

SCHEDULE OF KEY AMENDMENTS:

- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL SETBACK LOCATION
- 02 GALLERY LOCATION AND ROOF ORIENTATION
- 03 PAVILION ROOF FORM
- 04 DRIVEWAY AND ENTRY PATH CONFIGURATION. INCLUDING NEW SCREEN.
- 05 BIN STORE LOCATION
- 06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
- 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
- 08 POOL STORE AND PLANT ROOM
- 09 PAVILION GROUND FLOOR ARRANGMENT & ENTRY RECONFIGURATION
- 10 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
- 11 EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
- 12 MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
- 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS

BASIX Certificate
Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 14213765_04

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Guidelines" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 14213765 lodged with the consent authority or certifier on 15 September 2023 with application DA20221715. It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Wednesday, 24 July 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	ER1-11752_60 Hudson Parade_04	
Street address	60 HUDSON PARADE CLAREVILLE 2107	
Local Government Area	Northern Beaches Council	
Plan type and plan number	Deposited Plan 7794	
Lot no.	96	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 100	Target 50

Certificate Prepared by	
Name / Company Name:	Green Choice Consulting
ABN (if applicable):	5305893415

BASIX Department of Planning, Housing and Infrastructure Version: 3.0 (DARWINA_03_01_0) Certificate No.: 14213765_04 Wednesday, 24 July 2024 page 1/9

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or compying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CCDDG plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 337 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 litres plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 30000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 90 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: - at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) - a tap that is located within 10 metres of the swimming pool in the development.		✓	✓

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Thermal Comfort Commitments	Show on DA plans	Show on CCDDG plans & specs	Certifier check
Construction			
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction			
Floor - concrete slab on ground	As set out in floor area square metres		

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Energy Commitments	Show on DA plans	Show on CCDDG plans & specs	Certifier check
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool: solar electric heated).		✓	
The applicant must install a timer for the swimming pool pump in the development.		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 10 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Description of project

Project address		Assessor details and thermal loads	
Project name	ER1-11752_60 Hudson Parade_04	Assessor number	DAIN212045
Street address	60 HUDSON PARADE CLAREVILLE 2107	Certificate number	BF10QAULO-03
Local Government Area	Northern Beaches Council	Climate zone	56
Plan type and plan number	Deposited Plan 7794	Area adjusted cooling load (MJ/m²/yr)	15
Lot no.	96	Area adjusted heating load (MJ/m²/yr)	40
Section no.	-	Ceiling fan in at least one bedroom	No
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	No
Project type	5	Project score	
Site area (m²)	1259	Water	✓ 41 Target 40
Roof area (m²)	90	Thermal Comfort	✓ Pass Target Pass
Conditioned floor area (m²)	364.4	Energy	✓ 100 Target 50
Unconditioned floor area (m²)	60.0		
Total area of garden and lawn (m²)	340		
Roof area of the existing dwelling (m²)	0		

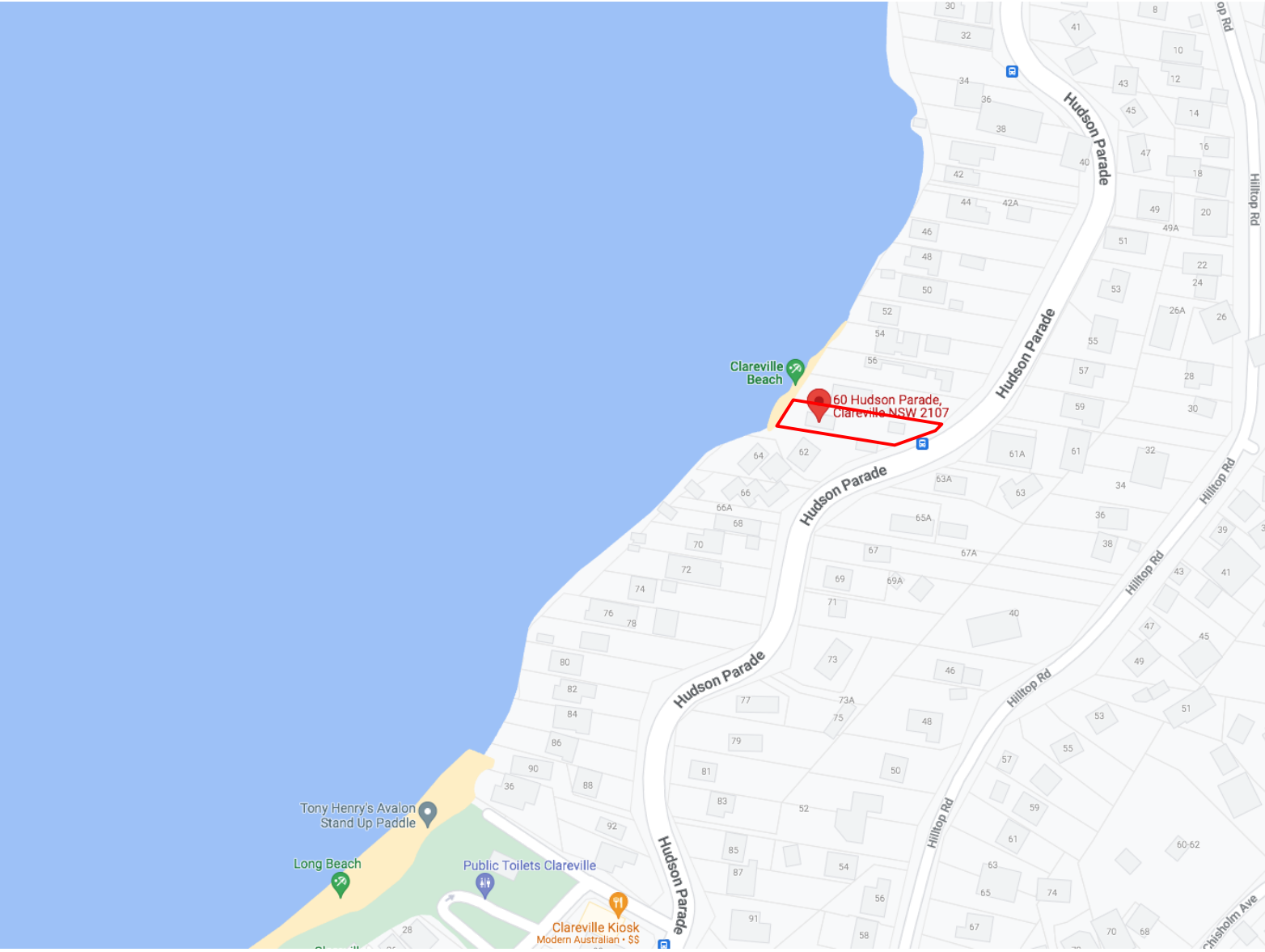
BASIX Department of Planning, Housing and Infrastructure Version: 3.0 (DARWINA_03_01_0) Certificate No.: 14213765_04 Wednesday, 24 July 2024 page 2/9

Water Commitments	Show on DA plans	Show on CCDDG plans & specs	Certifier check
Swimming Pool			
The swimming pool must not have a volume greater than 75 kilolitres.	✓	✓	
The swimming pool must have a pool cover.		✓	
The swimming pool must be outdoors.	✓	✓	

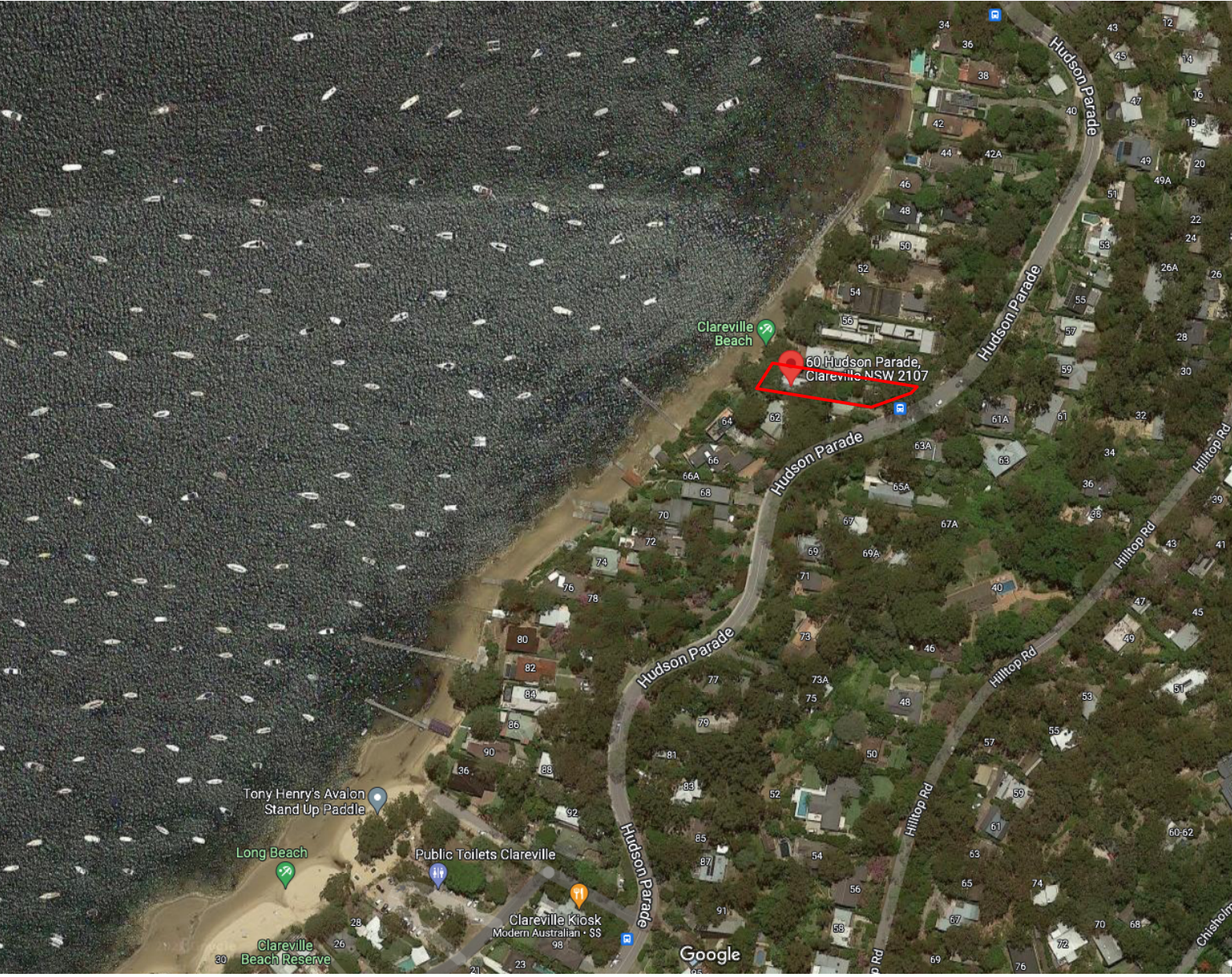
BASIX Department of Planning, Housing and Infrastructure Version: 3.0 (DARWINA_03_01_0) Certificate No.: 14213765_04 Wednesday, 24 July 2024 page 4/9

Energy Commitments	Show on DA plans	Show on CCDDG plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2.5 Star (old label).		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label).		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2.5 Star (old label).		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label).		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, not ducted; Operation control: manual switch on/off Kitchen: individual fan, not ducted; Operation control: manual switch on/off Laundry: individual fan, not ducted; Operation control: manual switch on/off		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/bath(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			

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LOCATION MAP NTS

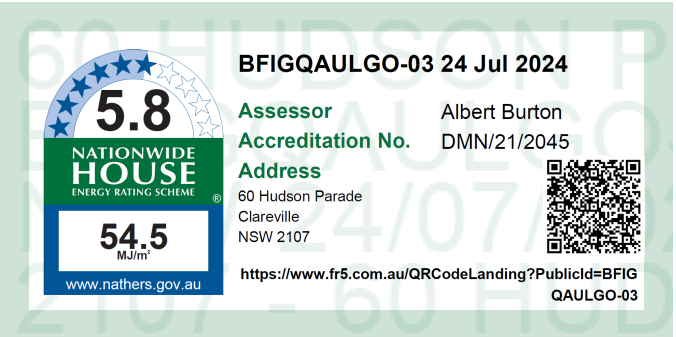


LOCATION MAP NTS

60 HUDSON PRD, AVALON BEACH, NSW 2170
ALTERATIONS & ADDITIONS TO EXISTING RESIDENCE

ARCHITECTURAL DRAWING LIST

DWG NO.	TITLE
DA_000	COVER SHEET
DA_001	BASIX COMMITMENTS
DA_002	SITE ANALYSIS PLAN
DA_003	SITE PLAN
DA_004	DEMOLITION PLANS _ LOWER GROUND + GROUND FLOOR
DA_005	DEMOLITION PLANS _ LEVEL 01 + ROOF
DA_100	PROPOSED LOWER GROUND FLOOR PLAN
DA_101	PROPOSED GROUND FLOOR PLAN
DA_102	PROPOSED FIRST FLOOR PLAN
DA_103	PROPOSED ROOF PLAN
DA_112	CUT AND FILL PLAN
DA_200	EAST + WEST ELEVATIONS
DA_201	NORTH + SOUTH ELEVATIONS
DA_210	LONGITUDINAL SECTION
DA_211	CROSS SECTIONS
DA_301	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_302	SHADOW DIAGRAMS - SUN'S EYE VIEW
DA_400	CALCULATIONS - LANDSCAPE AREAS
DA_500	SCHEDULE OF COLOURS AND MATERIALS



NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	1/5/24	SC	STRUCTURAL ISSUE
C	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

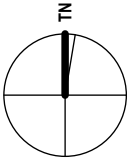
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OLIVER & NICOLA HARTLEY

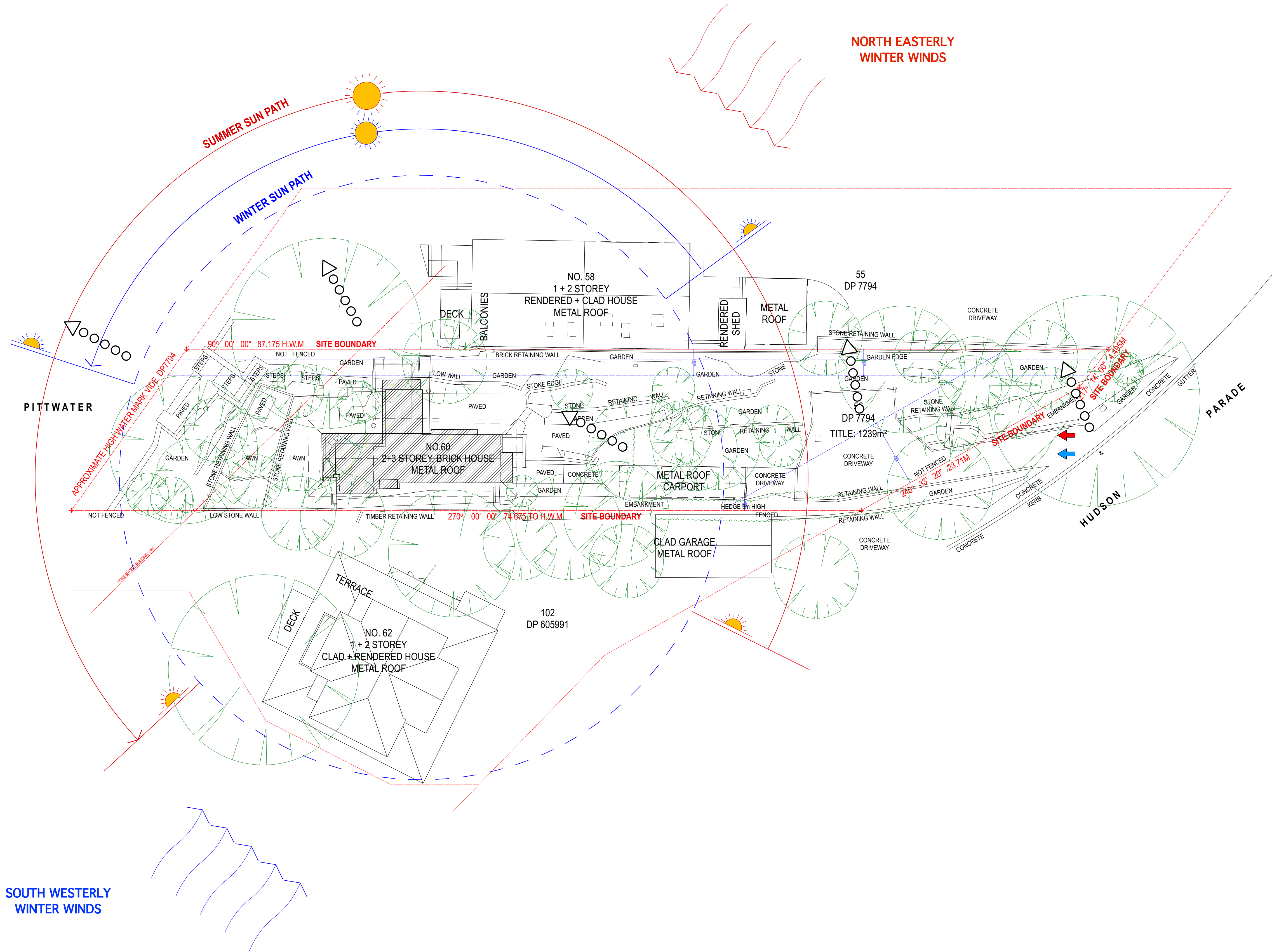
Drawing Name:
COVER SHEET

Job Number:
2130
Scale:
NTS
Plot Date:
28/8/23

Drawing Status:
DA
Drawing No:
DA_000

Drawn By:
LR
Revision:
C





NOTES

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LEGEND / KEY	
	EXISTING LANDSCAPED AREA
	EXISTING DEVELOPMENT
	BOUNDARY
	DRIVEWAY ACCESS
	PEDESTRIAN ACCESS
	VIEWS



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE ANALYSIS PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

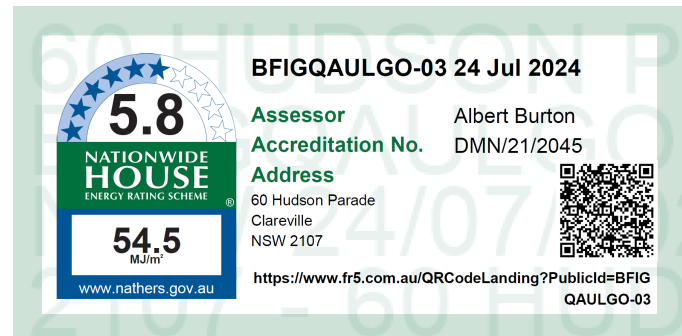
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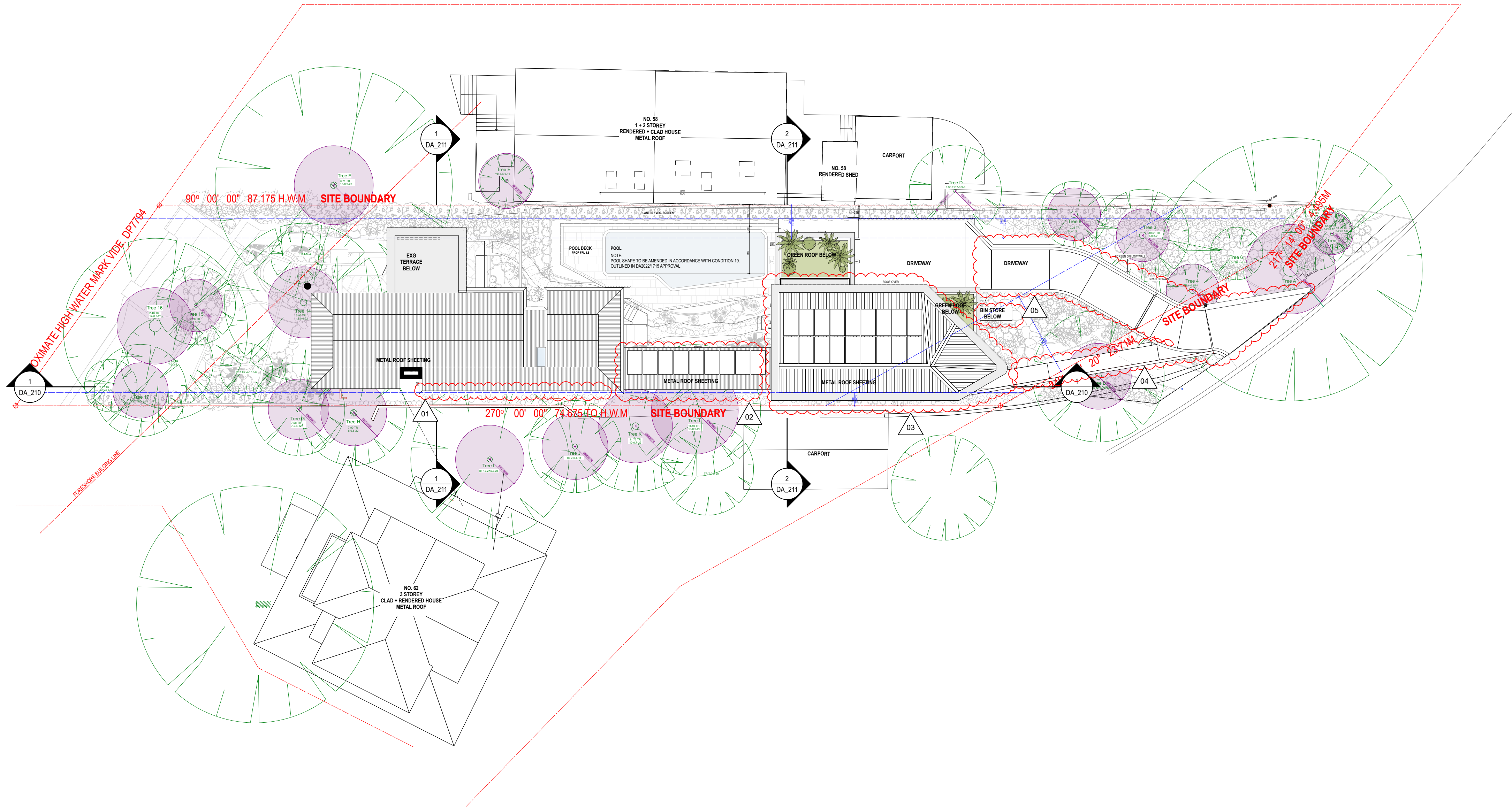
Drawn By:
LR

Revision:
B

nominated architect: Dominic Bennett 7365 (NSW)



- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
- 02 GALLERY LOCATION AND ROOF ORIENTATION
- 03 PAVILION ROOF FORM
- 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
- 05 BIN STORE LOCATION



SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



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C	7/5/24	SC	CONSULTANT ISSUE
D	13/5/24	SC	CONSULTANT ISSUE
E	23/7/2024	SC	ISSUED FOR \$4.55

- LEGEND / KEY**
- DEMOLISHED
- SETBACK
- DEMOLISHED TREE
- EXISTING TREE



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SITE PLAN

Job Number:
2130

Scale:
1:200

Plot Date:
28/8/23

Drawing Status:
DA

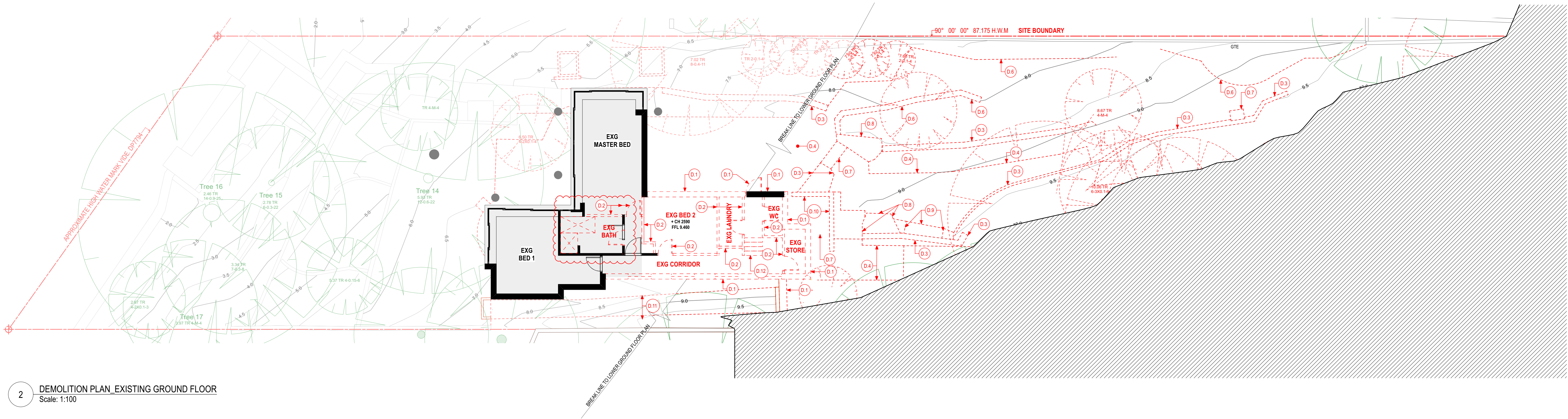
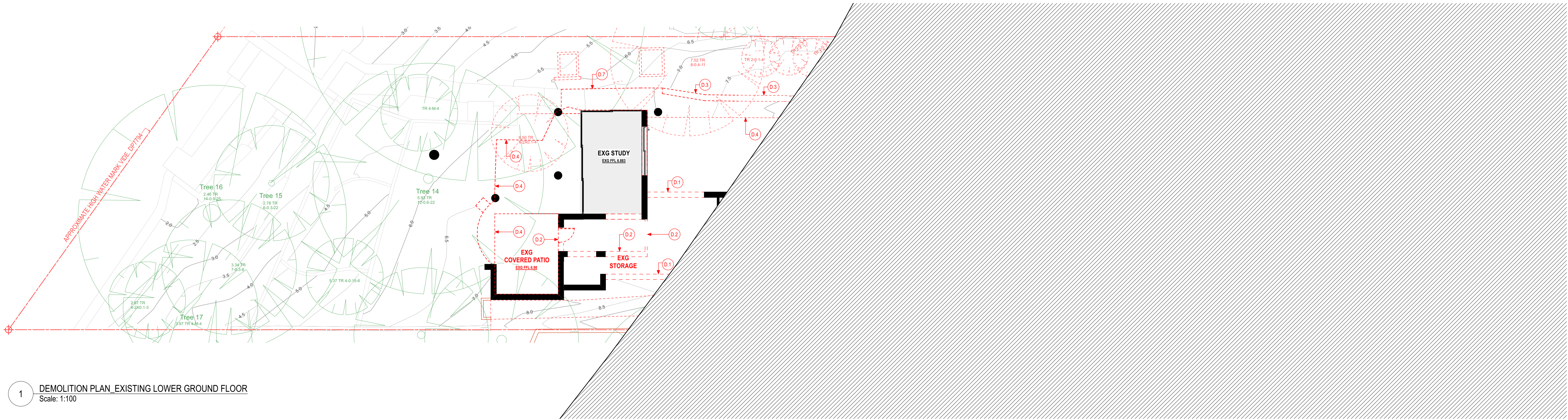
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Drawn By:
LR

Revision:
E

nominated architect: Dominic Bennett 7365 (NSW)





DEMOLITION NOTES

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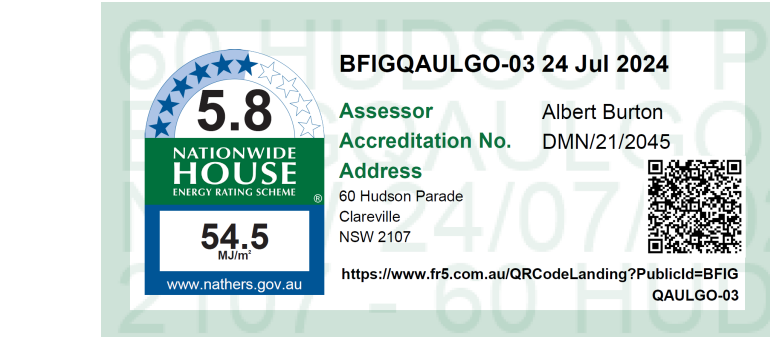
LEGEND / KEY
EXISTING WALL
DEMOLISHED WALL



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
DEMOLITION PLANS - LOWER GROUND + GROUND

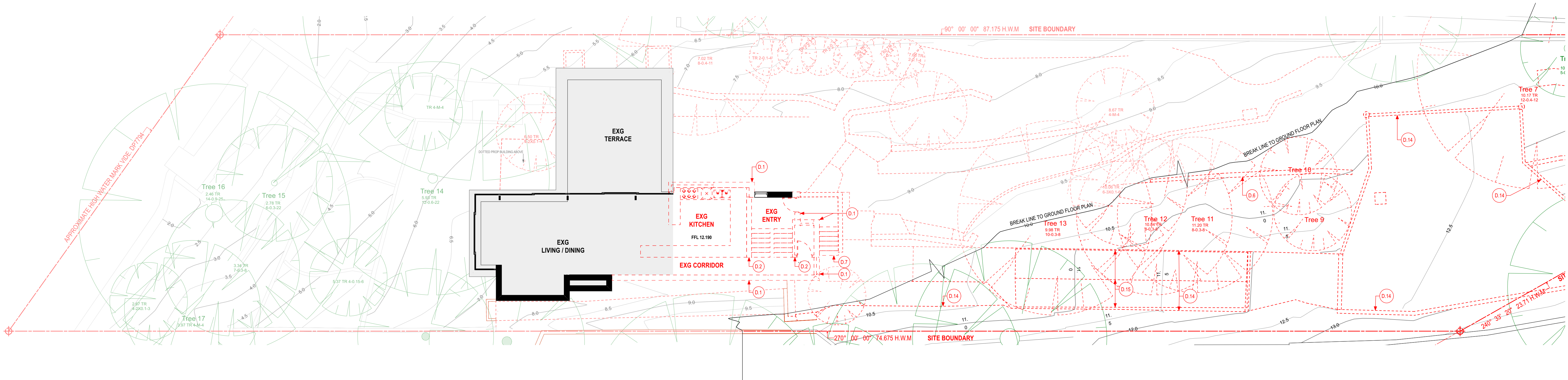
Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au



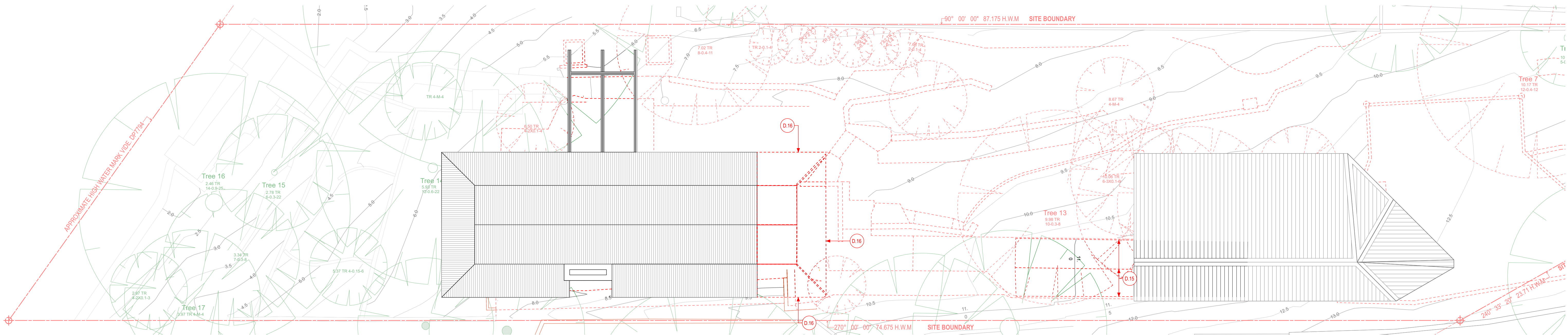
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Scale:
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Plot Date:
28/8/23
Drawing Status:
DA
Drawing No:
DA_004

Drawn By:
LR
Revision:
C

nominated architect: Dominic Bennett 7365 (NSW)



1 DEMOLITION PLAN_EXISTING FIRST FLOOR
Scale: 1:100



2 DEMOLITION PLAN_EXISTING ROOF PLAN
Scale: 1:100

DEMOLITION NOTES

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RED.



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LEGEND / KEY

	EXISTING WALL
	DEMOLISHED WALL



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
DEMOLITION PLANS - LEVEL 01 + ROOF

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

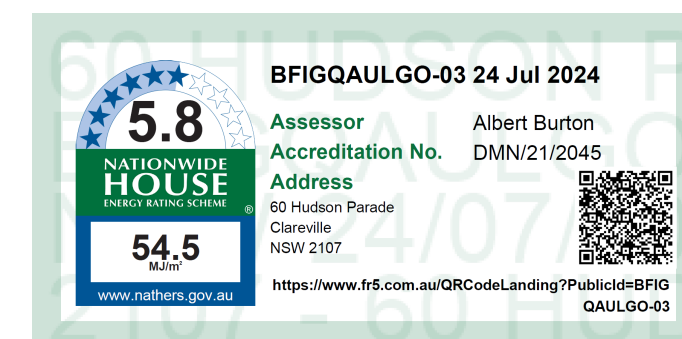
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DA_005

Drawn By:
LR

Revision:
C

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)

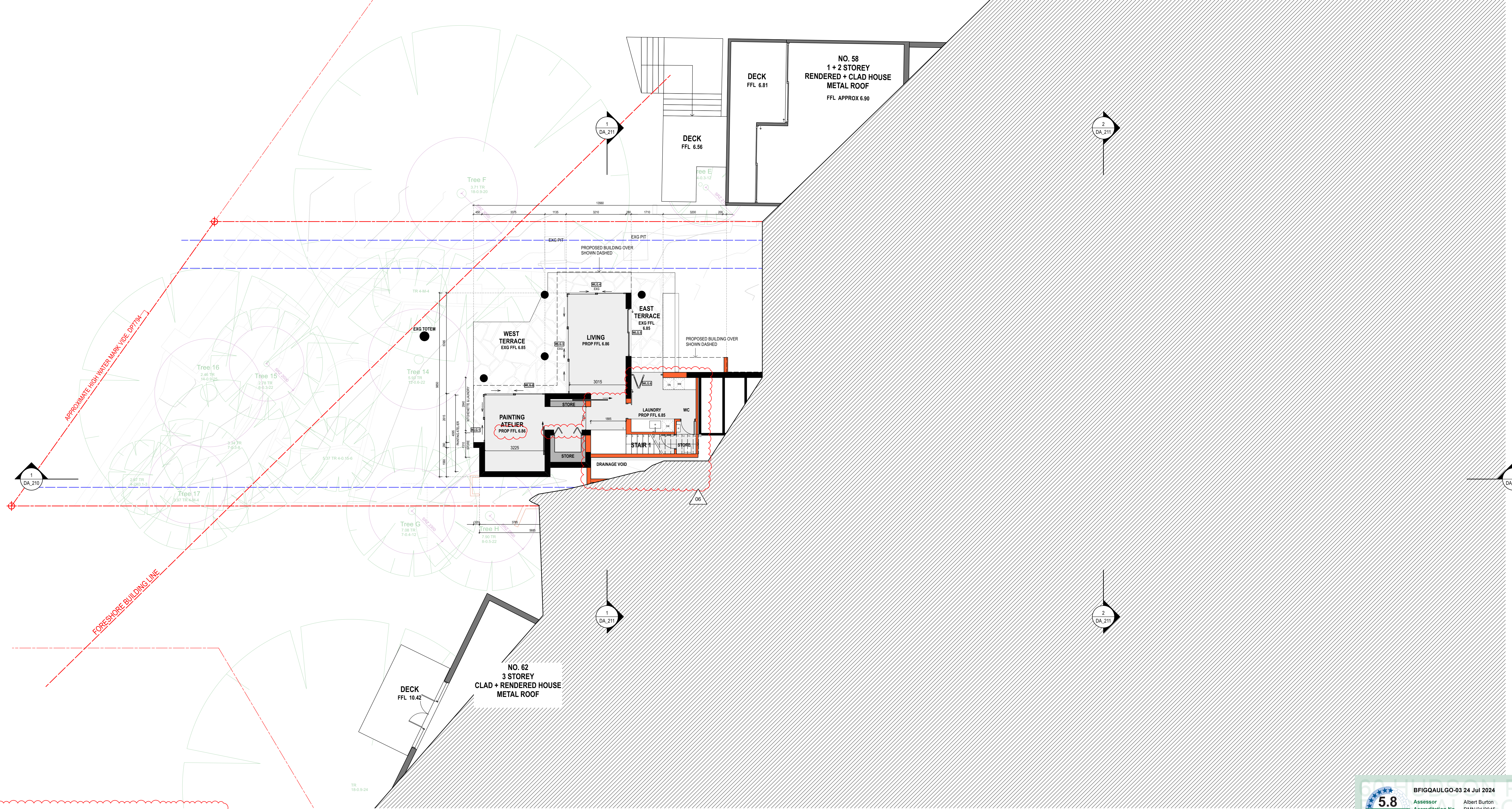


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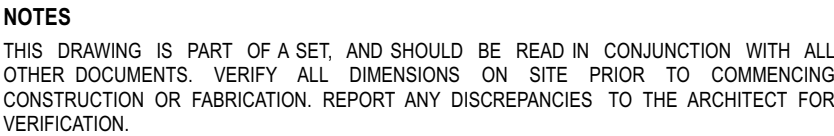
 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION

SCHEDULE OF KEY AMENDMENTS:

 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION



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LEGEND / KEY

	EXISTING WALL
	NEW WALL
	EXISTING TREE

AWN	AWNING	EG	EAVES GUTTER
BWN	BOUNDARY	FAC	FASCIA
BAK 12...	BAULSTRADETYPE 1,2...	FB1 2...	FENCE BROKEN PELL 2
BL 12...	BLOCKWORK TYPE 1,2...	FC 1,2	FIBRE GLASS CLADDING
BRK 12...	BRICKWORK TYPE 1,2...	FL1	FISHED FLOOR LEVEL
BG	BOY GUTTER	FN1,2...	FENCE TYPE 1,2...
BF	BIFOLDING	FNCP	POOL FENCE
BR	BRICK FINISH	FP	FIXED PANEL
CL 12...	CLADDING TYPE 1,2...	GD	GLASS DOOR
CL 12...	CLADDING TYPE 1,2...	GTP	POOL GATE
CONC 12...	CONCRETE FINISH TYPE 1,2...	HP	HAND POINT
DP	DOWNPIPE	HR1,2...	HORIZONTAL TYPE 1,2...

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PT	PAINT BRUSH	TR	TREE
PL	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCN1,2...	SCREEN TYPE 1,2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		



Bennett Murada Architects

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ALTS & ADS TO EXISTING HOUSE
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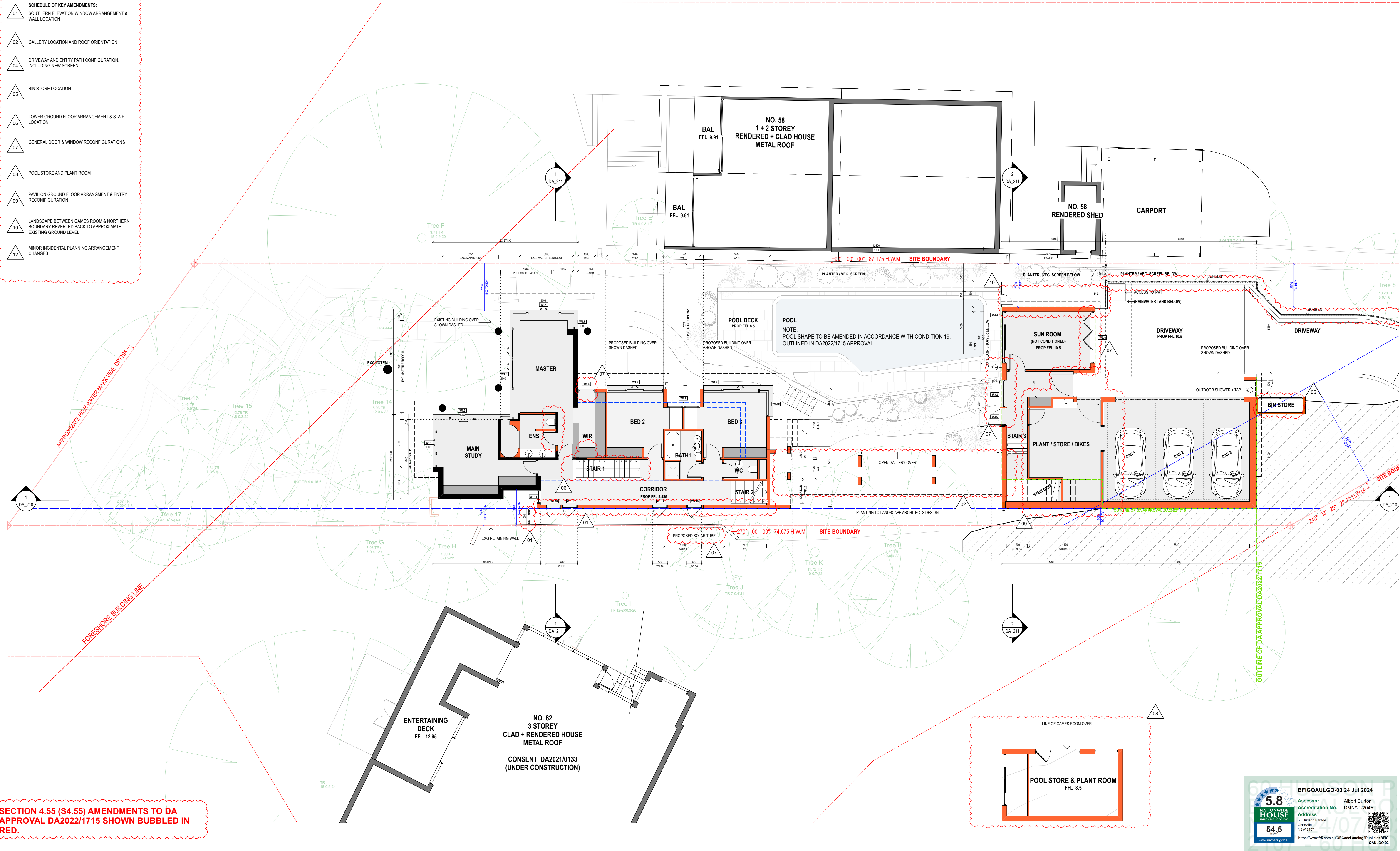
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OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED LOWER GROUND FLOOR PLAN_OP2

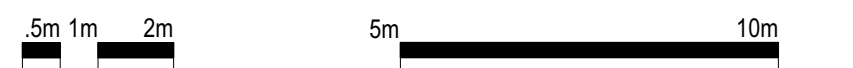
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Plot Date: 9/4/24	
Drawing Status: S4.55	Drawn By: SC
Drawing No:	Revision:

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G	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY									
	EXISTING WALL	AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
	NEW WALL	BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
	EXISTING TREE	BLK 1.2...	BAULSTRACK TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
		BLK 2...	BLOCKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING	PF	PAINT FINISH	T	TREE
		BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
		BS	BOX GUTTER	FENCE	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
		BFID	BIFOLDING	FNC1P	POOL FENCE	RAW	RAINWATER TANK		
		BR	BRICK FINISH	FP	FIXED PANEL	SCN1.2...	SCREEN TYPE 1.2...		
		BT	BALCONY	GR	GARAGE DOOR	SKL	SKYLIGHT		
		CLA 1.2...	CLADDING TYPE 1.2...	GTP	POOL GATE	SL	SLIDING		
		CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HP	HIGH POINT	SS	STAINLESS STEEL		
		DP	DOWNPIPE	HL.2...	HANDRAIL TYPE 1.2...	STC	STONE CLADDING		
		EXG	EXISTING	LP	LOW POINT	ST	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

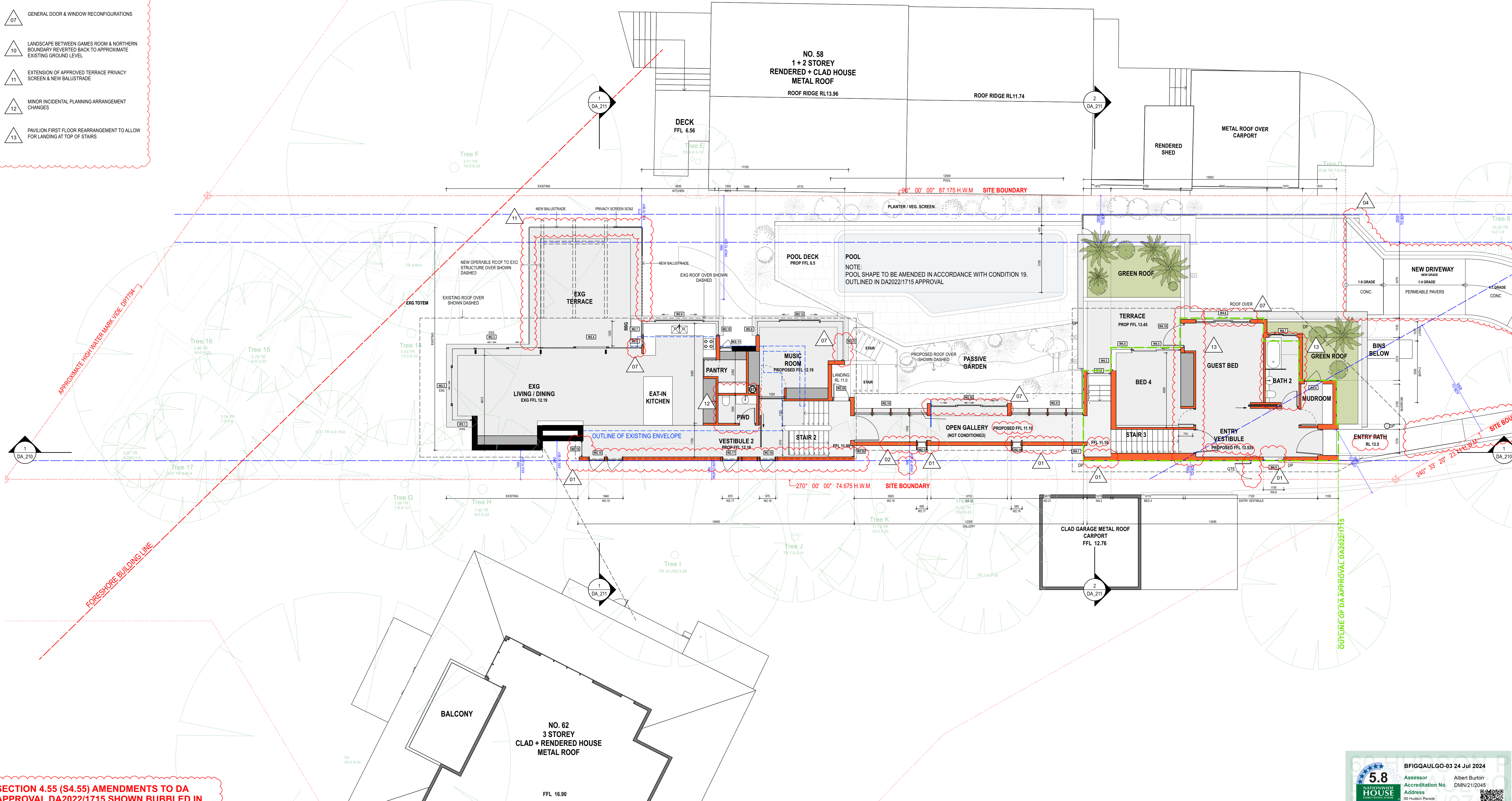
Drawing Name:
PROPOSED GROUND FLOOR PLAN

Job Number:		
2130		
Scale:		
1:100		
Plot Date:		
19/4/24		
Drawing Status:		Drawn By:
S4.55		SC
Drawing No:		Revision:
DA 101		G

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 LOWER GROUND FLOOR ARRANGEMENT & STAIRS LOCATIONATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION INCLUDING NEW SCREEN
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 10 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 11 EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
 - 12 MINOR INCIDENTAL PLANNING ARRANGEMENT CHANGES
 - 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

0.5m 1m 2m 5m 10m

NOTES

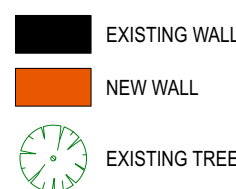
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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
E	7/5/24	SC	CONSULTANT ISSUE
F	13/5/24	SC	CONSULTANT ISSUE
G	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY



AWN AWWING
BDY BODY
BAL 1.2... BALUSTRADE TYPE 1.2...
BLK 1.2... BLOCKWORK TYPE 1.2...
BRK 1.2... BRICKWORK TYPE 1.2...
BG BOX GUTTER
BF BRICK FINISH
BR BRICK
BY BALCONY
CLK 1.2... CLADDING TYPE 1.2...
CONC 1.2... CONCRETE FINISH TYPE 1.2...
DP DOWNPIPE
EXG EXISTING

EG FAC
FB 1.2... FASCIA
F 1.2... FINISHED FLOOR LEVEL
FNC 1.2... FINISHED FLOOR LEVEL
FNC 1.2... FINISHED FLOOR LEVEL
GDR GARAGE DOOR
GTP HIGH POINT
HP HANDRAIL TYPE 1.2...
HR1.2... LOW POINT
LP

EAVES GUTTER
FASCIA
FACE BRICKWORK TYPE 1.2...
FIRE CEMENT CLADDING
FINISHED FLOOR LEVEL
FENCE TYPE 1.2...
POOL FENCE
RED PANEL
GARAGE DOOR
POOL GATE
HIGH POINT
HANDRAIL TYPE 1.2...
LOW POINT

MB MRS
PAR PARAPET
PF PAINT FINISH
PT PLANTER
RW RAINWATER HEAD
RW RAINWATER TANK
SCM 1.2... SKYLIGHT
SL SLIDING
SS STAINLESS STEEL
STC STONE CLADDING
ST SOLAR TUBE SKYLIGHT

T TD
TD TIMBER DOOR
TP TIMBER POST
TR TREE
TW TIMBER FRAMED WINDOW

Project:
**ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107**

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED FIRST FLOOR PLAN

5.8

NATIONWIDE

HOUSE

54.5

www.nattra.gov.au

BF1GQAU00-03 24 Jul 2024

Assessor Albert Burton

Accreditation No. DMN/21/2045

Address 60 Hudson Parade
Clareville
NSW 2107

54.5

https://www.95.com.au/QRCode/Landing/Paid-Service/DAU00-03

Job Number: 2130

Scale: 1:100

Plot Date: 19/4/24

Drawing Status: **\$4.55**

Drawing No: **DA_102**

Drawn By: SC

Revision: **G**

nominated architect: Dominic Bennett 7365 (NSW)

- SCHEDULE OF KEY AMENDMENTS:**
- 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 03 PAVILION ROOF FORM
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

0.5m 1m 2m 5m 10m

NOTES

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REVISION SCHEDULE

Rev.	Date	Issued By	Revision Notes
D	7/5/24	SC	CONSULTANT ISSUE
E	13/5/24	SC	CONSULTANT ISSUE
F	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BAL 1.2...	BALUSTRADE TYPE 1.2...	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BLK 1.2...	BLOCKWORK TYPE 1.2...	FB1.2...	FACE BRICK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
BRK 1.2...	BRICKWORK TYPE 1.2...	FC	FIBRE CEMENT CLADDING	PF	PAINT FINISH	TR	TREE
BG	BOX GUTTER	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BF	BI-FOLDING	FNC1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BR	BRICK FINISH	FNCIP	POOL FENCE	RWT	RAINWATER TANK		
BY	BALCONY	FP	FIXED PANEL	SCM1.2...	SCREEN TYPE 1.2...		
GDR	GARAGE DOOR	HP	HIGH POINT	SKL	SKYLIGHT		
CLA 1.2...	CLADDING TYPE 1.2...	GTP	GATE	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	HR1.2...	HANDRAIL TYPE 1.2...	SS	STAINLESS STEEL		
DP	DOWNPIPE	LP	LOW POINT	STC	STONE CLADDING		
EXG	EXISTING			ST	SOLAR TUBE SKYLIGHT		



Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
PROPOSED ROOF PLAN

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

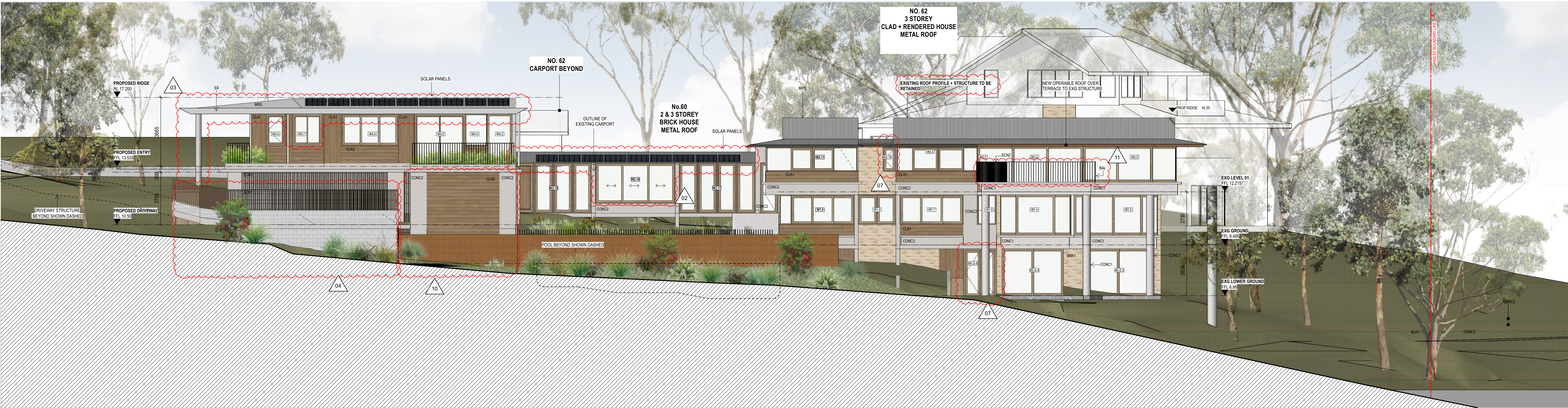
Drawing No:
DA_103

Drawn By:
LR

Revision:
F

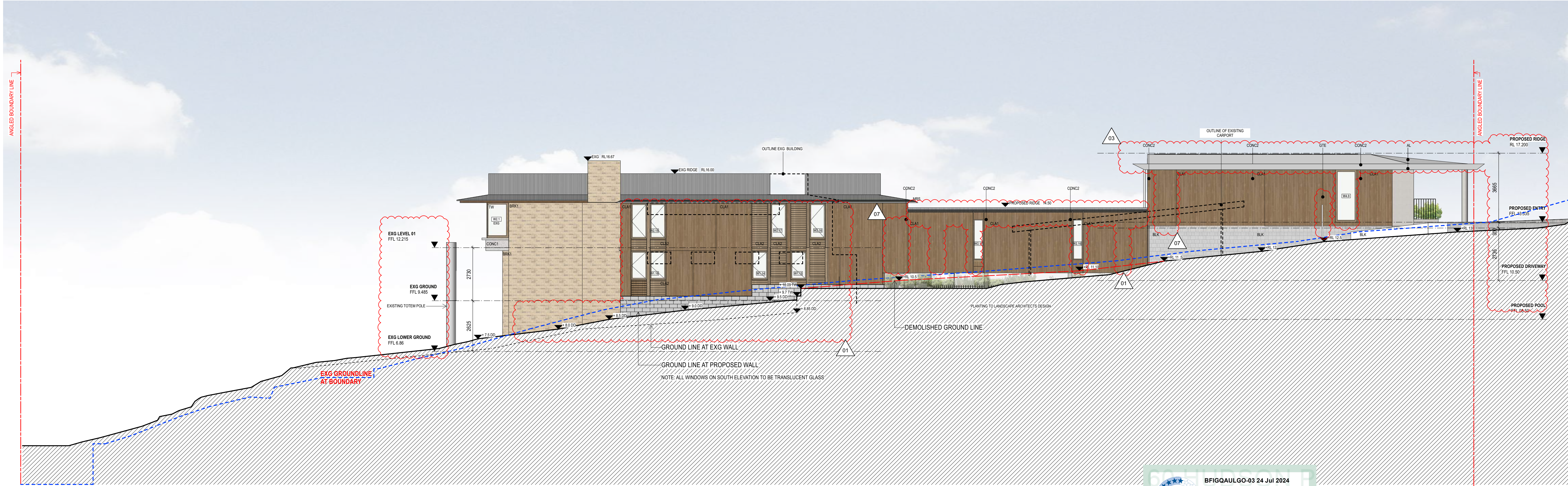
nominated architect: Dominic Bennett 7365 (NSW)





1 North Elevation
Scale: 1:100

NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPING AND SITE GRADING DETAILS



2 South Elevation
Scale: 1:100



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
D	1/5/24	SC	STRUCTURAL ISSUE
E	13/5/24	SC	CONSULTANT ISSUE
F	23/7/2024	SC	ISSUED FOR S4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER	MB	MAILBOX	T	TIMBER
BDY	BOUNDARY	FAC	FASCIA	MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FACE BRICKWORK TYPE 1.2...	PAR	PARAPET	TP	TIMBER POST
BLK 1.2...	BLOCKWORK TYPE 1.2...	P	PARTIAL	PF	PAINT FINISH	TR	TREE
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL	PT	PLANTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...	RWH	RAINWATER HEAD		
BF	BROOKING	FNC 2...	FENCE TYPE 2...	RWT	RAINWATER TANK		
BR	BRICK FINISH	FNC 3...	FENCE TYPE 3...	SCM 1.2...	SCREEN TYPE 1.2...		
BY	BALCONY	FP	FIRE PANEL	SKL	SKYLIGHT		
CLK 1.2...	CLADDING TYPE 1.2...	GDR	GARAGE DOOR	SL	SLIDING		
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	GTP	GARAGE DOOR	SS	STAINLESS STEEL		
DP	DOWNPIPE	HP	HIGH POINT	STC	STONE CLADDING		
EXG	EXISTING	HR 1.2...	HANDRAIL TYPE 1.2...	ST	SOLAR TUBE SKYLIGHT		

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM 1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		



SECTION 4.55 (S4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
NORTH + SOUTH ELEVATIONS

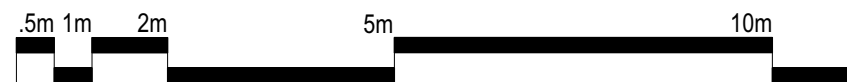
Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
S4.55
Drawing No:
DA 201
Job Number:
2130
Scale:
1:100
Plot Date:
19/4/24
Drawing Status:
S4.55
Drawing No:
DA 201
Revision:
F
nominated architect: Dominic Bennett 7365 (NSW)

7° ANGLED BOUNDARY LINE



1 SECTION A
Scale: 1:100

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.



NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	24/4/24	SC	FOR INFORMATION
B	26/4/24	SC	CONSULTANT ISSUE
C	1/5/24	SC	STRUCTURAL ISSUE
D	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY	
	EXISTING WALL
	NEW WALL

AWN	AWNING	EG	EAVES GUTTER
BDY	BOUNDARY	FAC	FASCIA
BAL 1.2...	BALUSTRADE TYPE 1.2...	FB 1.2...	FACE BRICKWORK TYPE 1.2...
BULK 1.2...	BLOCKWORK TYPE 1.2...	FC	FIRE CEMENT CLADDING
BRK 1.2...	BRICKWORK TYPE 1.2...	FFL	FINISHED FLOOR LEVEL
BG	BOX GUTTER	FNC 1.2...	FENCE TYPE 1.2...
BR	BRICK FINISH	FNC P	FENCE PANEL
BY	BALCONY	FP	FIRE PANEL
CLK 1.2...	CLADDING TYPE 1.2...	GDR	GARAGE DOOR
CONC 1.2...	CONCRETE FINISH TYPE 1.2...	GTP	GATE
DP	DOWNPIPE	HP	HIGH POINT
EXG	EXISTING	HR 1.2...	HANDRAIL TYPE 1.2...
		LP	LOW POINT

MB	MAILBOX	T	TIMBER
MRS	METAL ROOF SHEETING	TD	TIMBER DOOR
PAR	PARAPET	TP	TIMBER POST
PF	PAINT FINISH	TR	TREE
PT	PLANTER	TW	TIMBER FRAMED WINDOW
RWH	RAINWATER HEAD		
RWT	RAINWATER TANK		
SCM 1.2...	SCREEN TYPE 1.2...		
SKL	SKYLIGHT		
SL	SLIDING		
SS	STAINLESS STEEL		
STC	STONE CLADDING		
ST	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
LONGITUDINAL SECTION

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

Drawing No:
DA 210

Job Number:
2130

Scale:
1:100

Plot Date:
28/8/23

Drawing Status:
DA

Drawing No:
DA 210

Drawn By:
LR

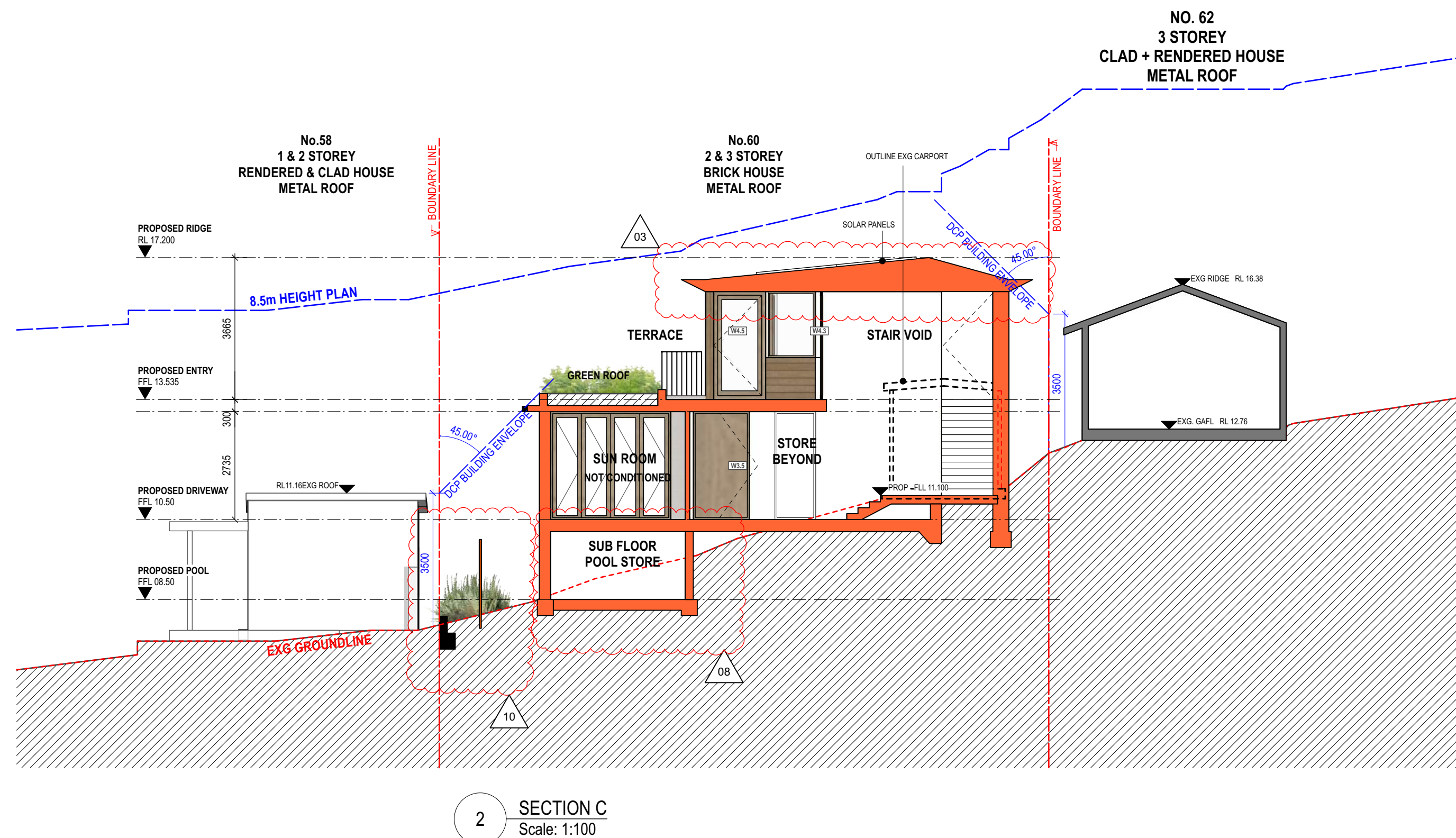
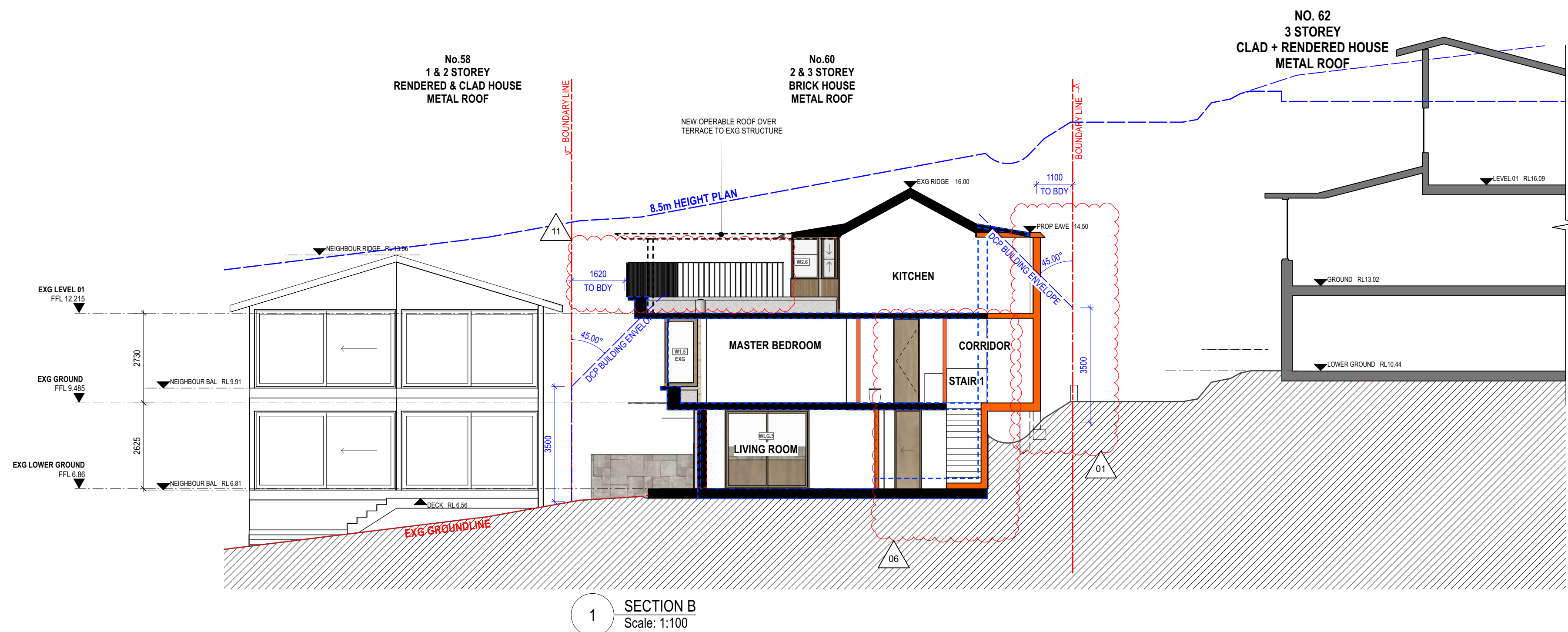
Revision:
D

nominated architect: Dominic Bennett 7365 (NSW)

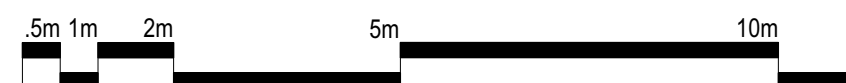


- SCHEDULE OF KEY AMENDMENTS:**

 - 01 SOUTHERN ELEVATION WINDOW ARRANGEMENT & WALL LOCATION
 - 02 GALLERY LOCATION AND ROOF ORIENTATION
 - 03 PAVILION ROOF FORM
 - 04 DRIVEWAY AND ENTRY PATH CONFIGURATION, INCLUDING NEW SCREEN.
 - 05 BIN STORE LOCATION
 - 06 LOWER GROUND FLOOR ARRANGEMENT & STAIR LOCATION
 - 07 GENERAL DOOR & WINDOW RECONFIGURATIONS
 - 08 POOL STORE AND PLANT ROOM
 - 09 PAVILION GROUND FLOOR ARRANGEMENT & ENTRY RECONFIGURATION
 - 10 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 11 EXTENSION OF APPROVED TERRACE PRIVACY SCREEN & NEW BALUSTRADE
 - 12 LANDSCAPE BETWEEN GAMES ROOM & NORTHERN BOUNDARY REVERTED BACK TO APPROXIMATE EXISTING GROUND LEVEL
 - 13 PAVILION FIRST FLOOR REARRANGEMENT TO ALLOW FOR LANDING AT TOP OF STAIRS



SECTION 4.55 (S4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.



NOTES

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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	24/4/24	SC	FOR INFORMATION
B	26/4/24	SC	CONSULTANT ISSUE
C	1/5/24	SC	STRUCTURAL ISSUE
D	23/7/2024	SC	ISSUED FOR S4.55

LEGEND / KEY							
AWN	AWNING	EG	EAVES GUTTER	MB	MALBOX	T	TIMBER
BDY	BOUNDARY	FG	FASCIA	MR	METAL ROOF SHEETING	TP	TIMBER DOOR
BLA 12...	BLASTRADE TYPE 12...	FBH 12	FACE BRICK TYPE 12...	MRS	MARKET	TP	TIMBER POST
BLOCKWORK TYPE 12	BLOCKWORK TYPE 12	FC	FIRE CEILING FINISH	PF	PAINT FINISH	TR	TREE
BLK 12...	BRICKWORK TYPE 12...	FFL	FINISHED FLOOR LEVEL	PL	PLASTER	TW	TIMBER FRAMED WINDOW
BG	BOX GUTTER	FNL 12	FENCE TYPE 12...	PT	RAINWATER HEAD		
BIFOLDING	BIFOLDING	HCP	HOT POOL FINISH	RW	RAINWATER TANK		
BR	BRICK FINISH	FX	FIXED PANEL	SCN 12...	SCREEN TYPE 12...		
BY BALCONY	BALCONY	GOR	GARAGE DOOR	SKL	SKYLIGHT		
CL 12...	CLADDING TYPE 12...	GTP	GATE	SL	SLIDING		
CONC 12...	CONCRETE FINISH TYPE 12...	HP	HIGH POINT	SS	STAINLESS STEEL		
DOWNPIPE	DOWNPIPE	HL 12	HANDRAIL TYPE 12...	SLC	STONE CLARG	ATC	ATC
EX	EXISTING	LP	LOW POINT	STL	SOLAR TUBE SKYLIGHT		



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

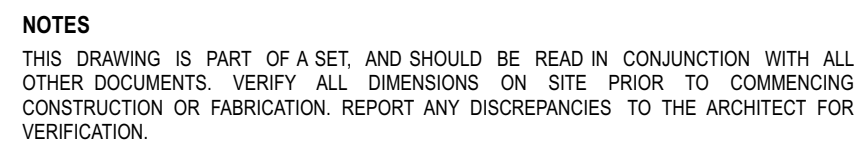
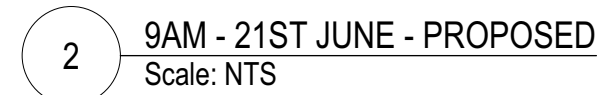
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CROSS SECTIONS

Job Number:	2130
Scale:	1:100
Plot Date:	28/8/23
Drawing Status:	DA
Drawn By:	LR
Drawing No:	DA 211
Revision:	D

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

nominated architect: Dominic Bennett 7365 (NSW)



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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

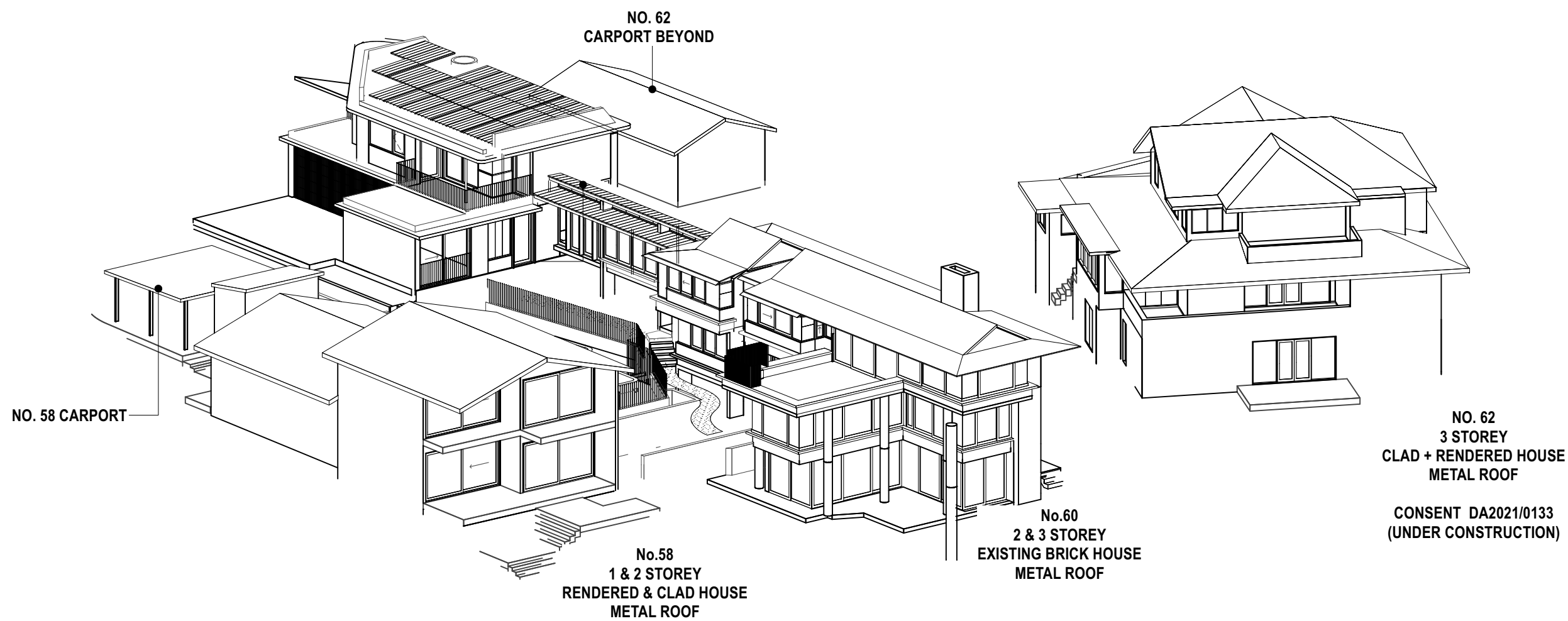
LEGEND / KEY



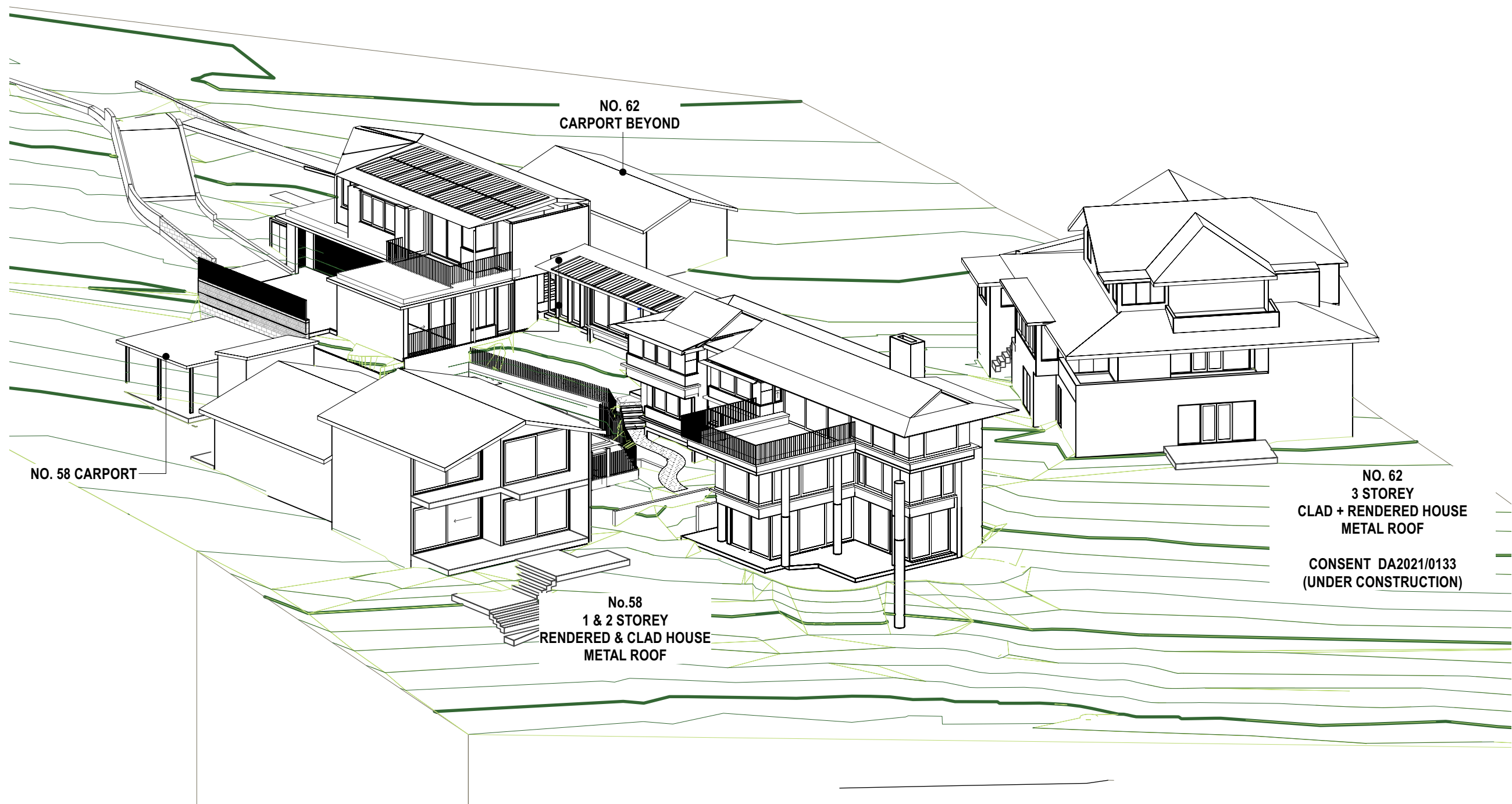
Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

own By:

nominated architect: Dominic Bennett 7365 (NSW)



1 3pm - JUNE 21 - EXISTING (APPROVAL DA2022/1715)
Scale: NTS



2 3PM - JUNE 21 - PROPOSED
Scale: NTS

NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	26/4/24	SC	CONSULTANT ISSUE
B	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SHADOW DIAGRAMS - SUN'S EYE VIEW

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

Drawing Status:
DA

Drawing No:
DA_302

Drawn By:
AH

Revision:
B

nominated architect: Dominic Bennett 7365 (NSW)



PITTWATER

DP 7794

HUDSON

EXISTING 60 HUDSON PRD, AVALON BEACH		
LANDSCAPE AREA	808.9 m ²	64%
IMPERVIOUS AREAS	445.7 m ²	36%
TOTAL	1254 m ²	

SECTION 4.55 (\$4.55) AMENDMENTS TO DA APPROVAL DA2022/1715 SHOWN BUBBLED IN RED.

1m 5m 10m 27.5m

NOTES
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REVISION SCHEDULE			
Rev.	Date	Issued By	Revision Notes
A	24/4/24	SC	FOR INFORMATION
B	26/4/24	SC	CONSULTANT ISSUE
C	23/7/2024	SC	ISSUED FOR \$4.55

LEGEND / KEY



Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

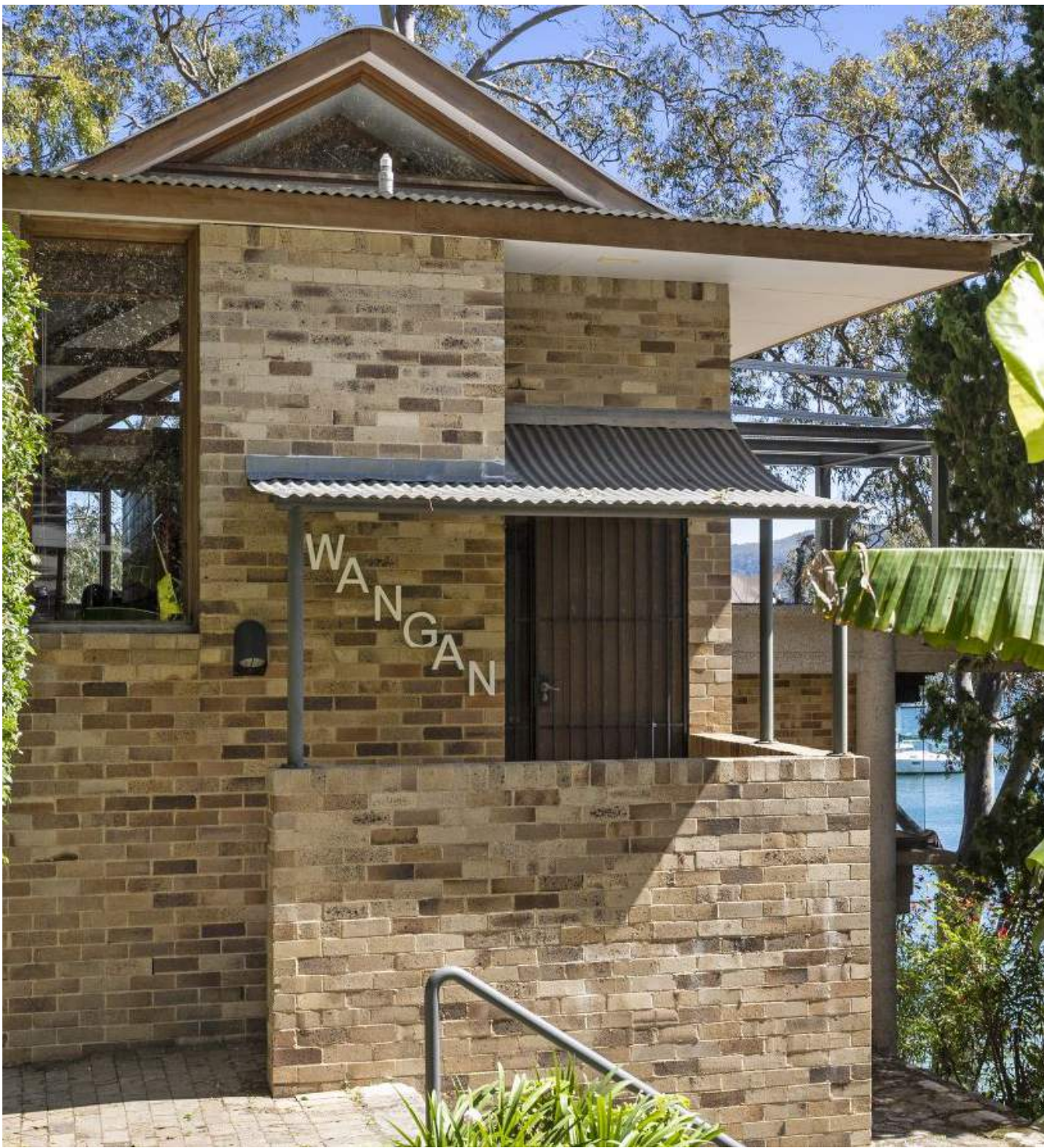
Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
CALCULATIONS - LANDSCAPE AREAS

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Job Number: 2130	Drawn By: LR
Scale: 1:250	Revision: C
Plot Date: 28/8/23	
Drawing Status: DA	
Drawing No: DA_400	
Job Number: 2130	nominated architect: Dominic Bennett 7365 (NSW)





BRK1_ EXISTING BRICKWORK



CONC1 _ EXISTING CONCRETE



MRS1 _ METAL ROOF SHEETING



CLA1 _ TIMBER CLADDING



SCN 1 _ TIMBER SCREENS



AM + GL1 _ ANODISED ALUMINIUM WINDOWS + CLEAR GLASS



GL2 _ TRANSLUCENT / PRIVACY GLASS



CONC2 _ NEW OFF-FORM CONCRETE

SECTION 4.55 (\$4.55) AMENDMENTS TO DA
APPROVAL DA2022/1715 SHOWN BUBBLED IN
RED.

NOTE:
ALL WINDOWS TO BE NEW ANODISED ALUMINIUM

REVISION SCHEDULE				LEGEND / KEY
Rev.	Date	Issued By	Revision Notes	
A	26/4/24	SC	CONSULTANT ISSUE	
B	23/7/2024	SC	ISSUED FOR \$4.55	

NOTES
THIS DRAWING IS PART OF A SET AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER DOCUMENTS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION OR FABRICATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT FOR VERIFICATION.

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Project:
ALTS & ADS TO EXISTING HOUSE
60 HUDSON PDE, CLAREVILLE NSW 2107

Client:
OLIVER & NICOLA HARTLEY

Drawing Name:
SCHEDULES OF COLOURS AND MATERIALS

Suite 404, 1 Chandos Street, St Leonards, NSW 2065 ph.(02) 9043 9968 e.info@bennettmurada.com.au

Job Number:
2130

Scale:
NTS

Plot Date:
28/8/23

Drawing Status:
DA

Drawing No:
DA_500

Drawn By:
LR

Revision:
B

nominated architect: Dominic Bennett 7365 (NSW)

