

The following reference notes must be read in conjunction with the architectural plans and construction notes, contained herein. Some of these notes may not be applicable to the scope of works.

STORMWATER DRAINS.

SUPPLY, INSTALL AND CONNECT NEW STORMWATER DRAINS FROM NEW DOWNPIPES TO EXISTING SERVICE AS NECESSARY.

NOTE: BUILDER ASSUMES AN EXISTING STORMWATER DRAIN SYSTEM CURRENTLY EXISTS ON SITE AND IS DISCHARGED TO A LEGAL POINT. BUILDER HAS MADE NO ALLOWANCE TO PROVIDE NEW **SWD** SYSTEM AND / OR LEGAL POINT OF DISCHARGE SHOULD NO SYSTEM EXIST

ASBESTOS.

UNLESS OTHERWISE SPECIFIED IN THESE SPECIFICATIONS. NO ALLOWANCE HAS BEEN MADE FOR THE REMOVAL OR HANDLING OF ANY ASBESTOS PRODUCTS. SHOULD ANY ASBESTOS BE ENCOUNTERED ANY COSTS INVOLVED IN REMOVING OR HANDLING THESE PRODUCTS WILL BE THE CLIENTS RESPONSIBILITY.

GUTTERS AND DOWNPIPES.

ALL GUTTERS AND DOWNPIPES HAS BEEN ALLOWED AS ZINCALUME QUADRANT DURAKOTE. **NO** ALLOWANCE HAS BEEN MADE TO MATCH EXISTING ALUMINIUM GUTTERS AND DOWNPIPES UNLESS SPECIFICALLY NOTED OTHERWISE.

GLAZING.

ALL NEW GLAZING TO COMPLY WITH **AS 1288 (2006) - GLASS IN BUILDINGS.** WINDOW SIZE & CONFIGURATION SUBJECT TO MANUFACTURERS CONSTRAINTS.

DOOR FURNITURE.

INSTALLATION OF MORTICE LOCKS WILL BE AT EXTRA CHARGE.

ELECTRICALS

EXISTING CABLES WILL BE INSPECTED WHEN WORK COMMENCES. ANY UPGRADE OR RECTIFICATION WORK REQUIRED WILL BE QUOTED ON SITE. EXISTING POWER & LIGHT POINTS DISCONNECTED AS A RESULT OF RENOVATION WORK WILL NOT BE RELOCATED.

METER BOX.

NO ALLOWANCE HAS BEEN MADE TO UPGRADE METER BOX.

RELOCATION OF METER BOX.

NO ALLOWANCE HAS BEEN MADE TO RELOCATE EXISTING METER BOX.

EXISTING TREES AND VEGETATION

NO ALLOWANCE HAS BEEN MADE TO CLEAR THE AREA OF THE PROPOSED ADDITION OF ANY TREES, SHRUBS OR OTHER VEGETATION.

FLOOR REPAIRS.

MAKE GOOD FLOOR WITH ONE PIECE OF TIMBER FLOORING LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED.

SKYLIGHTS AND SOLAR TUBES.

ACTUAL POSITION MAY CHANGE ON SITE, DEPENDING ON STRUCTURAL CONDITIONS.

ALL TIMBER SIZES ARE NOMINAL

CONCRETE FOOTINGS & SLABS.

NO ALLOWANCE FOR ANY PIERING.

TERMITE TREATMENT.

KORDON OR SIMILAR TERMITE TREATMENT TO EXTERNAL SLAB EDGES AND PENETRATIONS.

CARPORT & AWNINGS

(unless specified)

NO ALLOWANCE HAS BEEN MADE TO REMOVE & RE-ERECT. THIS WILL BE THE CLIENT'S RESPONSIBILITY IF IT RESTRICTS ACCESS TO DELIVER BUILDING MATERIAL OR ERECT SCAFFOLDING. DISCUSS OPTIONS WITH SUPERVISOR.

WHERE EXISTING WALLS ARE TO BE DEMOLISHED

IF THE REMAINING CEILINGS ARE NOT THE SAME LEVEL OR MATERIAL ADDITIONAL REMEDIAL WORKS MAY BE REQUIRED AND MUST BE DISCUSSED WITH YOUR SUPERVISOR

CEMENT RENDER

NO ALLOWANCE HAS BEEN MADE TO REPAIR CRACKED OR FALLEN RENDER AS A CONSEQUENCE OF RENOVATION WORK

SMOKE ALARM.

ALL NEW SMOKE ALARMS TO COMPLY WITH **AUSTRALIAN STANDARDS.**

LANDSCAPING

ANY LANDSCAPING REQUIRED TO COMPLY WITH THE BCA BY OWNER

STACK & VENTS

FINAL POSITION MAY CHANGE DEPENDING ON THE ONSITE CONDITIONS. (TO BE DISCUSSED WITH ADDBUILD SUPERVISOR.)

BASIX Certificate

Certificate number: **A451401**

Fixtures and systems

Lighting

The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent or light-emitting-diode (LED) lamps.

Fixtures

The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.

The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.

The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Insulation requirements:
Construction

Additional insulation required (R-value)

Floor above Existing Dwelling or Building

NIL

External Wall: Framed(weatherboard Fibro, metal clad)

R1.16 (or R1.70 including construction)

Flat Ceiling, Pitched Roof:

Ceiling: R2.50 (up), roof: foil/sarking and other specification are medium (solar absorptance 0.475 - 0.70)

Windows and glazed doors glazing requirements

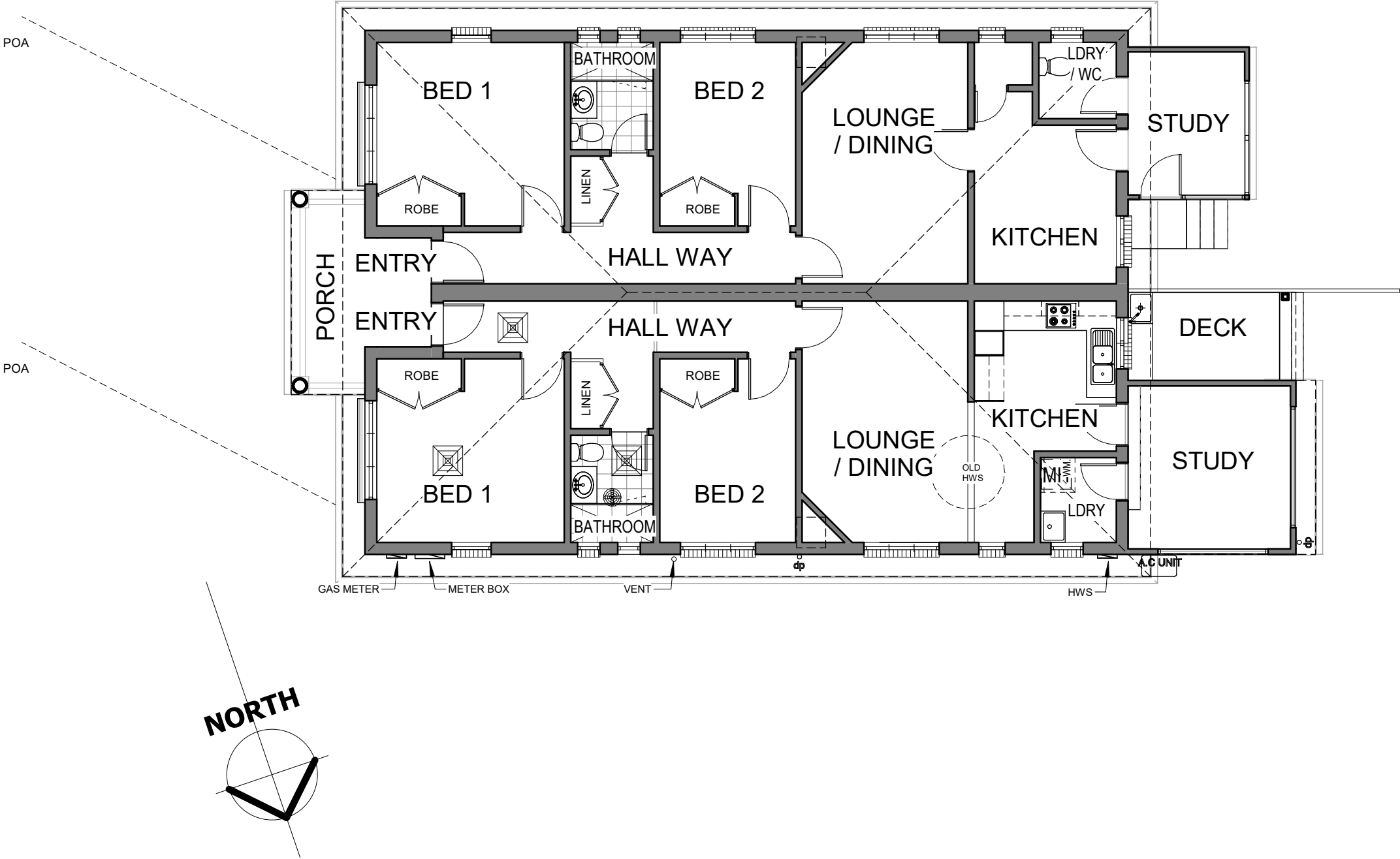
W1, W2, W3, W4, W5, W6, W7 & W08 Improved Aluminium, Single Clear, (U-value: 6.44, SHGC: 0.75)

Skylights glazing requirements

S1 Timber, double clear / air fill.(U-value: 4.3, SHGC: 0.5)

SPECIFICATION		SPECIAL NOTES				
<div><div><div><div><div><div>○</div><div>2 / 90 X 38 EXTERNAL TOP PLATES</div></div><div><div>○</div><div>90 X 45 EXTERNAL BOTTOM PLATES</div></div><div><div>○</div><div>90 X 38 EXT STUDS @ 450 CTRS MAX</div></div><div><div>○</div><div>70 X 45 INT TOP & BOTTOM PLATES</div></div><div><div>○</div><div>70 X 45 INT STUDS @450 CTRS MAX</div></div><div><div>○</div><div>HJ 200 ENGINEERED FLOOR JOISTS @ 450 CTRS MAX</div></div><div>UNLESS OTHERWISE SPECIFIED BY ENGINEER</div></div></div></div></div>		<div><div><div><div><div><div>○</div><div>ALL BUILDING WORK TO COMPLY WITH THE NATIONAL CONSTRUCTION CODE OF AUSTRALIA.</div></div><div><div>○</div><div>ALL DOOR FURNITURE TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div></div><div><div>○</div><div>ENSUITE & W.C. FIXTURES, FITTINGS, TAPS AND TILES TO BE SUPPLIED BY OWNER AND FIXED BY BUILDER.</div></div><div><div>○</div><div>ENSUITE SCREEN & MIRRORS SUPPLIED AND FIXED BY BUILDER</div></div></div><div><div><div>○</div><div>WALL TILES TO FIRST FLOOR ENSUITE & W.C TO CEILING.</div></div><div><div><div>○</div><div>WALL TILES TO FIRST FLOOR LAUNDRY TO HAVE SKIRTING TILES</div></div><div><div>○</div><div>SUPPLY & INSTALL 1140 x 780mm FIXED SKYLIGHT WITH PLASTERBOARD SHAFT.</div></div><div><div>○</div><div>SUPPLY & INSTALL 2 OFF WHIRLY BIRDS.</div></div></div></div></div></div></div>				
FLOORING	FIRST FLOOR: STRUCTURAL SHEET.(UNSANDED). SCYON SECURA FLOORING TO WET AREAS.	WORKS BY OWNER <div><div><div>○</div><div>RELOCATION OF TV ANTENNA & RAINWATER TANK IF REQUIRED.</div></div><div><div>○</div><div>ALL WORK TO NEW & EXISTING AIR CONDITIONING TO BE CARRIED OUT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.</div></div><div><div>○</div><div>SUPPLY GROUND FLOOR CORNICE.</div></div></div>				
FASCIA	180 X 25 TREATED PINE.	DO NOT SCALE OFF DRAWINGS ALL FINISHED GROUND LEVELS AND DIMENSIONS AS SHOWN ON PLAN ARE THEORETICAL ONLY AND ARE SUBJECT TO SITE CONDITIONS				
BARGE	180 X 25 TREATED PINE.	1	TO ESTIMATING (PLAN ORDER V)	OP		30.03.22
WINDOWS AND EXTERNAL DOORS	ALUMINIUM WINDOWS, WITH ALUMINIUM FRAMED NYLON MESH FLYSCREENS. ALUMINIUM SLIDING DOORS, WITH ALUMINIUM FRAMED NYLON MESH SLIDING FLYSCREEN. <u>(STEGBAR ALUMIERE RANGE)</u>	2.1	TO CONTRACTS	OP		21.04.22
BRICKWORK	FACE BRICKS	3.1	TO VARIATION 1	OP		30.05.22
CLADDING	HARDIES PRIMELINE NEWPORT CLADDING. LAID OVER FOIL SARKING.	4	TO VARIATION 2	OP		01.06.22
ROOF PLUMBING	100 X 75 OR 100 X 50 POWDERCOATED DOWNPIPES POWDERCOATED QUAD GUTTERS	5.1	TO VARIATION 3	OP		04.08.22
EAVE LINING	4.5 mm F.C. SHEET.	NO.	ISSUE	DRWN	APP	DATE
ROOF COVERING	FIRST FLOOR: NEW TERRACOTTA ROOF TILES FROM STANDARD RANGE. LAY OVER FOIL SARKING.	COPYRIGHT: THIS DESIGN AND PRINTS ARE THE PROPERTY OF ADDBUILD MASTER BUILDERS PTY. LTD. AND IS ISSUED FOR THE SOLE PURPOSE OF ENTERING INTO A BUILDING CONTRACT WITH THE COMPANY. IT MUST NOT BE USED OR REPRODUCED IN WHOLE OR IN PART WITHOUT PRIOR WRITTEN PERMISSION OF THE COMPANY THIS IS THE PLAN REFERED TO IN THE CONTRACT DATED DATE:				
INTERNAL LININGS	INT. WALL <div><div><div>± 10 mm PLASTERBOARD</div><div>- 10 mm PLASTERBOARD</div><div>- 6 mm VILLABOARD</div><div>- ALTO (Master Bedroom, Bed 2, Bed 3 and Hall Way)</div><div>- ARIA (Laundry,W.C, and Ensuite)</div></div></div> CEILINGS <div><div><div>- 10 mm PLASTERBOARD</div></div></div> WET AREA <div><div><div>- 6 mm VILLABOARD</div></div></div> CORNICE <div><div><div>- ALTO (Master Bedroom, Bed 2, Bed 3 and Hall Way)</div><div>- ARIA (Laundry,W.C, and Ensuite)</div></div></div>	SIGNED: OWNER				
INTERNAL FIXINGS FINGER JOINTED PINE	JAMBS <div><div><div>- EX 90 X 38 REBATED</div></div></div> SKIRTING <div><div><div>- EX 92 X 18 HALF SPLAYED</div></div></div> ARCHITRAVE <div><div><div>- EX 75 X 18 SQUARE</div></div></div>	SIGNED: OWNER				
BUILT IN CUPBOARDS	N/A	SIGNED: BUILDER				
DOORS	FLUSH SOLID CORE FOR PAINT. DOOR HEIGHT 2040 UNLESS NOTED OTHERWISE. HUME SORRENTO SOR8 ACCESS DOOR SOLID FLUSH.	PROPOSED GROUND FLOOR AND FIRST FLOOR ADDITIONS & ALTERATIONS				
ELECTRICAL TO ADDITIONS REFER TO SEPARATE ELECTRICAL LAYOUT FOR FURTHER INFORMATION.	TWO WAY LIGHT SWITCH  1.OFF LIGHT POINTS  15.OFF DOUBLE G.P.O.  15.OFF SMOKE ALARM  2.OFF EXHAUST FAN  3.OFF CIRCUITS 3.OFF RCD safety switch to new power circuit 3.OFF	FOR: Mr. I. & Mrs. B. PERRY				
HOT WATER SYSTEM	CONNECT TO EXISTING HOT WATER UNIT	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093				
STAIRCASE AND HANDRAILS	TYPE: MAPLE CLOSED RISER TIMBER STRINGER NOMINAL WIDTH: 900mm & 2300mm RISE: 18No. x 172 TREAD: 240mm & 270mm FINISH: MAPLE TREADS & MAPLE RISERS, PINE SQUARE BALUSTRADE. <u>PLASTERBOARD LINING UNDER TREADS.</u>	<div><div><div><div><div><div>A</div><div>addbuild</div></div><div>Master Builders Pty. Ltd</div></div><div>Suite OC / 9 Blaxland Road, RHODES, NSW, 2138 Phone: 8765 1555 / Fax: 8765 1778</div></div><div><div>www.addbuild.com.au</div><div>Email: info@addbuild.com.au</div><div>Builders Licence No. 114851C</div><div>A.B.N. 47 092 812 649</div></div></div></div>				
METALWORK	INTERNAL: PRIMED	SCALE:	SHEET No:	JOB No:		
EXCAVATION	EXCAVATION HAS BEEN ASSUMED TO BE IN SOIL, CLAY OR OTHER MATERIAL REASONABLY CAPABLE OF EXCAVATION WITH HAND TOOLS	1:100	1:200	01	1923/5.1	
INSULATION TO ADDITIONS ONLY	CEILING TO FIRST FLOOR ADDITION: R 3.0 INSULATION. EXTERNAL WALL TO FIRST FLOOR ADDITION: R 2.5 INSULATION. CAVITY FLOOR INSULATION: R 1.7 ACOUSTIC.					
PAINTING	ALL INTERNAL PAINTING TO FIRST FLOOR ADDITION BY: OWNER. ALL EXTERNAL PAINTING TO FIRST FLOOR ADDITION BY: BUILDER ALL RENOVATION PAINTING BY OWNER UNLESS SPECIFICALLY NOTED OTHERWISE.					

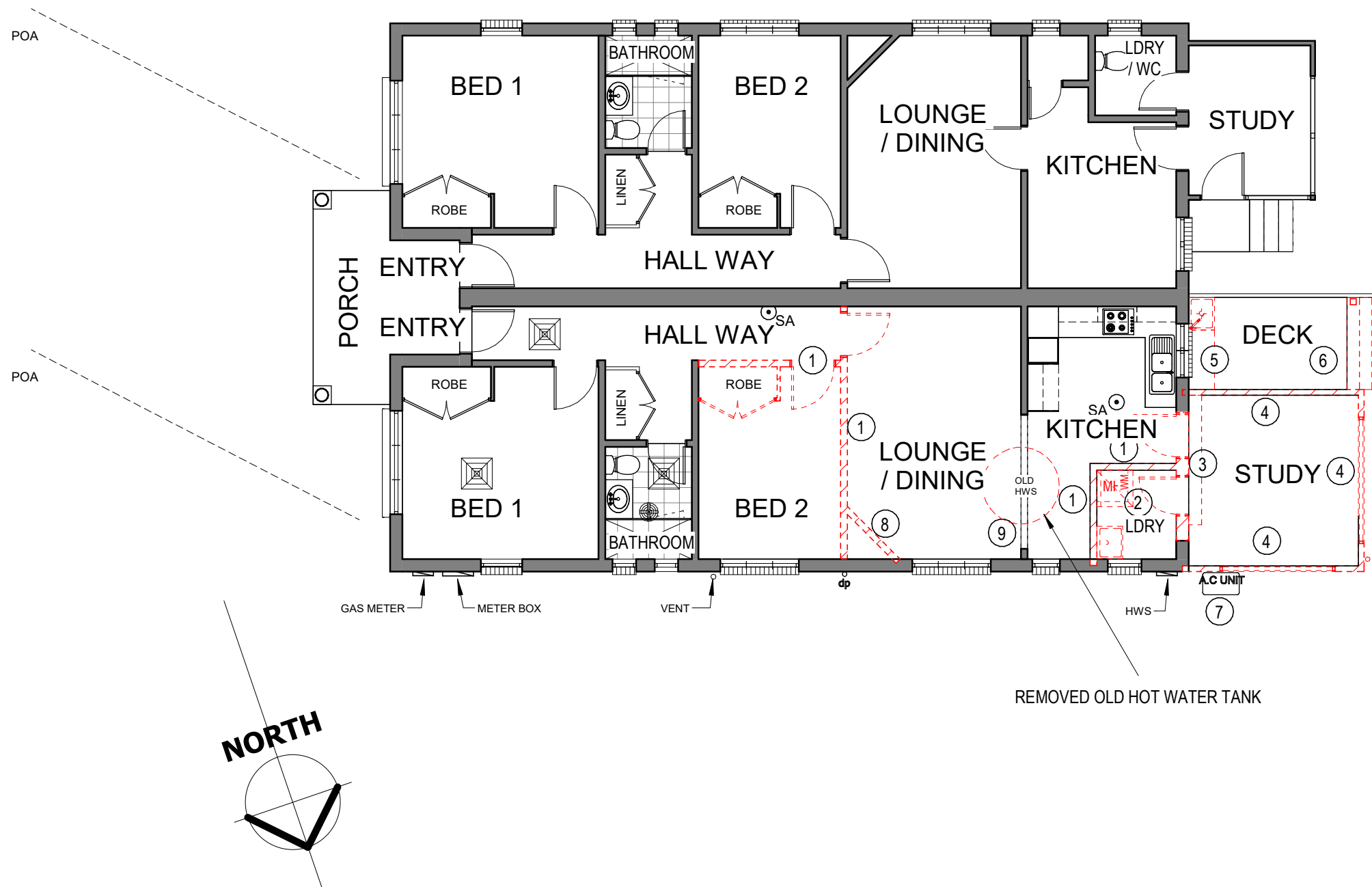
FLOOR - BEARERS & JOISTS
EXTERNAL WALLS - CAVITY BRICKWORK 240mm
INTERNAL WALLS - SINGLE BRICK RENDERED 130mm
ROOF - CONVENTIONAL ROOF, TERRACOTTA TILE, 30° PITCH



GROUND FLOOR - EXISTING
SCALE - 1 : 100

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Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
03	Mr. I. & Mrs. B. PERRY	1923/5.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



GROUND FLOOR DEMOLITION NOTES

- ① DEMOLISH EXISTING INTERNAL SKIN BRICK WALLS AS SHOWN DASHED. REPAIR AFFECTED SURFACES.
- ② STRIP OUT EXISTING LAUNDRY & SEAL OFF PLUMBING. AND REMOVE EXISTING PLASTERBOARD CEILING
- ③ DEMOLISH EXTERNAL CAVITY BRICK WALLS INCLUDING DOORS IN PREPARATION FOR NEW ALUMINIUM SLIDING STACKER DOOR. REPAIR AFFECTED SURFACES.
- ④ DEMOLISH & REMOVE EXISTING EXTERNAL TIMBER FRAMED WALLS INCLUDING EXISTING FLOORING, BRICK PIERS, WINDOWS & DOORS AS SHOWN DASHED.
- ⑤ STRIP EXISTING EXTERNAL SINK AND BENCH AND SEAL OFF PLUMBING. **BY OWNER.**
- ⑥ DEMOLISH & REMOVE EXISTING EXTERNAL REAR TIMBER DECK AND PERGOLA. **BY OWNER.**
- ⑦ EXISTING A.C UNIT TO BE RELOCATED AS REQUIRED **BY OWNER.**
- ⑧ DEMOLISH EXISTING CHIMNEY COMPLETE.
- ⑨ DEMOLISH EXISTING NIB AND HEAD. REPAIR AFFECTED SURFACES. DISCUSS FEASABILITY ON SITE. NOT ALLOWED FOR.

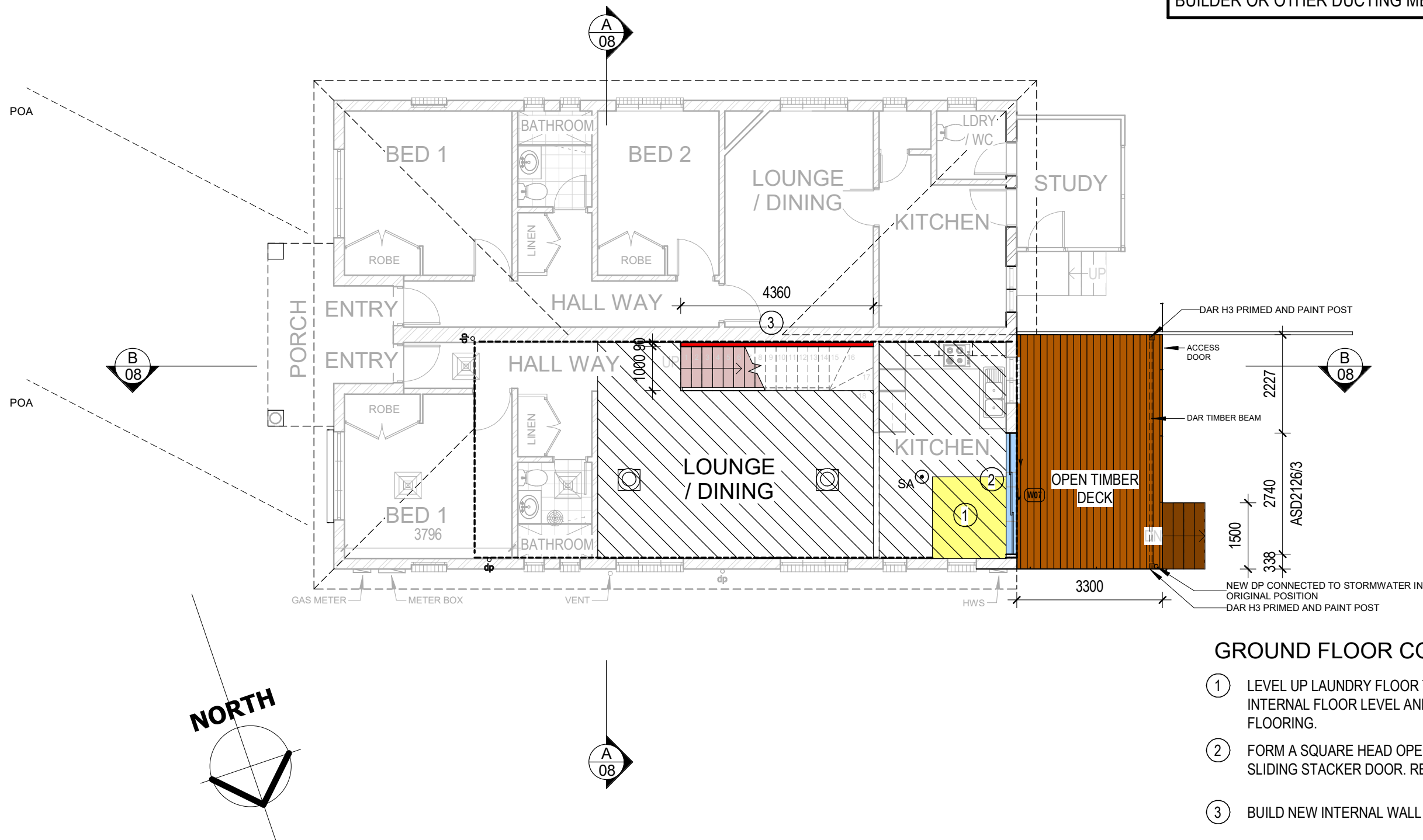
NOTE: WHERE ALL INTERNALS WALLS BEING REMOVED. REPAIR FLOOR WITH ONE PIECE OF TIMBER LAID IN THE SAME DIRECTION OF THE WALL BEING DEMOLISHED. REPAIR AFFECTED SURFACES.

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SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
03A	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/5.1

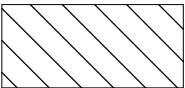
GROUND FLOOR - DEMOLITION
SCALE - 1 : 100

NOTE: WHERE DUCTING TO AN EXISTING EXHAUST FAN HAS BEEN SPECIFIED, ONLY STANDARD FLEXIBLE DUCTING HAS BEEN ALLOWED FOR. SHOULD THE EXISTING EXHAUST FAN **NOT** BE COMPATIBLE WITH STANDARD FLEXIBLE DUCTING, THE OWNER IS TO SUPPLY A NEW EXHAUST FAN FOR INSTALLATION BY THE BUILDER OR OTHER DUCTING METHODS TO BE QUOTED ON SITE.



GROUND FLOOR CONSTRUCTION NOTES

- ① LEVEL UP LAUNDRY FLOOR TO MATCH EXISTING DWELLING INTERNAL FLOOR LEVEL AND PLACE NEW STRUCTURAL TIMBER FLOORING.
- ② FORM A SQUARE HEAD OPENING AND PLACE NEW ALUMINIUM SLIDING STACKER DOOR. REPAIR AFFECTED SURFACES.
- ③ BUILD NEW INTERNAL WALL
- ④ REMOVE AND REPLACE EXISTING CEILING AND CORNICE
NOTE: OWNER TO SUPPLY CORNICE.



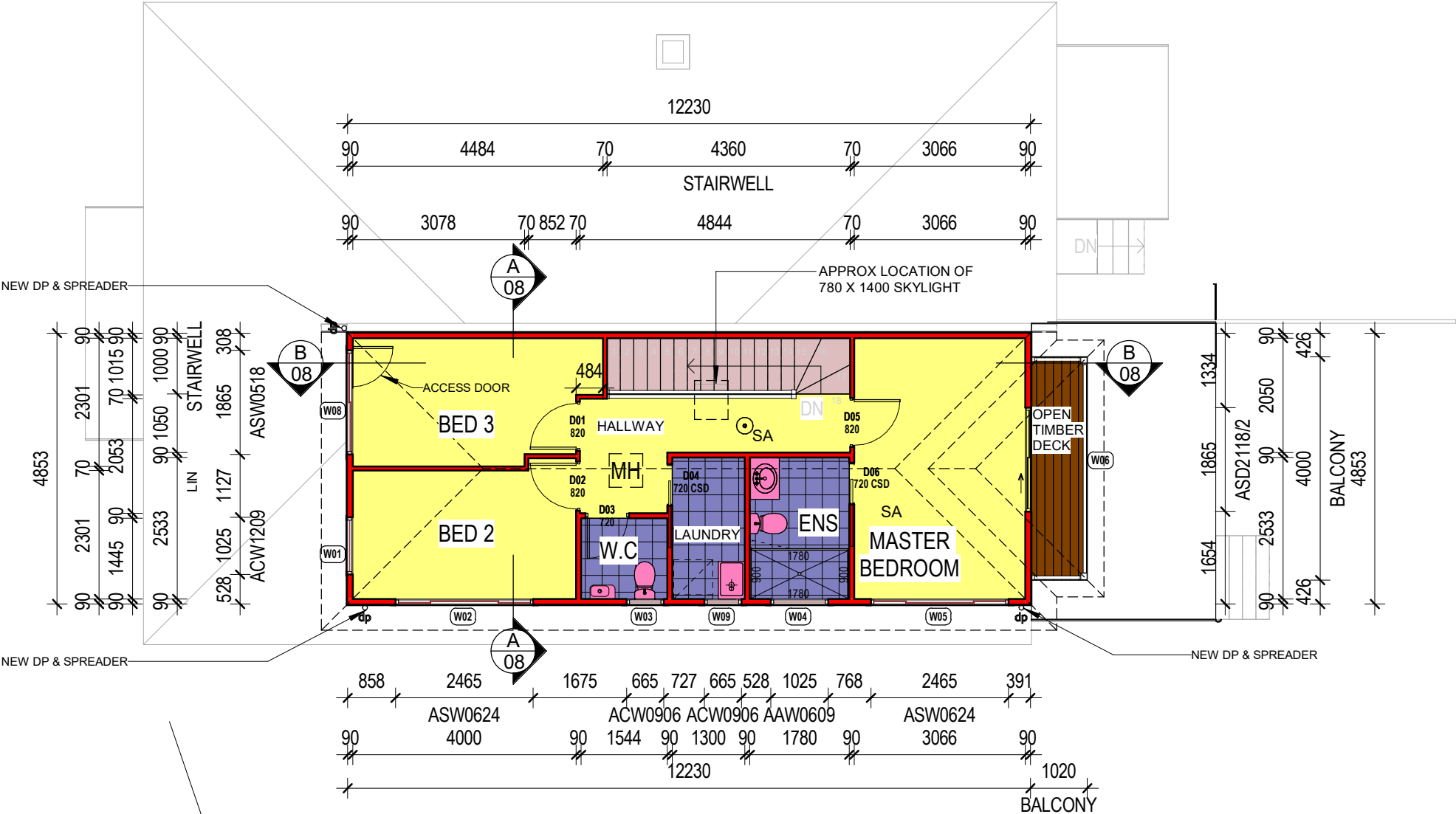
GROUND FLOOR - PROPOSED
SCALE - 1 : 100

NOTE: THE AREAS SHOWN IN GREY ARE EXISTING & INDICATIVE ONLY. NO REMEDIAL OR RENOVATION WORK IS TO BE CARRIED OUT IN THESE AREAS UNLESS DISCUSSED WITH THE SUPERVISOR & THE OWNER **PRIOR** TO THE COMMENCEMENT OF ANY WORK.

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SHEET NO	FOR:	JOB NO
04	Mr. I. & Mrs. B. PERRY	1923/5.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	

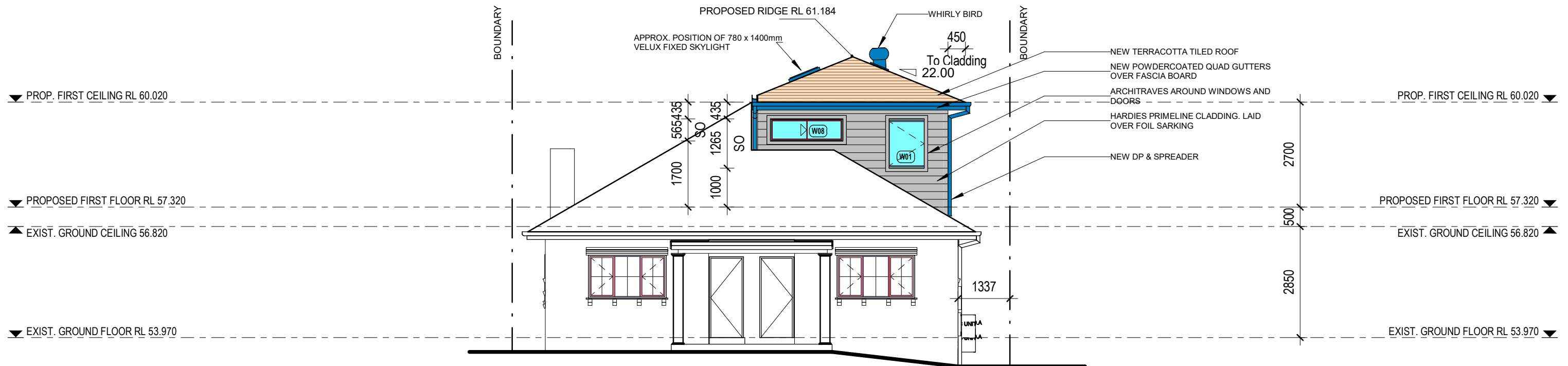
WINDOW & SLIDING DOOR Schedule STEGBAR ALUMIERE RANGE											
Window No.	Stud Opening Height	Stud Opening Width	Frame Height	Frame Width	Assembly Code	Window Style	Glazing	Comments	Restricted Opening	Basix	Flyscreen
W01	1265	1025	1200	970	ACW1209	CASEMENT	COMFORT PLUS CLEAR		Yes		Yes
W02	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes		Yes
W03	1010	665	945	610	ACW0906	CASEMENT	COMFORT TRANSLUCENT		No		Yes
W04	665	1025	600	970	AAW0609	AWNING	COMFORT TRANSLUCENT		No		Yes
W05	665	2465	600	2410	ASW0624	SLIDING	COMFORT PLUS CLEAR		Yes		Yes
W06	2140	1865	2100	1810	ASD2118	SLIDING DOOR	COMFORT PLUS NEUTRAL		No		Yes
W07	2140	2740	2100	2685	AST2126	STACKER DOORS	COMFORT PLUS CLEAR		No		Yes
W08	565	1865	500	1810	ASW0518	SLIDING	COMFORT PLUS CLEAR		No		Yes
W09	1010	665	945	610	ACW0906	CASEMENT	COMFORT TRANSLUCENT		No		Yes



FIRST FLOOR PLAN - PROPOSED
SCALE - 1 : 100

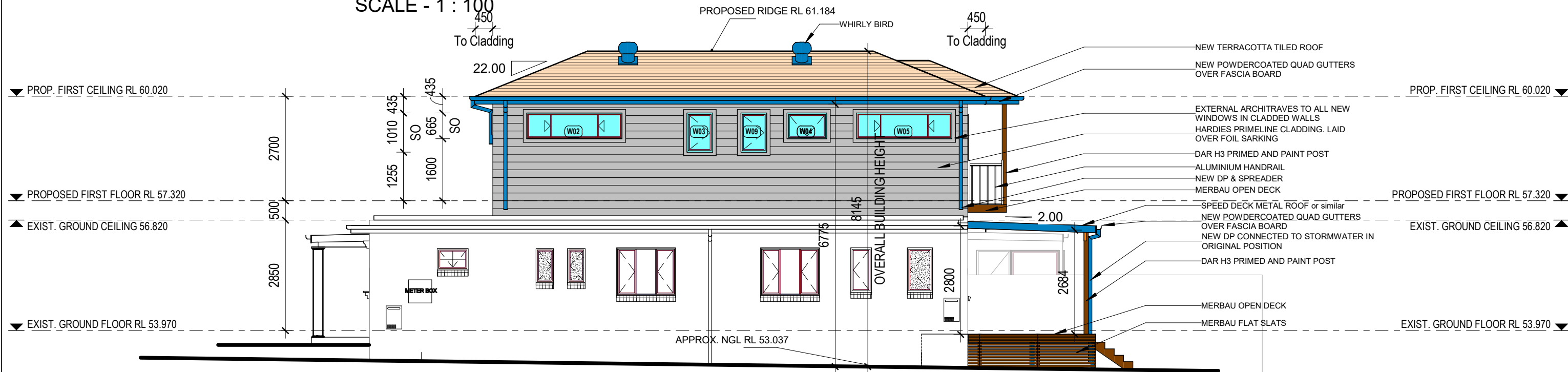
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SHEET NO	FOR: Mr. I. & Mrs. B. PERRY	JOB NO
05	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/5.1



EAST (FRONT) ELEVATION

SCALE - 1 : 100

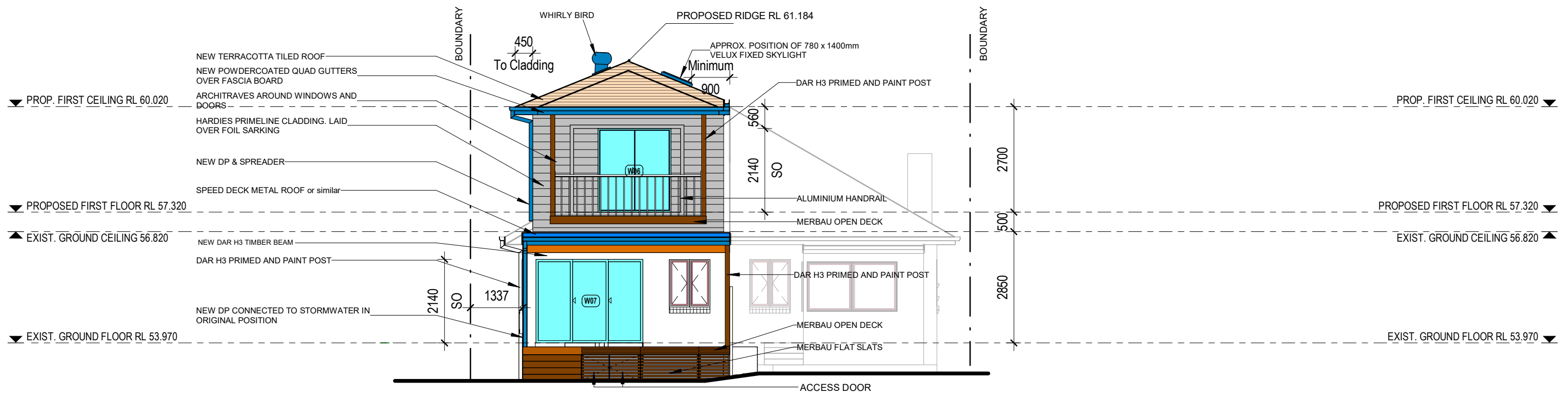


NORTH (RIGHT) ELEVATION

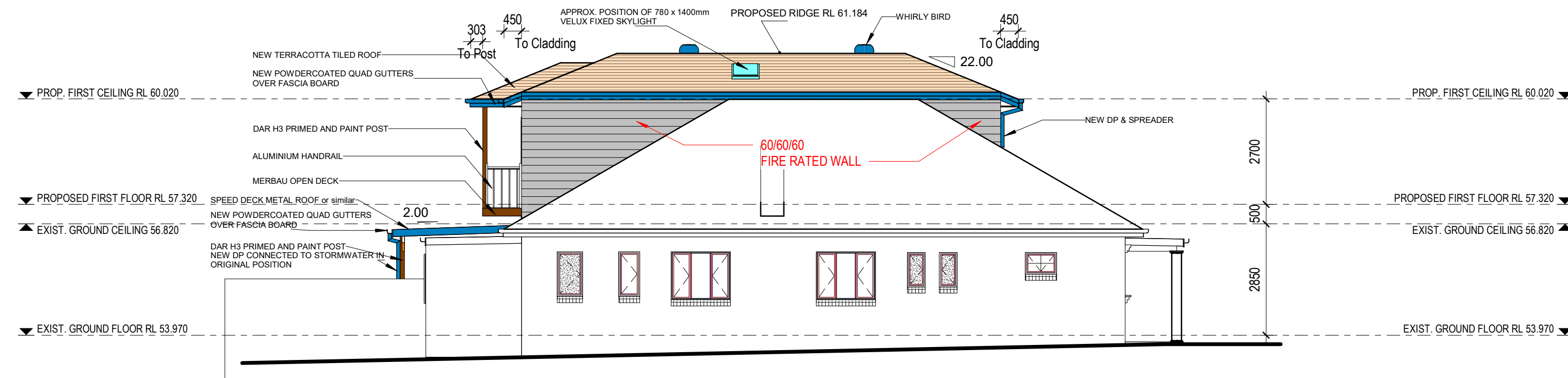
SCALE - 1 : 100

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SHEET NO	FOR:	JOB NO
06	Mr. I. & Mrs. B. PERRY AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/5.1



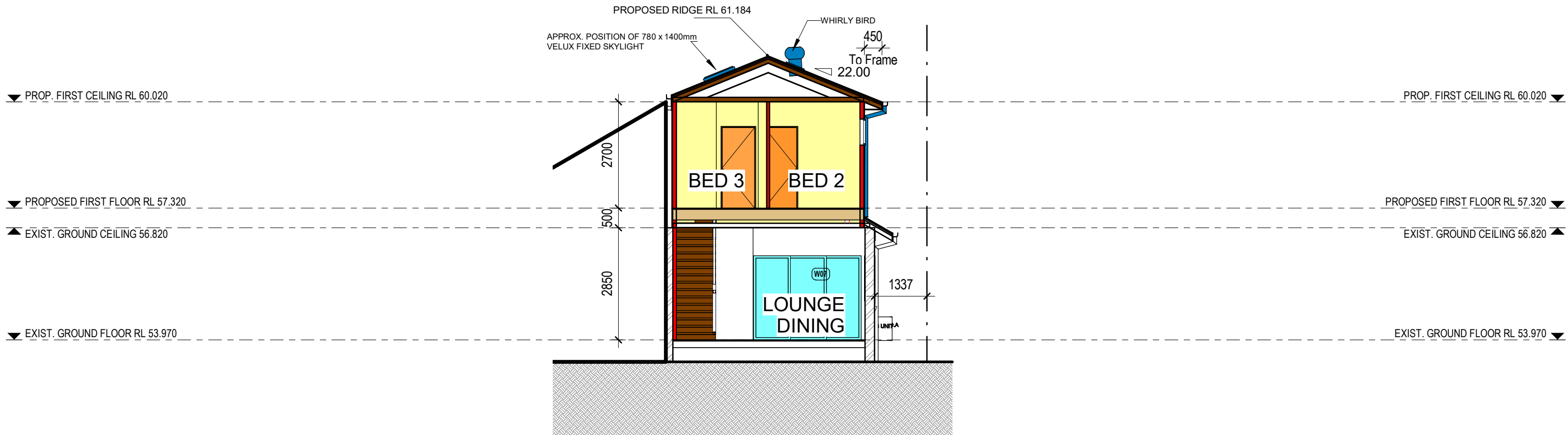
WEST (REAR) ELEVATION
SCALE - 1 : 100



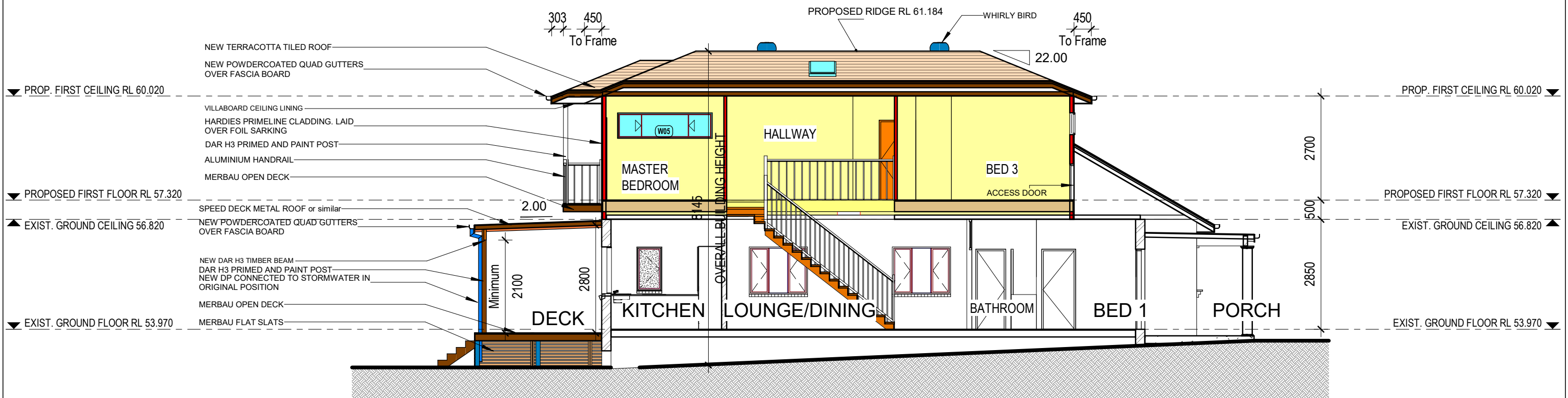
SOUTH (LEFT) ELEVATION
SCALE - 1 : 100

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SHEET NO	FOR:	JOB NO
07	Mr. I. & Mrs. B. PERRY	1923/5.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



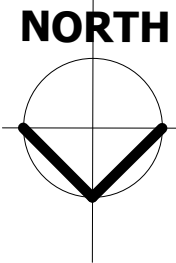
SECTION A-A
SCALE - 1 : 100



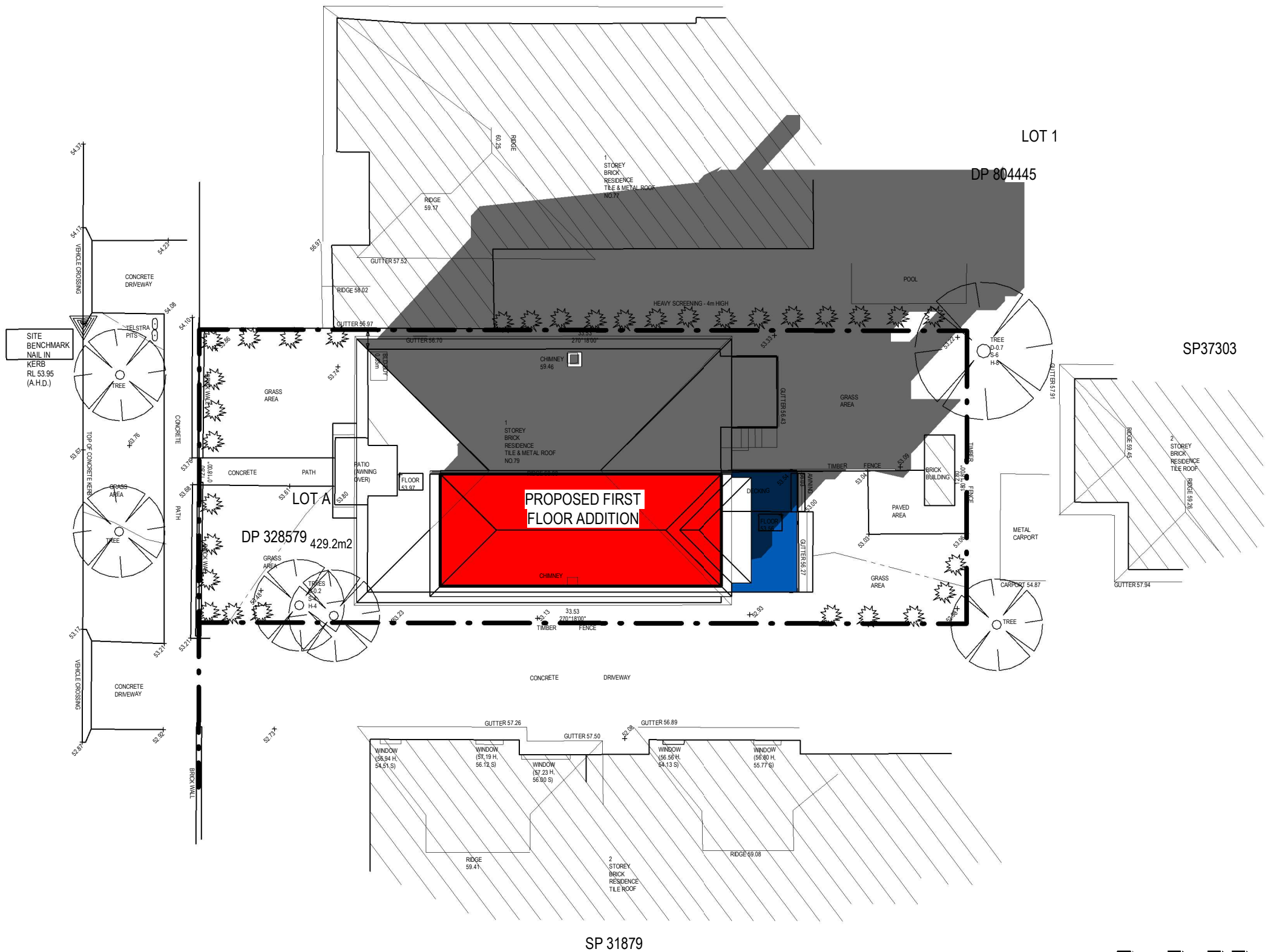
SECTION B-B
SCALE - 1 : 100

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SHEET NO	FOR:	JOB NO
08	Mr. I. & Mrs. B. PERRY	1923/5.1
	AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	



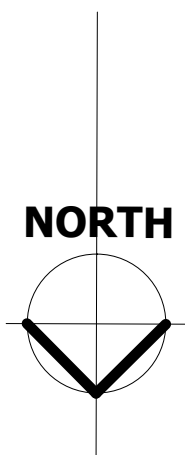
WANGANELLA ROAD



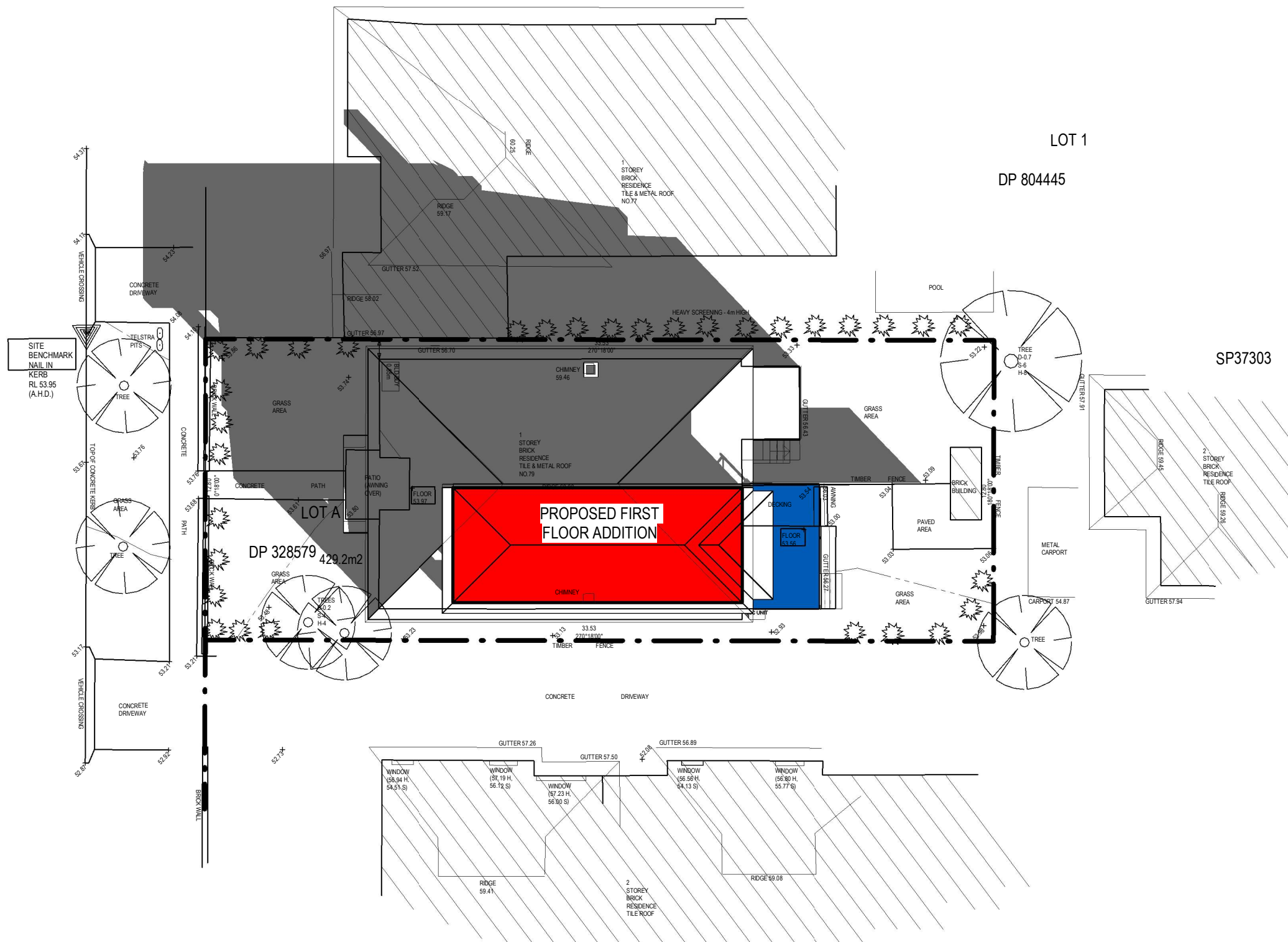
WINTER SHADOW DIAGRAM - 9.00am - 21st JUNE - PROPOSED

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SHEET NO	FOR:	JOB NO
12.2	Mr. I. & Mrs. B. PERRY AT: 79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	1923/4



WANGANELLA ROAD



WINTER SHADOW DIAGRAM - 3.00pm - 21st JUNE - PROPOSED

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Master Builders Pty. Ltd

SHEET NO	FOR:	JOB NO
	Mr. I. & Mrs. B. PERRY	
12.4	AT:	1923/4
	79B WANGANELLA ROAD, BALGOWLAH. NSW. 2093	

Schedule of Finishes

For:




Mr & Mrs Perry

at:

79B Wanganella Street, Balgowlah



May 2022

External Building Component	Material	Finish and Colour
Roof	Terracotta tiles	Marseille "Riverstone" 
Facade	Cladding	Taubmans "Still here" 
Fascia & Bargeboards	Timber	Taubmans "perfect storm" 

Gutters &
Downpipes

Metal

Ace Gutters "Wallaroo"



Windows

Aluminum

Wideline "Custom Black"



Deck

Timber

Merbau



Balcony handrail

Metal

Interpon "Night Sky"

