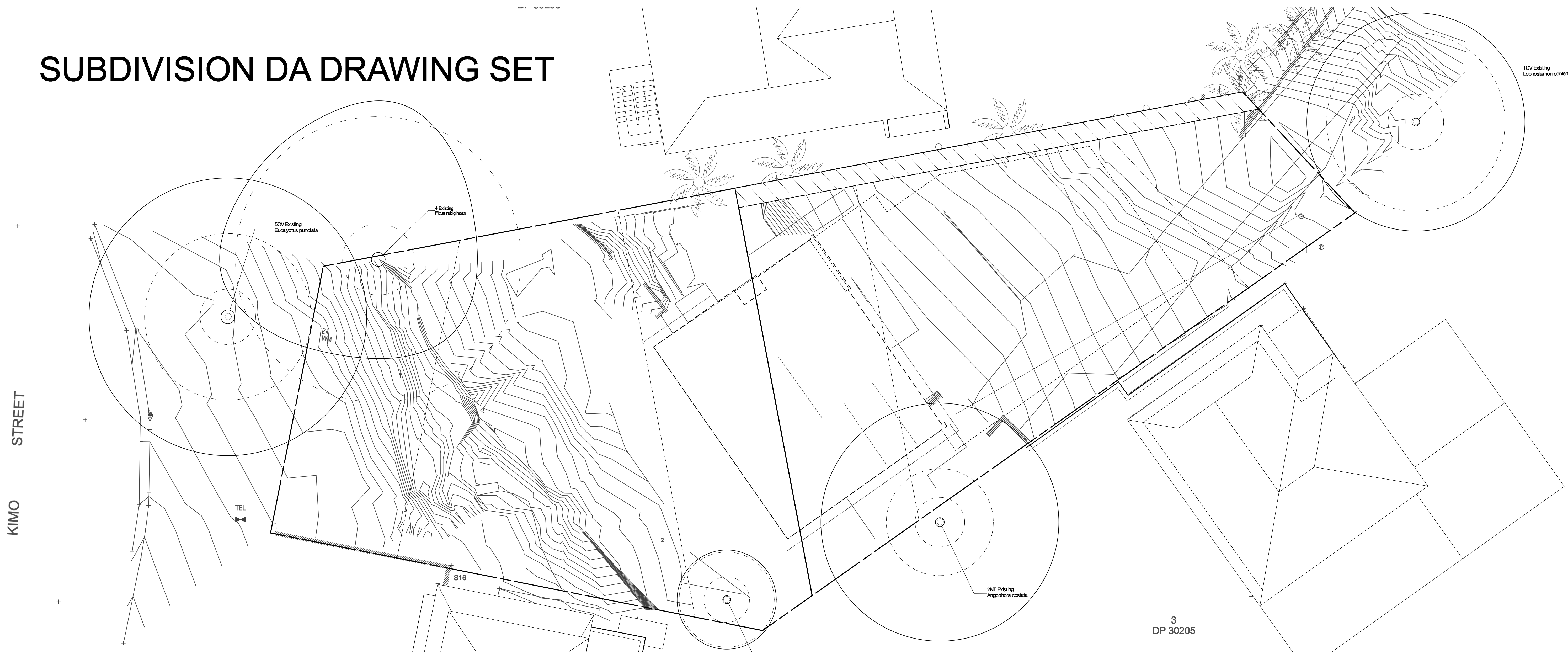


SUBDIVISION DA DRAWING SET



LANDSCAPE ARCHITECTURE
URBANISM
ENVIRONMENT
BIOCITY RESEARCH

SYDNEY
MELBOURNE
SHENZHEN
BRISTOL

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PRC ID NO. 06000002201607080008
Sydney Melbourne Shenzhen Bristol
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Client
Adrian McGregor

Project Team

Project Name
50 Condoover Street Subdivision

Project No.
Project No. DA001

Address
50 Condoover Street North Balgowlah

Phase
Schematic Design

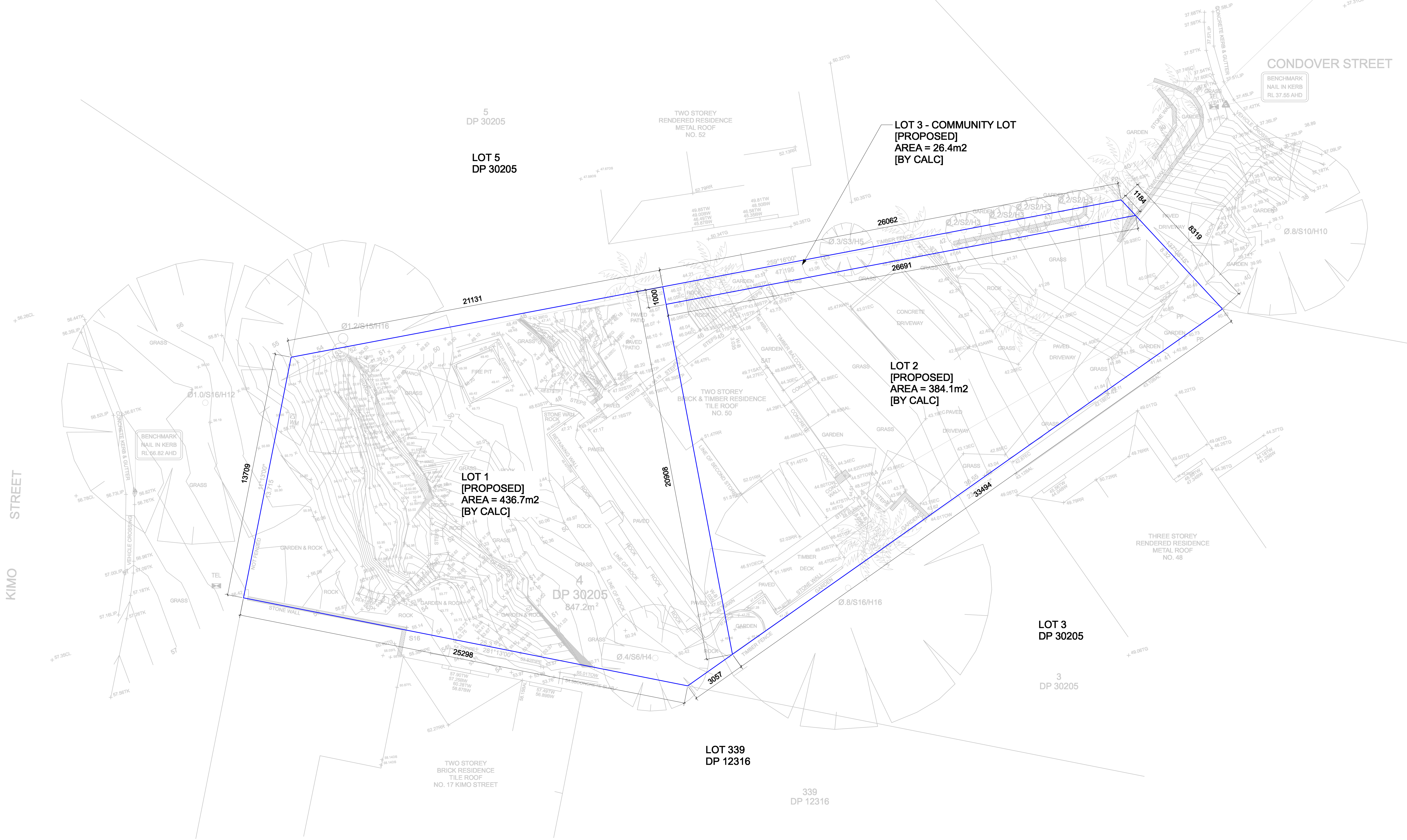
Sheet Title
Cover Sheet Subdivision DA

Sheet No.
DA-01

Rev
A

KIMO STREET

CONDOVER STREET



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Client
Adrian McGregor
Project Team

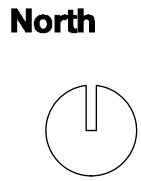
Project Name
50 Condover Street Subdivision
Project No.
Project No. DA001
Address
50 Condover Street North Balgowlah

Key Plan

Issue Log			
A	DA Issue	AMC	12/7/21
Rev	Revision Description	By / Checked	Date

Scale
1: 100 @ A1

All dimensions are in millimetres unless otherwise noted.
Do not scale from this drawing.



Phase
Schematic Design
Sheet Title
Subdivision Plan
Sheet No.
DA-02

Rev
A

KIMO STREET

CONDOVER STREET

Note: On-site storm water detention for each lot to be deferred to future dwelling house DA's

5
DP 30205

TWO STOREY
RENDERED RESIDENCE
METAL ROOF
NO. 52

Installation of inter-allotment storm
water drainage and sewer connecting
Kimo Street lot to Condover Street in
community lot to civil engineers detail

Modify existing stone
wall to suit new steps

Construct new steps
to boundary

New letter box

Construct driveway crossover

1CV Existing
Lophospermum confertus

Make good existing
stone cut with stone
wall as necessary to
suit driveway

Construct driveway from
crossover to lot boundary

THREE STOREY
RENDERED RESIDENCE
METAL ROOF
NO. 48

Existing carport to be
demolished

Existing brick driveway to be
demolished

Potential level storage area for
waste and materials on car port
slab

3
DP 30205

Existing building footprint shown
dashed to be demolished

339
DP 12316

TWO STOREY
BRICK RESIDENCE
TILE ROOF
NO. 17 KIMO STREET

Construct driveway crossover

Construct driveway from
crossover to lot boundary



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Client
Adrian McGregor

Project Team

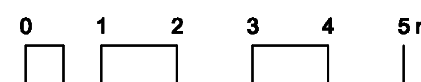
Project Name
50 Condover Street Subdivision
Project No.
Project No. DA001
Address
50 Condover Street North Balgowlah

Key Plan

Issue Log
A DA Issue AMC 12/7/21

Rev Revision Description By / Checked Date

Scale
1: 100 @ A1



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North



Phase
Schematic Design
Sheet Title
Subdivision Works
Sheet No.
DA-03

Rev
A

50 CONDOVER STREET, NORTH BALGOWLAH

DRIVEWAY ACCESS DESIGN


DRAWING INDEX:

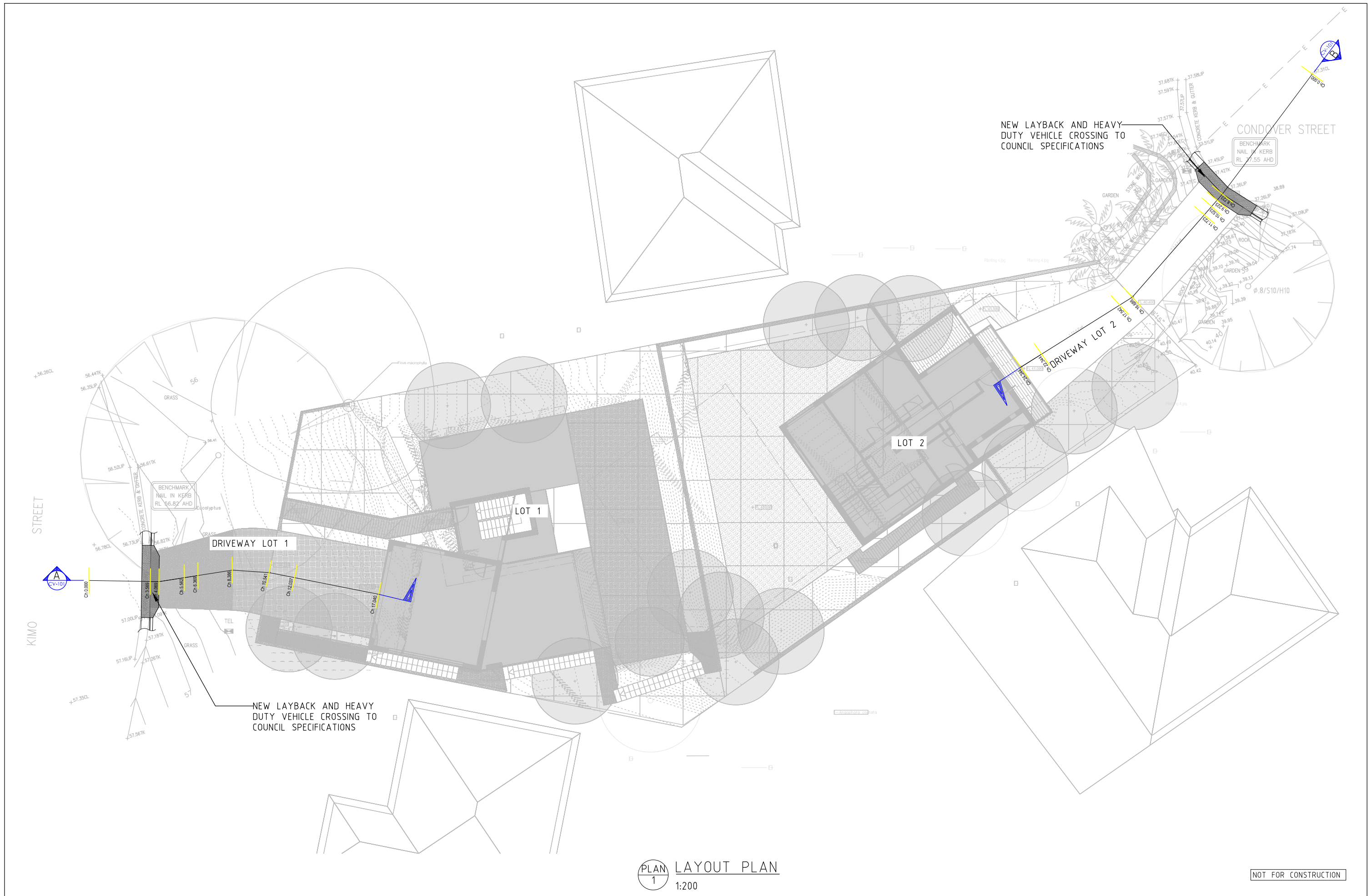
CV-100	LEGEND
CV-101	LAYOUT PLAN
CV-102	DRIVEWAY CENTERLINE LONG SECTIONS AND KERB DETAIL


GENERAL NOTES:

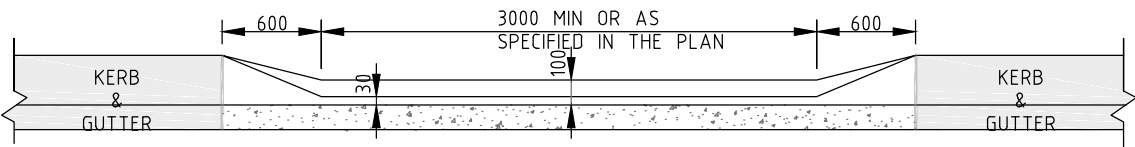
- ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- ARCHITECTURAL PLANS FOR SUBDIVISION BY MCGREGOR COXALL, AND SURVEY BY TSS TOTAL SURVEYING SOLUTIONS DATED (19/09/2020)
- LOCATION OF ALL SERVICES MUST BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.
- ALL INVERT LEVELS PROVIDED ON THIS DRAWING ARE REDUCED TO AHD AND BASED ON INTERPOLATED SURFACE LEVELS AND SYSTEM REQUIREMENTS.
- TRENCHES AND SERVICE SEPARATIONS IN ACCORDANCE WITH AS/NZS 5601, AS/NZS 3500, AND AS/CA S009.

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REVISIONS						DESIGNED	YYA	CHECKED	MAI		LEGEND			
						DRAWN	YYA	CHECKED	MAI					
	0	YYA	22.07.2021	APPROVED FOR DA SUBMISSION		APPROVED	MAI	DATE	22.07.2021					
	A	YYA	08.07.2021	FOR CLIENT REVIEW							Size	Status	Dwg No.	Rev
	No.	BY	DATE	DESCRIPTION	APPD	DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED					A3	APPROVED FOR DA SUBMISSION	CV-100	0



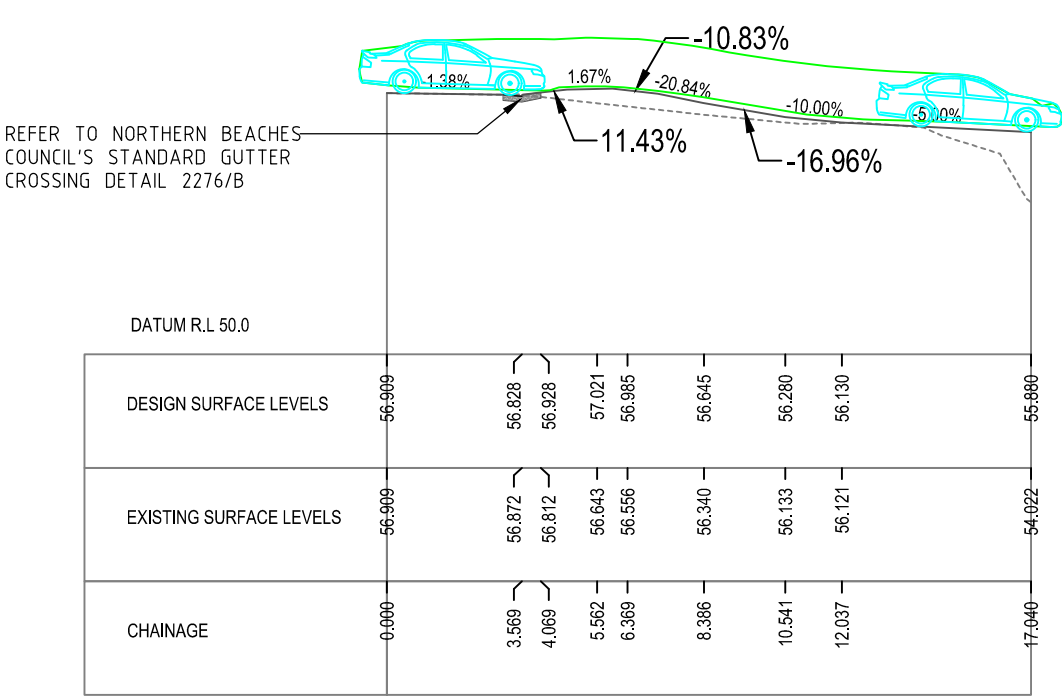
This drawing is confidential and shall only be used for the purposes of this project.					Scale 1:200 DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED	THE SIGNING OF THIS TITLE BLOCK CONFIRMS THE DESIGN AND DRAFTING OF THIS PROJECT HAVE BEEN PREPARED AND CHECKED IN ACCORDANCE WITH GZ CONSULTING ENGINEERS' QUALITY SYSTEM					50 CONDOVER STREET, NORTH BALGOWLAH				
REVISIONS						DESIGNED	YYA	CHECKED	MAI		LAYOUT PLAN				
	1	YYA	23.07.2021	APPROVED FOR DA SUBMISSION		MAI	DRAWN	YYA	CHECKED		MAI				
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No.	BY	DATE	DESCRIPTION	APPD							Size	Status	Drwg No.	Rev.	
										A3	APPROVED FOR DA SUBMISSION	CV-100	1		



TYPICAL ELEVATION AT KERB FACE
NOT TO SCALE

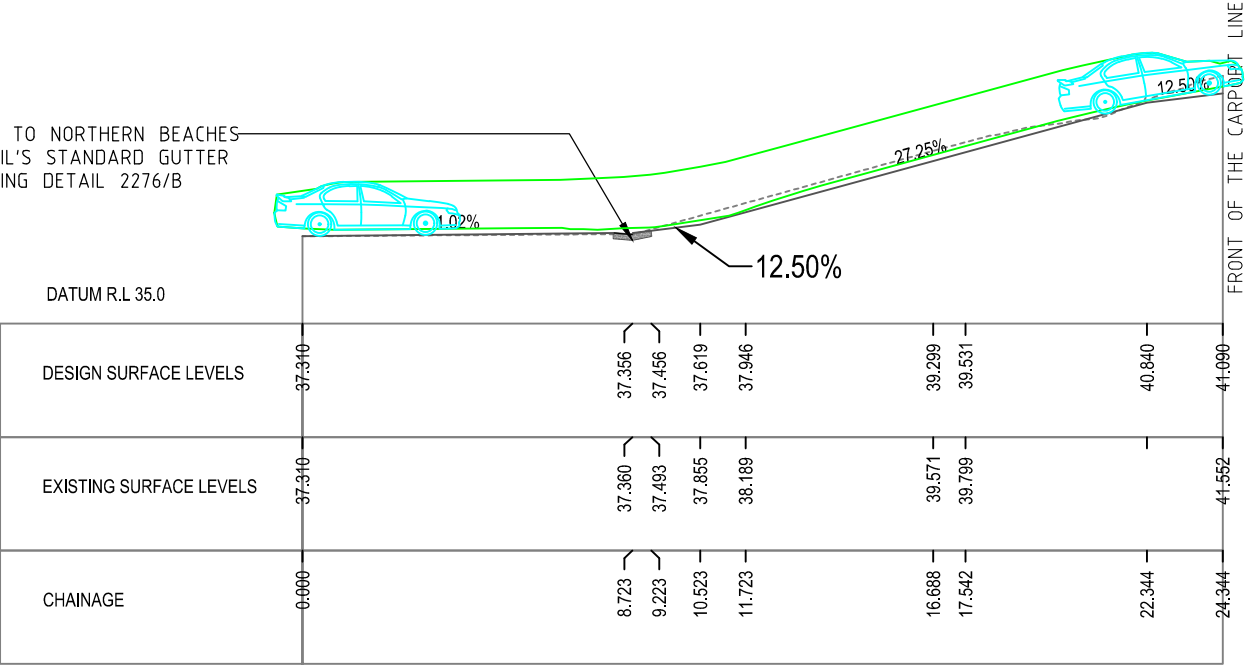
LEGEND

- EXISTING GROUND LEVEL
- PROPOSED SURFACE LEVEL



LONGITUDINAL SECTION - Lot 1 Driveway
SCALE - HORIZ 1:250.000, VERT. 1:250.000

REFER TO NORTHERN BEACHES COUNCIL'S STANDARD GUTTER CROSSING DETAIL 2276/B



LONGITUDINAL SECTION - Lot 2 Driveway
SCALE - HORIZ 1:250.000, VERT. 1:250.000

SEC A LOT 1 DRIVEWAY- CENTER LINE ALIGNMENT
1:200

SEC B LOT 2 DRIVEWAY- CENTER LINE ALIGNMENT
1:200

NOT FOR CONSTRUCTION



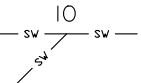
50 CONDOVER STREET, NORTH BALGOWLAH

STORMWATER PLAN FOR SUBDIVISION

DRAWING INDEX:

DR-000	LEGEND
DR-100	PIPE LAYOUT FOR THE SUBDIVISION PLAN
DR-110	EASEMENT SECTION VIEW
SD-100	SEDIMENT AND EROSION CONTROL PLAN

LEGEND:

	STORMWATER PIPE
	DRAINAGE PIT
	INSPECTION OPENING

NOTES:

1. ALL DIMENSIONS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.

2. SITE LAYOUT BASED ON ARCHITECTURAL PLANS BY MCGREGOR COXALL AND SURVEY PLANS BY TOTAL SURVEYING SOLUTION TSS (04/05/2021).

3. LOCATION OF ALL SERVICES MUST BE CONFIRMED ON SITE PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.

4. ALL STORMWATER DRAINAGE PIPES AND ASSOCIATED DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE RELEVANT STANDARDS, THE BUILDING CODE OF AUSTRALIA, MANUFACTURER’S RECOMMENDATIONS, SYDNEY CATCHMENT AUTHORITY RECOMMENDED PRACTICE, AND LOCAL COUNCIL, AS APPLICABLE.

5. ALL INVERT LEVELS PROVIDED ON THIS DRAWING ARE REDUCED TO AHD AND BASED ON INTERPOLATED SURFACE LEVELS AND SYSTEM REQUIREMENTS.
6. WHERE POSSIBLE, PIPEWORK SHALL BE LOCATED EXTERNAL TO THE BUILDING.

7. DOWNPIPES AND STORMWATER LINES TO BE SEALED DN100 uPVC UNLESS OTHERWISE NOTED.


8. STORMWATER PIPES TO BE GRADED AT A MINIMUM 1% UNLESS NOTED OTHERWISE.

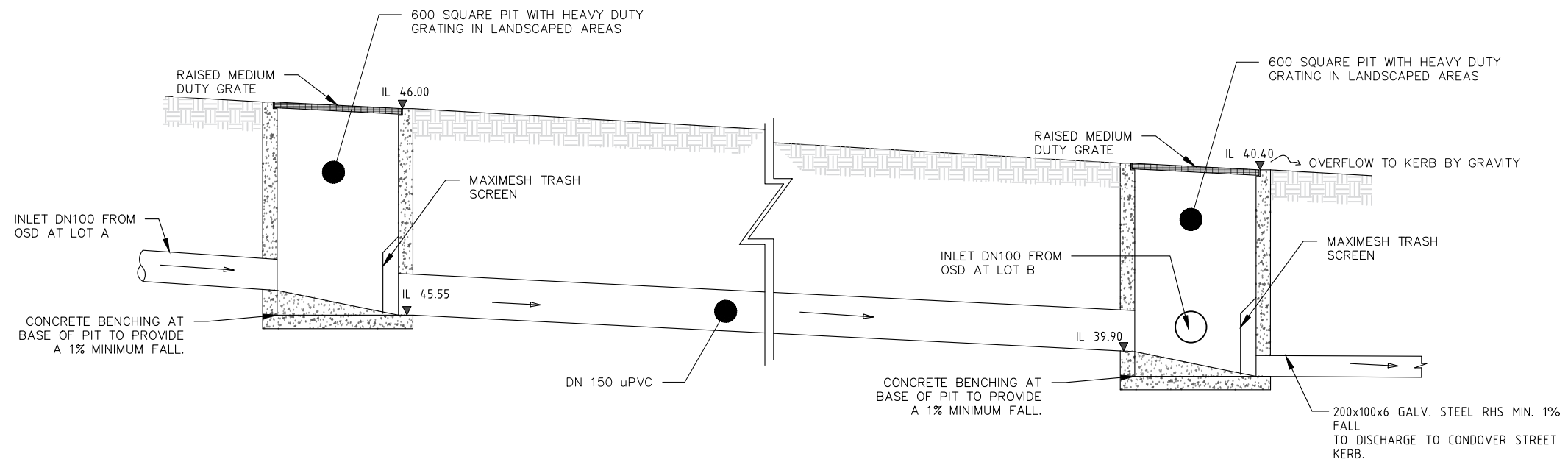
9. ALTERNATIVE GUTTER AND DOWNPIPE CONFIGURATION MAY BE INSTALLED PROVIDED IT COMPLIES WITH AS3500.

10. ALL PIPE AND CONDUITS TO BE MARKED IN ACCORDANCE WITH AS1345 – 1995.

11. TRENCHES AND SERVICE SEPARATIONS IN ACCORDANCE WITH AS/NZS 5601, AS/NZS 3500, AND AS/CA S009.


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													LEGEND					
0 YYA 22/07/2021 APPROVED FOR DA SUBMISSION IRW																		
No. BY DATE DESCRIPTION APPD																		



EASEMENT SECTION VIEW
NOT TO SCALE

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REVISIONS						DESIGNED	YYA	CHECKED	MAI			EASEMENT SECTION VIEW							
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						APPROVED	IRW	DATE	22/07/2021										
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No.	BY	DATE	DESCRIPTION			APPD													

GENERAL REQUIREMENTS

THE FOLLOWING EROSION AND SEDIMENT CONTROL PLAN (ESCP) HAS BEEN DEVELOPED IN GENERAL ACCORDANCE WITH LANDCOM (2004) – MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION, OTHERWISE KNOWN AS "THE BLUE BOOK". THIS PLAN SHOULD ALSO BE READ IN CONJUNCTION WITH MANAGING URBAN STORMWATER – SOILS AND CONSTRUCTION (VOLUME 2A INSTALLATION OF SERVICES).

SITE ESTABLISHMENT

PRIOR TO THE COMMENCEMENT OF EARTHWORKS ON THE SITE THE FOLLOWING SHALL BE UNDERTAKEN AS A MINIMUM:

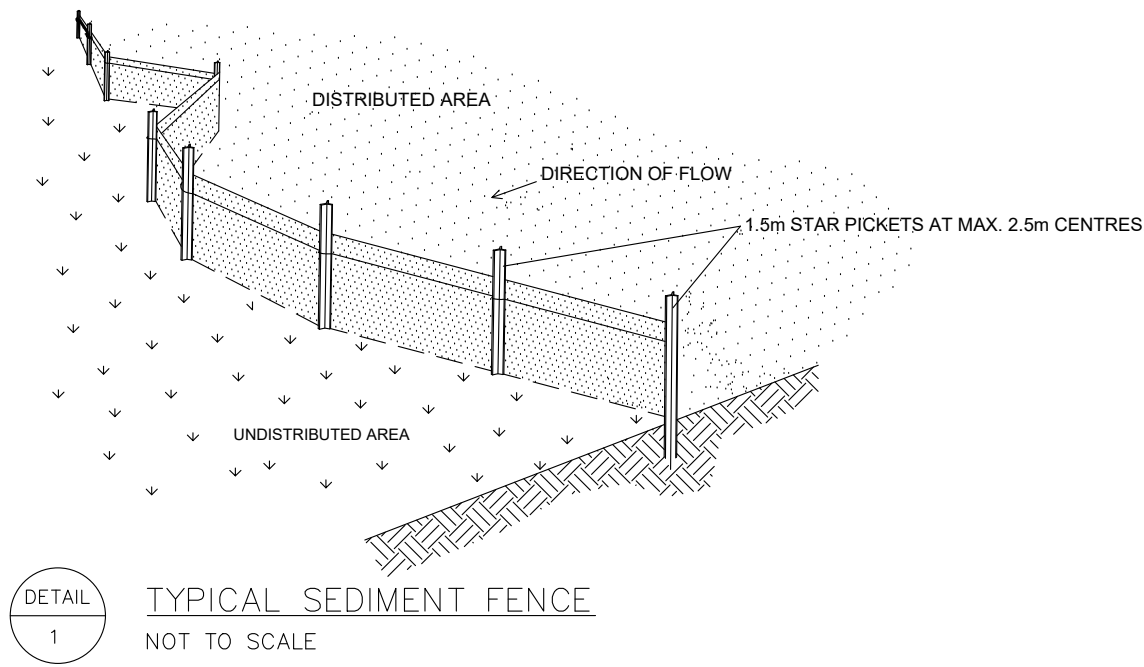
1. ERECT SAFETY FENCING WITH SIGNAGE CLEARLY INDICATING THAT THE SITE IS A CONSTRUCTION ZONE AND ACCESS IS RESTRICTED AS DEEMED NECESSARY.
2. ERECT CLEARLY VISIBLE BARRIER FENCING AT LOCATIONS SHOWN OR IF NOT SHOWN AT THE DISCRETION OF THE SITE SUPERINTENDENT TO ENSURE TRAFFIC IS CONTROLLED AND TO PROHIBIT UNNECESSARY SITE DISTURBANCE.
3. WHERE REQUIRED AT THE DISCRETION OF THE SITE SUPERINTENDENT, INSTALL STABILISED SITE ACCESS AT SITE ACCESS POINT TO PREVENT CONSTRUCTION EQUIPMENT FROM CARRYING SEDIMENT OFF THE SITE ONTO SURROUNDING ROADS.
4. PROVIDE GERNI PRESSURE CLEANER AT SITE EXIT POINT FOR TYRE WASH DOWN AT THE DISCRETION OF THE SITE SUPERINTENDENT.
5. INSTALL SEDIMENT AND EROSION CONTROL DEVICES IN ACCORDANCE WITH THE CONSTRUCTION DETAILS SPECIFIED IN THIS DRAWING SET AND/OR THE REQUIREMENTS OF THE 'BLUE BOOK'.

CONSTRUCTION

6. USE SANDBAGS, HAY BALES AND/OR GRAVEL FILLED GEOTEXTILE SOCKS TO FILTER AND CONVEY STORMWATER RUNOFF WITHIN THE SITE.
7. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
8. INLET FILTERS SHALL BE INSTALLED WHERE SHOWN TO PREVENT WATER FROM DIRECTLY ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE. IF THE LOCATION OF INLET FILTERS ARE NOT SHOWN ON THE PLAN THEIR LOCATION SHALL BE AT THE DISCRETION OF THE SUPERINTENDENT.
9. STAGE WORK AND PROGRAMMING OF CONSTRUCTION ACTIVITIES TO MINIMISE THE EXTENT AND DURATION OF OPEN EXCAVATION. AVOID OPENING TRENCHES WHENEVER THE RISKS OF STORMS ARE HIGH.
10. DIVERT SURFACE WATER AWAY FROM EXCAVATION AREAS WITH SANDBAGS OR EQUIVALENT.
11. FOR DEWATERING OF EXCAVATION AREAS SET UP TEMPORARY DEWATERING PUMP OUT SYSTEM AS REQUIRED AND ENSURE FLOCCULATION IS USED IF WATER IS NOT CLEAR (i.e. SEDIMENT > 50mg/L). FOR RATES AND AGENTS REFER APPENDIX E NSW DEPARTMENT OF HOUSING "MANAGING URBAN STORMWATER SOILS & CONSTRUCTION". DISCHARGE SHALL BE DIRECTLY TO COUNCIL'S PIPED DRAINAGE SYSTEM. DO NOT DISCHARGE TO THE KERB.
12. STOCKPILES SHALL BE LOCATED NO CLOSER THAN 2m (PREFERABLY 5m) FROM CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS. PROTECT STOCKPILES FROM EROSION BY RAIN AND SURFACE FLOWS.
13. ENSURE CHEMICAL AND FUELS ARE STORED WITHIN BUNDED AREAS AND ELEVATED ABOVE POTENTIAL FLOW PATHS.

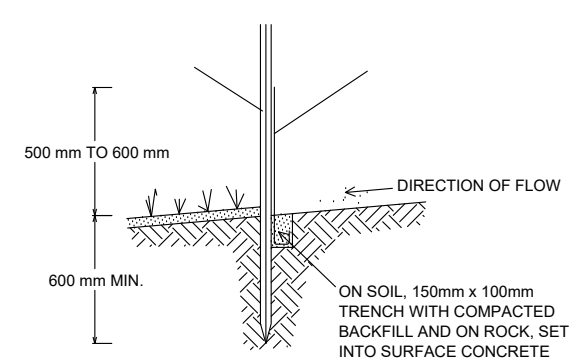
MAINTENANCE

14. ALL DEDICATED SEDIMENT STORAGE ZONES WITHIN TRAPS SHALL BE CLEANED WHEN A MAXIMUM OF 60% FULL OF SOLID MATERIALS AND DISPOSED OF IN A MANNER THAT PREVENTS FURTHER POLLUTION OF THE SITE.
15. TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES WILL BE RETAINED UNTIL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS STABILISED.
16. THE CONTRACTOR SHALL INSPECT THE SITE AT LEAST WEEKLY AND AFTER ANY STORM EVENT AND WILL:
 - ENSURE THAT DRAINS OPERATE PROPERLY AND TO EFFECT ANY NECESSARY REPAIRS;
 - REMOVE SPILLED SAND OR OTHER MATERIALS FROM AREAS OF LIKELY CONCENTRATED OR HIGH VELOCITY FLOWS (ESPECIALLY DRAINS AND TEMPORARY FLOW PATHS)
 - REMOVE TRAPPED SEDIMENT WHENEVER LESS THAN DESIGN CAPACITY REMAINS WITHIN THE STRUCTURE;
 - CONSTRUCT ADDITIONAL EROSION AND/OR SEDIMENT CONTROL WORKS AS REQUIRED;
 - MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN A FULLY FUNCTIONING CONDITION UNTIL ALL EARTHWORK ACTIVITIES ARE COMPLETED AND THE SITE IS STABILISED; AND
 - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES AS THE LAST ACTIVITY IN THE CONSTRUCTION PROGRAM.



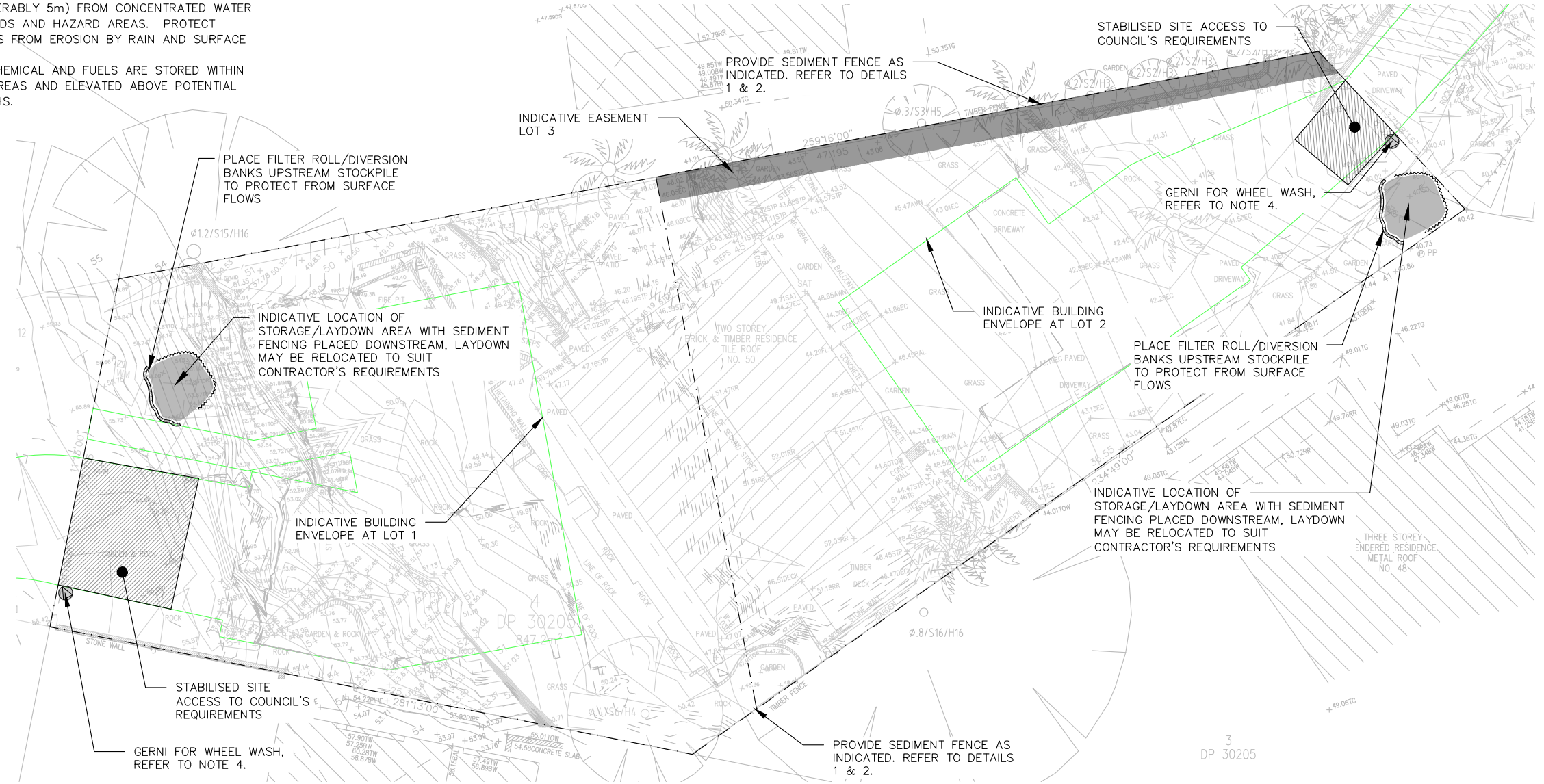
DETAIL
1

TYPICAL SEDIMENT FENCE
NOT TO SCALE



DETAIL
2

SECTION DETAIL
NOT TO SCALE



SEDIMENT & EROSION CONTROL PLAN
1:200

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AS NOTED						DESIGNED YYA CHECKED MAI DRAWN YYA CHECKED MAI APPROVED IRW DATE 22/07/2021				Stellen		SEDIMENT & EROSION CONTROL PLAN					
DO NOT SCALE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE SPECIFIED										Stellen Consulting ABN 61 149 095 189		Size A3 Status APPROVED FOR DA SUBMISSION		Dwg No. SD-100		Rev. 1	

REVISIONS

No.	BY	DATE	DESCRIPTION	APPD
1	YYA	23/07/2021	APPROVED FOR DA SUBMISSION	YYA
0	YYA	22/07/2021	APPROVED FOR DA SUBMISSION	IRW