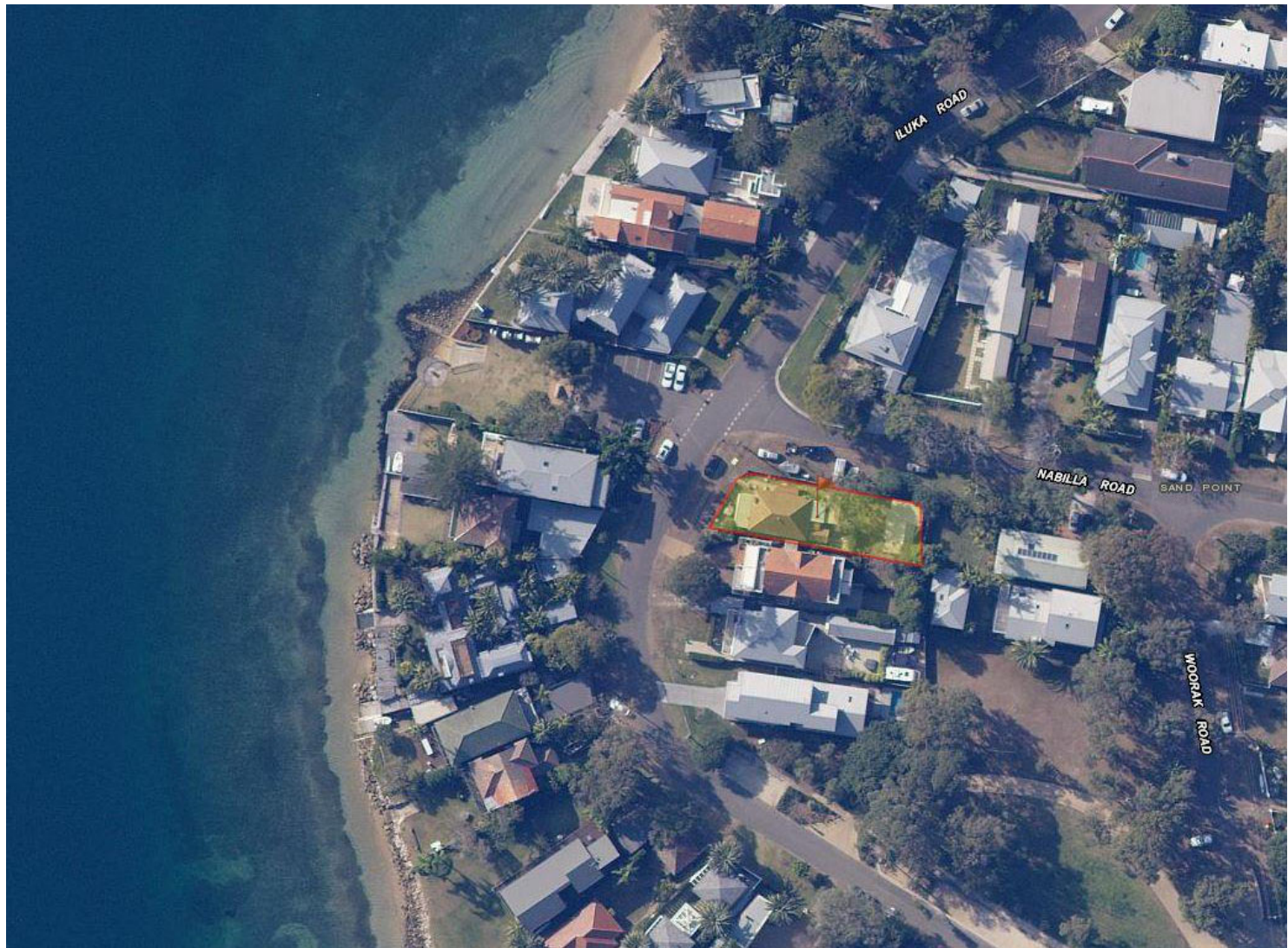




PERSPECTIVE STREET ENSCAPE VIEW

PROPOSED RESIDENCE
13 ILUKA ROAD
PALM BEACH 2108



LOCATION - GOOGLE MAPS



STREET MAP - GOOGLE MAPS

Sheet List			
Sheet Number	Sheet Name	Drawn By	Approved By
A001	Cover Sheet	AB	WB
A002	Survey	C.M.S. Surveyors	
A110	Site Analysis & Site Plan	AB	WB
A111	Landscape	Red Dust Design	Richard Stuchbury
A112	Waste Management Plan	AB	WB
A201	Ground Level	AB	WB
A202	First Level	AB	WB
A203	Roof Level	AB	WB
A300	Elevations	AB	WB
A310	Sections	AB	WB
A400	Shadows	AB	WB
A410	Shadows	AB	WB
A600	Perspectives	AB	WB

No.	Description	Date
A	Issued to BASIX	19.02.2021
B	Issued to BASIX	02.06.2021
C	DA Additional /Revised details	02.06.2021

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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Cover Sheet	

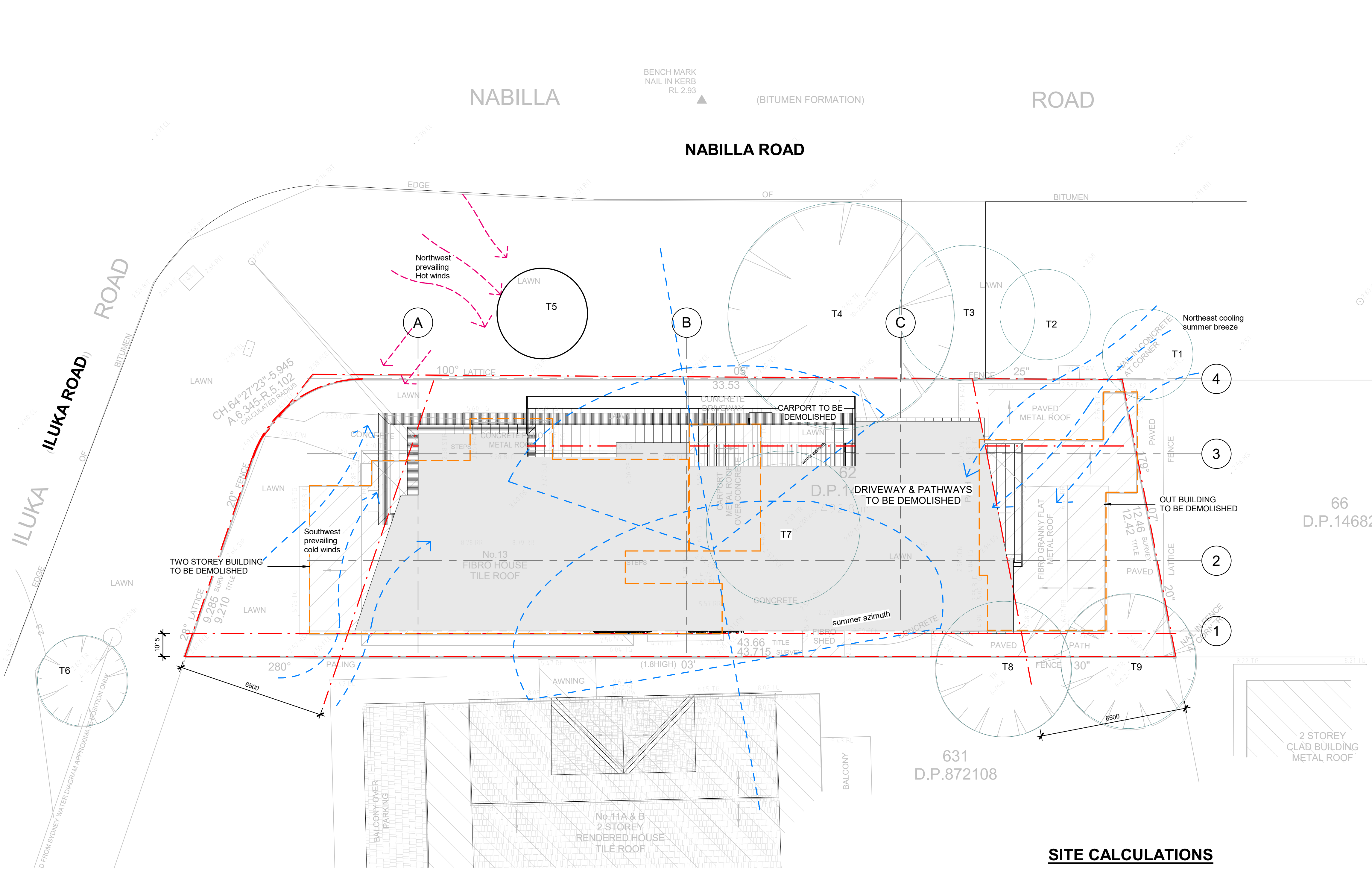
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Drawn By AB	Checked By WBD	Approved By WB	
Scale @ A1			
Drawing Number A001	Issue C		

No.	Description	Date
A	Development Application	25.02.2021
B	Issued to BASIX	02.06.2021
C	DA Additional / Revised details	02.06.2021

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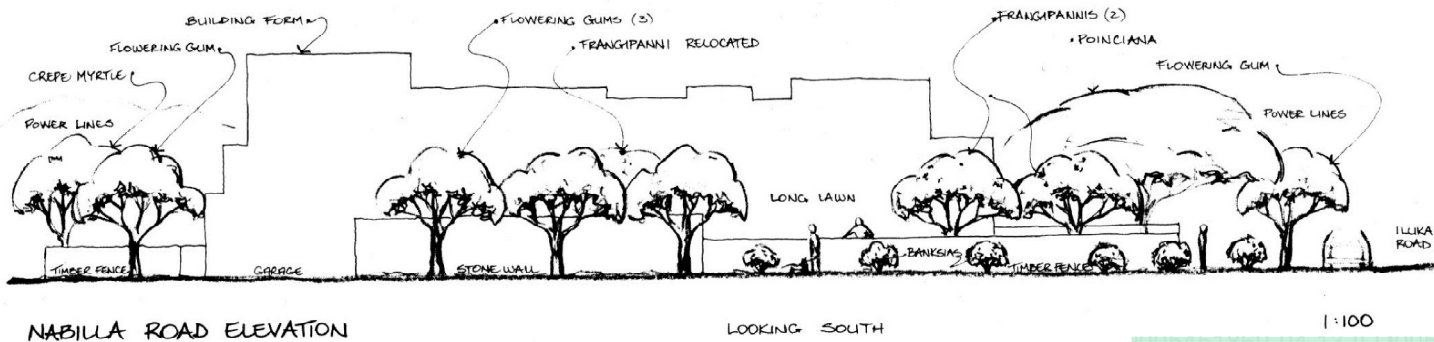
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Project Status	CC	
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Drawing Number	A110	Issue C

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Drawn By	AB	Checked By	WBD	Approved By	WB
Scale @ A1 1 : 100					
Drawing Number		Issue			
A110		C			



SITE CALCULATIONS

SITE AREA: 492M2
LANDSCAPE AREA: 282M2 = 57%



STREETSCAPE
OVERHEAD POWER LINES DICTATING STREETSCAPE
REMOVAL OF EXISTING TREES AS PER ARBORIST
REPORT. PROPOSED SMALL NATIVE CANOPY
PLANTING (FLOWERING GUMS VAR.) TO ADD
STREET CHARACTER, SHADE, AND COMPLEMENT
HOUSE FORM. OPEN UNDERSTOREY PLANTING
AROUND CORNER TO PRESERVE VEHICULAR
SIGHTLINES AND PREVENT PARKING/OBSTRUCTION,
AND ADD NATIVE CHARACTER (FRANGIPANI SH).

'BEACHED' SITTING CIRCLE
OVAL LAYOUT OF SANDSTONE SITTING BLOCKS
FOR CASUAL CAMPFIRE, STORIES, AND QUIET
REFLECTION. SUMMER SHADE FROM
FRANGIPANNI PLANTINGS, SET BEHIND
CURVED CORNER BOUNDARY FENCE (1.4m)
FOR COMFORTABLE STREETSCAPE OCCUPATION.

FRANGIPANNI
LEMON
POINCIANA
FLOWERING GUM

ILUKA ENTRANCE
A WELCOMING WIDE RECESSED GATEWAY TO
TRAIL. TIMBER FENCE (2.0m) COMPACTED GRANITE
AND PEBBLE PATHWAY WITH PLANT EDGINGS
AND BIG BEACH PEBBLE DECORATION.
BROAD POINCIANA TREE CANOPY FRAMING
ENTRY WAY AND GRAND STONE WALL TO
HOUSE FORM. BEACH SHEDS AND STORAGE
AREA FOR EASY ACCESS AND OFF LOADING.

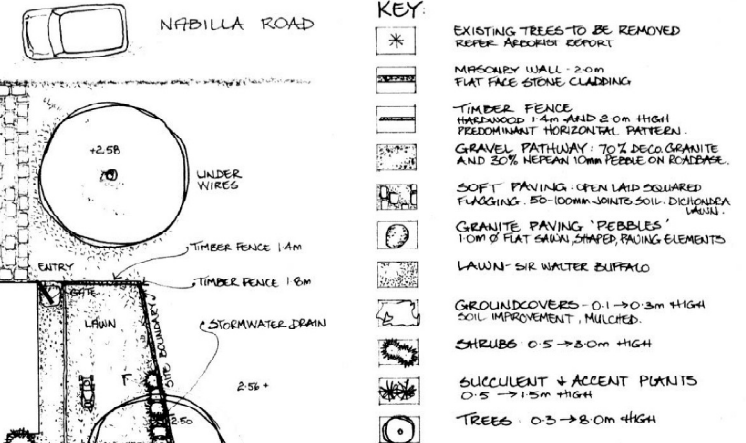
LONG LAWN
PLAYFUL LEADING GARDEN TEXTURE TO OPEN
PIT-WATER ASPECT. LAWN ASPECT PUNCTUATED
BY STATUESQUE FRANGIPANNI FORMS AND EDGE
FURNISHED BY LONG TIMBER RAIL AND DEAT.
BACKING OPEN HORIZONTAL TIMBERED LOW
FENCE (1.4m) HARDENBERGIA 'HAPPY WANDERER'
OVER.

PLUNGE POOL TERRACE
SIMPLE SPACE. BACKDROP TALL STONE
BOUNDARY WALL. POOLSIDE SOFT STATUESQUE
SUCCULENT PLANTINGS. GLASS POOL FENCE.
OPEN RANDOM SQUARED STONE FLAGGING SET
ON POROUS RONDACHE BED FLAG STONES SET
50-100mm APART WITH GREEN SOIL MIX. WET
AND MIXED PLANTING OF DICHONDRA AND
NATIVE VIOLET TO ESTABLISH LAWN CARPET.

LONG SOUTH PASSAGE
NEAT DARK GREEN GARDEN STRIP, WITH
FENCE CLIMBERS (STAR JASMINE AND
GROUND COVER) (MOND GERANIUM/NATIVE VIOLET)
TALLER (2.0m) ORANGE/GOLD TEXTURE
(CORDYLITE STRICKA, HYDRANGEA, FATSIA)
SIMPLE LOW MAINTENANCE SPACE.

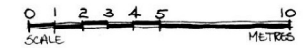
PLANTING SCHEDULE

	SPECIES	COMMON NAME	POT SIZE	MATURE SIZE H x W
'BEACHED' SITTING CIRCLE	TREES	Plumeria rubra	100 LITRE	5.0 x 5.0m
	SHRUBS	Leptospermum squarosum	15 x 15m	1.5 x 1.5m
	G/COVER	Crocosmia albastrans	200mm	1.0 x 1.0m
	CLIMBER	Hardenbergia 'Happy Wanderer'	100mm	0.1 x 1.5m
ILUKA ENTRANCE	TREES	Delonix regia	100 LITRE	8.0 x 11.0m
	SHRUBS	Bird of Paradise	45	1.5 x 1.5m
	CLIMBER	Crocosmia albastrans	200mm	1.5 x 1.0m
	CLIMBER	Banksia integrifolia	200mm	0.2 x 1.5m
LONG LAWN	TREES	Plumeria rubra	100 LITRE	5.0 x 5.0m
	SHRUBS	Banksia virgata dwarf	200mm	1.5 x 1.5m
	CLIMBER	Crocosmia albastrans	200mm	1.0 x 1.0m
	CLIMBER	Hardenbergia 'Happy Wanderer'	100mm	0.1 x 1.5m
PLUNGE POOL TERRACE	TREES	Crocosmia albastrans	200mm	1.5 x 1.0m
	SHRUBS	Sheltonia parvifolia	45	1.5 x 1.5m
	G/COVERS	Dichondra repens	GRD TUBE	0.1 x 1.0m
	G/COVERS	Gardenia x radicans	150mm	0.5 x 1.0m
SHACK GARDEN	TREES	Loganostemum indica	100 LITRE	5.0 x 5.0m
	SHRUBS	Zamia furfuracea	200mm	1.0 x 1.0m
	G/COVERS	Hydrangea x macrophylla	200mm	1.5 x 1.5m
	G/COVERS	Gardenia x radicans	100mm	0.5 x 1.0m
LONG SOUTH PASSAGE	TREES	Cordylite strickia	300mm	2.5 x 0.75m
	SHRUBS	Fatsia japonica	300mm	1.5 x 1.0m
	G/COVERS	Viola pedunculata	GRD TUBE	0.1 x 1.0m
	G/COVERS	Trachelospermum jas	150mm	0.1 x 1.0m
STREETSCAPE	TREES	Corymbia glauca	45 LITRE	5.0 x 5.0m
	SHRUBS	Banksia oblongifolia	300mm	1.5 x 2.0m
	G/COVERS	Crocosmia albastrans	200mm	0.1 x 1.5m
	G/COVERS	Platycodon grandiflorus	200mm	0.1 x 1.5m



SHACK GARDEN
SIMPLE GREEN SPACE. COMPACTED DECO GRANITE AND PEBBLE PATHWAY WITH LONG LAWN SHAPE. CREPE MYRTLE TO ADD NEIGHBOURLY PRIVACY SCREEN. PROVIDE SUMMER SHADE AND WINTER WARMTH. DECORATIVE CURVED TIMBER DECKEN (1.0m) TO ADD SPATIAL DEPTH AND PROVIDE STORAGE CORNER. CLIMBERS AND SHRUBS ON EDGES FOR GARDEN DELIGHT.

PLAN 1:100



STEVENS HOME
FOR: VERONICA & CHRIS STEVENS
LANDSCAPE PLAN

SCALE 1:100 - JAN 2021 - DWG RDS2101

REDDUSTDESIGNS
Scripture Landscape Architecture

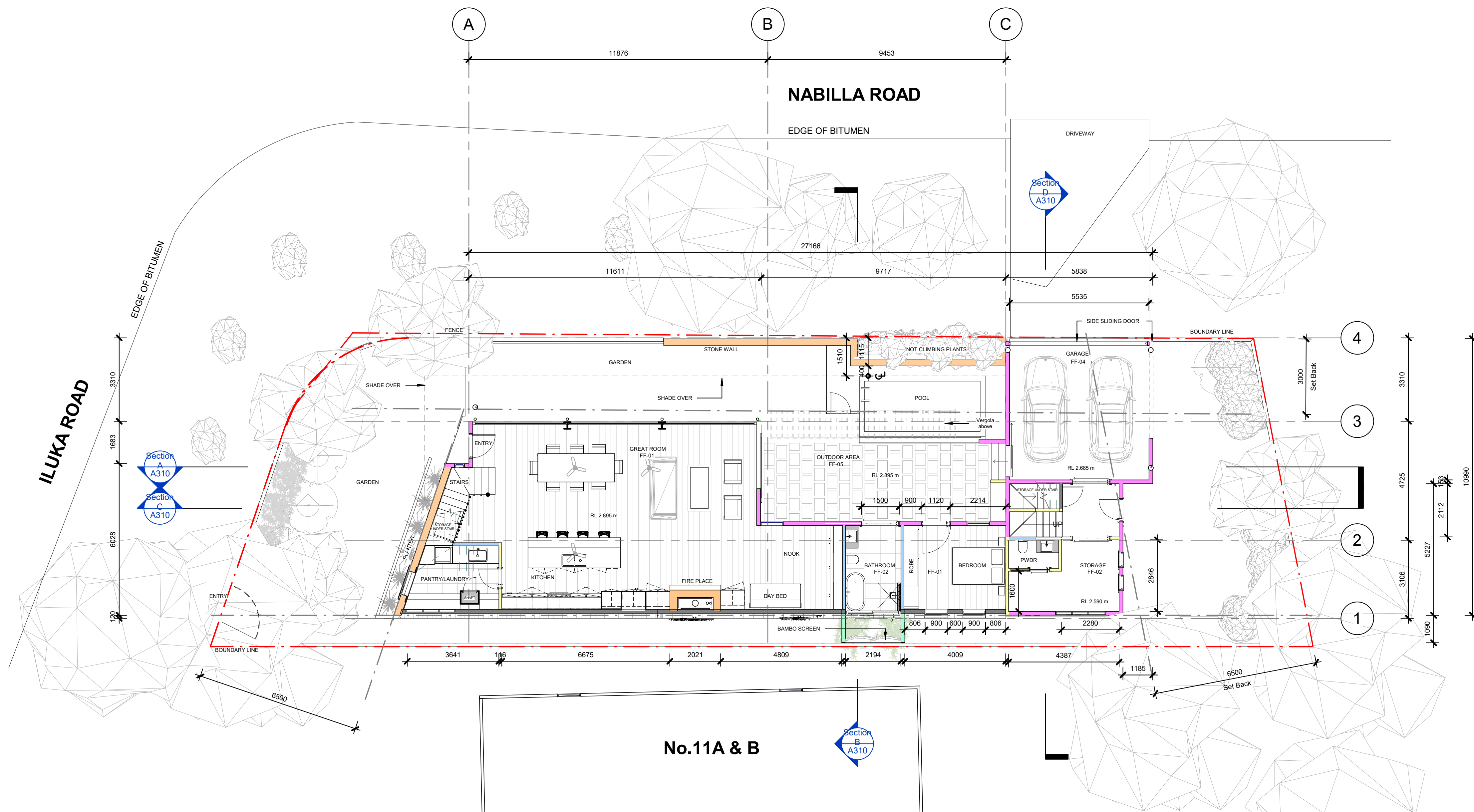
S T E V E N S

No.	Description	Date
A	Development Application	25.02.2021
B	Issued to BASIX	02.06.2021
C	DA Additional / Revised details	02.06.2021

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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Waste Management Plan	

Print Date & Time		2/06/2021 9:23:17 AM	
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Drawn By AB	Checked By Checker	Approved By WB	
Scale @ A1 1 : 100			
Drawing Number A112	Issue C		



Wall Type Legend		
■	WT01	External Stone Feature wall
■	WT02	External back wall
■	WT03	External wall
■	WT04	External wall- internal wet area
■	WT05	Internal wall
■	WT06	Internal wall- internal wet area
■	WT07	Internal wall - wet area

WALL TYPE:

- WT01: 300mm**
190 block + 50mm Barrimah stone eco outdoor or similar + 10mm glue + waterproof
- WT02: 323mm**
15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Standing Seam
- WT02A: 323mm**
15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Weatherboard Cladding
- WT03: 153mm**
20mm Weatherboard + 10mm permissible sarking + 90mm stud wall + 20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.
- WT04: 155mm**
20mm Weatherboard + 10mm permeable sarking + 90mm stud wall + 20mm vertical battens + 5mm glue + 10mm tiles.
- WT05: 116mm**
90mm stud wall with 13mm V lining boards both sides.
- WT06: 124mm**
13mm V lining boards + 90mm stud wall + 6mm FC lining + wp membrane + 5mm glue + 10mm tiles internal.
- WT07: 153mm**
20mm Tiles + 5mm FC lining + wp membrane + 5mm glue+ 90mm stud wall +20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.

Interior Floor Finishes

Code	Description
FF-01	Timber floor TBC
FF-02	Floor tiles TBC
FF-03	Balcony Tiles TBC
FF-04	Polish Concrete
FF-05	Pavers TBC

1 Ground Level
1:100

Walter Barda Design

architecture
landscape
interiors
Nominated Architect: Adrian Ball 7745
2.04 13-15 Wentworth Avenue Sydney NSW 2000
www.walterbardadesign.com ABN: 48 072 136 513
Office: 02 9264 4240



No.	Description	Date
A	Development Application	25.02.2021
B	Issued to BASIX	02.06.2021
C	DA Additional / Revised details	02.06.2021

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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Ground Level	

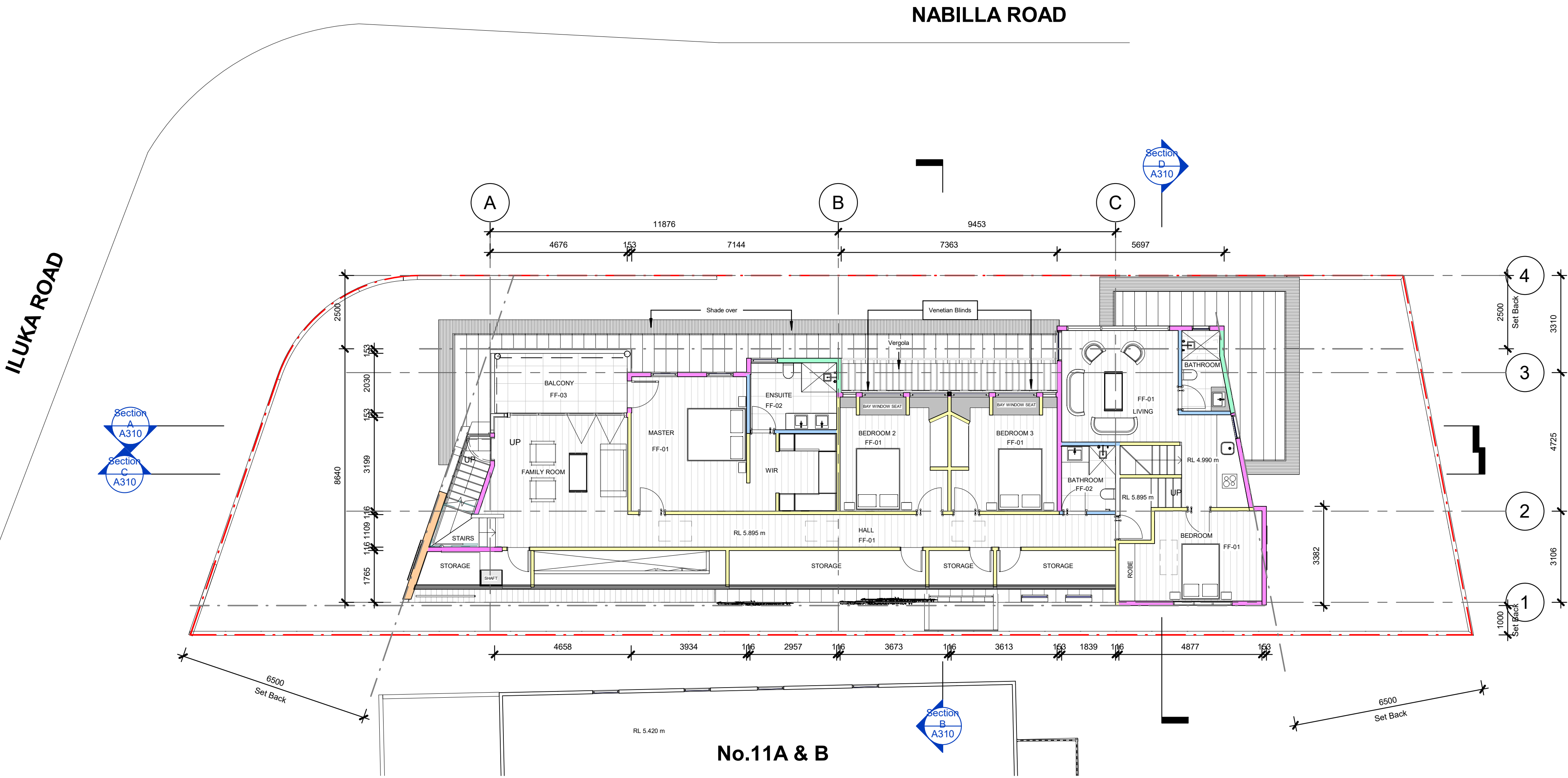
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		Approved By	WB
Scale @ A1 1:100			
Drawing Number	A201		Issue
			C

No.	Description	Date
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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Ground Level Tags	

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Drawn By	AB	Checked By	WBD	Approved By	WB
Scale @ A1 1 : 100					
Drawing Number	A201T			Issue	B



Wall Type Legend		
	WT01	External Stone Feature wall
	WT02	External back wall
	WT03	External wall
	WT04	External wall- internal wet area
	WT05	Internal wall
	WT06	Internal wall- internal wet area
	WT07	Internal wall - wet area

WALL TYPE:

WT01: 300mm
190 block + 50mm Barrimah stone eco outdoor or similar + 10mm glue + waterproof

WT02: 323mm
15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Standing Seam

WT02A: 323mm
15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Weatherboard Cladding

WT03: 153mm
20mm Weatherboard + 10mm permible sarking + 90mm stud wall + 20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.

WT04: 155mm
20mm Weatherboard + 10mm permeable sarking + 90mm stud wall + 20mm vertical battens + 5mm glue & 10mm tiles.

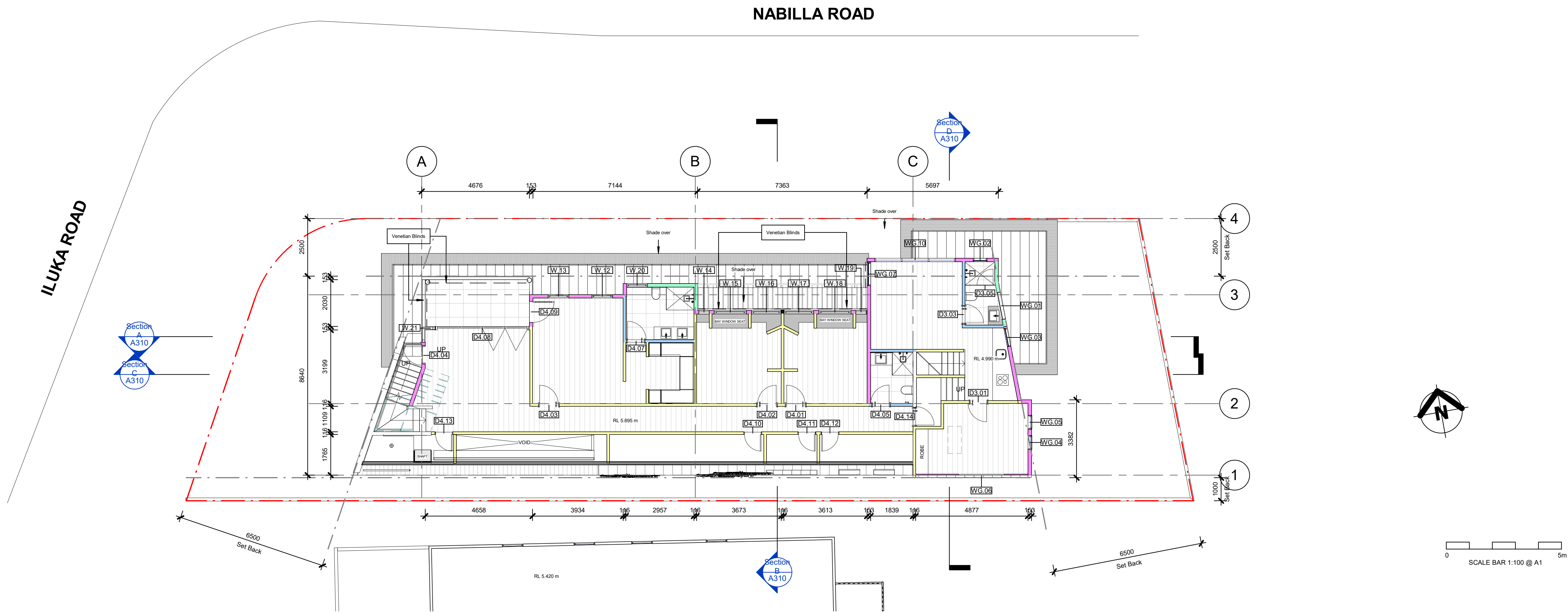
WT05: 116mm
90mm stud wall with 13mm V lining boards both sides.

WT06: 124mm
13mm V lining boards + 90mm stud wall + 6mm FC lining + wp membrane + 5mm glue + 10mm tiles internal.

WT07: 153mm
20mm Tiles + 5mm FC lining + wp membrane + 5mm glue+ 90mm stud wall +20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.

Interior Floor Finishes

Code	Description
FF-01	Timber floor TBC
FF-02	Floor tiles TBC
FF-03	Balcony Tiles TBC
FF-04	Polish Concrete
FF-05	Pavers TBC



1 First Level Tags
1 : 100

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Office: 02 9264 4240

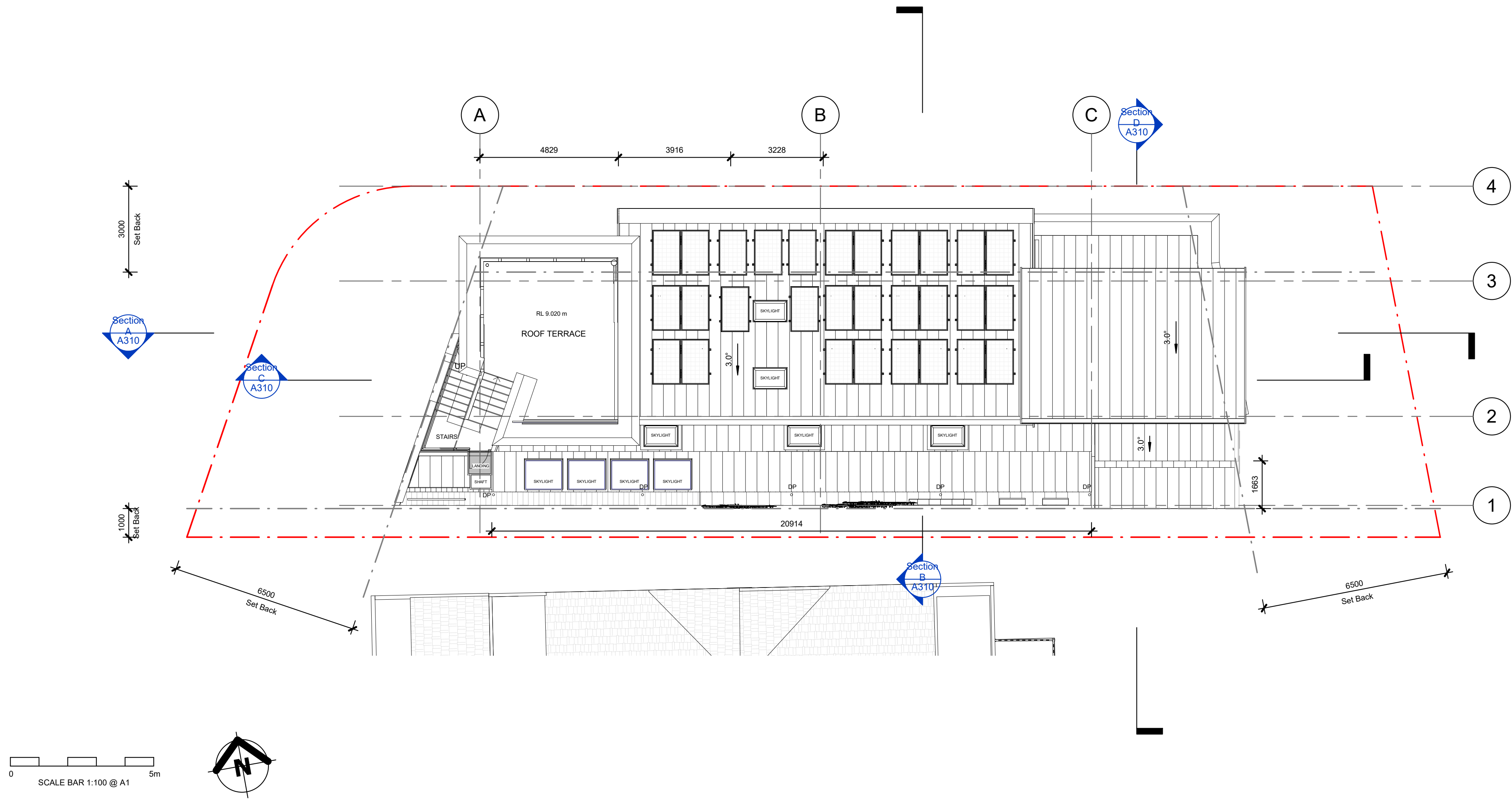


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A	Issued to BASIX	19.02.2021
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Sheet	First Level Tags	

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Drawn By	Author	Checked By	Approved By
	Author	Checker	Approver
Scale @ A1 1 : 100			
Drawing Number	A202T		Issue
	B		



1 Roof Level
1 : 100

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Office: 02 9264 4240

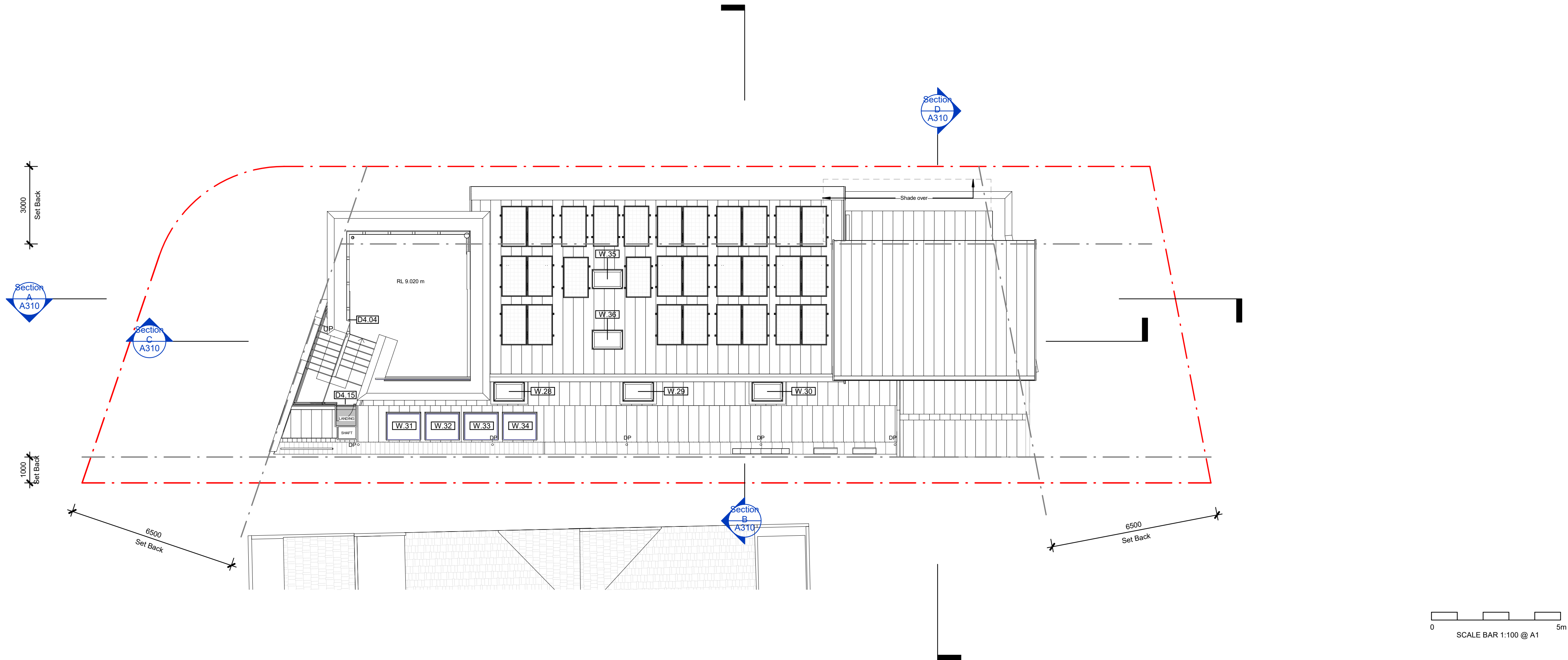


No.	Description	Date
A	Development Application	25.02.2021
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C	DA Additional /Revised details	02.06.2021

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Sheet	Roof Level	

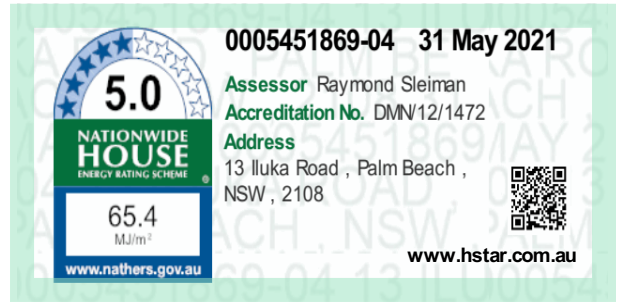
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		Checker
		WB
Scale @ A1 1 : 100		
Drawing Number	A203	Issue
		C



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2.04 13-15 Wentworth Avenue Sydney NSW 2000
www.walterbardadesign.com ABN: 48 072 136 513
Office: 02 9264 4240

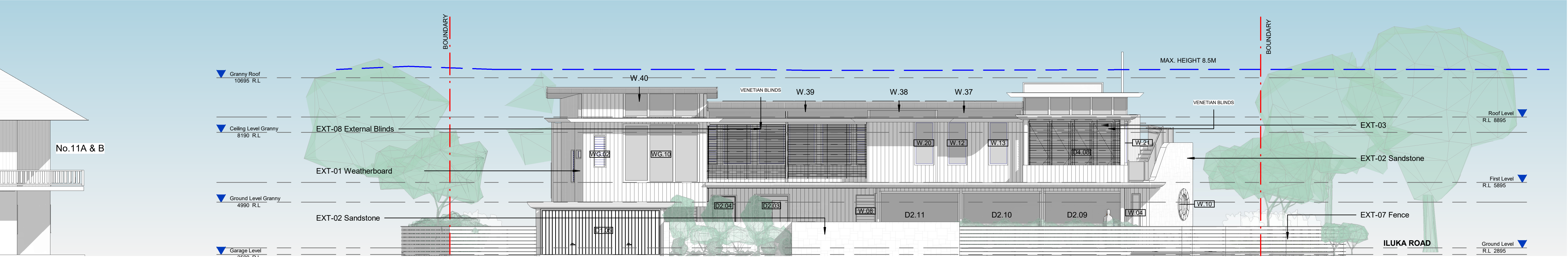


No.	Description	Date
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B	Issued to BASIX	02.06.2021

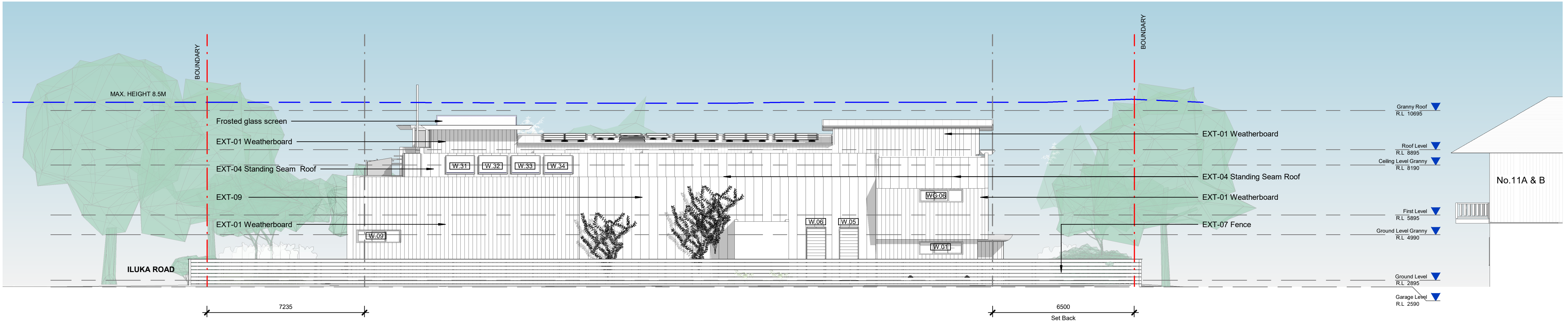
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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Roof Level Tags	

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Author	Checker	Approver	
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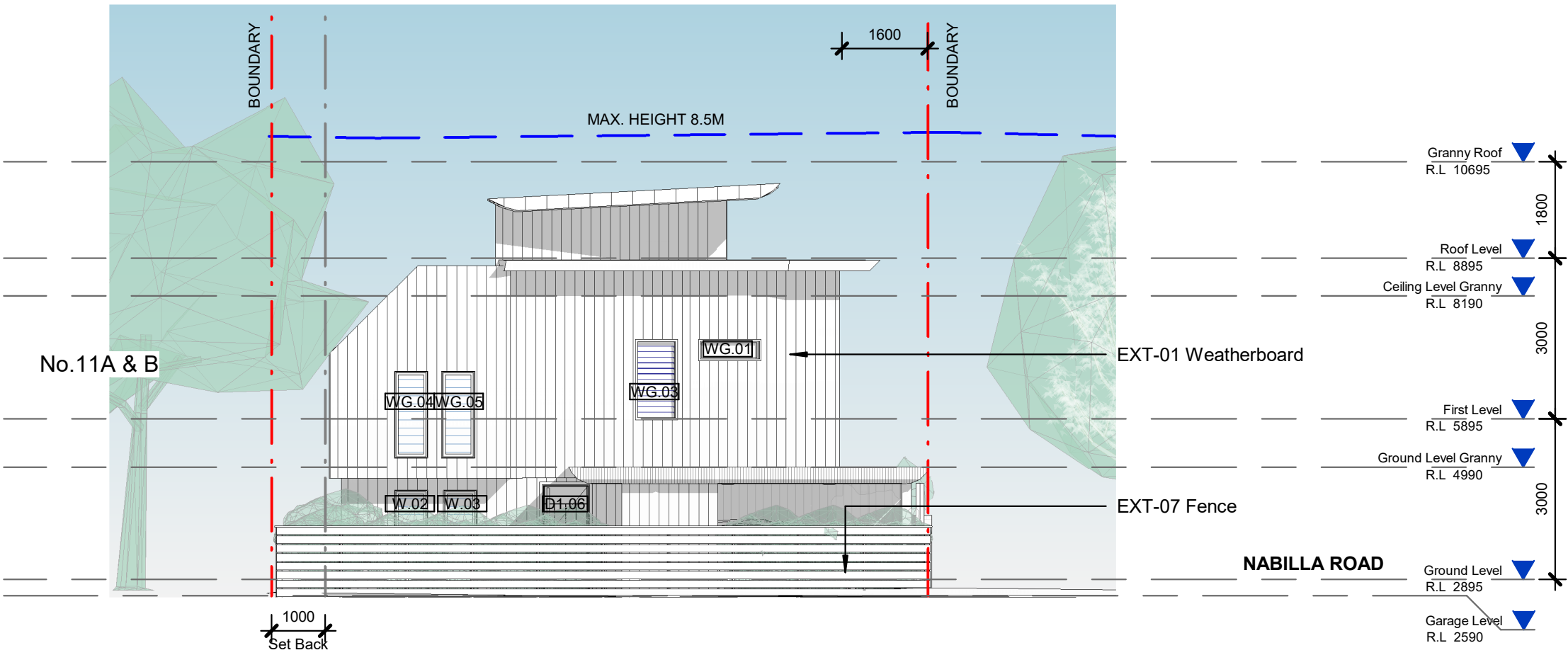
① Elevation North
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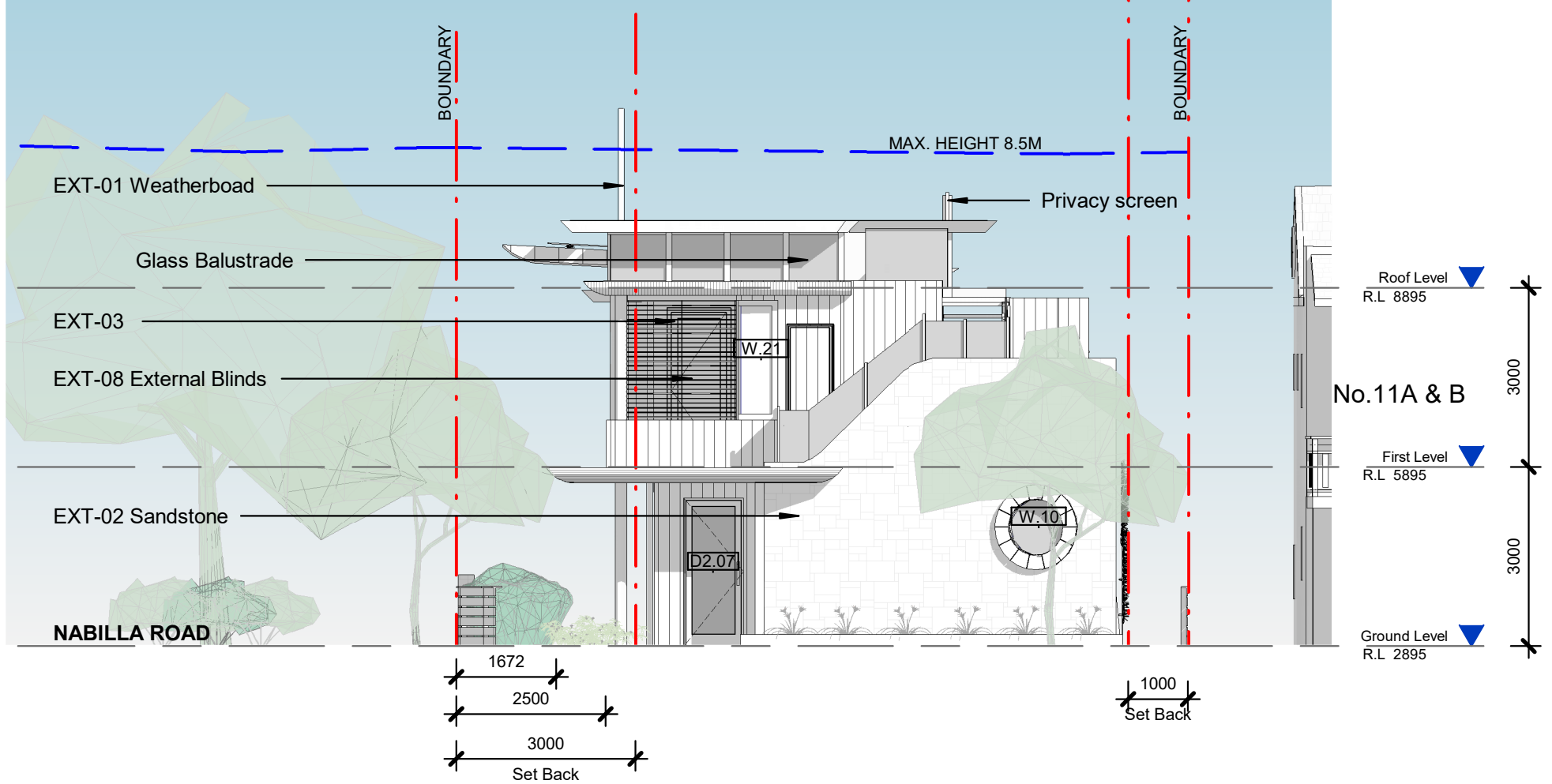
② Elevation South
1 : 100

EXTERNAL FINISHES	
EX-01	External Cladding, "Kebony" or similar weatherboard shiplap 90° smooth, 21 x 148mm, painted Porter's "Drumbeat" colour or similar
EX-02	Sandstone cladding
EX-03	Timber window & door frames
EX-04	Roof standing seam Nexteel "Kalkajaka" colour or similar
EX-05	Gutter & downpipe, Nexteel "Kalkajaka" or equivalent
EX-06	Timber garage door
EX-07	External slat wood fence colour TBC
EX-08	Strong hold external retractable venetian blinds
EX-09	Light weight wall & standing seam cladding

NOTE: All colour's to be confirmed and signed off prior to purchase of painting or coating finished surfaces



③ Elevation East
1 : 100



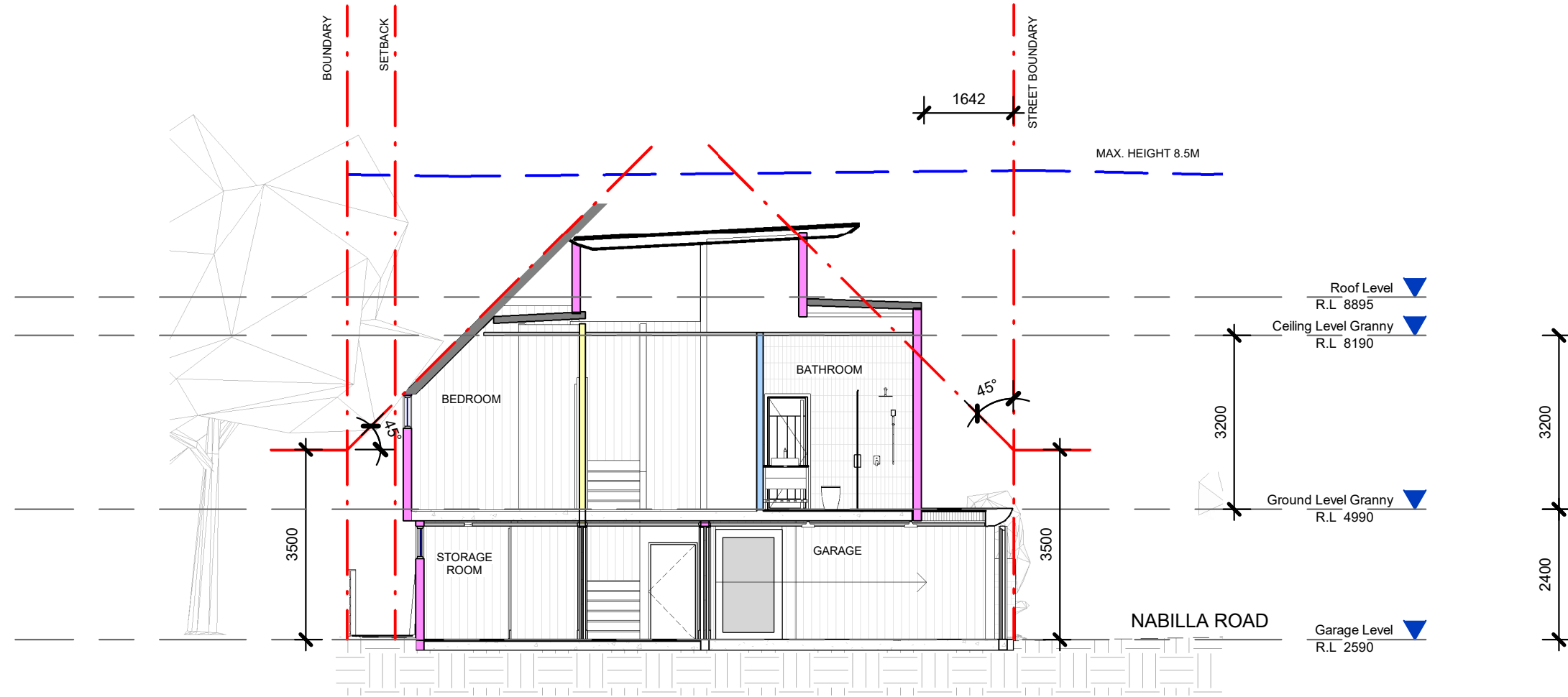
④ Elevation West
1 : 100

No.	Description	Date
A	Development Application	25.02.2021
B	Issued to BASIX	02.06.2021
C	DA Additional / Revised details	02.06.2021

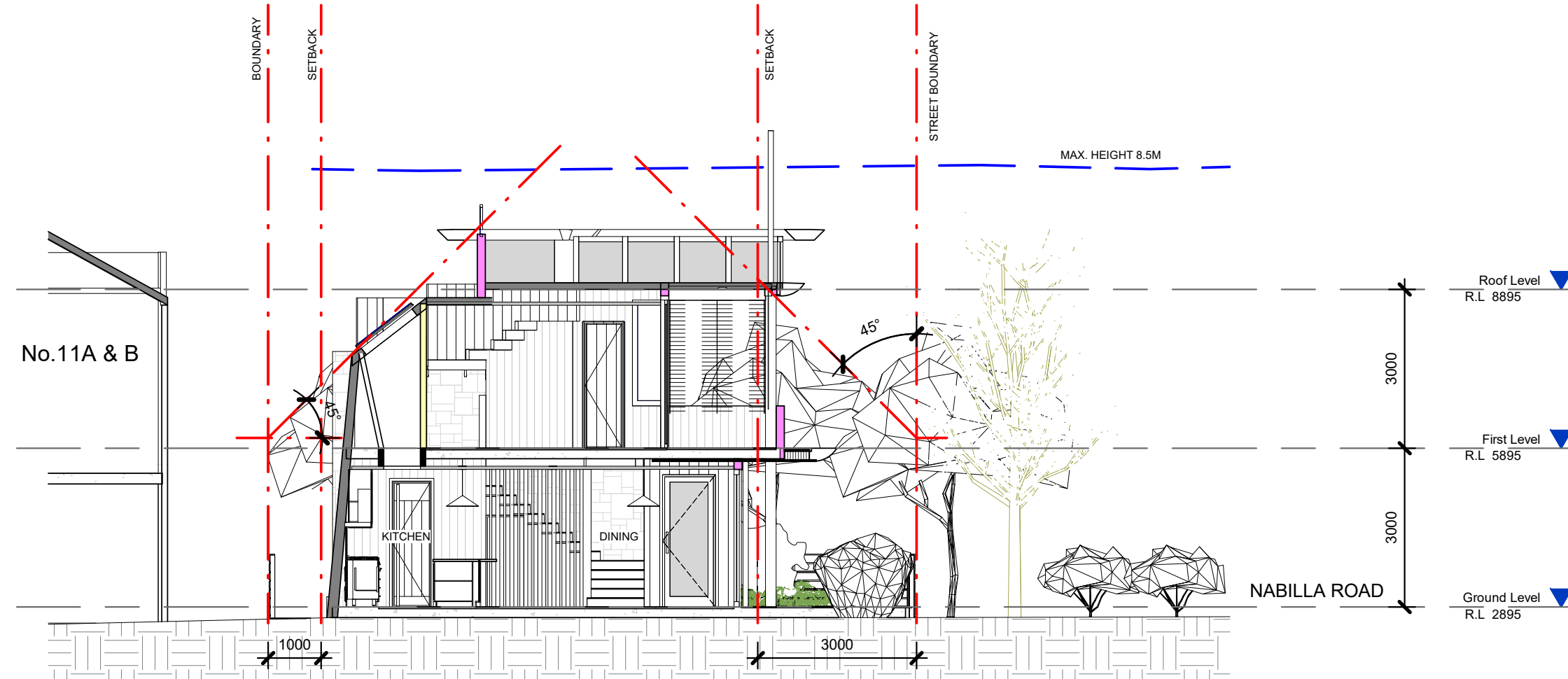
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Project Number	2019-01	13 Iluka Road Palm Beach NSW 2108
Project Status	CC	
Sheet	Elevations	

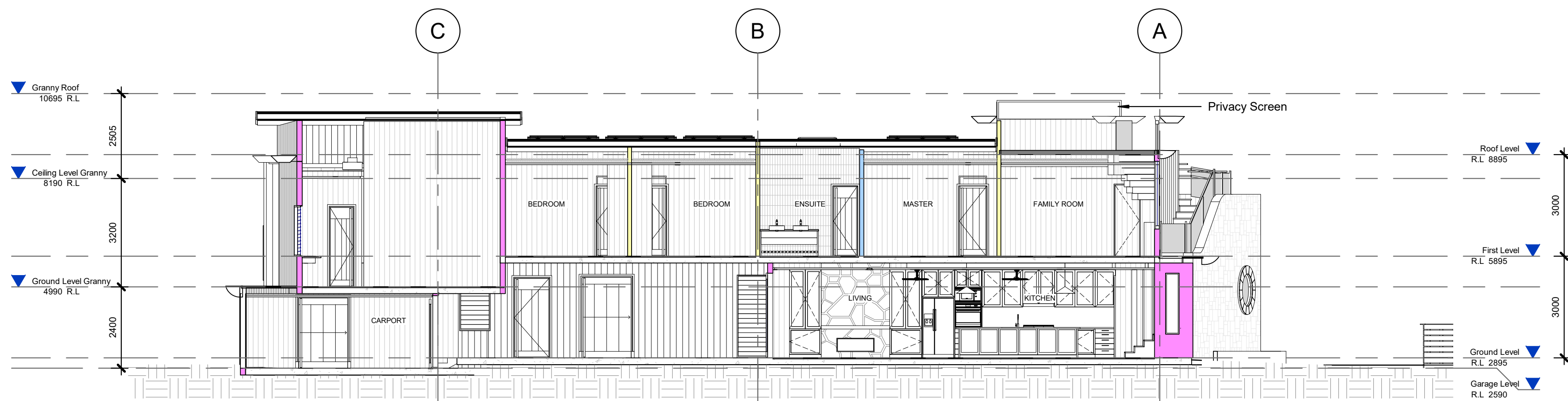
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Drawn By	AB	Checked By	WB
Scale @ A1 1 : 100			
Drawing Number	A300		Issue
	C		



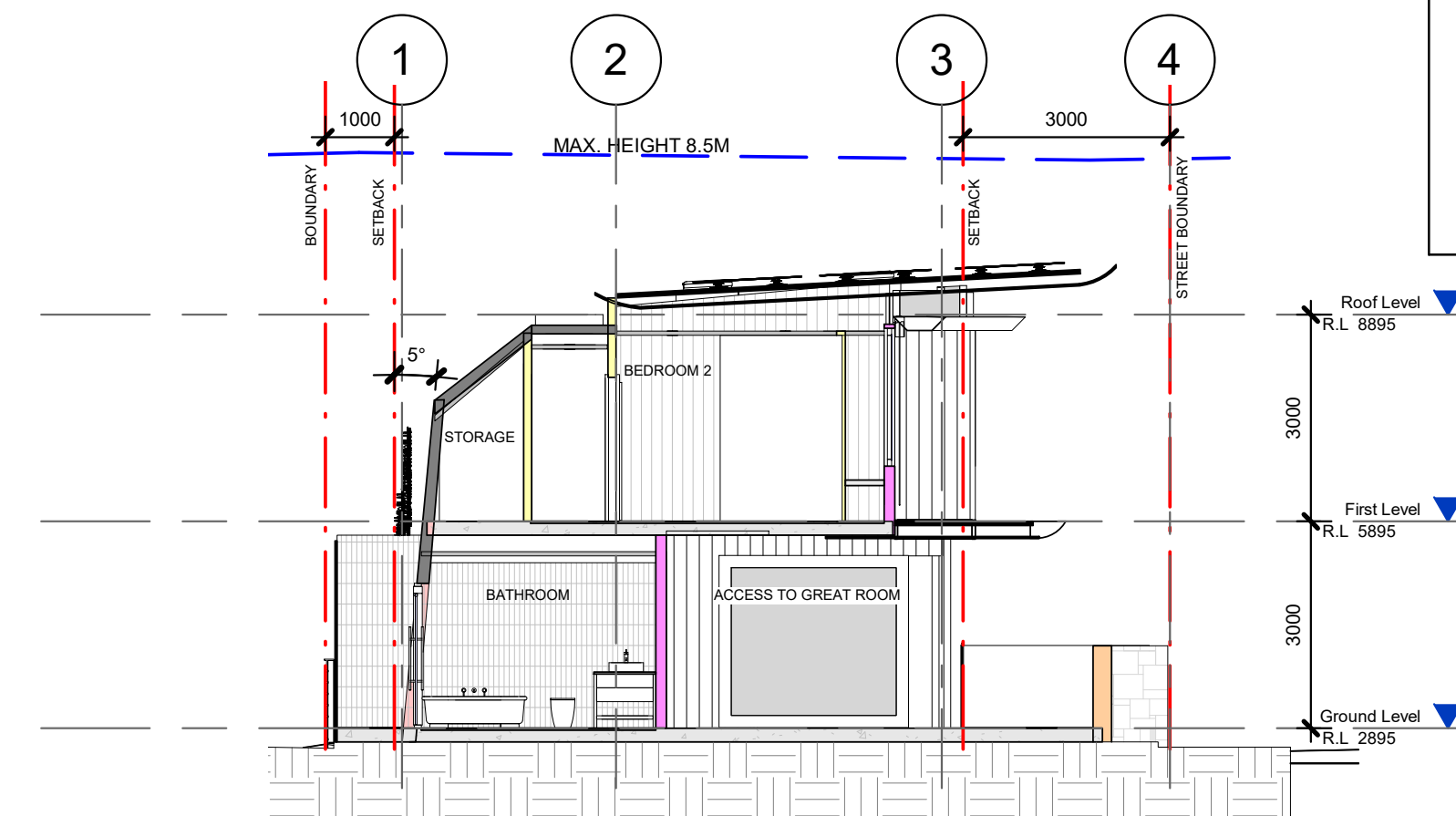
1 Envelope East
1 : 100



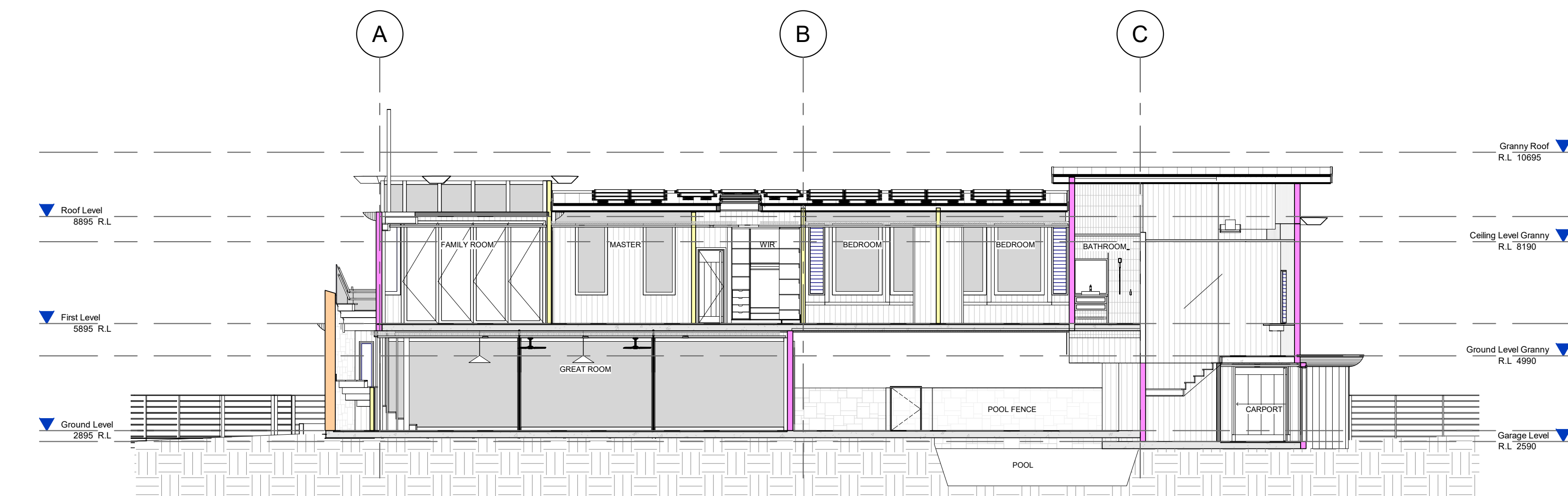
2 Envelope West
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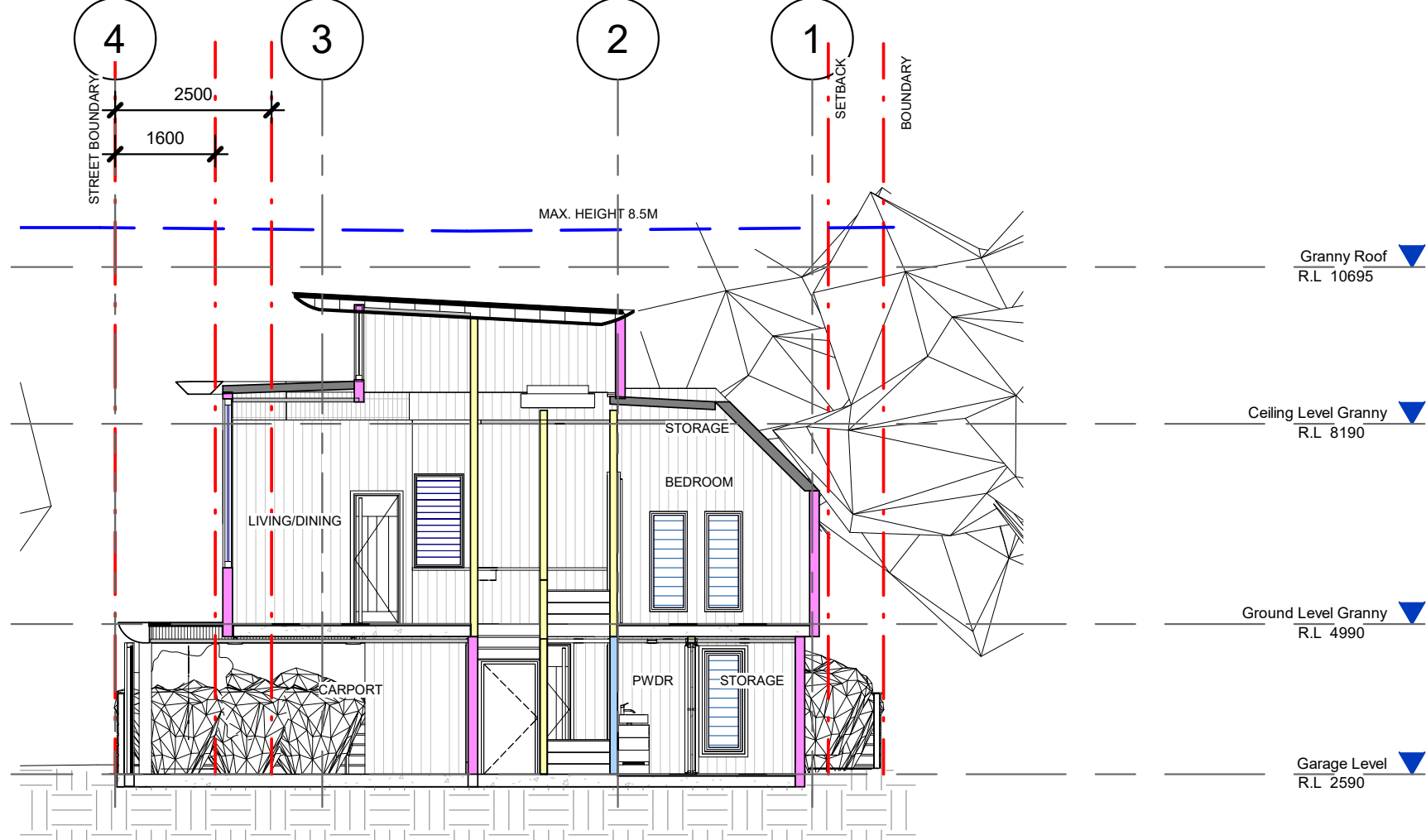
3 Section A
1 : 100



4 Section B
1 : 100



5 Section C
1 : 100



6 Section D
1 : 100

WALL TYPE:

WT01: 300mm

190 block + 50mm Barrimah stone eco outdoor or similar + 10mm glue + waterproof

WT02: 323mm

15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Standing Seam

WT02A: 323mm

15mm Plasterboard + 40mm Battens + 190 Stud + 40mm battens + 38mm Weatherboard Cladding

WT03: 153mm

20mm Weatherboard + 10mm permeable sarking + 90mm stud wall + 20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.

WT04: 155mm

20mm Weatherboard + 10mm permeable sarking + 90mm stud wall + 20mm vertical battens + 5mm glue + 10mm tiles.

WT05: 116mm

90mm stud wall with 13mm V lining boards both sides.

WT06: 124mm

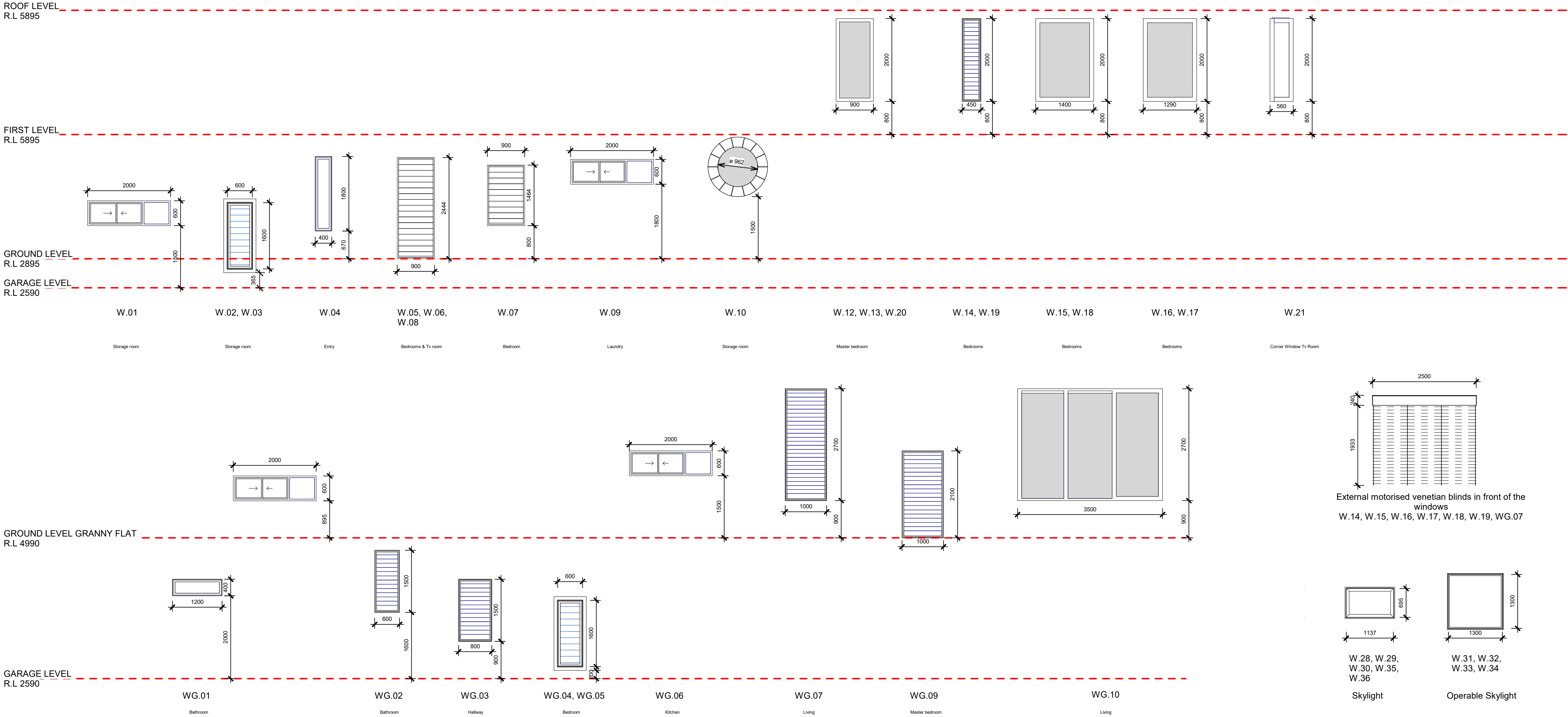
13mm V lining boards + 90mm stud wall + 6mm FC lining + wp membrane + 5mm glue + 10mm tiles internal.

WT07: 153mm

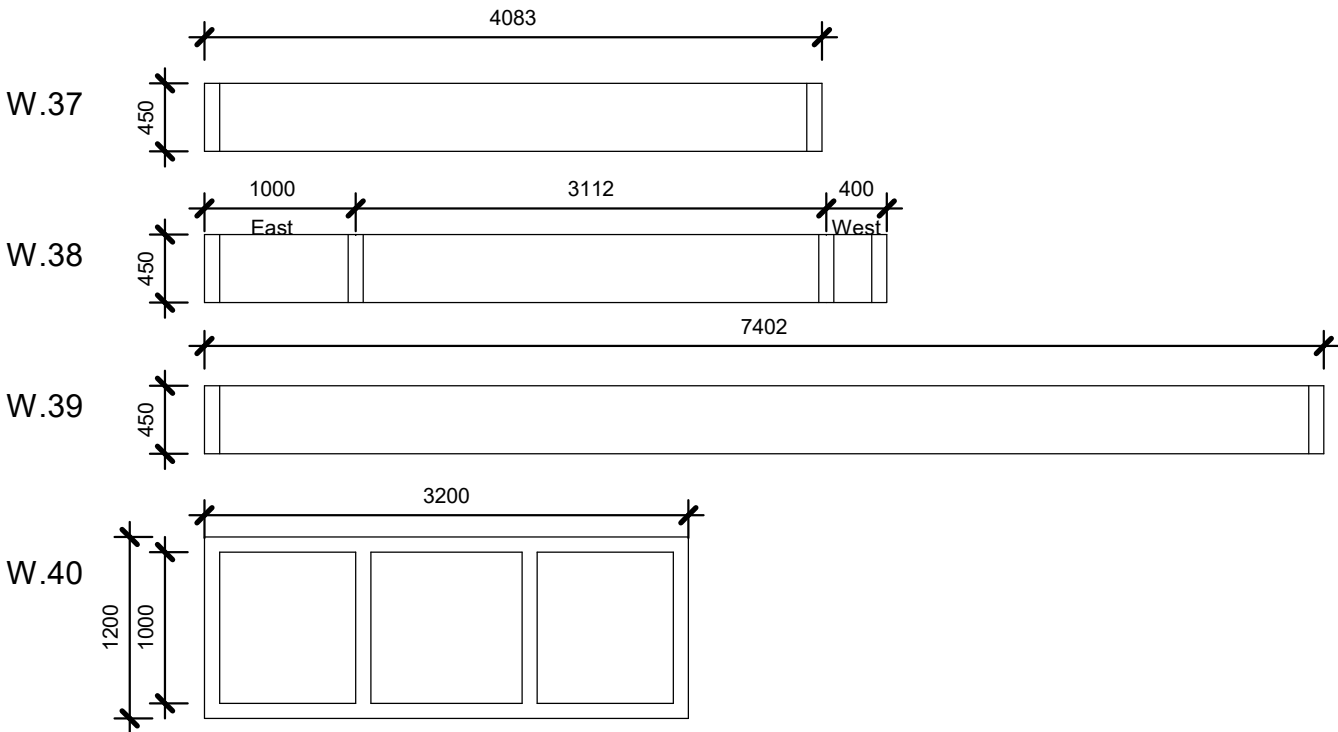
20mm Tiles + 5mm FC lining + wp membrane + 5mm glue+ 90mm stud wall +20mm vertical battens & 13mm V lining boards with silicone joints to be monitored in 12 months.

Wall Type Legend

	WT01	External Stone Feature wall
	WT02	External back wall
	WT03	External wall
	WT04	External wall- internal wet area
	WT05	Internal wall
	WT06	Internal wall- internal wet area
	WT07	Internal wall - wet area



Window Schedule								Window Schedule							
	Level	Height	Width	Location	Window Style	Glazing	Comments		Level	Height	Width	Location	Window Style	Glazing	Comments
W.01	Garage Level	600	2000	Storage room	Sliding/fixed			W.15	First Level	2000	1400	Bedroom	Fixed		Venetian blinds over
W.02	Garage Level	1600	600	Storage room	Louvre			W.16	First Level	2000	1290	Bedroom	Fixed		Venetian blinds over
W.03	Garage Level	1600	600	Storage room	Louvre			W.17	First Level	2000	1290	Bedroom	Fixed		Venetian blinds over
W.04	Ground Level	1800	400	Entry	Fixed			W.18	First Level	2000	1400	Bedroom	Fixed		Venetian blinds over
W.05	Ground Level	2444	900	Bedroom	Louvre			W.19	First Level	2000	450	Bedroom	Louvre		Venetian blinds over
W.06	Ground Level	2444	900	Bedroom	Louvre			W.20	First Level	2000	900	Ensuite shower	Fixed		Corner window
W.07	Ground Level	1464	900	Bedroom	Louvre			W.21	First Level	2000	560	TV room	Fixed		
W.08	Ground Level	2444	900	TV room	Louvre			W.28	Roof Level	695	1137	Skylight Hall			
W.09	Ground Level	600	2000	Laundry	Sliding/fixed			W.29	Roof Level	695	1137	Skylight Hall			
W.10	Ground Level		1000	Laundry	Fixed			W.30	Roof Level	695	1137	Skylight Hall			
WG.01	Ground Level Granny	400	1200	Bathroom	Fixed			W.31	Roof Level	1300	1300	Skylight	Operable	Double Low-E U-Value 2.5, SHGC 0.21	
WG.02	Ground Level Granny	1500	600	Bathroom	Louvre			W.32	Roof Level	1300	1300	Skylight	Operable	Double Low-E U-Value 2.5, SHGC 0.21	
WG.03	Ground Level Granny	1500	800	Hall	Louvre	SINGLE CLEAR U-VALUE 5.71, SHGC 0.66		W.33	Roof Level	1300	1300	Skylight	Operable	Double Low-E U-Value 2.5, SHGC 0.21	
WG.04	Ground Level Granny	1600	600	Bedroom	Louvre	SINGLE CLEAR U-VALUE 5.71, SHGC 0.66		W.34	Roof Level	1300	1300	Skylight	Operable	Double Low-E U-Value 2.5, SHGC 0.21	
WG.05	Ground Level Granny	1600	600	Bedroom	Louvre			W.35	Roof Level	695	1137	Skylight	Fixed	Double Low-E U-Value 2.5, SHGC 0.21	
WG.06	Ground Level Granny	600	2000	Bedroom	Sliding/fixed			W.36	Roof Level	695	1137	Skylight	Fixed	Double Low-E U-Value 2.5, SHGC 0.21	
WG.07	Ground Level Granny	2700	1000	Bedroom	Louvre		Venetian blinds over	WG.09	Roof Level	600	3677				
WG.10	Ground Level Granny	2700	3500	Bedroom	Sliding/fixed			W.37	Master	550	4083	High window	Fixed		
W.12	First Level	2000	900	Master Bedroom	Sliding/fixed	Double Low-E U-Value 2.2, SHGC 0.39		W.38	Ensuite	550	3112	High window	Fixed		
W.13	First Level	2000	900	Master Bedroom	Sliding/fixed	Double Low-E U-Value 2.2, SHGC 0.39		W.39	Bedrooms	550	7402	High window	Fixed		
W.14	First Level	2000	450	Bedroom	Louvre		Venetian blinds over	W.40	Living Granny	1100	3200	High window	Fixed		



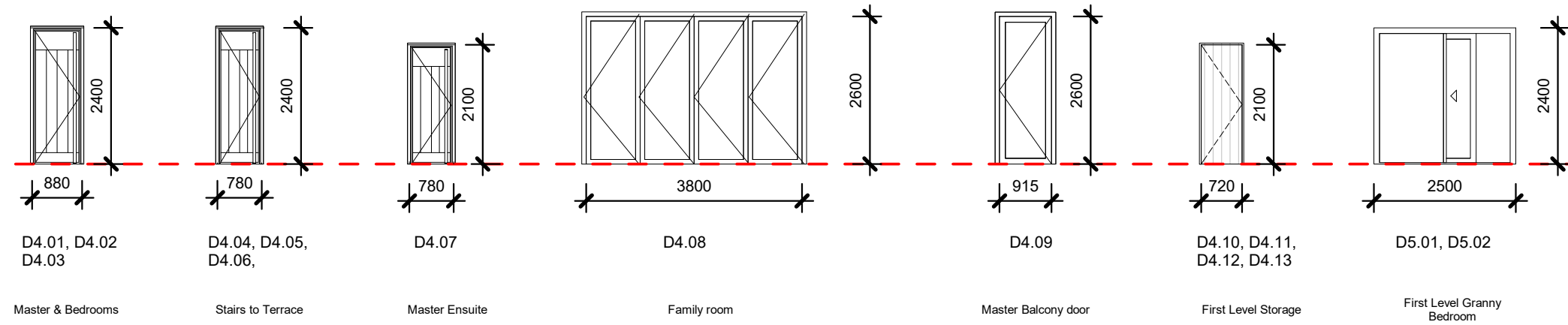
No.	Description	Date
A	Issued to BASIX	19.02.2021
B	Issued to BASIX	02.06.2021

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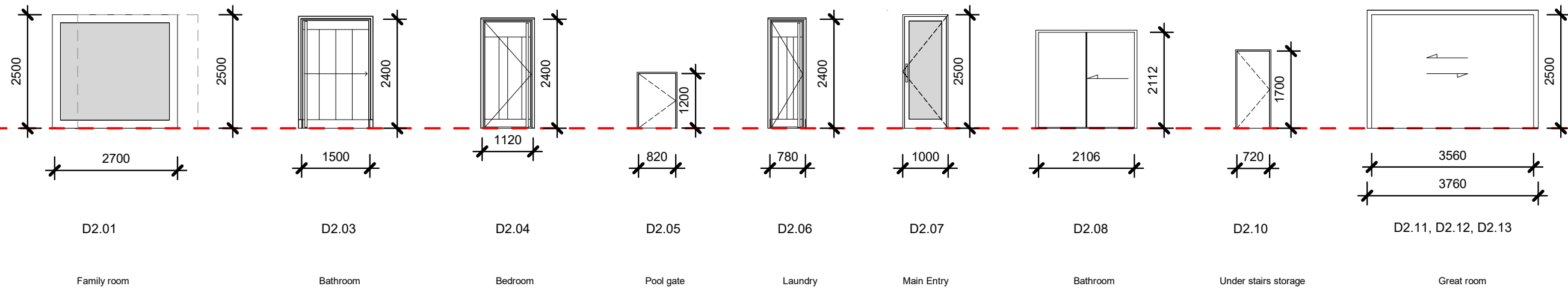
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Sheet	Window Schedule	

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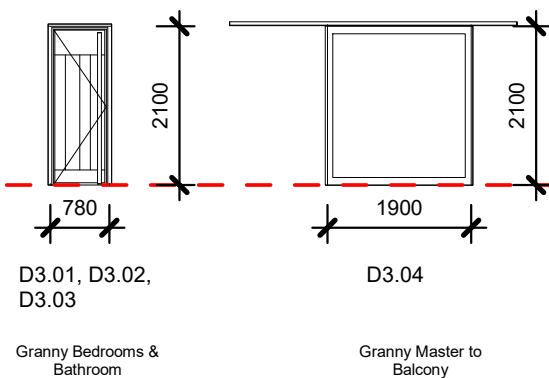
FIRST LEVEL
R.L 5895



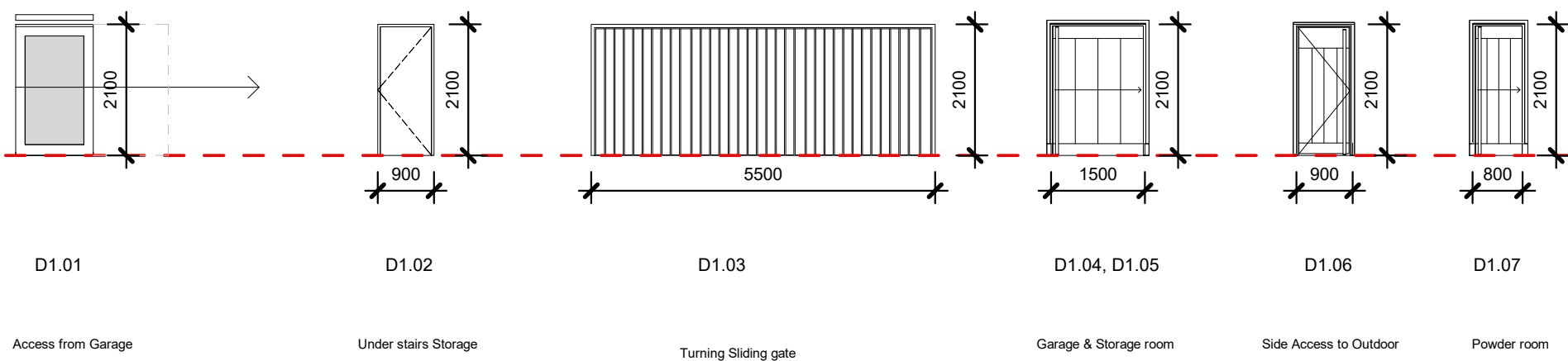
GROUND LEVEL
R.L 2885



GROUND LEVEL GRANNY
R.L 4990



GARAGE LEVEL
R.L 2590



Thermal Performance Specifications

These are the Specifications upon which the Certified Assessment is based. If details included in these Specifications vary from other drawings or written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the project. If alternate specifications are detailed for a building element, the location and extent of alternate specifications must be detailed below and/or clearly indicated on referenced documents.

Windows	Product ID	Glass	Frame	U value	SHGC	Area M ²	Detail
		Double Low-E	Composite	2.2	0.32		Casement, Bi-Fold
		Double Low-E	Composite	2.2	0.39		All other Windows & Doors

Skylights	Product ID	Glass	Frame	U value	SHGC	Area M ²	Detail
		Double Low-E	Timber	2.5	0.21		Operable

Window and skylight U and SHGC values, if specified, are according to AFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above.

External walls	Construction	Insulation	Colour – solar abs.	Detail
WB Cladding	R2.5 Bulk	Medium	SA 0.475–0.7	As per plans
Concrete Block / Sandstone	R2.5 EPS	Medium	SA 0.475–0.7	As per plans
Coloumbond Cladding	R2.5 Bulk	Medium	SA 0.475–0.7	As per plans

Internal walls	Construction	Insulation	Detail
Plasterboard on Studs	None	As per plans	
Plasterboard on Studs	R2.5 Bulk	Garage	

Floors	Construction	Insulation	Covering	Detail
Concrete (225mm Waffle Pod)	None	Ceramic Tiles / Timber	Slab on Ground	
Concrete	None	Ceramic Tiles / Timber	As per plans	
Timber	None	Ceramic Tiles / Timber	As per plans	
Timber	R4.0 Bulk	Ceramic Tiles / Timber	Outdoor Air Below	

Ceilings	Construction	Insulation	Detail
Plasterboard	R4.0 Bulk	Garage Ceiling / Metal Roof / Balcony Above	

Roof	Construction	Insulation	Colour – solar abs.	Detail
Metal Deck	R2.0 Anticon	Medium	SA 0.475–0.7	As per plans

Overshadowing	Overshadowing structures	Overshadowing trees
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Orientation, Exposure, Ventilation and Infiltration

Orientation of nominal north:	10
Terrain category:	Suburban
Seals to windows and doors:	Yes
Lighting plan provided:	No
Recessed downlights:	No
Ceiling exhaust fans:	SEALED

Door Schedule											
Level	Mark	Location	Height	Width	Finish	Comments/Accessories	Hinge Type	Lock	Privacy Snib	Door Stop	
Floor Plan Ground floor	D1.07	PWD	2075	750	Timber		Cavity sliding				
Floor Plan Ground floor: 1											
Garage Level	D1.01	Access from garage	2100	1200	Timber		Sliding				
Garage Level	D1.02	Under stairs storage	1800	900	Timber		Hinge				
Garage Level	D1.04	Storage	2075	1450	Timber		Cavity sliding				
Garage Level	D1.05	Carport	2075	1450	Timber		Cavity sliding				
Garage Level	D1.06	Side access	2100	920	Timber		Hinge				
Garage Level	D4.16		2100	5500							
Garage Level: 6											
Ground Level	D2.01	Family room	2500	2700	Glass door		Sliding				
Ground Level	D2.03	Bathroom	2375	1450	Timber		Cavity sliding				
Ground Level	D2.04	Bedroom	2400	1120	Timber		Hinge				
Ground Level	D2.05	Pool gate	1200	820	Glass door		Hinge				
Ground Level	D2.06	Laundry	2400	780	Timber		Hinge				
Ground Level	D2.07	Entry	2500	1000	Glass door	Double Low-E	Sliding				
Ground Level	D2.08	Bathroom	2012	2106	Glass door		Sliding				
Ground Level	D2.09	Dumbwaiters door	915	580							
Ground Level	D2.10	Under stair storage	1700	720	Timber		Hinge				
Ground Level: 9											
Ground Level Granny	D3.01	Bedroom	2400	780	Timber		Hinge				
Ground Level Granny	D3.03	Bathroom	2100	780	Timber		Hinge				
Ground Level Granny	D3.05	Shower	2160	700	Glass door		Hinge				
Ground Level Granny: 3											
First Level	D4.01	Bedroom	2100	880	Timber		Hinge				
First Level	D4.02	Bedroom	2100	880	Timber		Hinge				
First Level	D4.03	Master	2100	880	Timber		Hinge				
First Level	D4.04	Stairs to terrace	2400	780	Timber		Hinge				
First Level	D4.05	Bathroom	2400	780	Timber		Hinge				
First Level	D4.07	Ensuite	2100	780	Timber		Hinge				
First Level	D4.08	Family room	2800	3890	Glass door	Double Low-E	BiFold				
First Level	D4.09	Master	2600	915	Glass door		Hinge				
First Level	D4.10	Storage	2100	720	Timber		Hinge				
First Level	D4.11	Storage	2100	720	Timber		Hinge				
First Level	D4.12	Storage	2100	720	Timber		Hinge				
First Level	D4.13	Storage	2100	720	Timber		Hinge				
First Level	D4.14	Hallway	2400	780	Timber		Hinge				
First Level: 13											
Landing stairs level 1	D4.15	Dumbwaiter lift	1062	650	Glass door		Hinge				
Landing stairs level 1: 1											
33											
CARPORT LEVEL	D1.03	Carport	1200	5500	Timber Gate		Side Sliding door				
GROUND LEVEL	D2.11	Great room	3780	2500	Glass door		Sliding				
GROUND LEVEL	D2.12	Great room	3780	2500	Glass door		Sliding				
GROUND LEVEL	D2.13	Great room	3780	2500	Glass door		Sliding				

TOTAL: 38

Walter Barda Design

architecture
landscape
interiors

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Project Status	CC	
Sheet	Door Schedule	

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