

PROPOSED CARPORT ADDITION

76 QUEENS PARADE EAST, NEWPORT NSW 2106

NOTES

- CONFIRM ALL DIMENSIONS ON SITE BEFORE ORDERING MATERIALS AND STARTING CONSTRUCTION.
- ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS, THE BUILDING CODE OF AUSTRALIA, NSW WORKCOVER AND ALL RELEVANT APPROVALS/REQUIREMENTS.
- ALL WORKS TO BE IN ACCORDANCE WITH BASIX CERTIFICATE WHERE REQUIRED
- DEMOLISH EXISTING STRUCTURES AS SHOWN. WHERE REQUIRED, ALL DEMOLITION SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 2601 AND NSW WORKCOVER REGULATIONS.
- IF REQUIRED, ANY ASBESTOS REMOVAL SHALL BE UNDER TAKEN BY APPROPRIATELY QUALIFIED AND LICENSED CONTRACTORS AND ALL MATERIALS TREATED AND DISPOSED OF IN ACCORDANCE WITH NSW WORKCOVER REQUIREMENTS.
- PROVIDE TERMITE TREATMENT TO WHOLE OF NEW CONSTRUCTION AREA IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 3660.
- WHERE REQUIRED, PROVIDE WATER SERVICES, STORMWATER DRAINAGE, HOT WATER SERVICES AND SANITARY SERVICES, METERS, VENTS, WASTES, Etc. AS REQUIRED IN ACCORDANCE WITH AS 3500 AND AS 1547 AND THE BUILDING CODE OF AUSTRALIA. ALL NEW WATER PIPES ARE TO BE ACCOUSTICALLY INSULATED.
- WHERE REQUIRED, PROVIDE ALL ELECTRICAL SERVICES, METERS, LIGHTING, EMERGENCY LIGHTING, SWITCHBOARDS, METERS, Etc. IN ACCORDANCE WITH AS 3000 AND AS 1680.
- WHERE REQUIRED, ALL WET AREAS ARE TO BE WATER PROOFED, AND THE INSTALLATION CERTIFIED, IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 4200.
- WHERE REQUIRED, PROVIDE ALL TIMBER FRAMING, TRUSSES, BEAMS, POSTS, Etc. AS REQUIRED, ALL IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 1684 TIMBER FRAMING CODE.
- WHERE REQUIRED, PROVIDE ALL STEEL FRAMING, TRUSSES, BEAMS, COLUMNS, Etc. AS REQUIRED IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 4100.
- WHERE REQUIRED, PROVIDE ALL ROOFING AND ASSOCIATED GUTTERS, DOWNPIPES, FLASHINGS, INSULATION, Etc. IN ACCORDANCE WITH AS 2050, AS 2728, AS 4389, AND AS 3500 AND THE THE BUILDING CODE OF AUSTRALIA,.
- WHERE REQUIRED, PROVIDE SMOKE ALARMS IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND AS 3786 AND AS 2293.
- WHERE REQUIRED, PROVIDE ALL DOORS AND DOOR HARDWARE AS REQUIRED IN ACCORDANCE WITH AS 2688, AS 1909, AS 3959.
- WHERE REQUIRED, PROVIDE ALL WINDOWS, FRAMES, GLAZING, Etc. IN ACCORDANCE WITH AS 1288, AS 3715, AS 4667, AS 3959 AND THE REQUIREMENTS OF THE BASIX REPORT/S.
- WHERE REQUIRED, ALL PREPARATION FOR PAINTING AND PAINTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1627, AS 2311, AS 2312.
- WHERE REQUIRED, PROVIDE ALL WALL AND FLOOR TILING IN ACCORDANCE WITH AS 1884 & AS 2358

CONSTRUCTION STANDARDS

ALL WORKS ARE TO BE CARRIED OUT IN ACCORDANCE WITH ALL RELEVANT BCA REQUIREMENTS & AUSTRALIAN STANDARDS INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

| TRADE | STANDARD |
|--|------------------------------|
| SURVEYS: | |
| TECHNICAL DRAWING | AS 1100.40-1984 |
| SAFETY: | |
| WORK HEALTH & SAFETY REGULATIONS 2011 & SAFE WORK AUSTRALIA HEALTH AND SAFETY AT WORK - PRINCIPLES AND PRACTICES | AS 1470 |
| DEMOLITION: | |
| THE DEMOLITION OF STRUCTURES | AS 2601 |
| EARTHWORKS & EXCAVATION: | |
| GEOTECHNICAL SITE INVESTIGATIONS | AS 1726. |
| EARTHWORKS | AS 1726. |
| COMPACTION TESTING | AS 1289.5.41 & AS 1289.5.4.2 |
| STORM WATER & HYDRAULICS: | |
| WASTEWATER | AS 1547 |
| STORMWATER | AS NZS 3500.3 |
| PLUMBING & DRAINAGE - WATER SERVICES | AS/NZS 3500.1. |
| PLUMBING & DRAINAGE - SANITARY PLUMBING & DRAINAGE | AS/NZS 3500.2. |
| PLUMBING & DRAINAGE - HEATED WATER SERVICES | AS/NZS 3500.4 |
| COPPER PIPES & FITTINGS - INSTALLATION & COMMISSIONING | AS 4809. |
| DEGREES OF ELECTRICAL PROTECTION | AS 1939. |
| ELECTRICAL INSTALLATIONS | AS/NZS 3000. |
| ELECTRICAL: | |
| ELECTRICAL WORK | AS/NZS 3000. |
| INTERIOR LIGHTING | AS/NZS 1680. |
| TERMITE MANAGEMENT: | |
| TERMITE MANAGEMENT | AS 3660 |
| TIMBER FRAMING: | |
| TIMBER FRAMING CODE | AS1684 |
| CONCRETE & MASONRY: | |
| FORMWORK DESIGN & CONSTRUCTION | AS 3610. |
| STEEL REINFORCING MATERIALS | AS1302, AS1303 & AS1304. |
| CONCRETE | AS 1379. |
| MATERIALS & CONSTRUCTION | AS 3600. |
| CONCRETE STRUCTURES FOR RETAINING LIQUIDS | AS3735. |
| MATERIALS & CONSTRUCTION | AS 3700. |
| STRUCTURAL STEEL: | |
| MATERIALS, CONSTRUCTION, FABRICATION & ERECTION | AS 4100. |
| WATERPROOFING: | |
| PLIABLE BUILDING MEMBRANES & UNDERLAYS - MATERIALS/INSTALLATION | AS/NZS 4200.1, AS/NZS 4200.2 |
| ROOFING: | |
| DESIGN AND INSTALLATION | AS 1562.1. |
| PRE-PAINTED AND ORGANIC FILM/METAL LAMINATE PRODUCTS | AS 2728. |
| SAFETY MESH | AS/NZS 4389. |
| ROOF PLUMBING | AS/NZS 3500.3.2. |

| TRADE | STANDARD |
|---|-----------------------------|
| DOORS & DOOR HARDWARE: | |
| FLUSH DOORS AND JOINERY DOORS INSTALLATION | AS 2688 & AS 3959. AS 1909. |
| WINDOWS & GLAZING: | |
| MATERIALS, SELECTION AND INSTALLATION | AS 2047, AS 3959 & AS 1288. |
| CUT-TO-SIZE QUALITY | AS/NZS 4667. |
| LAMINATED AND TOUGHENED GLASS PROCESS | AS/NZS 4667. |
| METAL FINISHING - THERMOSET POWDER COATING FOR ARCHITECTURAL APPLICATIONS OF ALUMINUM AND ALUMINUM ALLOY | AS 3715-2002 |
| SAFETY GLAZING MATERIALS IDENTIFY EACH PIECE OR PANEL | AS 1288. |
| PAINTING: | |
| GUIDE TO THE PAINTING OF BUILDINGS | AS/NZS 2311 |
| GUIDE TO THE PROTECTION OF STRUCTURAL STEEL AGAINST ATMOSPHERIC CORROSION BY THE USE OF PROTECTIVE COATINGS | AS/NZS 2312 |
| METAL FINISHING - PREPARATION AND PRE-TREATMENT OF SURFACES - ABRASIVE BLAST CLEANING OF STEEL | AS 1627.4-2005 |
| TLING: | |
| AN INTRODUCTORY GUIDE TO THE SLIP RESISTANCE OF PEDESTRIAN SURFACE MATERIALS | HB197:1999 |
| FLOOR COVERINGS - RESILIENT SHEET AND TILES - INSTALLATION PRACTICES | AS 1884 |
| ADHESIVES - FOR FIXING CERAMIC TILES | AS 2358-1990 |
| LANDSCAPING: | |
| SOILS FOR LANDSCAPING & GARDEN USE | AS 4419 |
| PARKING: | |
| PARKING FACILITIES PART 1 OFF-STREET CAR PARKING | AS/NZS 2890.1:2004 |

DRAWING SCHEDULE

| | |
|------------|---------------------------------|
| NEW3-DA000 | COVER SHEET |
| NEW3-DA001 | PROPOSED SITE PLAN |
| NEW3-DA002 | EXISTING LANDSCAPE CALCULATIONS |
| NEW3-DA010 | EXISTING GROUND FLOOR PLAN |
| NEW3-DA020 | EXISTING ELEVATIONS 1 |
| NEW3-DA021 | EXISTING ELEVATIONS 2 |
| NEW3-DA030 | PROPOSED GROUND FLOOR PLAN |
| NEW3-DA040 | PROPOSED ELEVATIONS |
| NEW3-DA050 | PROPOSED SECTION |
| NEW3-DA060 | CARPORT DETAILS |
| NEW3-DA070 | NOTIFICATION PLAN (A4) |

NOTE:

PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT

DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39

Mob: 0439 490 024
hello@project39.com.au



CLIENT

MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

PROJECT

PROPOSED CARPORT

PROJECT PHASE

DEVELOPMENT APPLICATION

DRAWING TITLE

COVER SHEET

SCALE

1:1 @ A3

DRAWN

SH

PLOT DATE

15/11/2024
5:19 AM

PROJECT No

NEW-03

DRAWING No

DA000

REVISION

01

NEW DOWNPIPES TO DISCHARGE TO OSD TANKS VIA EXISTING CHARGED SYSTEM

PROPOSED NEW CARPORT. FINISHES AS SPECIFIED

No. 74
1 & 2 STOREY
CLAD HOUSE
METAL ROOF

3
DP 12031

LOT 4
D.P.12031
734.0 m²

5
DP 12031

QUEENS
PARADE
EAST

01 PROPOSED SITE PLAN
1:200

SITE AREA CALCULATIONS

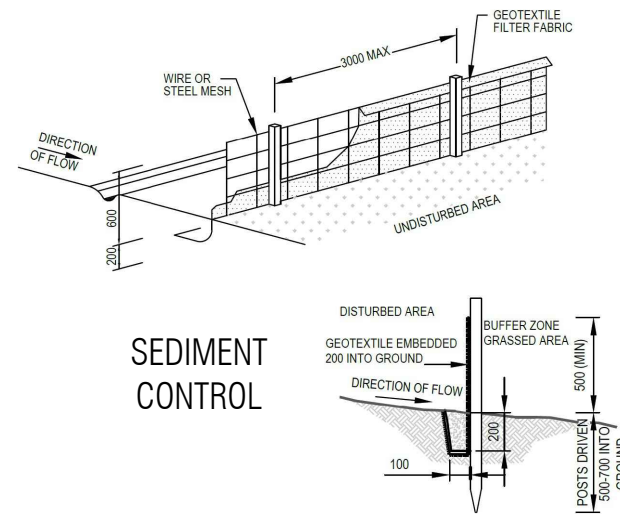
EXISTING SITE AREA 734m²
REQUIRED LANDSCAPE AREA - 50% x 734 = 367m²
6% IMPERVIOUS AREA - 44.04m²
MINIMUM LANDSCAPE AREA REQUIRED = 322.96m²
EXISTING LANDSCAPE AREA = 347.94m²
PROPOSED LANDSCAPE AREA = 347.94m²

LEGEND

COLOURED HATCH DENOTES NEW WORKS

STORM WATER

STORM WATER DESIGN AND INSTALLATION TO BE IN ACCORDANCE WITH NORTHERN BEACHES CONSULTING ENGINEERS DESIGN CERTIFICATE



CONSTRUCTION NOTES:

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENTS AREA OF ANY ONE SECTION. THE CATCHMENTS AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
3. DRIVE 1.5m LONG STAR PICKETS INTO GROUND AT 2.5m INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

NOTE:

PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT

DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39

Mob: 0439 490 024
hello@project39.com.au



CLIENT

MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

PROJECT

PROPOSED CARPORT

PROJECT PHASE

DEVELOPMENT APPLICATION

DRAWING TITLE

PROPOSED SITE AND
S/W CONCEPT PLAN

SCALE

1:200 @ A3

PROJECT No

NEW-03

DRAWN

SH

DRAWING No

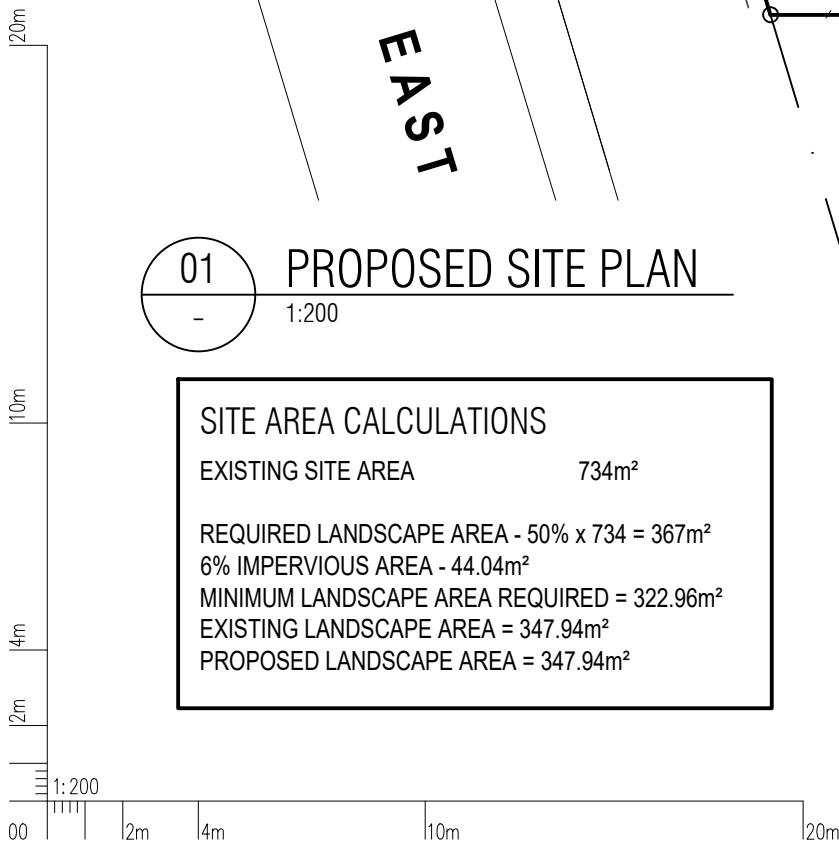
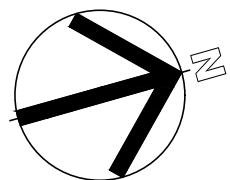
DA001

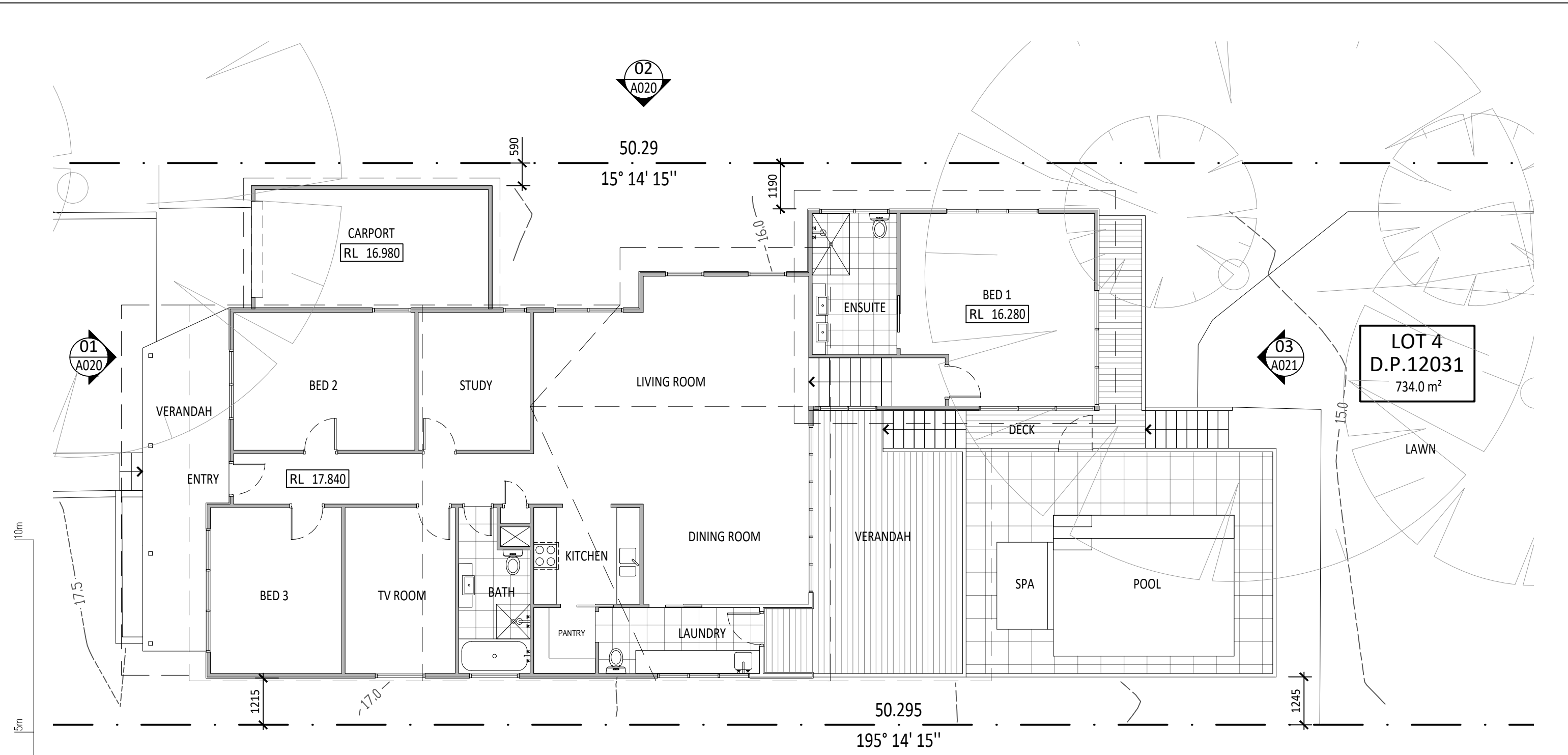
PLOT DATE

05/12/2024
9:58 PM

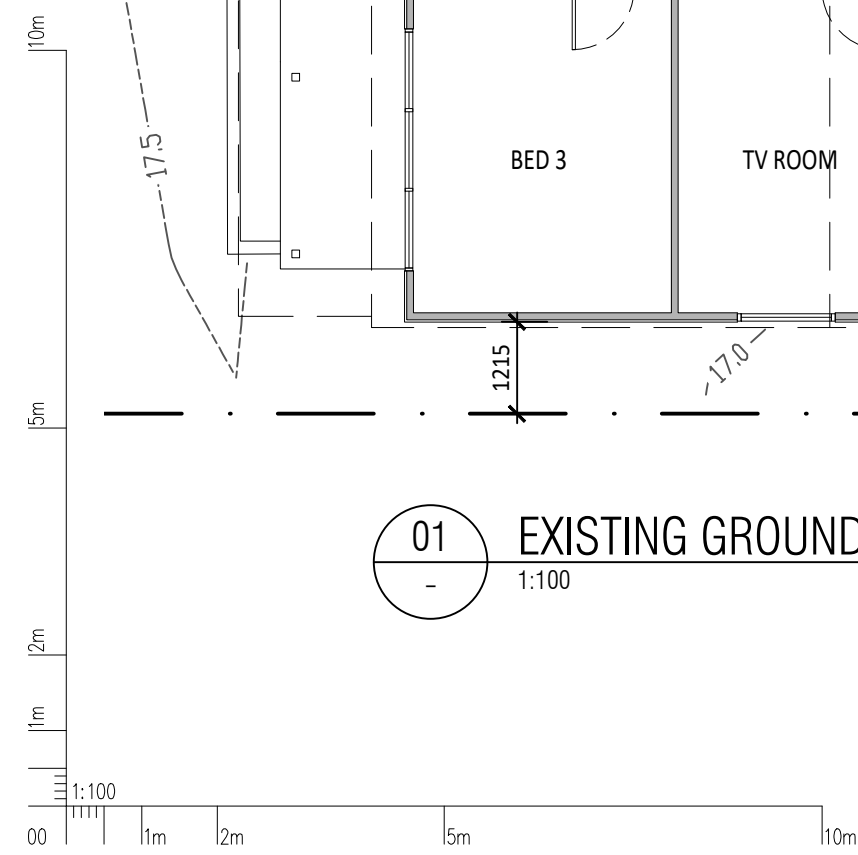
REVISION

02





01 EXISTING GROUND FLOOR PLAN
1:100



| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |

NOTE:
PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT.
DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

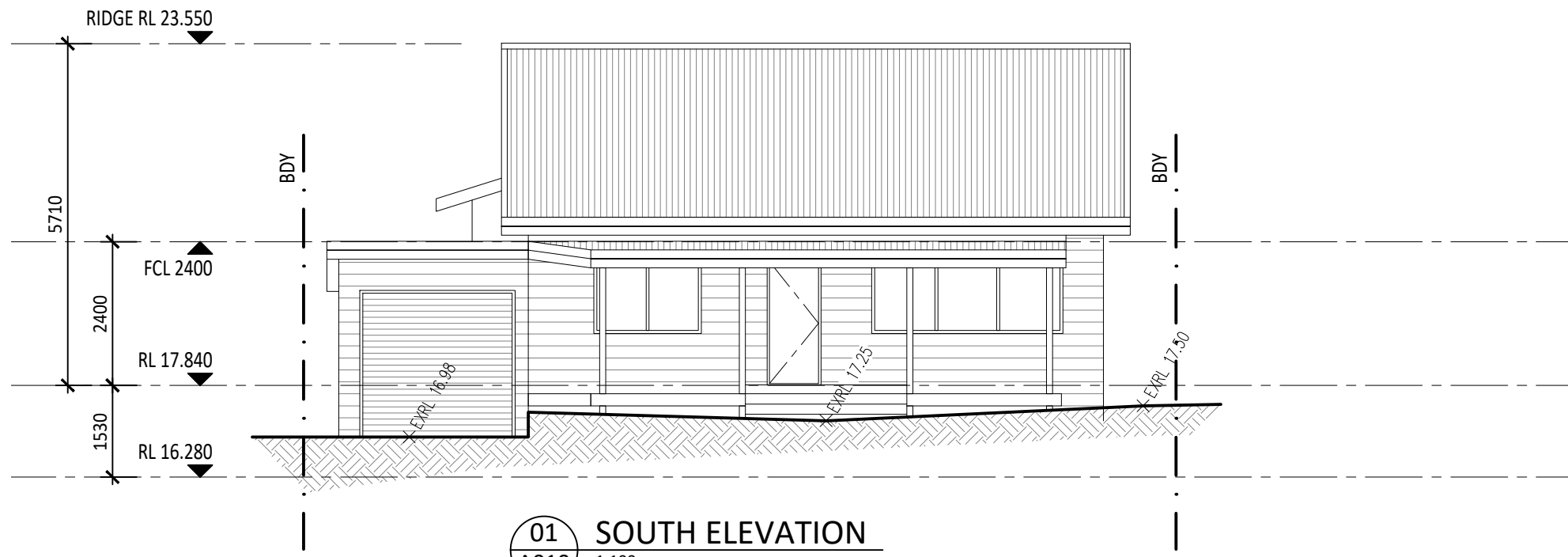
PROJECT 39
Mob: 0439 490 024
hello@project39.com.au

CLIENT
MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

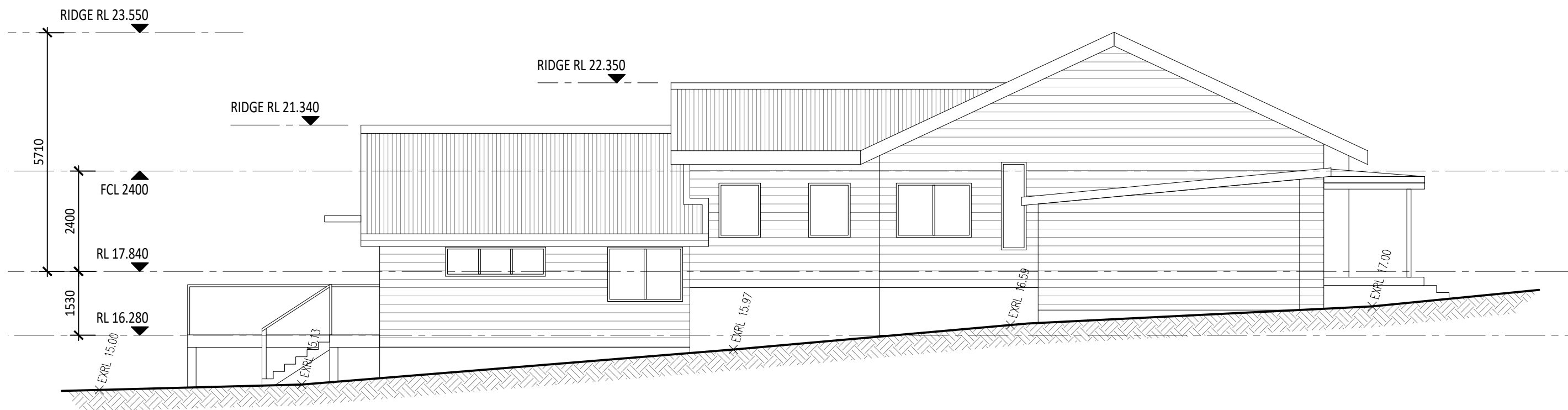
PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

| DRAWING TITLE | | |
|----------------------------|------------|-----------------------|
| EXISTING GROUND FLOOR PLAN | | |
| SCALE | DRAWN | PLOT DATE |
| 1:100 @ A3 | SH | 15/11/2024 5:20 AM |
| PROJECT No | DRAWING No | REVISION |
| NEW-03 | DA010 | 01 |



01 SOUTH ELEVATION
A010 1:100



02 WEST ELEVATION
A010 1:100

NOTE:
PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT
DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39
Mob: 0439 490 024
hello@project39.com.au



CLIENT
MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

DRAWING TITLE
EXISTING ELEVATIONS 1

SCALE
1:100 @ A3

PROJECT No
NEW-03

DRAWN
SH

DRAWING No
DA020

PLOT DATE
15/11/2024
5:21 AM

REVISION
01

| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |



03 NORTH ELEVATION
A010 1:100



04 EAST ELEVATION
A010 1:100

NOTE:

PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT

DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39
Mob: 0439 490 024
hello@project39.com.au



CLIENT
MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

DRAWING TITLE
EXISTING ELEVATIONS 2

SCALE
1:100 @ A3

DRAWN
SH

PLOT DATE
15/11/2024
5:21 AM

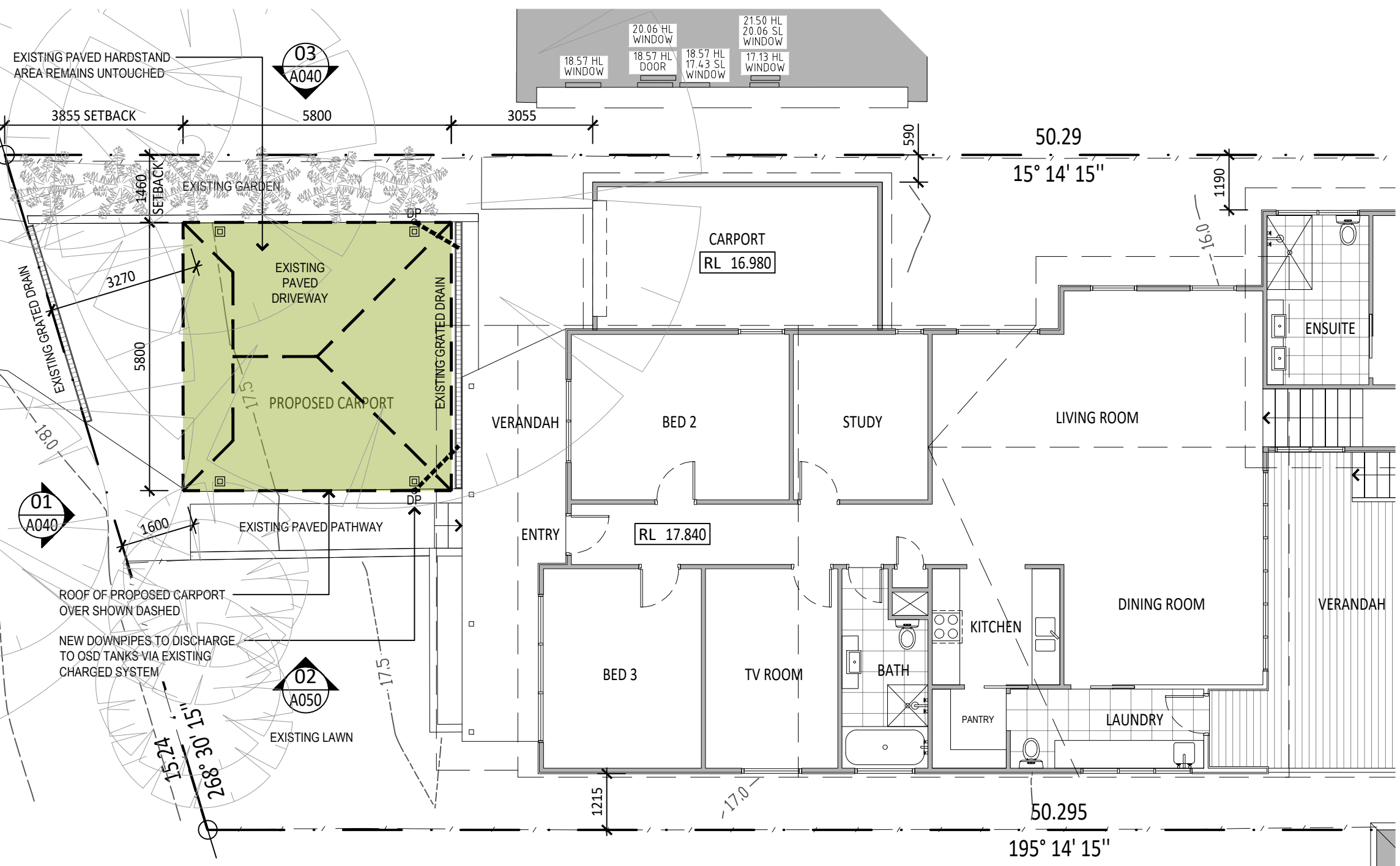
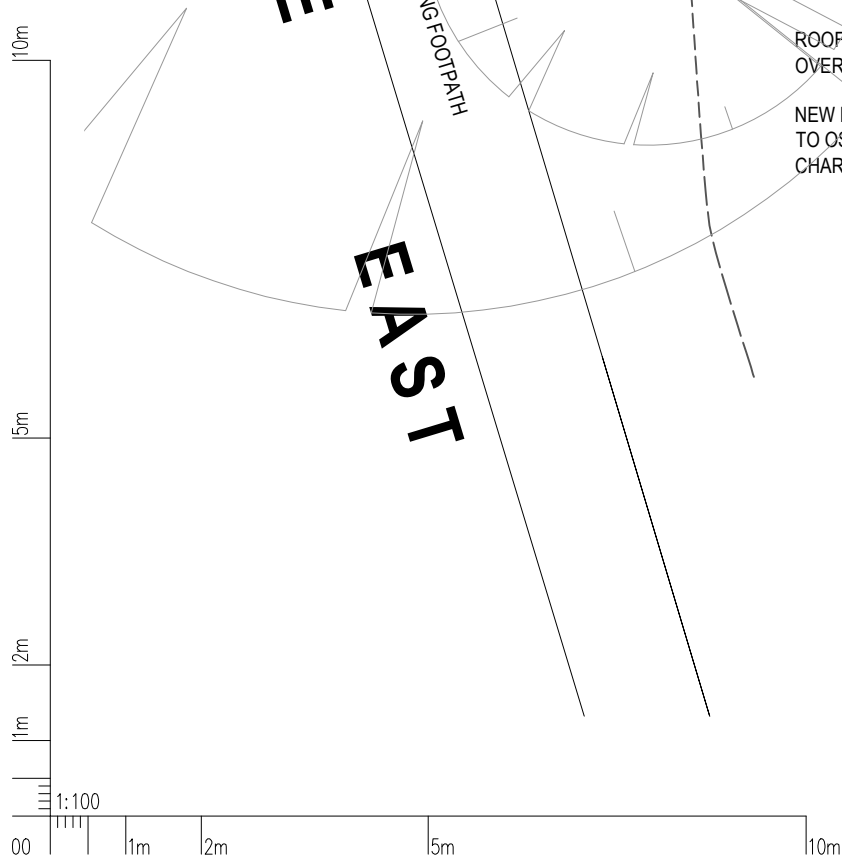
PROJECT No
NEW-03

DRAWING No
DA021

REVISION
01

| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |

QUEENS PARADE EAST



01 PROPOSED GROUND FLOOR PLAN
1:100

LEGEND

COLOURED HATCH DENOTES NEW WORKS

| | | | | |
|------------|--|----|----------|--|
| | NOTE: | | | |
| | PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT | | | |
| | DO NOT SCALE DRAWING VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS. ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE. ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS. | | | |
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 | |
| ISSUE | AMENDMENT DESCRIPTION | BY | DATE | |
| AMENDMENTS | | | | |

PROJECT 39
 Mob: 0439 490 024
 hello@project39.com.au

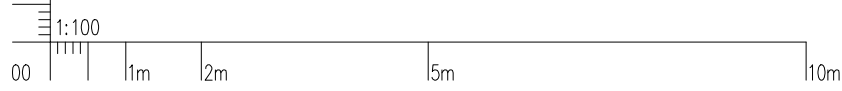
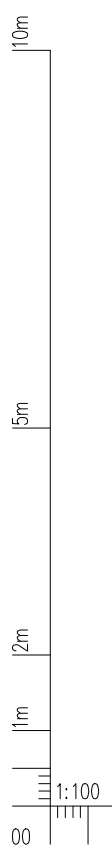
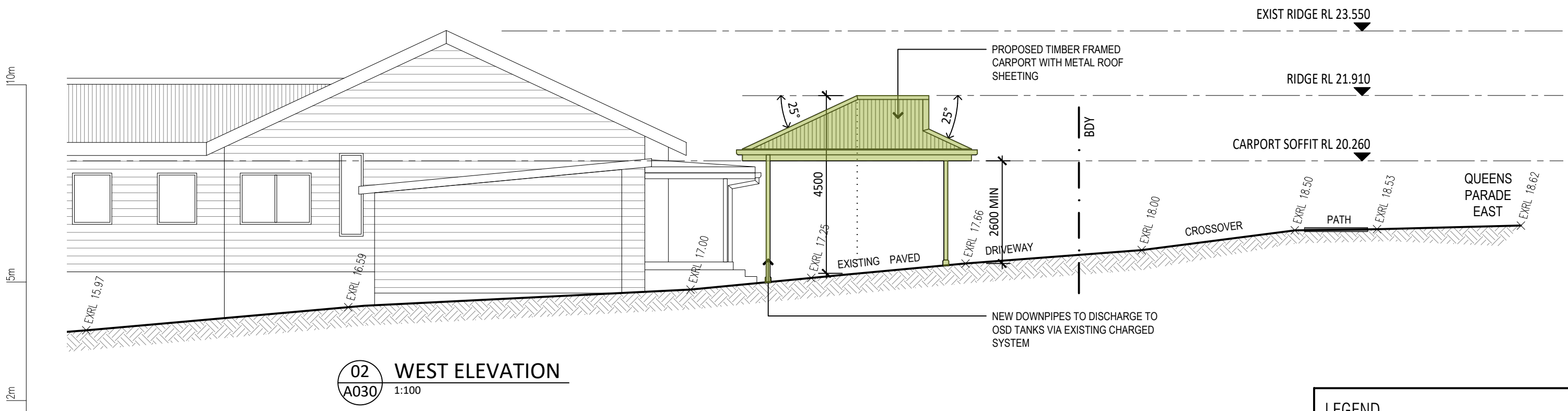
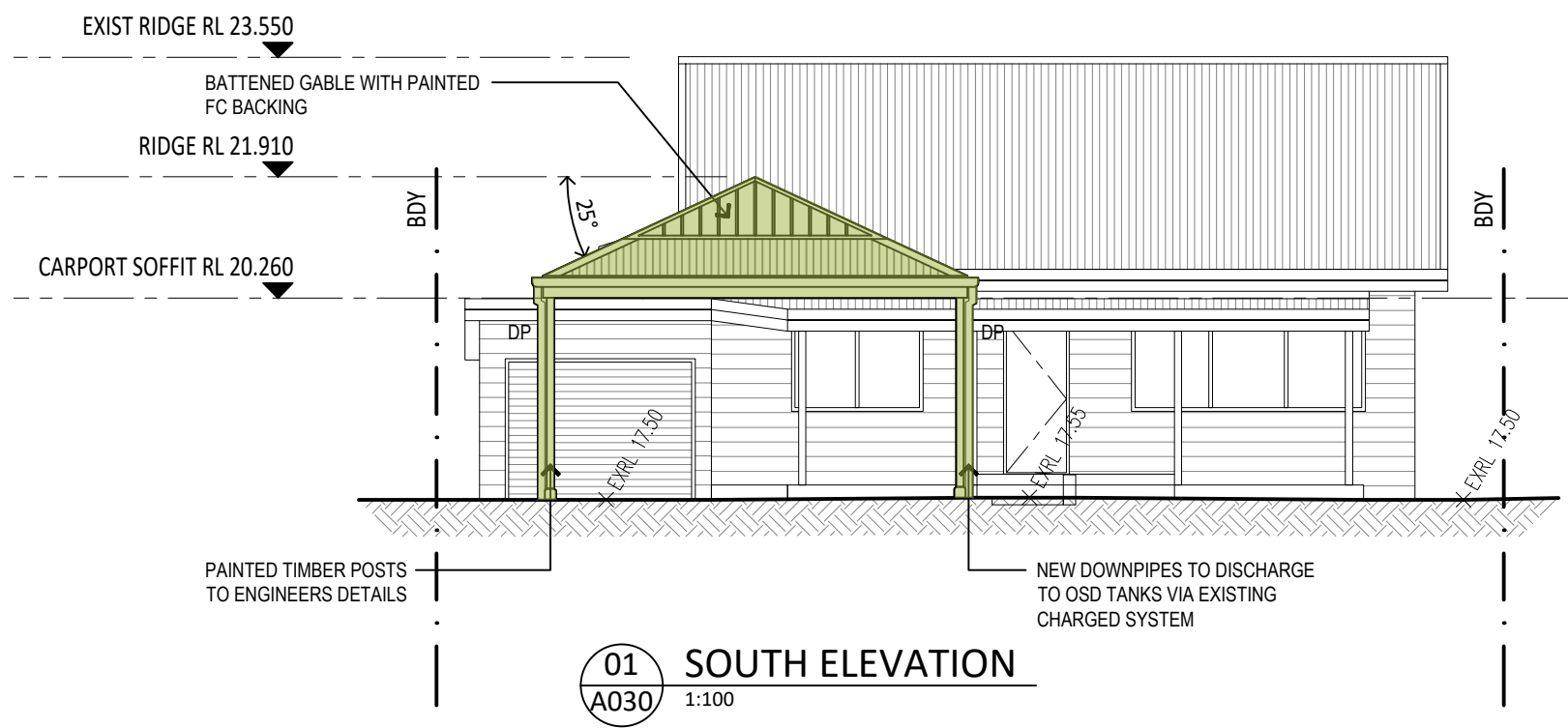


CLIENT
 MR & MRS RIDDLE
 76 QUEENS PARADE EAST,
 NEWPORT NSW 2106

PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

| | | |
|--|----------------------------|-------------------------------------|
| DRAWING TITLE PROPOSED GROUND FLOOR PLAN | | |
| SCALE 1:100 @ A3 | DRAWN SH | PLOT DATE 05/12/2024 10:03 PM |
| PROJECT No NEW-03 | DRAWING No DA030 | REVISION 01 |



LEGEND

COLOURED HATCH DENOTES NEW WORKS

| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |

NOTE:
 PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT.
DO NOT SCALE DRAWING
 VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
 ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
 ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

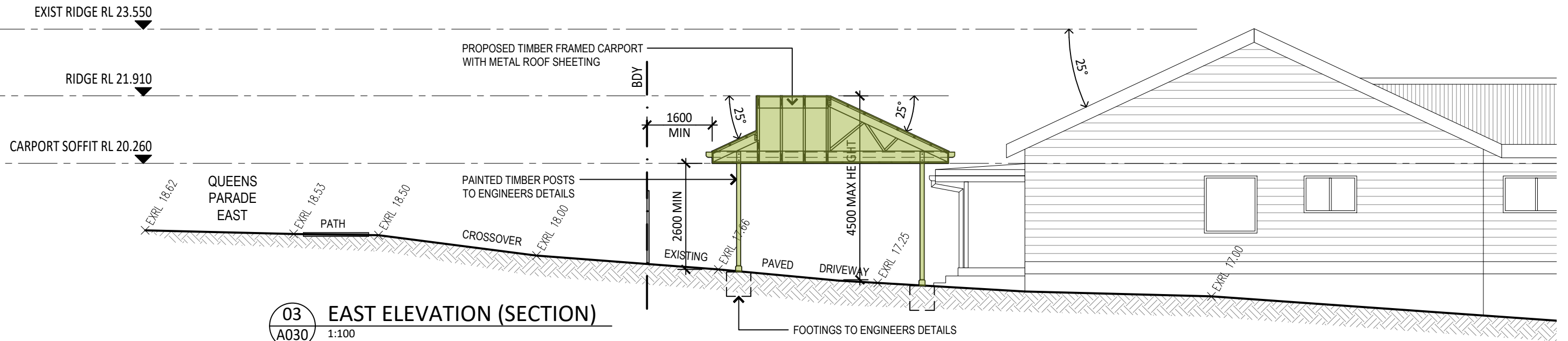
PROJECT 39
 Mob: 0439 490 024
 hello@project39.com.au

CLIENT
 MR & MRS RIDDLE
 76 QUEENS PARADE EAST,
 NEWPORT NSW 2106

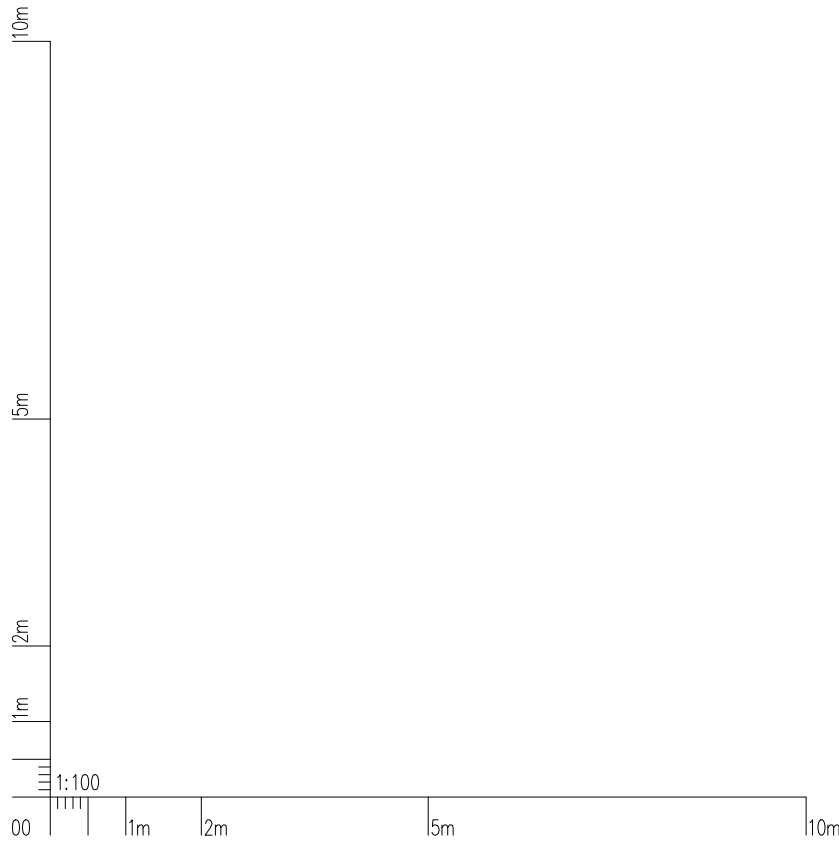
PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

| DRAWING TITLE | | |
|------------------------------|--------------|-----------------------|
| PROPOSED ELEVATIONS 1 | | |
| SCALE | DRAWN | PLOT DATE |
| 1:100 @ A3 | SH | 15/11/2024 5:22 AM |
| PROJECT No | DRAWING No | REVISION |
| NEW-03 | DA040 | 01 |



03 EAST ELEVATION (SECTION)
A030 1:100



LEGEND

COLOURED HATCH DENOTES NEW WORKS

| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |

NOTE:
PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT
DO NOT SCALE DRAWING
VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39
Mob: 0439 490 024
hello@project39.com.au



CLIENT
MR & MRS RIDDLE
76 QUEENS PARADE EAST,
NEWPORT NSW 2106

PROJECT
PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

DRAWING TITLE
PROPOSED SECTION

SCALE
1:100 @ A3

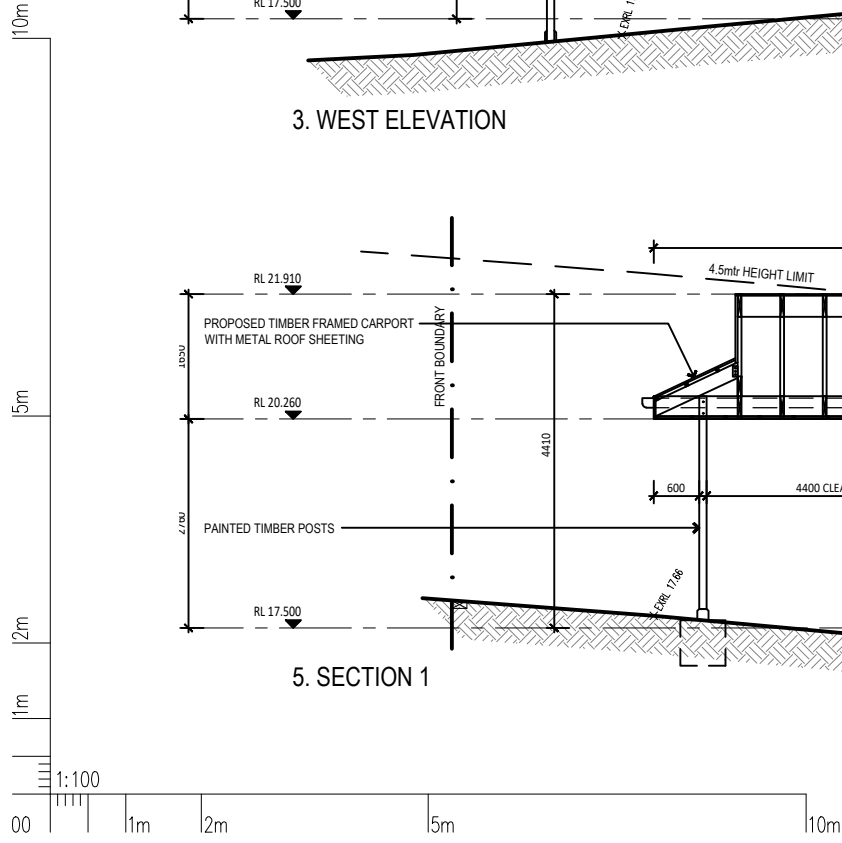
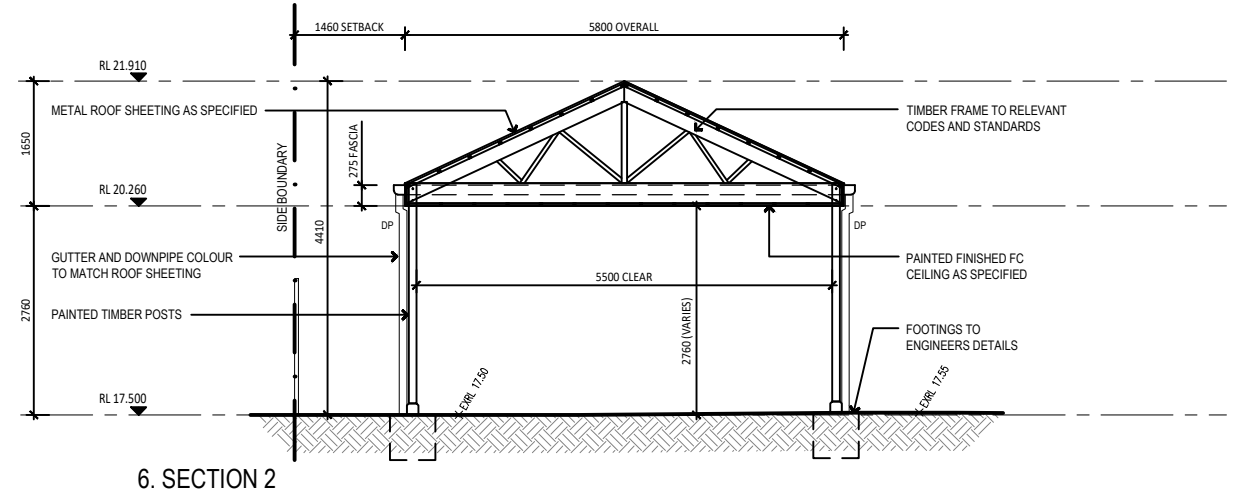
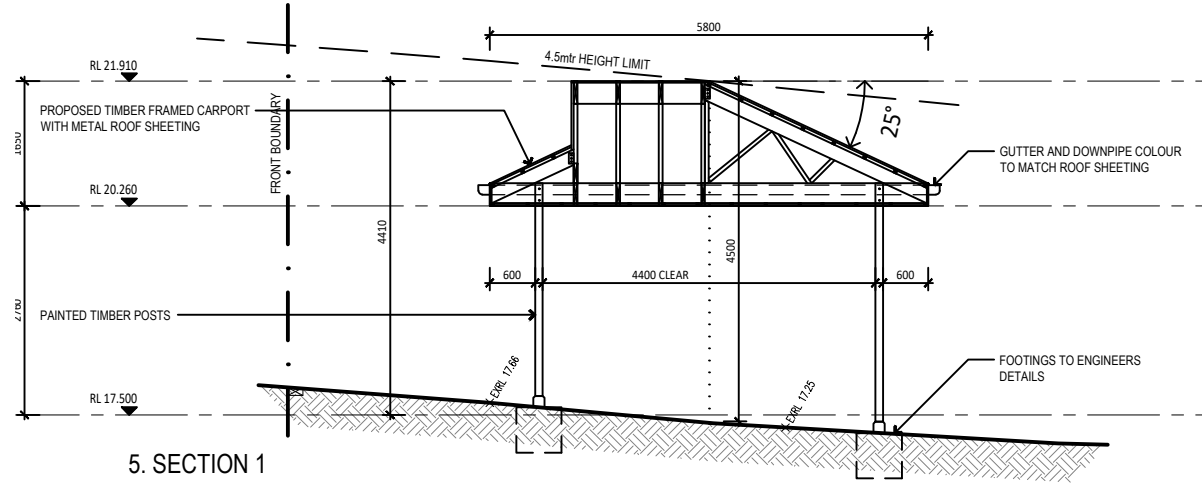
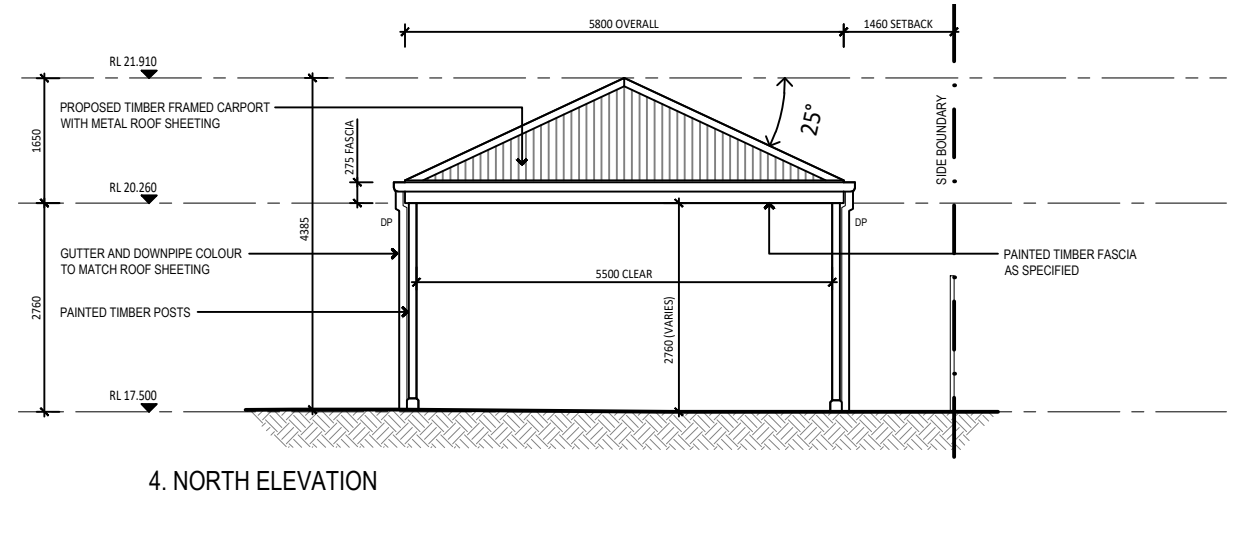
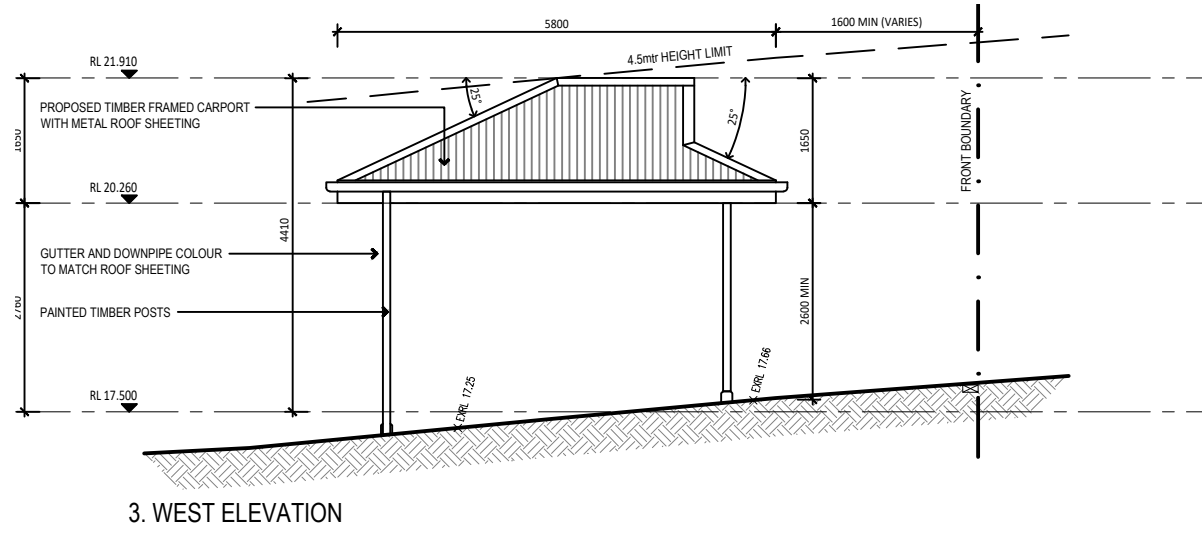
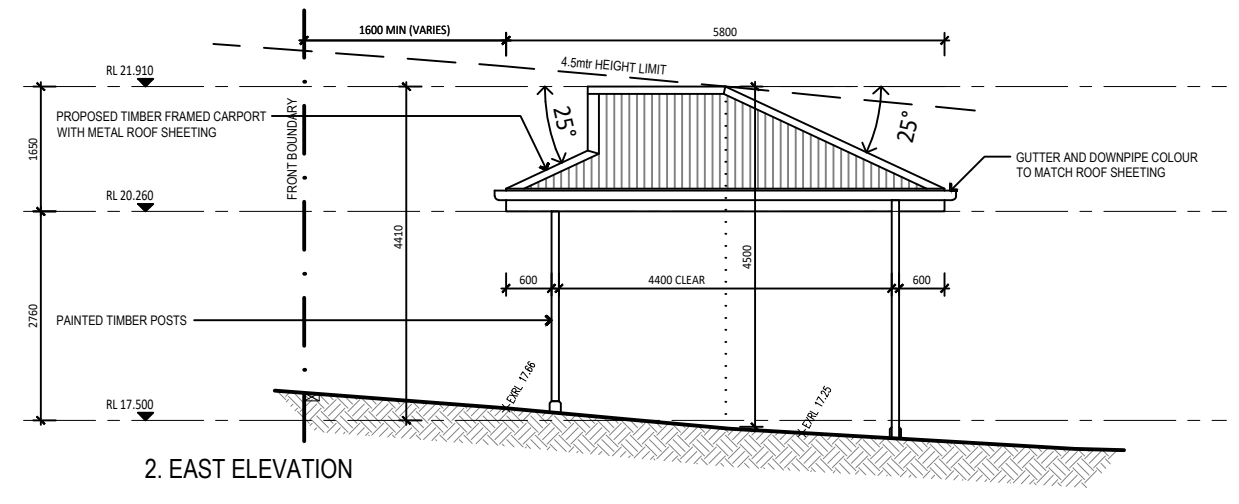
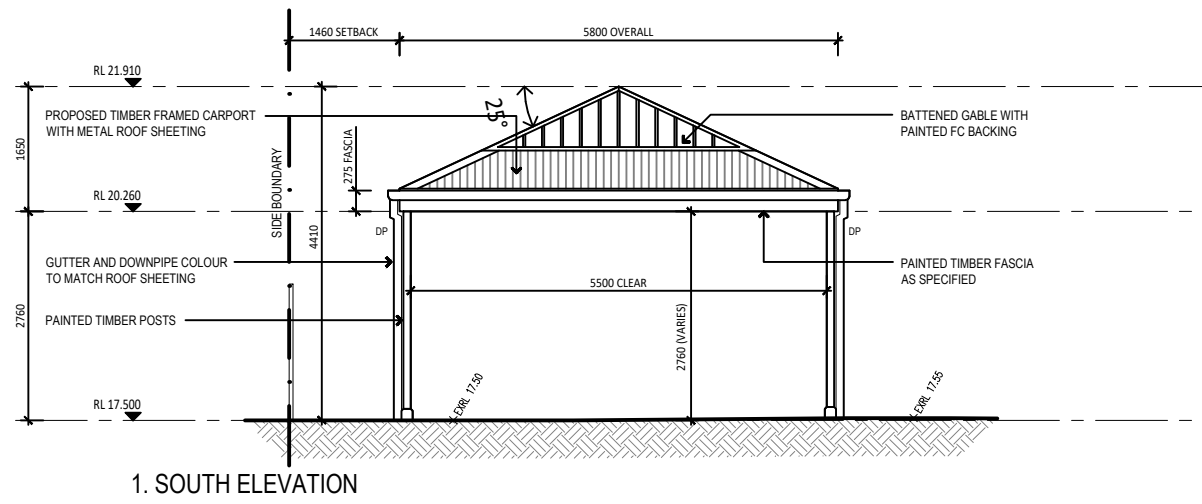
DRAWN
SH

PLOT DATE
15/11/2024
5:23 AM

PROJECT No
NEW-03

DRAWING No
DA050

REVISION
01



| ISSUE | AMENDMENT DESCRIPTION | BY | DATE |
|------------|------------------------------------|----|----------|
| 01 | ISSUED FOR DEVELOPMENT APPLICATION | SH | 25.08.24 |
| AMENDMENTS | | | |

NOTE:
 PROJECT 39 IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS & SCHEDULES WHICH MUST NOT BE REPRODUCED OR COPIED WITHOUT PRIOR WRITTEN CONSENT
DO NOT SCALE DRAWING
 VERIFY ALL DIMENSIONS ON THE SITE BEFORE COMMENCING WORK OR PRODUCING SHOP DRAWINGS.
 ALL SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BEFORE MANUFACTURE.
 ALL WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND ALL CURRENT AND RELEVANT AUSTRALIAN STANDARDS.

PROJECT 39
 Mob: 0439 490 024
 hello@project39.com.au



CLIENT
 MR & MRS RIDDLE
 76 QUEENS PARADE EAST,
 NEWPORT NSW 2106

PROJECT
 PROPOSED CARPORT

PROJECT PHASE
DEVELOPMENT APPLICATION

| DRAWING TITLE | | |
|------------------------|--------------|-----------------------|
| CARPORT DETAILS | | |
| SCALE | DRAWN | PLOT DATE |
| 1:100 @ A3 | SH | 15/11/2024 5:25 AM |
| PROJECT No | DRAWING No | REVISION |
| NEW-03 | DA060 | 01 |

