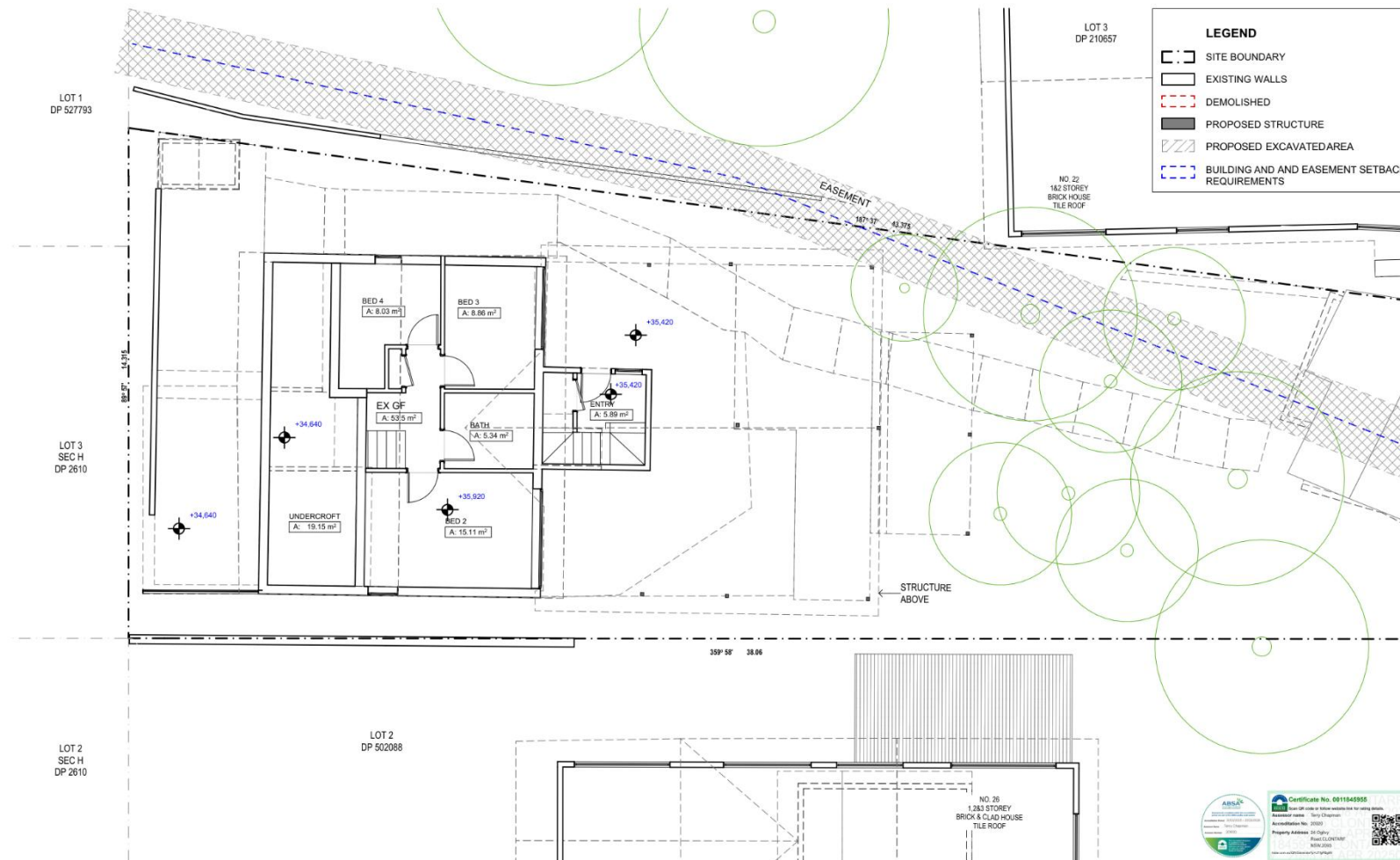
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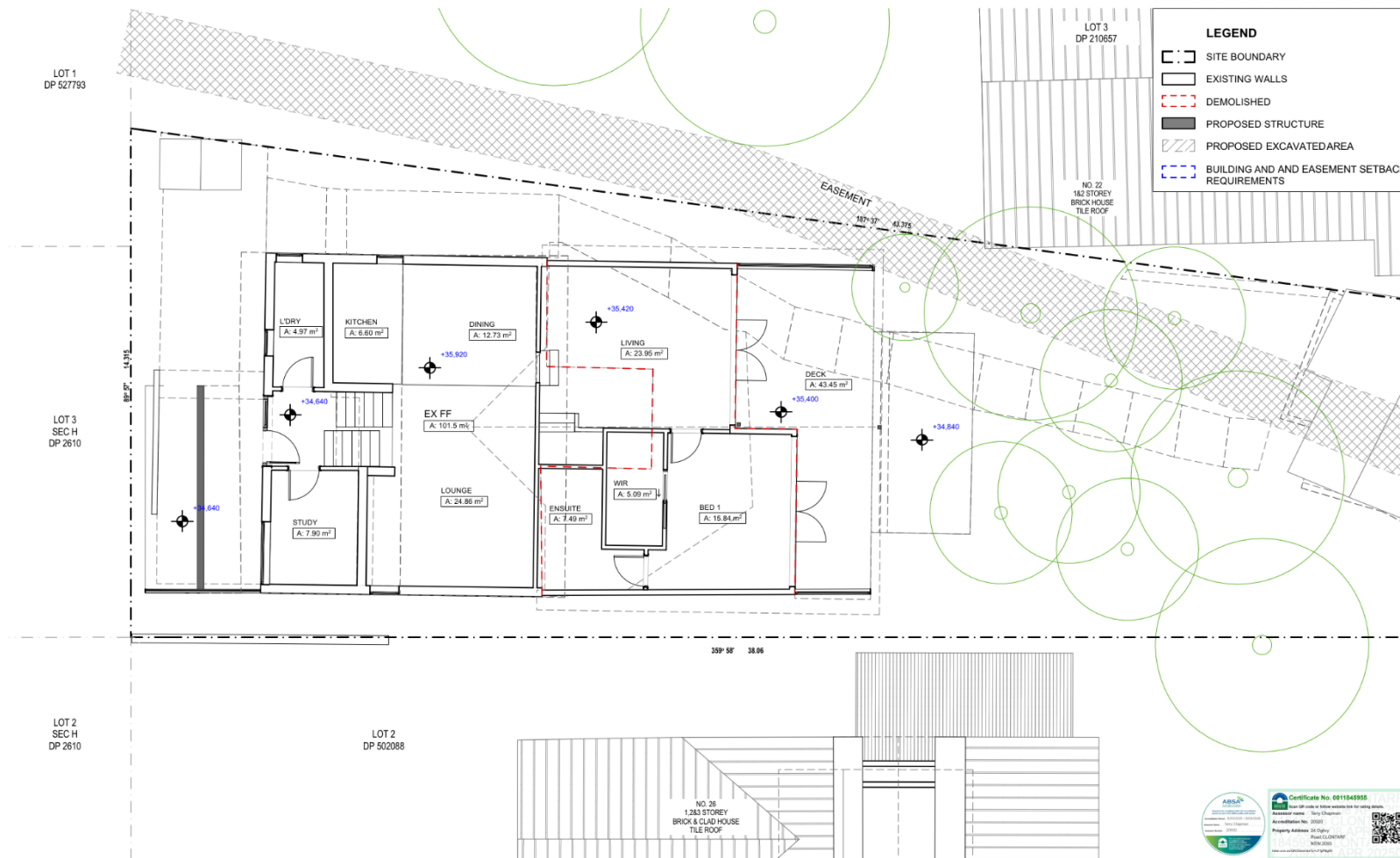


SCALE:  
@ A3

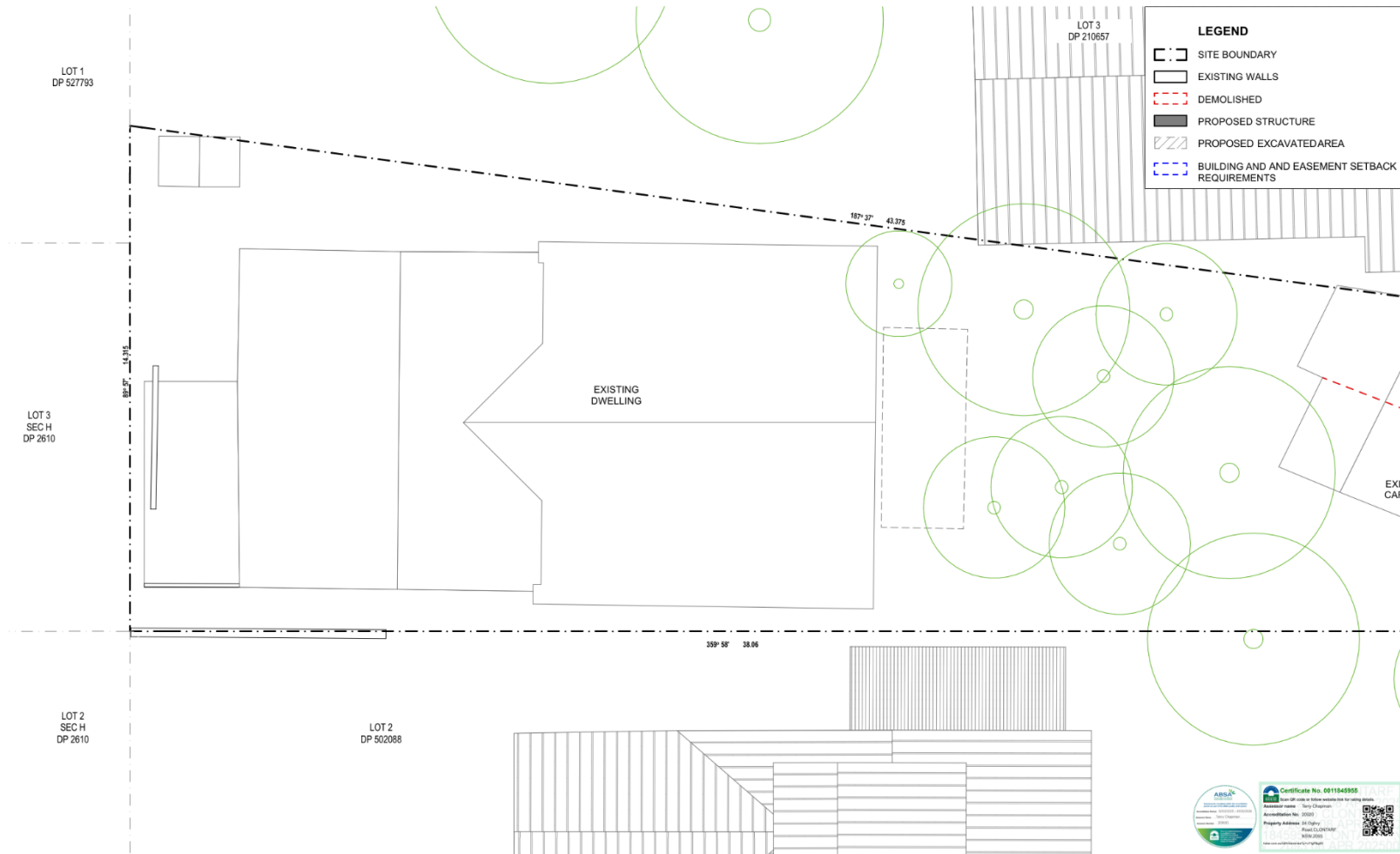







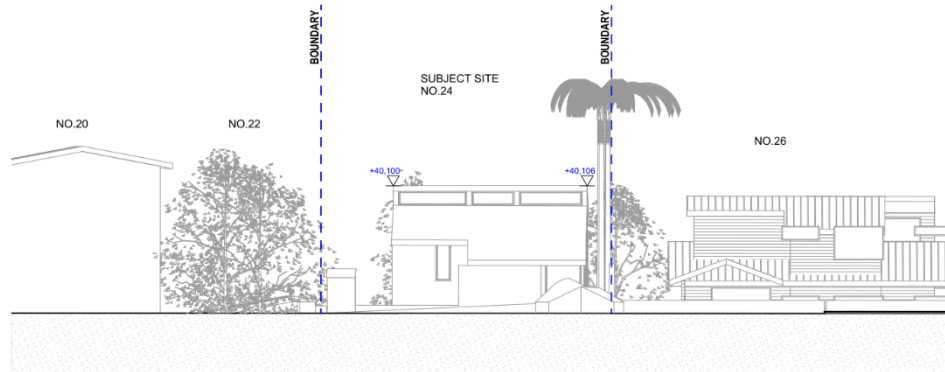


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REV	DATE	DESCRIPTION												
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)												

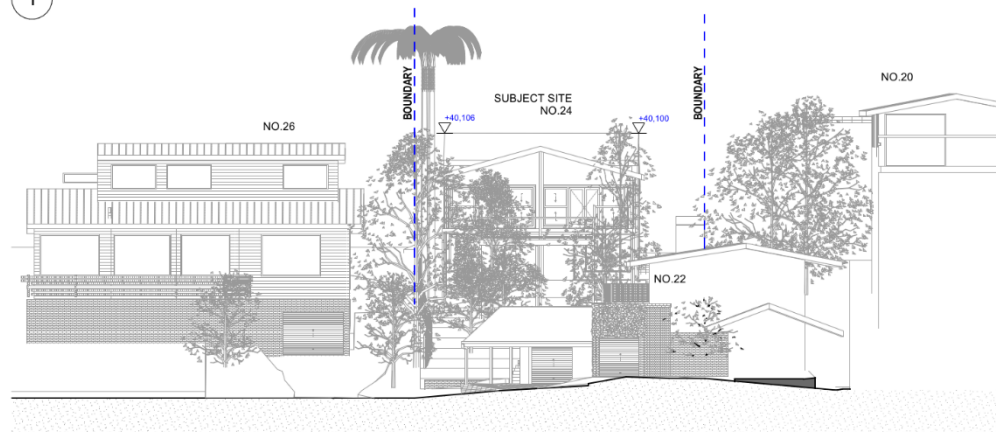


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REV	DATE	DESCRIPTION									
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)									





1 NORTH ELEVATION



2 SOUTH ELEVATION

LEGEND	
	SITE BOUNDARY
	EXISTING WALLS
	DEMOLISHED
	PROPOSED STRUCTURE
	PROPOSED EXCAVATED AREA
	BUILDING AND AND EASEMENT SETBACK REQUIREMENTS

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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :

**EXISTING NORTH & SOUTH ELEVATIONS**

PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

REVISION NO.

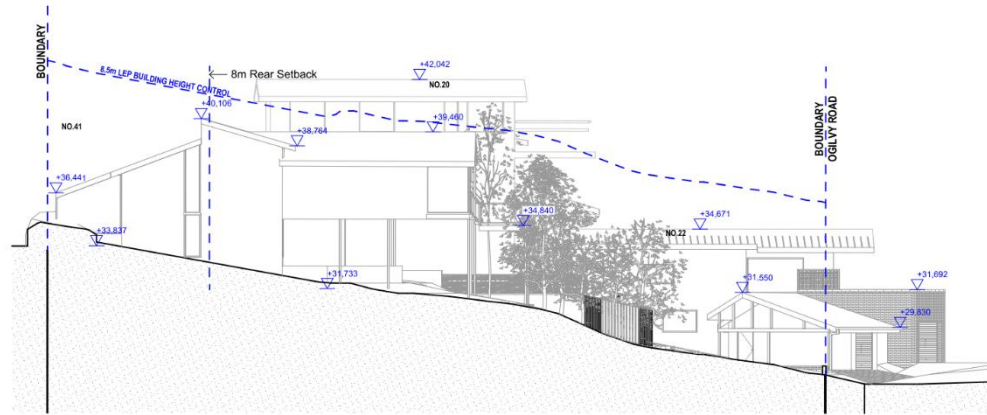
**01**

DRAWING NO.

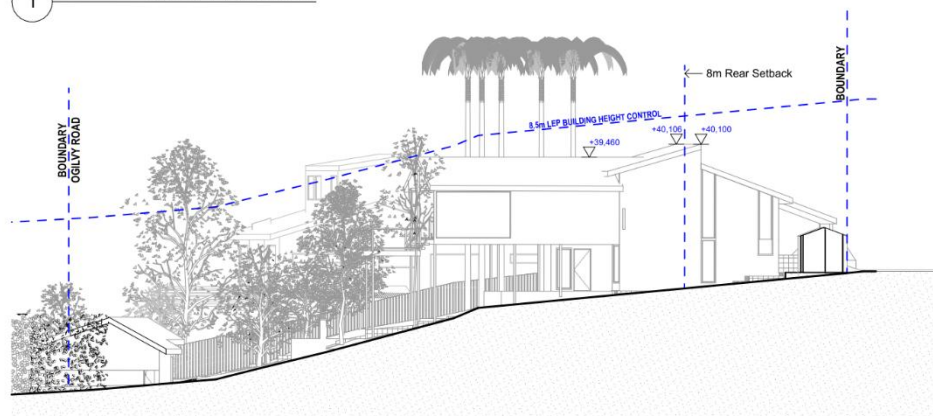
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SCALE:  
1:200 @ A3

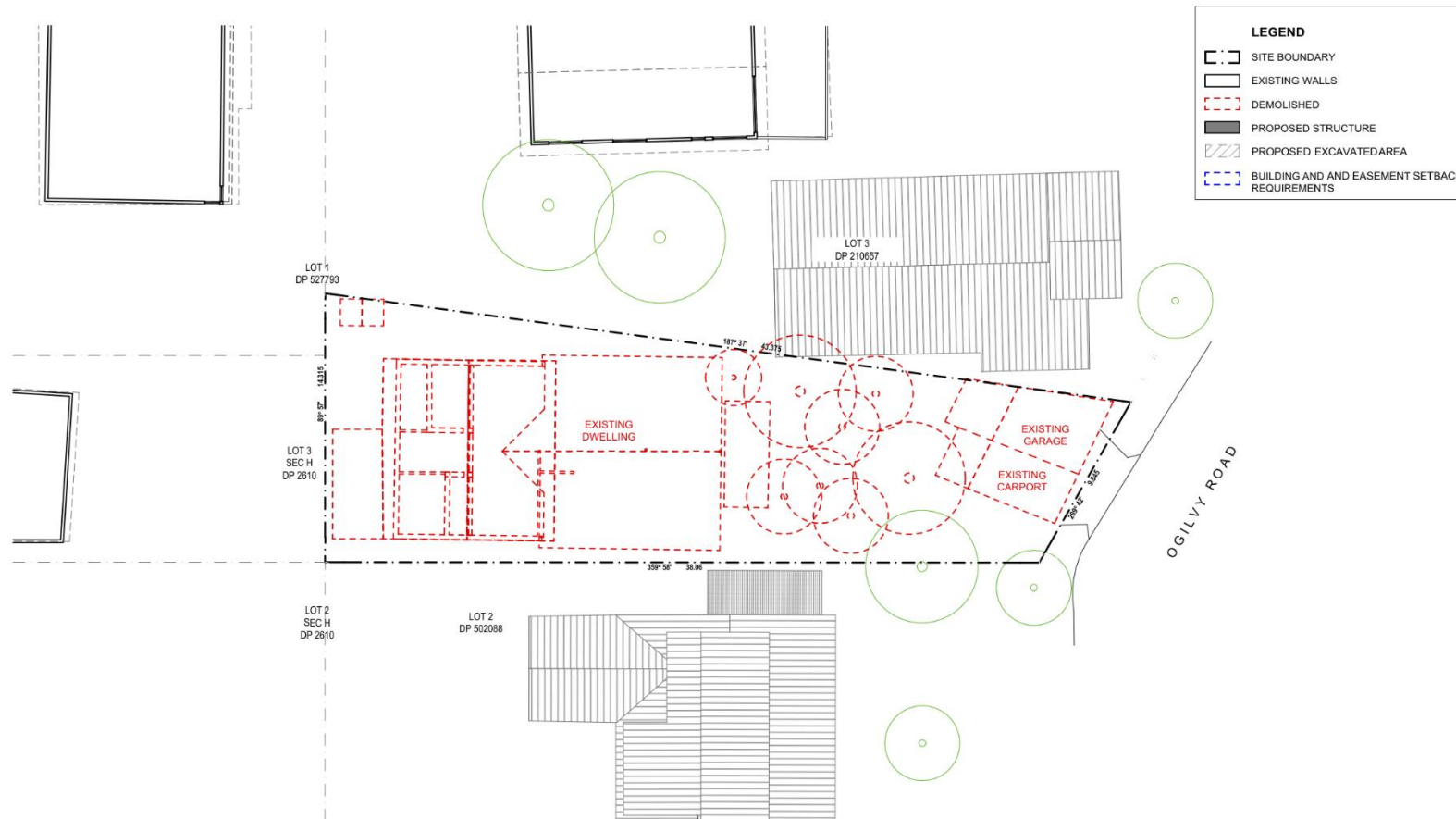




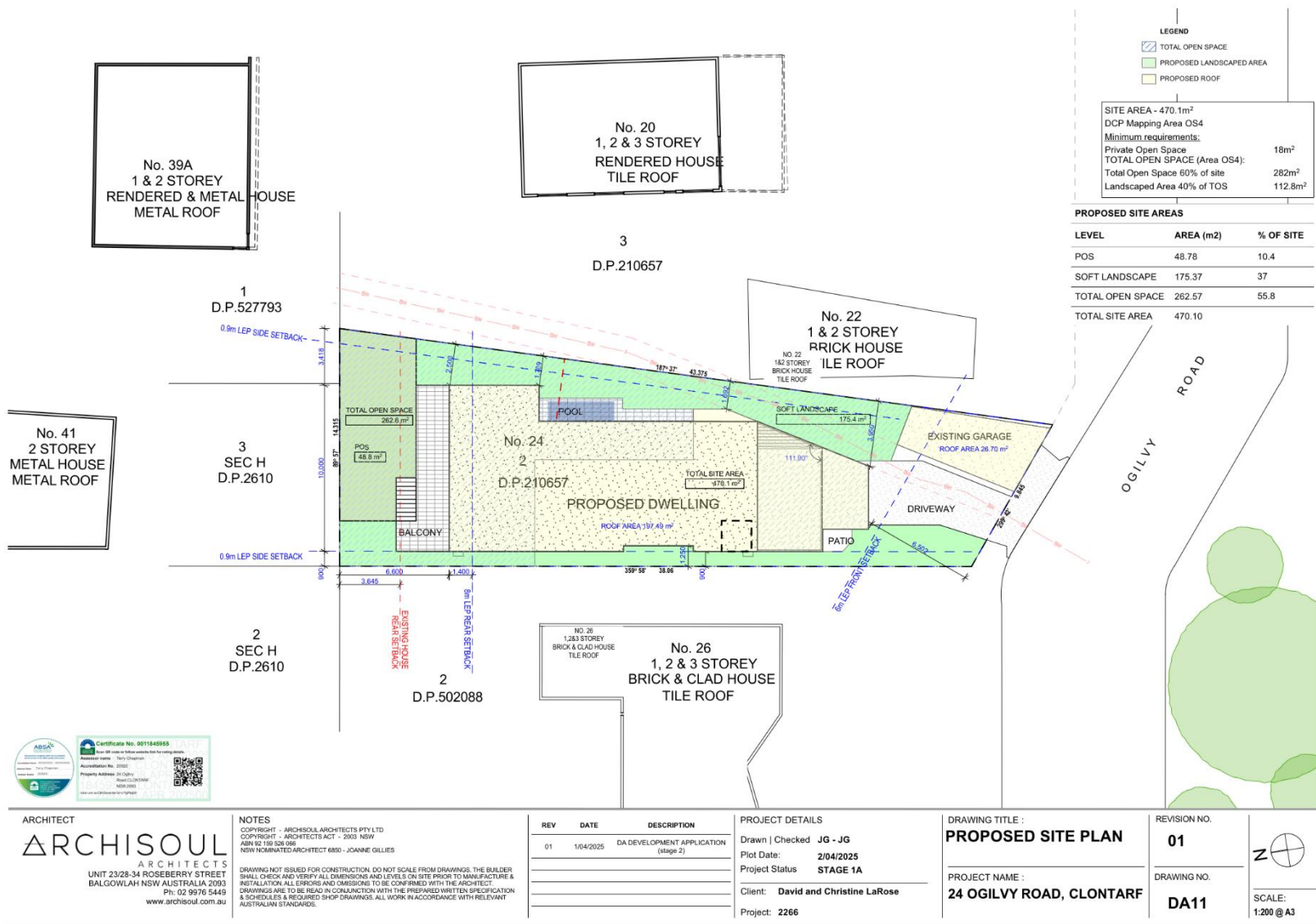
LEGEND	
	SITE BOUNDARY
	EXISTING WALLS
	DEMOLISHED
	PROPOSED STRUCTURE
	PROPOSED EXCAVATED AREA
	BUILDING AND AND EASEMENT SETBACK REQUIREMENTS



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	REV	DATE	DESCRIPTION								
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)									



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		<div>01</div> <div>1/04/2025</div> <div>DA DEVELOPMENT APPLICATION (stage 2)</div>	<div>z</div> <div></div>		







**LEGEND**  
GROSS FLOOR AREA  
OTHER FLOOR AREA

SITE AREA - 470.1m<sup>2</sup>  
DCP Lot Size Zoning R  
Minimal requirements:  
40% of lot size 750m<sup>2</sup> 300m<sup>2</sup>  
Proposed Gross Floor Area 227.95m<sup>2</sup>  
Proposed FSR 0.3:1

**PROPOSED GROSS INTERNAL FLOOR AREAS**

LEVEL	FLOOR AREA (m <sup>2</sup> )
FIRST	134.61
GROUND	93.34
	<b>227.95 m<sup>2</sup></b>

**OTHER FLOOR AREA**

Name	Measured Net Area
ALFRESCO	39.10
COURTYARD	66.26
DECK	20.77
EX. GARAGE	20.16
GARAGE	44.45



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

**PROJECT DETAILS**

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

**DRAWING TITLE :**

**PROPOSED FSR  
CALCULATION**

**PROJECT NAME :**

**24 OGILVY ROAD, CLONTARF**

**REVISION NO.**

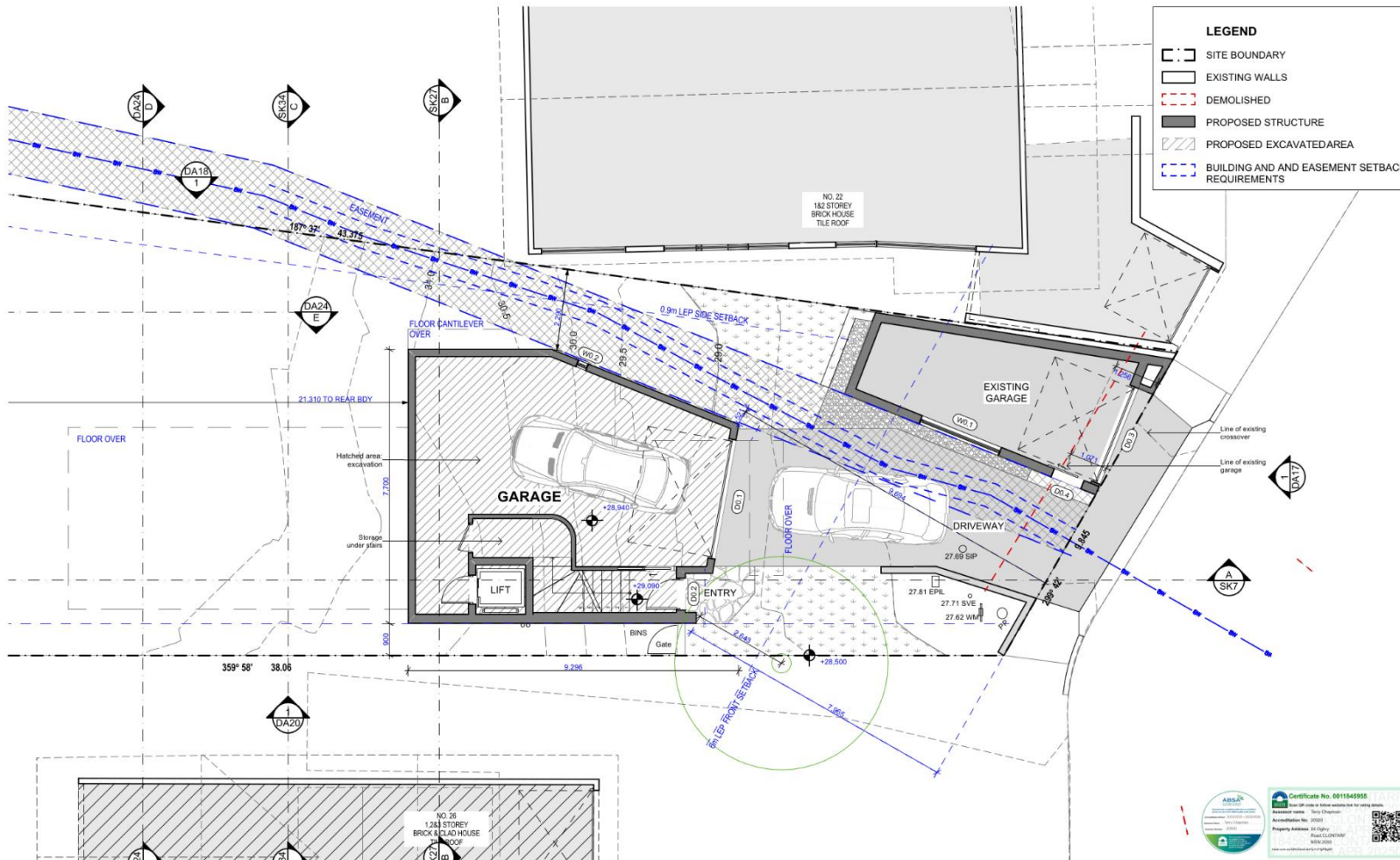
**01**

**DRAWING NO.**

**DA12**



SCALE:  
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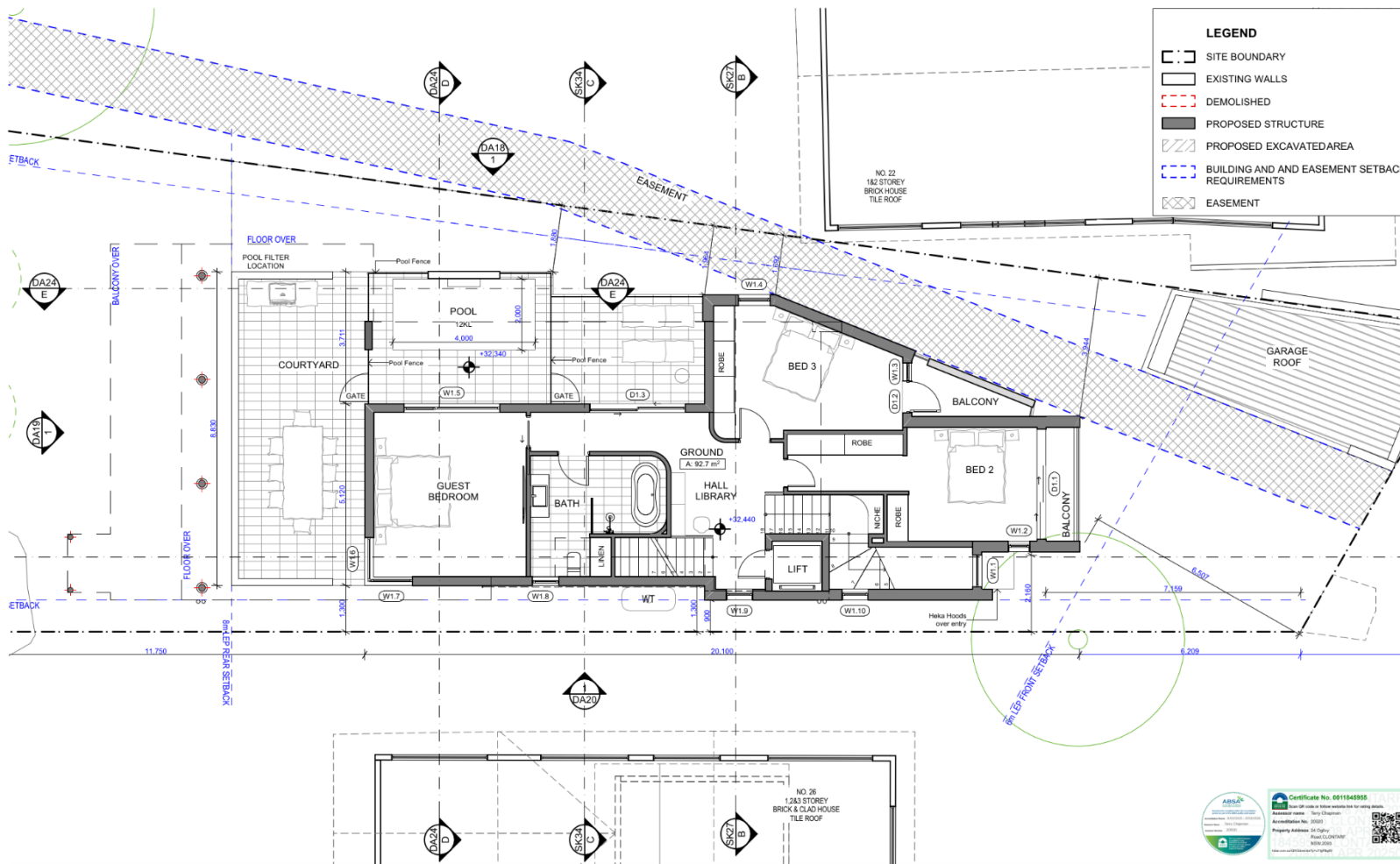
REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE:  
**PROPOSED GARAGE FLOOR PLAN**  
PROJECT NAME:  
**24 OGILVY ROAD, CLONTARF**

REVISION NO.  
**01**  
DRAWING NO.  
**DA13**

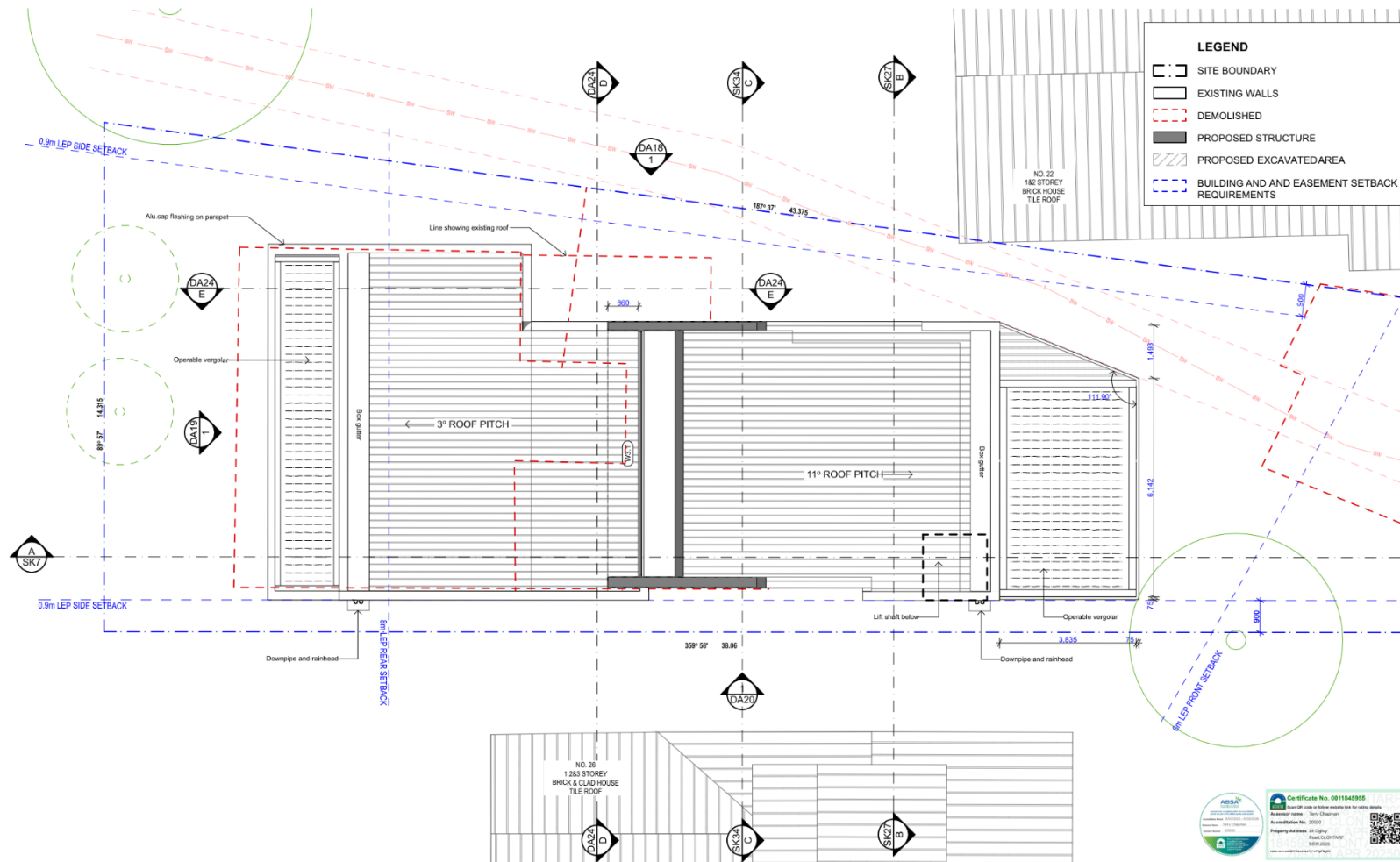
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**1:100 @ A3**





SCALE:  
1-100 @ 10





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REV	DATE	DESCRIPTION
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PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

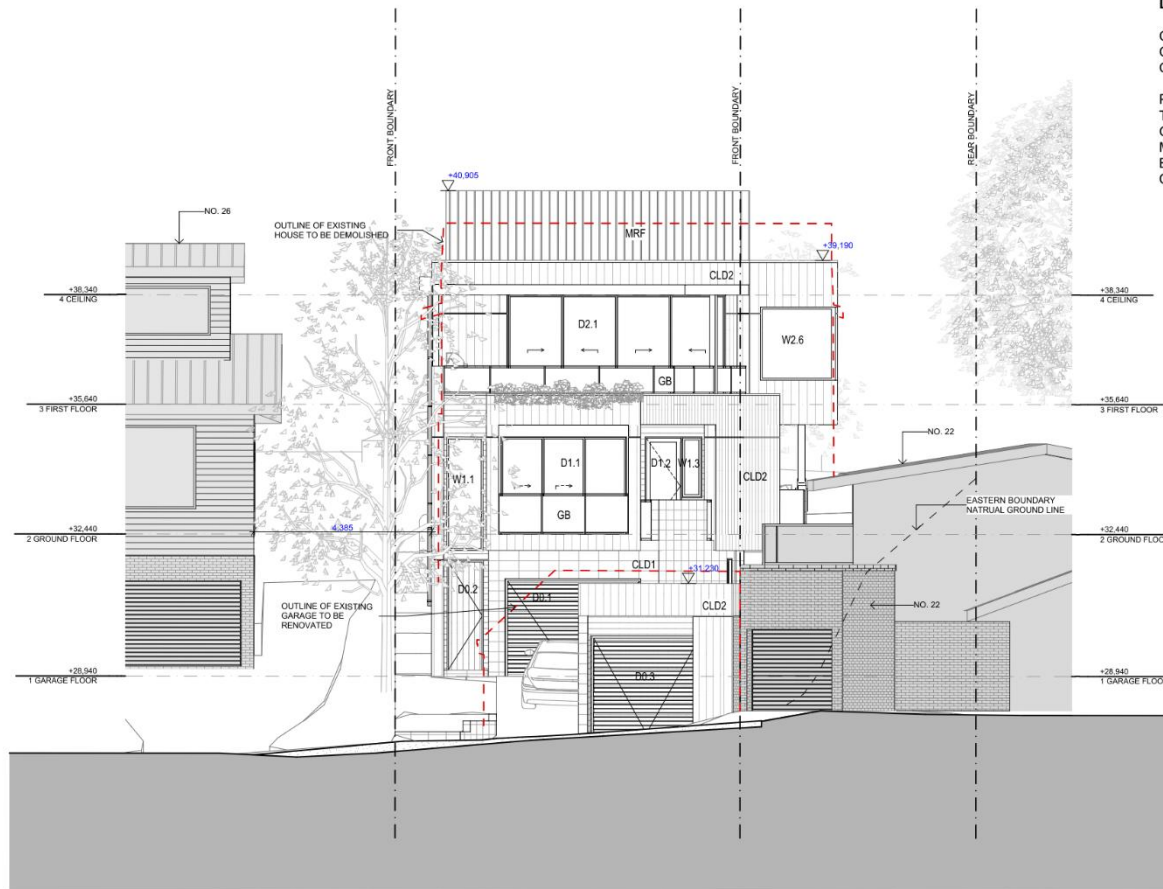
DRAWING TITLE :  
**PROPOSED ROOF PLAN**  
PROJECT NAME :  
**24 OGILVY ROAD, CLONTARF**

REVISION NO.  
**01**  
DRAWING NO.  
**DA16**



SCALE:  
**1:100 @ A3**





#### LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

#### PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

#### DRAWING TITLE :

**PROPOSED SOUTH ELEVATIONS**

#### PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

#### REVISION NO.

**01**

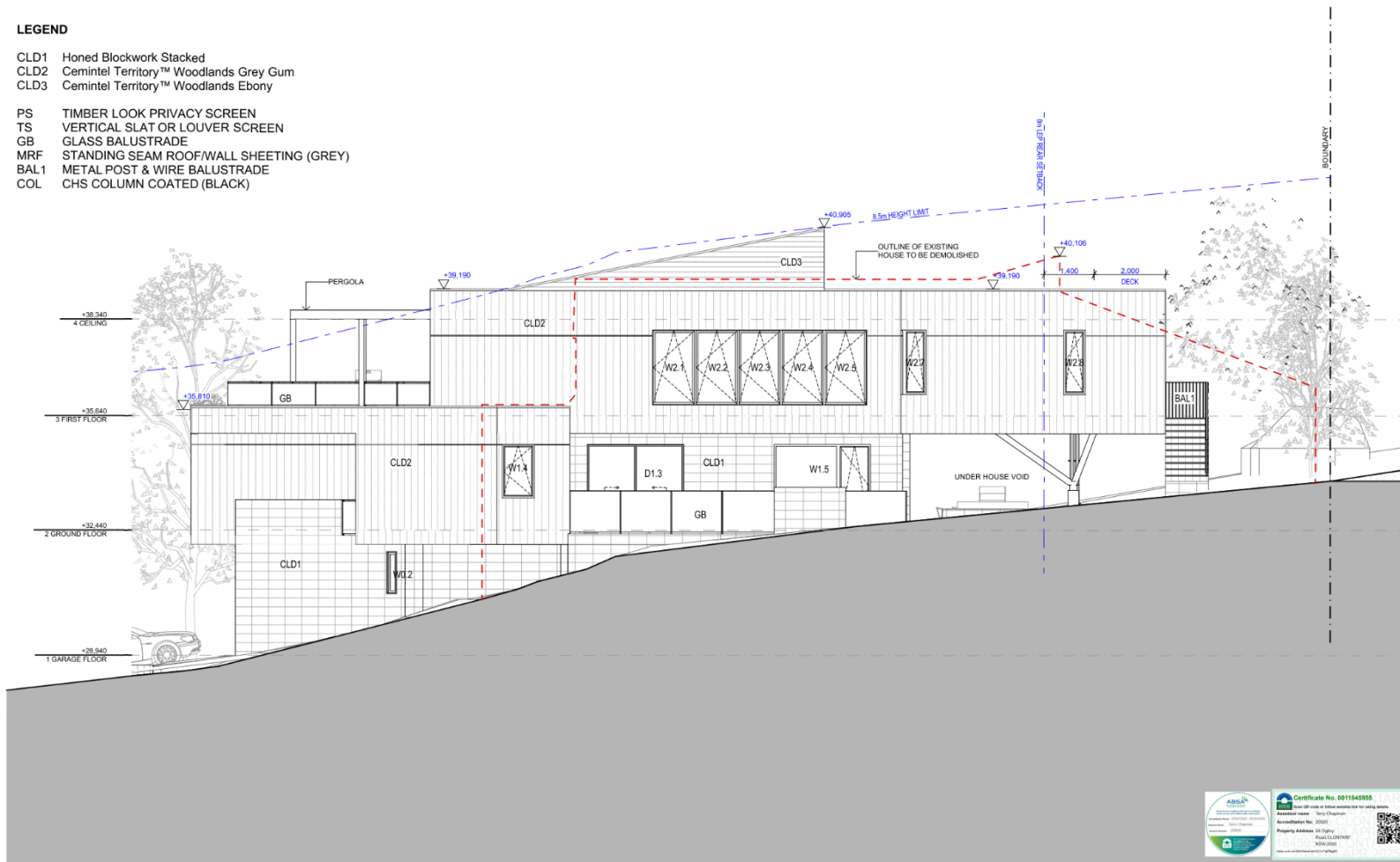
#### DRAWING NO.

**DA17**

SCALE:  
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## LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

## PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

## DRAWING TITLE :

**PROPOSED EAST ELEVATIONS**

## PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

## REVISION NO.

**01**

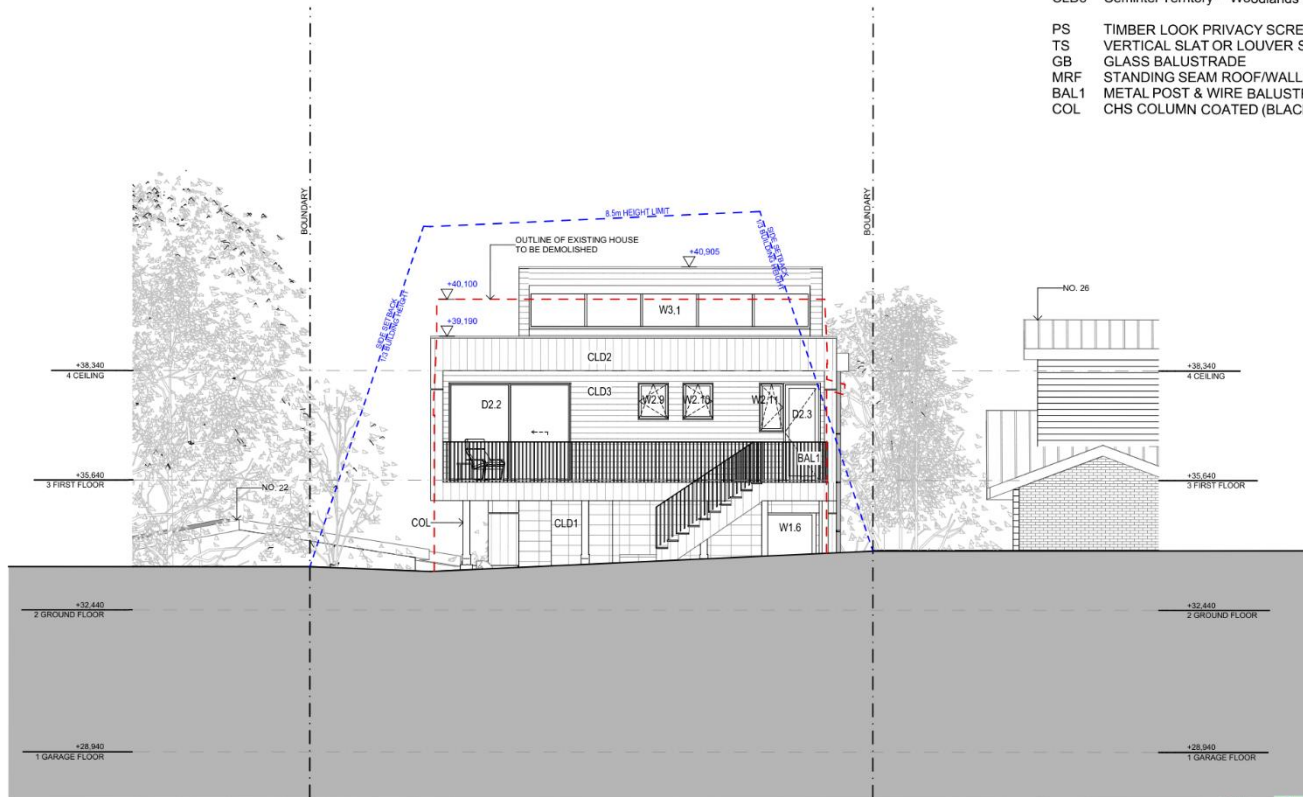
## DRAWING NO.

**DA18**

SCALE:  
1:100 @ A3

# LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



## ARCHITECT

**ARCHISOUL**  
ARCHITECTS  
UNIT 23/28-34 ROSEBERRY STREET  
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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

## PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

## DRAWING TITLE :

**PROPOSED NORTH ELEVATIONS**

## PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

## REVISION NO.

**01**

## DRAWING NO.

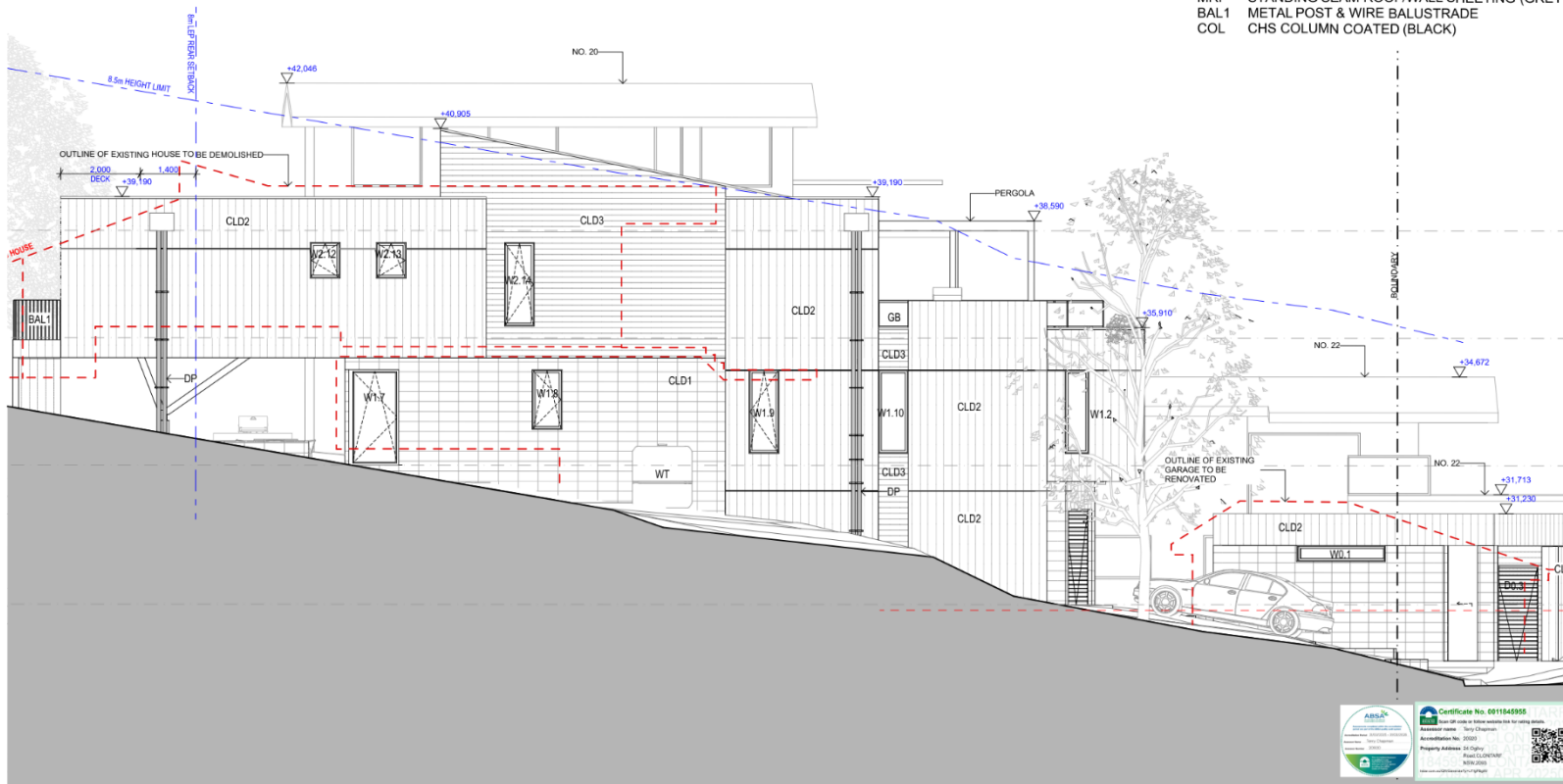
**DA19**

SCALE:  
1:100 @ A3



# LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

## PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

## DRAWING TITLE :

**PROPOSED WEST ELEVATIONS**

## PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

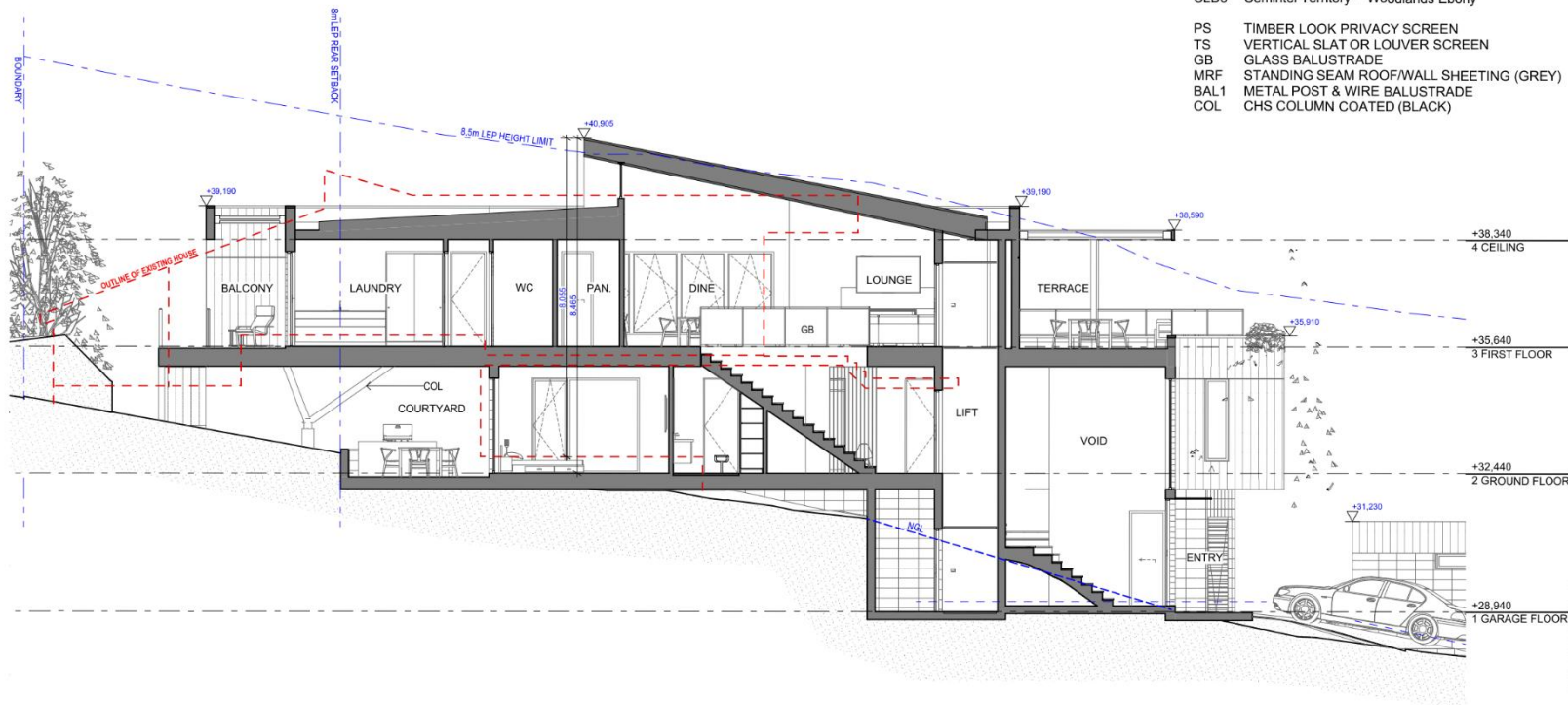
## REVISION NO.

**01**

## DRAWING NO.

**DA20**

SCALE:  
1:100 @ A3



#### LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)

#### ARCHITECT

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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

#### PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

#### DRAWING TITLE :

**PROPOSED SECTION A**

#### PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

#### REVISION NO.

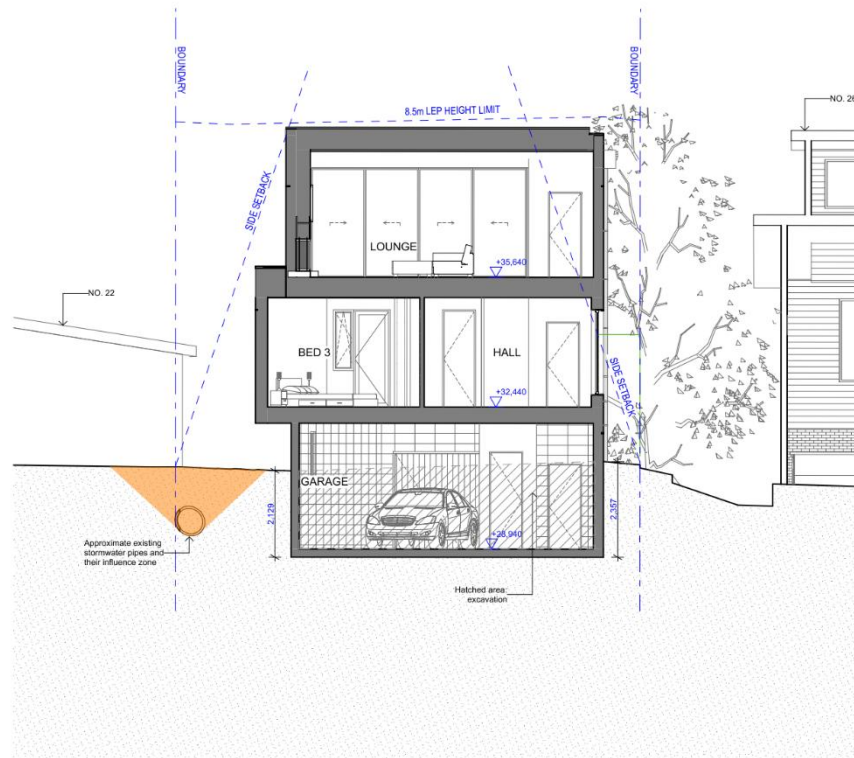
**01**

#### DRAWING NO.

**DA21**

SCALE:  
1:100 @ A3





#### LEGEND

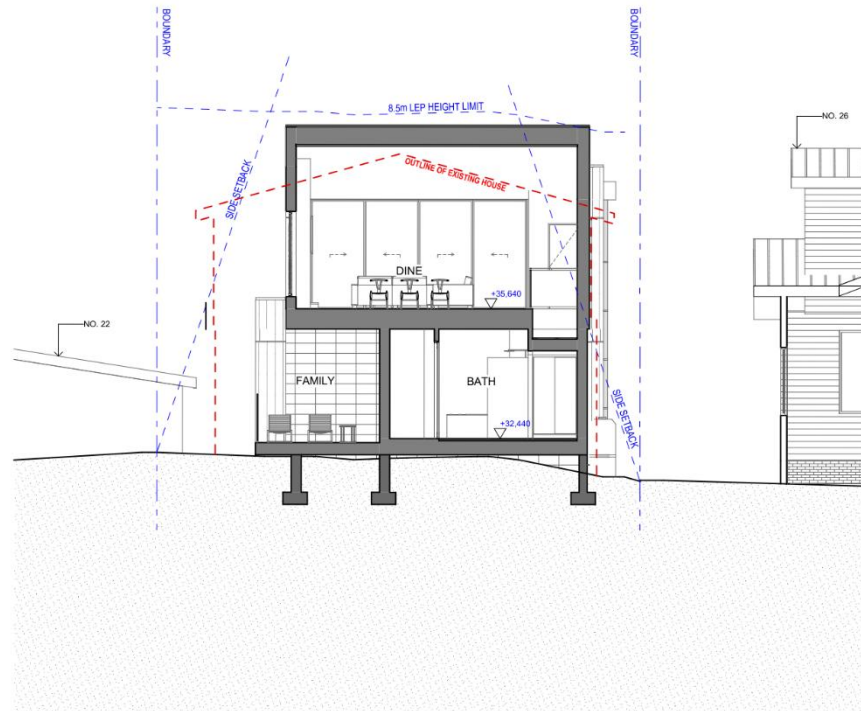
CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



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REV	DATE	DESCRIPTION									
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)									

#### LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)

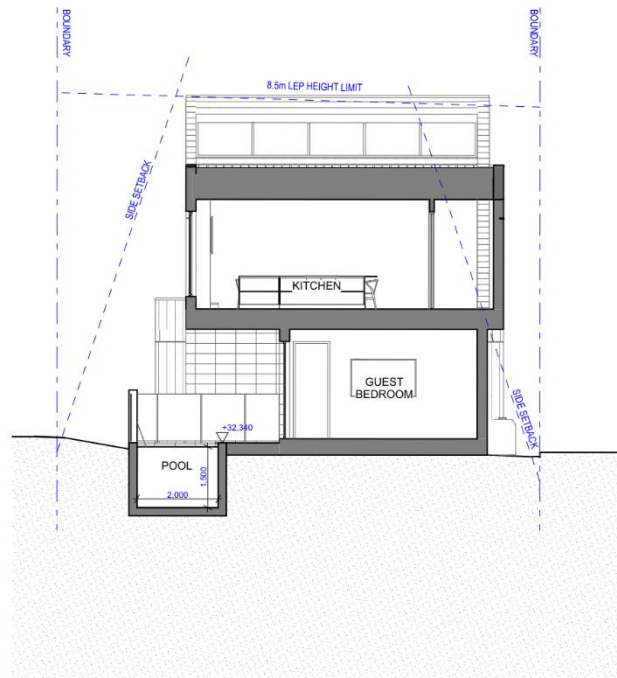


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	REV	DATE	DESCRIPTION																	
	01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)																	

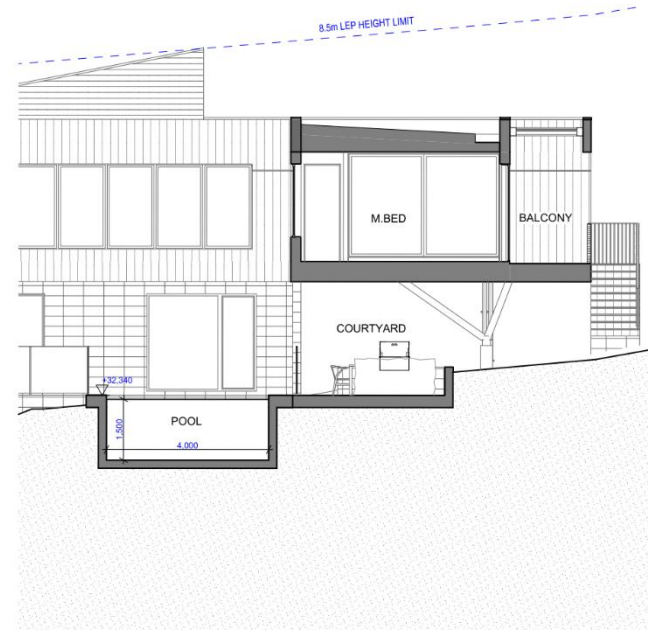


#### LEGEND

CLD1	Honed Blockwork Stacked
CLD2	Cemintel Territory™ Woodlands Grey Gum
CLD3	Cemintel Territory™ Woodlands Ebony
PS	TIMBER LOOK PRIVACY SCREEN
TS	VERTICAL SLAT OR LOUVER SCREEN
GB	GLASS BALUSTRADE
MRF	STANDING SEAM ROOF/WALL SHEETING (GREY)
BAL1	METAL POST & WIRE BALUSTRADE
COL	CHS COLUMN COATED (BLACK)



2 Section D



3 Section E



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		REV	DATE	DESCRIPTION							
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)									



**LEGEND**  
8.5M DCP HEIGHT LIMIT



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REV	DATE	DESCRIPTION																											
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)																											



View from street (south)



View from south east



View from north east

ARCHITECT

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DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION  
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AUSTRALIAN STANDARDS.

REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :

**3D VIEWS**

PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

REVISION NO.

**01**

DRAWING NO.

**DA26**

SCALE:  
@ A3





Aerial view from east



Aerial view from north west



Aerial view from south

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	REV	DATE	DESCRIPTION																				
	01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)																				



DOOR SCHEDULE						
ID	D0.1	D0.2	D0.3	D0.4	D1.1	D1.2
TYPE	PANELIFT	HINGED	PANELIFT	SLIDING	SLIDING	HINGED
LEVEL	GARAGE FLOOR	GARAGE FLOOR	GARAGE FLOOR	GARAGE FLOOR	GROUND FLOOR	GROUND FLOOR
ROOM	GARAGE	ENTRY	ZERO GARAGE	GARAGE	BED 2	BED 3
ELEVATION VIEW (EXTERNAL)						
AREA (m <sup>2</sup> )	8.16	2.43	6.96	2.61	7.44	2.16
FRAME WIDTH x HEIGHT (mm)	3,400x2,400	900x2,700	2,900x2,400	900x2,900	3,100x2,400	900x2,400
ORIENTATION	SOUTH	SOUTH	SOUTH	WEST	SOUTH	SOUTH
GLAZING	None	None	None	None	Double or Triple glazing	Double or Triple glazing
FRAME	Aluminium	Commercial thermal heart series 804 centreglazed aluminium	Aluminium	Aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium
BASIX THERMAL REQUIREMENT (PROJECTION / HEIGHT)	n/a	u-value of 1.8 or less & SHCG within 5% of 0.24	n/a	Timber, double clear/air fill (or U-value: 4.3, SHGC: 0.5)	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24
SCREENS	None	None	None	TBC	TBC	TBC
BAL RATING	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40
NOTES						

DOOR SCHEDULE				
ID	D1.3	D2.1	D2.2	D2.3
TYPE	STACKER	STACKER	STACKER	HINGED
LEVEL	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM	HALLWAY	LOUNGE	M.BED	LAUNDRY
ELEVATION VIEW (EXTERNAL)				
AREA (m <sup>2</sup> )	6.48	14.45	7.20	2.16
FRAME WIDTH x HEIGHT (mm)	2,700x2,400	5,350x2,700	3,000x2,400	900x2,400
ORIENTATION	EAST	SOUTH	NORTH	NORTH
GLAZING	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing
FRAME	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium
BASIX THERMAL REQUIREMENT (PROJECTION / HEIGHT)	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24
SCREENS	TBC	TBC	TBC	TBC
BAL RATING	BAL-40	BAL-40	BAL-29	BAL-29
NOTES				



<div>ARCHITECT</div> <div>ARCHISOUL</div> <div>ARCHITECTS</div> <div>UNIT 23/28-34 ROSEBERRY STREET</div> <div>BALGOWLAH NSW AUSTRALIA 2093</div> <div>Ph: 02 9976 5449</div> <div>www.archisoul.com.au</div>	<div>NOTES</div> <div>COPYRIGHT - ARCHISOUL ARCHITECTS PTY LTD</div> <div>COPYRIGHT - ARCHITECTS ACT - 2003 NSW</div> <div>ABN 92 158 528 086</div> <div>NSW NOMINATED ARCHITECT 6850 - JOANNE GILLIES</div> <div>DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE &amp; INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT.</div> <div>DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION &amp; SCHEDULES &amp; REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.</div>	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>01</td><td>1/04/2025</td><td>DA DEVELOPMENT APPLICATION (stage 2)</td></tr></table>	REV	DATE	DESCRIPTION	01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)	<div>PROJECT DETAILS</div> <div>Drawn   Checked JG - JG</div> <div>Plot Date: 2/04/2025</div> <div>Project Status: STAGE 1A</div> <div>Client: David and Christine LaRose</div> <div>Project: 2266</div>	<div>DRAWING TITLE :</div> <div>PROPOSED DOOR SCHEDULES</div> <div>PROJECT NAME :</div> <div>24 OGILVY ROAD, CLONTARF</div>	<div>REVISION NO.</div> <div>01</div> <div>DRAWING NO.</div> <div>DA28</div> <div>SCALE:</div> <div>1:1 @ A3</div>
		REV	DATE	DESCRIPTION							
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)									

WINDOW SCHEDULE										
ID	W0.1	W0.2	W1.1	W1.2	W1.3	W1.4	W1.5	W1.6	W1.7	W1.8
TYPE	GARAGE FLOOR	GARAGE FLOOR	FIXED	GROUND FLOOR	TILT&TURN	TILT&TURN	FIX + TILT&TURN	FIXED	TILT&TURN	TILT&TURN
LEVEL	GARAGE FLOOR	GARAGE FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR	GROUND FLOOR
ROOM			ENTRY VOID		BED 3	BED 3	GUEST BED	GUEST BED	GUEST BED	BATH
ELEVATION VIEW (EXTERNAL)										
AREA (m <sup>2</sup> )	0.96	0.35	2.52	1.26	0.75	1.35	6.48	2.88	2.88	1.13
FRAME WIDTH x HEIGHT	2400x400	300x1180	600x2800	600x2100	500x1500	900x1500	2700x2400	1200x2400	1200x2400	750x1500
ORIENTATION	WEST	WEST	SOUTH	WEST	SOUTH	EAST	EAST	NORTH	WEST	WEST
GLAZING	Double Glazing	Double Glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing
FRAME	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium
BASIX THERMAL REQUIREMENTS	n/a	n/a	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24
REQUIREMENT (PROJECTION / HEIGHT)	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC
PAVING SCREENS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BAL RATING	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40

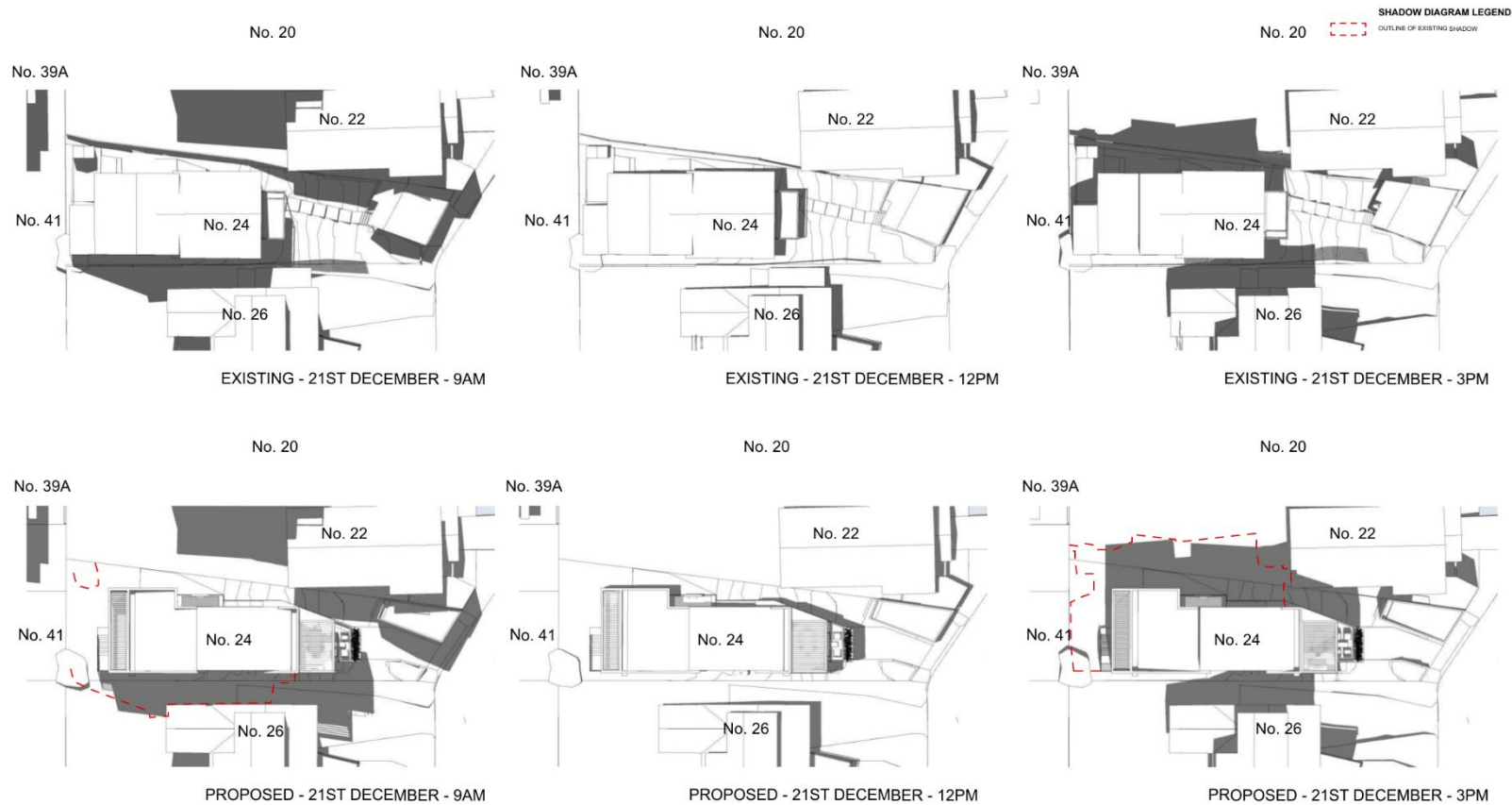
WINDOW SCHEDULE										
ID	W1.9	W1.10	W2.1	W2.2	W2.3	W2.4	W2.5	W2.6	W2.7	W2.8
TYPE	TILT&TURN	FIXED	TILT&TURN	TILT&TURN	TILT&TURN	TILT&TURN	TILT&TURN	FIXED	TILT&TURN	TILT&TURN
LEVEL	GROUND FLOOR	GROUND FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR
ROOM	HALLWAY	ENTRY STAIR	DINE	DINE	DINE	KITCHEN	KITCHEN	M.BED	M.BED	M.BED
ELEVATION VIEW (EXTERNAL)										
AREA (m <sup>2</sup> )	1.38	1.38	2.52	2.52	2.52	2.52	2.52	1.34	1.08	1.08
FRAME WIDTH x HEIGHT	750x2100	750x2100	1200x2100	1200x2100	1200x2100	1200x2100	1200x2100	1800x1800	600x1800	600x1800
ORIENTATION	WEST	WEST	EAST	EAST	EAST	EAST	EAST	SOUTH	EAST	EAST
GLAZING	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing
FRAME	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium
BASIX THERMAL REQUIREMENTS	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24
REQUIREMENT (PROJECTION / HEIGHT)	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC	TBC
PAVING SCREENS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BAL RATING	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40	BAL-40

WINDOW SCHEDULE							
ID	W2.9	W2.10	W2.11	W2.12	W2.13	W2.14	W2.15
TYPE	TILT & TURN	TILT & TURN	TILT & TURN	TILT & TURN	TILT & TURN	TILT & TURN	FIXED
LEVEL	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	FIRST FLOOR	CEILING
ROOM	WR	ENSUITE	LAUNDRY	HALLWAY			GROUND FLOOR
ELEVATION VIEW (EXTERNAL)							
AREA (m <sup>2</sup> )	0.68	0.68	0.72	0.68	0.68	1.58	6.24
FRAME WIDTH x HEIGHT	750x900	750x900	600x1200	750x900	750x900	750x2100	6300x900
ORIENTATION	NORTH	NORTH	NORTH	WEST	WEST	WEST	NORTH
GLAZING	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing	Double or Triple glazing
FRAME	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium	Commercial thermal heart series 804 centreglazed aluminium
BASIX THERMAL REQUIREMENTS	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24	u-value of 1.8 or less & SHCG within 5% of 0.24
REQUIREMENT (PROJECTION / HEIGHT)	TBC	TBC	TBC	TBC	TBC	TBC	TBC
PAVING SCREENS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BAL RATING	BAL-29	BAL-29	BAL-29	BAL-40	BAL-40	BAL-40	BAL-29



ARCHITECT		NOTES		REV		DATE		DESCRIPTION		PROJECT DETAILS		DRAWING TITLE :		REVISION NO.	
<div>ARCHISOUL</div> <div>ARCHITECTS</div> <div>UNIT 23/28-34 ROSEBERRY STREET</div> <div>BALGOWLAH NSW AUSTRALIA 2093</div> <div>Ph: 02 9676 5449</div> <div>www.archisoul.com.au</div>		COPYRIGHT - ARCHISOUL ARCHITECTS PTY LTD		01		1/04/2025		DA DEVELOPMENT APPLICATION (stage 2)		Drawn / Checked JG - JG		<div>PROPOSED WINDOW SCHEDULES</div> <div>PROJECT NAME :</div> <div>24 OGILVY ROAD, CLONTARF</div>		<div>01</div> <div>DRAWING NO.</div> <div>DA29</div>	
		COPYRIGHT - ARCHITECTS ACT - 2003 NSW								Plot Date: 2/04/2025					
		ABN 92 158 528 086								Project Status STAGE 1A					
		NEW NOMINATED ARCHITECT 6850 - JOANNE GILLIES								Client: David and Christine LaRose					
		DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE & INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT.								Project: 2266				SCALE: 1:1.13 @ A3	
		DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION & SCHEDULES & REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.													



<div>ARCHITECT</div> <div>ARCHISOUL</div> <div>ARCHITECTS</div> <div>UNIT 23/28-34 ROSEBERRY STREET</div> <div>BALGOWLAH NSW AUSTRALIA 2093</div> <div>Ph: 02 9976 5449</div> <div>www.archisoul.com.au</div>		<div>NOTES</div> <div>COPYRIGHT - ARCHISOUL ARCHITECTS PTY LTD.</div> <div>COPYRIGHT - ARCHITECTS ACT - 2003 NSW</div> <div>ABN 92 155 528 086</div> <div>NSW NOMINATED ARCHITECT 6850 - JOANNE GILLIES</div> <div>DRAWING NOT ISSUED FOR CONSTRUCTION. DO NOT SCALE FROM DRAWINGS. THE BUILDER SHALL CHECK AND VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO MANUFACTURE &amp; INSTALLATION. ALL ERRORS AND OMISSIONS TO BE CONFIRMED WITH THE ARCHITECT.</div> <div>DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PREPARED WRITTEN SPECIFICATION &amp; SCHEDULES &amp; REQUIRED SHOP DRAWINGS. ALL WORK IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.</div>		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>01</td><td>1/04/2025</td><td>DA DEVELOPMENT APPLICATION (stage 2)</td></tr></table>	REV	DATE	DESCRIPTION	01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)	<div>PROJECT DETAILS</div> <div>Drawn   Checked JG - JG</div> <div>Plot Date: 2/04/2025</div> <div>Project Status: STAGE 1A</div> <div>Client: David and Christine LaRose</div> <div>Project: 2266</div>	<div>DRAWING TITLE :</div> <div>SHADOW DIAGRAMS</div> <div>PLAN - SUMMER SOLTICE</div> <div>PROJECT NAME :</div> <div>24 OGILVY ROAD, CLONTARF</div>	<div>REVISION NO.</div> <div>01</div> <div>DRAWING NO.</div> <div>DA30</div> <div>SCALE:</div> <div>1:630.23 @ A3</div>	<div></div>
REV	DATE	DESCRIPTION												
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)												

**SHADOW DIAGRAM LEGEND**  
OUTLINE OF EXISTING SHADOW



1

EXISTING - 21ST JUNE - 9AM



2

EXISTING - 21ST JUNE - 12PM



3

EXISTING - 21ST JUNE - 3PM



4

PROPOSED - 21ST JUNE - 9AM



5

PROPOSED - 21ST JUNE - 12PM



6

PROPOSED - 21ST JUNE - 3PM



ARCHITECT

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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :

**SHADOW DIAGRAMS 3D - WINTER SOLTICE**

PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

REVISION NO.

**01**

DRAWING NO.

**DA31**



SCALE:  
**1:630.23 @ A3**





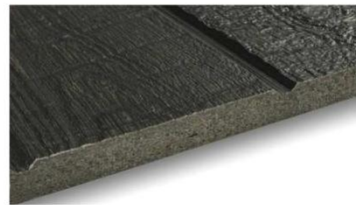
**CLD1** - Honed Blockwork Stacked



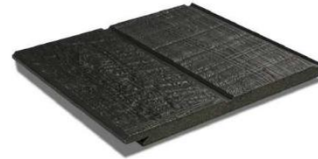
**Driveway** - Sandblast concrete with gap between slabs



**CLD2** - Cemintel Territory™ Woodlands Grey Gum



**CLD3** - Cemintel Territory™ Woodlands Ebony

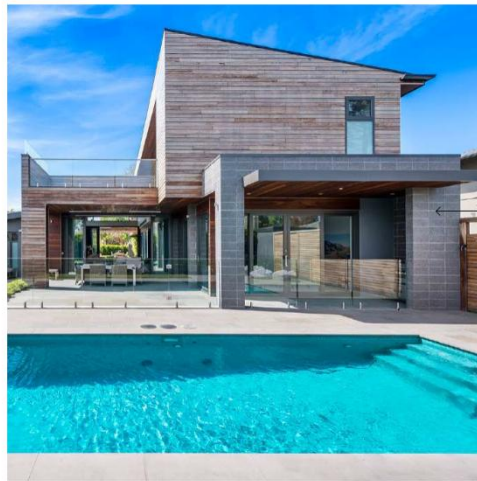


**Vergola system** - Black

Note - configuration, colours and finishes are for illustration purposes only.



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		<div>01</div> <div>1/04/2025</div> <div>DA DEVELOPMENT APPLICATION (stage 2)</div>			

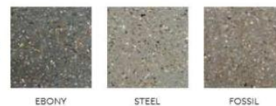


Cemintel Territory Cladding  
- BAL 40 compliant  
- Pre-formed corner finish, aluminium corner trim can be avoided  
- Pre-finished

Honed Blockwork, stacked



**MASONRY HONED**  
L: 390mm x D: 190mm x H: 190mm



Colour Palette

WOODLANDS



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS  
Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :  
**EXTERNAL FINISHES SCHEDULE**  
PROJECT NAME :  
**24 OGILVY ROAD, CLONTARF**

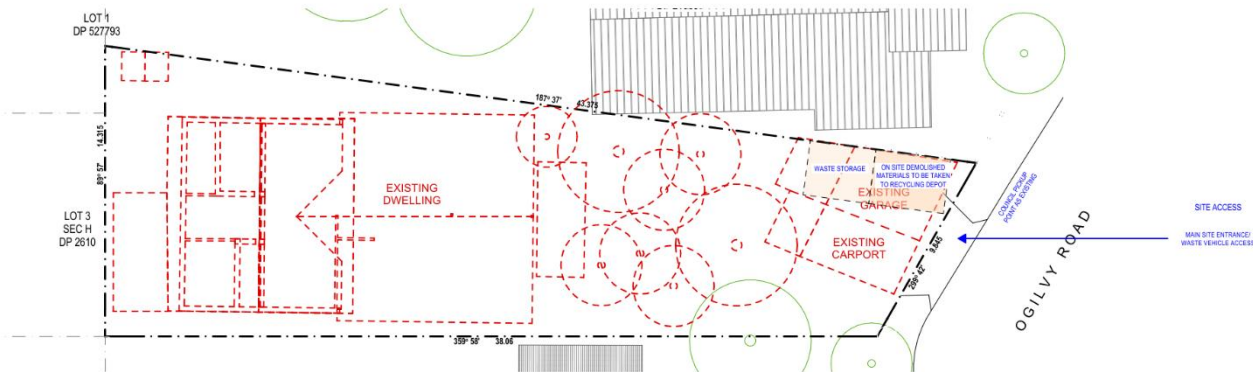
REVISION NO.  
**01**

DRAWING NO.  
**DA33**

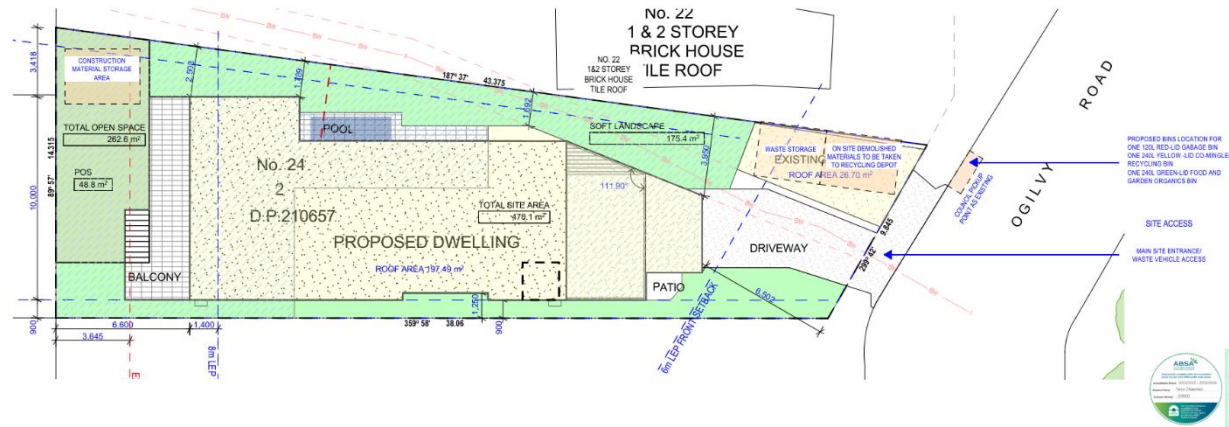
SCALE:  
**@ A3**



### DURING DEMOLITION PHASE



### DURING CONSTRUCTION PHASE



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REV	DATE	DESCRIPTION
01	1/04/2025	DA DEVELOPMENT APPLICATION (stage 2)

PROJECT DETAILS

Drawn | Checked **JG - JG**  
Plot Date: **2/04/2025**  
Project Status: **STAGE 1A**  
Client: **David and Christine LaRose**  
Project: **2266**

DRAWING TITLE :

**WASTE MANAGEMENT PLAN**

PROJECT NAME :

**24 OGILVY ROAD, CLONTARF**

REVISION NO.

**01**

DRAWING NO.

**DA34**



SCALE:  
1:200 @ A3

