
From: Craig Homan
Sent: 20/02/2024 2:15:53 PM
To: Council Northernbeaches Mailbox
Cc: [REDACTED]
Subject: TRIMMED: Application Number: DA2023/1617 and Application Number: DA2022/1452
Attachments: 22.03.10 - Email from Darren Greenow - Council Correspondence.pdf; DA2023_1617 - Plans_-_Master_Set.pdf;

Dear Nick Keeler, Officer for the Northern Beaches Council,

We are writing to you with a submission of our concerns in regards to the property 32A Nareen Parade, North Narrabeen NSW 2101.

In regards to **Application Number: DA2022/1452**

This was submitted on the 26/9/2022 and approved on 15/3/23.

Is the council aware that major landslides occurred not only on the applicant's property, 32A but also the immediate neighbouring properties on the 8/3/2022 and 8/4/2022. Specifically on the land of numbers 34, 36 and 38 Nareen Parade.

The driveway was condemned by the state engineer on the 8th of March 2022.

Please see email attached from Darren Greenow at the council dated 10/3/2022.

"22.03.10 - Email from Darren Greenow - Council Correspondence"

The landslides rendered the driveway to the following properties 32, 32A, 34, 36 and 38, inaccessible by vehicle. The driveway is still not repaired, 2 years on and plans have been submitted to the council this month in regards to the reconstruction of this. See **Application Number: DA2024/0143**.

The shared driveway that 32A uses to access their property, traverses across three other properties, specifically 34, 36 and 38 Nareen Parade. And that **none** of these properties have ever been given notice regarding **any** of the DA's that 32A has submitted to council.

Not a single mention by the occupant or letter from the council was received.

Considering the owners of 32A require access to traverse across these adjoining properties, how is it that we have not been informed of these applications? At minimum, to advise of increased traffic, equipment and trades across our land?

In regards to the **Application Number: DA2023/1617**

Again, we have **never** received any documents, letters or notification regarding this DA.

The three properties (34, 36 and 38), of which the 'access road' or 'shared driveway' crosses, (that the applicant 32A crosses to access their property), have been in discussions with Suncorp, their insurer for 2 years, in order to complete the reconstruction of the driveway. We have now reached the point of the Claim where Suncorp have submitted plans to the council in regards to the new design / reconstruction of the access driveway.

Suncorp has designed a new plans and submitted to council, see **Application Number: DA2024/0143 - Alterations and additions to residential development - Reconstruction of**

an access driveway

The access driveway services 5 properties, specifically 32, 32A, 34, 36 and 38 Nareen Parade. Conservatively, you are looking at 10 cars, 6+ children, deliveries and trades using this driveway regularly, every day for work and school.

As the newly designed reconstruction of the access driveway cuts across the front of 32A, on the council owned section of 32A, We see a proposed double garage that cuts across the bottom of this access driveway, unsafe.

With vehicles reversing in and out of the garage a huge risk for vehicles using the driveway to access the properties above.

And for pedestrians entering/exiting the proposed granny flat, directly onto a high traffic driveway.

We are also unsure of how the additional weight and construction of this new granny flat / double garage will affect the design / engineering of the new driveway and also the access for the 5 properties to their homes.

Suncorp have only been made aware of this proposed development today, (as we mentioned previously, none of the properties on the access driveway have been notified of this DA) and have not taken any of the DA into account when designing the new driveway.

The five properties have been waiting for 2 years, to be able to drive their vehicles up to their front doors. So any shopping, deliveries, owners, visitors and children have been forced to walk up and down the huge driveway in all types of weather.

How will this new DA affect the access and construction on the desperately needed driveway reconstruction.

We invite the council to come to the property and assess the access and the scope of works submitted to the council in regards to **Application Number: DA2024/0143 - Alterations and additions to residential development - Reconstruction of an access driveway**, before making any decisions on the approval of this granny flat / double garage DA, Application Number: **DA2023/1617**.

Please contact us would you require any further information,

Thanks in advance,
Craig Homan

From: Darren Greenow <Darren.Greenow@northernbeaches.nsw.gov.au>
Date: 10 March 2022 at 18:46:19 AEDT
Subject: Landslip information - Nareen Parade North Narrabeen

Dear Owners of 32, 32A, 34, 36 and 38 Nareen Parade,

I have been provided with your contact email by Dave from 32A Nareen Parade and I wanted to provide some useful information to you about the landslip.

As you may be aware the Emergency Response involved the attendance of Police, Council and a NSW Government Engineer. The NSW Government Engineer has revisited the location again today.

The NSW Government Engineer has provided the following advice:

1. **The shared driveway can not be used for vehicle access. It is extremely unsafe to drive on the driveway in its current undermined condition as it has slipped.**
2. Walking on the driveway is possible although pedestrians need to keep away from the edges of the driveway.
3. The owners of the effected properties should engage suitably qualified engineer(s) to inspect the sites and provide geotechnical, structural and hydraulic engineering advice. The engineering advice should consider temporary and permanent remediation works.

Help from Council

Council will arrange to remove the debris from the bottom of the driveway and on the road area early next week and will place concrete blocks at the bottom of the driveway to restrict any vehicular access. Currently our resources have been prioritised to manage unsafe issues throughout the Northern Beaches. We will let you know when we will be able to do this work.

You may contact Council's Customer Service on telephone 1300 434 434 if you need to arrange a collection service for flood effected items over the coming days.

Where to from here?

The driveway servicing each of your properties involves a right of way which is a legal entitlement to provide access or other rights over another property. You may already know what this involves, if not you can obtain specific information via a land title search for your property. Further information about a title search is available at <https://www.nswlrs.com.au/Access-Titling-Information>

It may be useful and beneficial for all owners to work together with the engagement of suitable engineering and other professionals to work through this process.

Once the documentation has been prepared, Council can assist to expedite the approval of remediation works by the issue of an Order process to make your properties safe. This will not involve a Development Application (DA), although this will require the submission of structural engineering

plans, a geotechnical engineering report and input by a registered surveyor. The Order process would require the works to be carried out under supervision of the relevant professionals and certification provided to Council at the completion of works.

I will be in contact early next week to follow up on this email. Should you have any questions please contact me. I will be out of the office tomorrow although will check emails during the day.

Yours faithfully,

Darren Greenow

Manager, Regulatory Support

[Redacted]

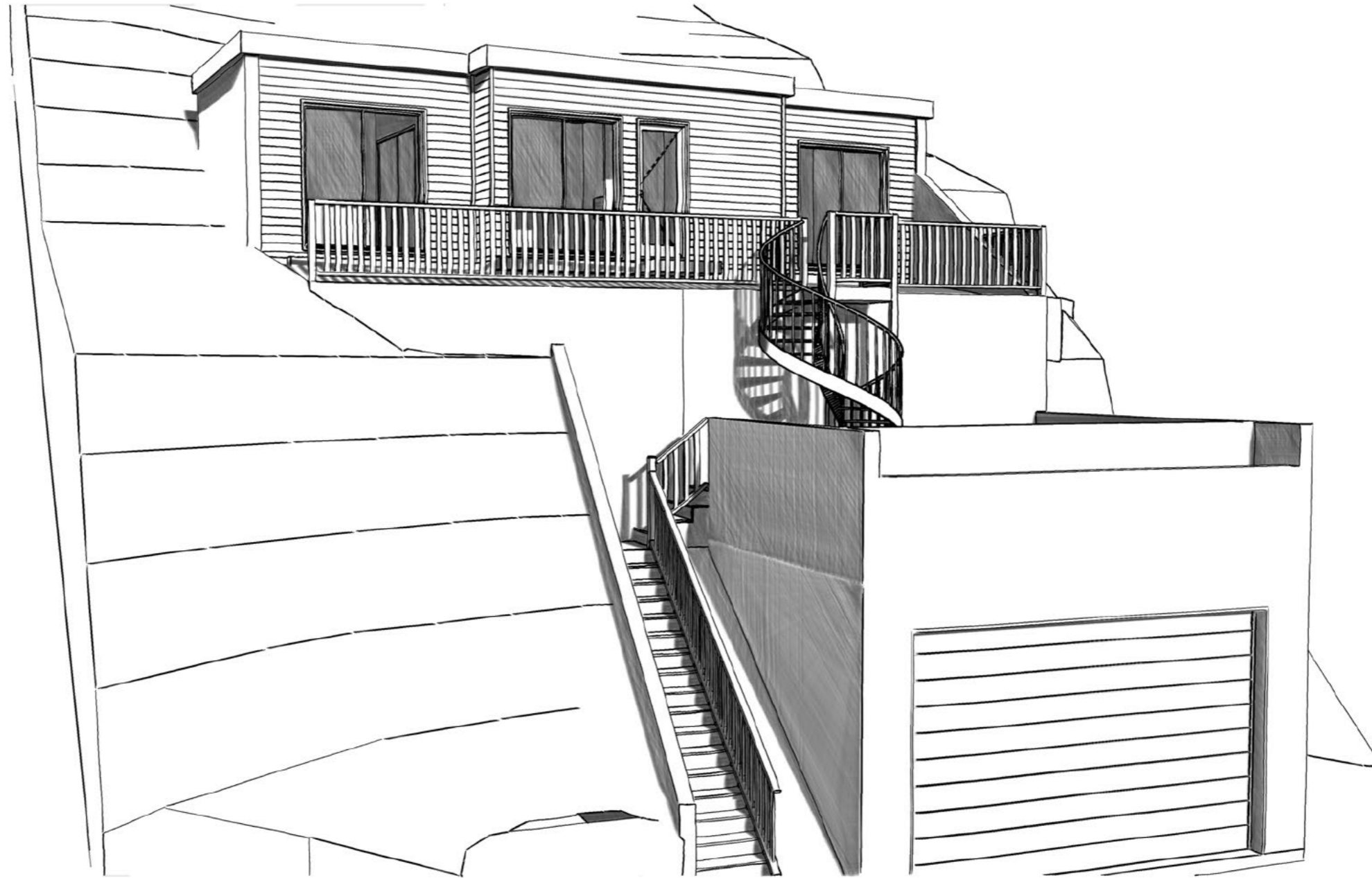
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Subset	Page Title
0111-PA 32A Nareen Parade	
	01 Coverpage
	02 Demolition Plan
	03 Site Analysis Plan
	04 Site Works & Waste ManagementPlan
	04 Site Works & Waste ManagementPlan
	05 Landscaping Area
	05 Landscaping Area
	06 Shadow Diagram
	06 Shadow Diagram
	07 Ground Floor Plan
	07 Ground Floor Plan
	07 Ground Floor Plan
	08 First Floor Plan
	08 First Floor Plan
	08 First Floor Plan
	09 Proposed Elevations
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Revision	Date	Change
Revision A	3.11.23	Lodgement Plans

Coverpage

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale

Contact Phone
0447 184 311

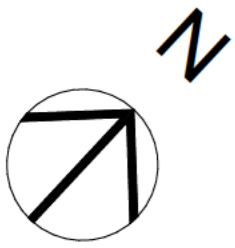
Project Number
0111-PA

Contact Email
ryan@cribbdrafting.com.au

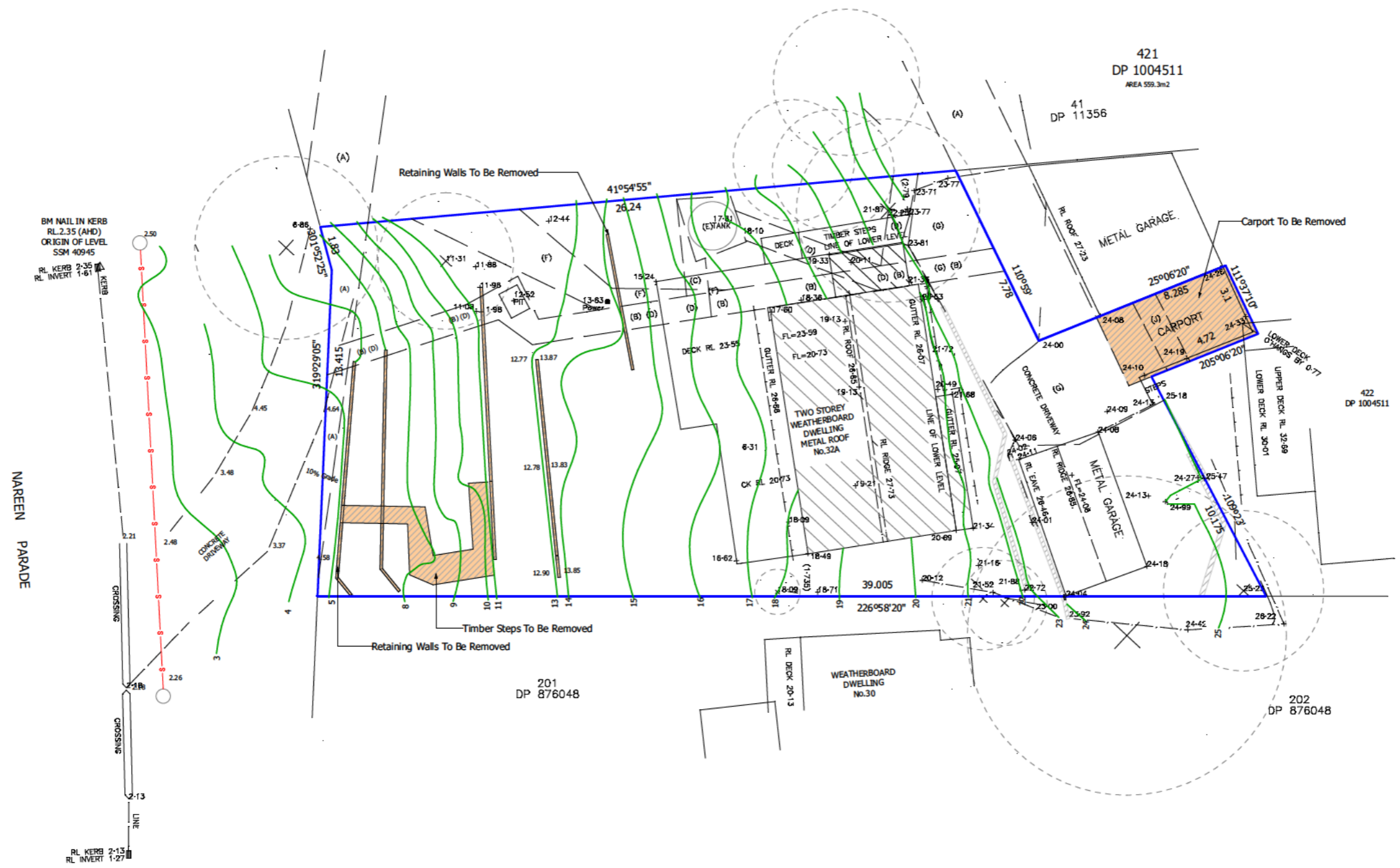
Drawing Number

01
REV. A





Lot 421
 DP1004511
 558.3m²



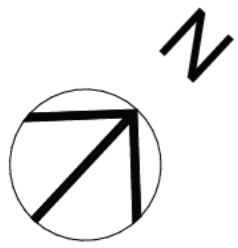
Demolition Plan

Dave & Peta Parker
 32A Nareen Parade, North Narrabeen, 2101

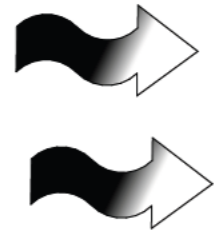
Date November 2023	Scale 1:100	Project Number 0111-PA
Drawn By Ryan Cribb	Contact Phone 0447 184 311	Contact Email ryan@cribbdrafting.com.au

Drawing Number
02
 REV. A





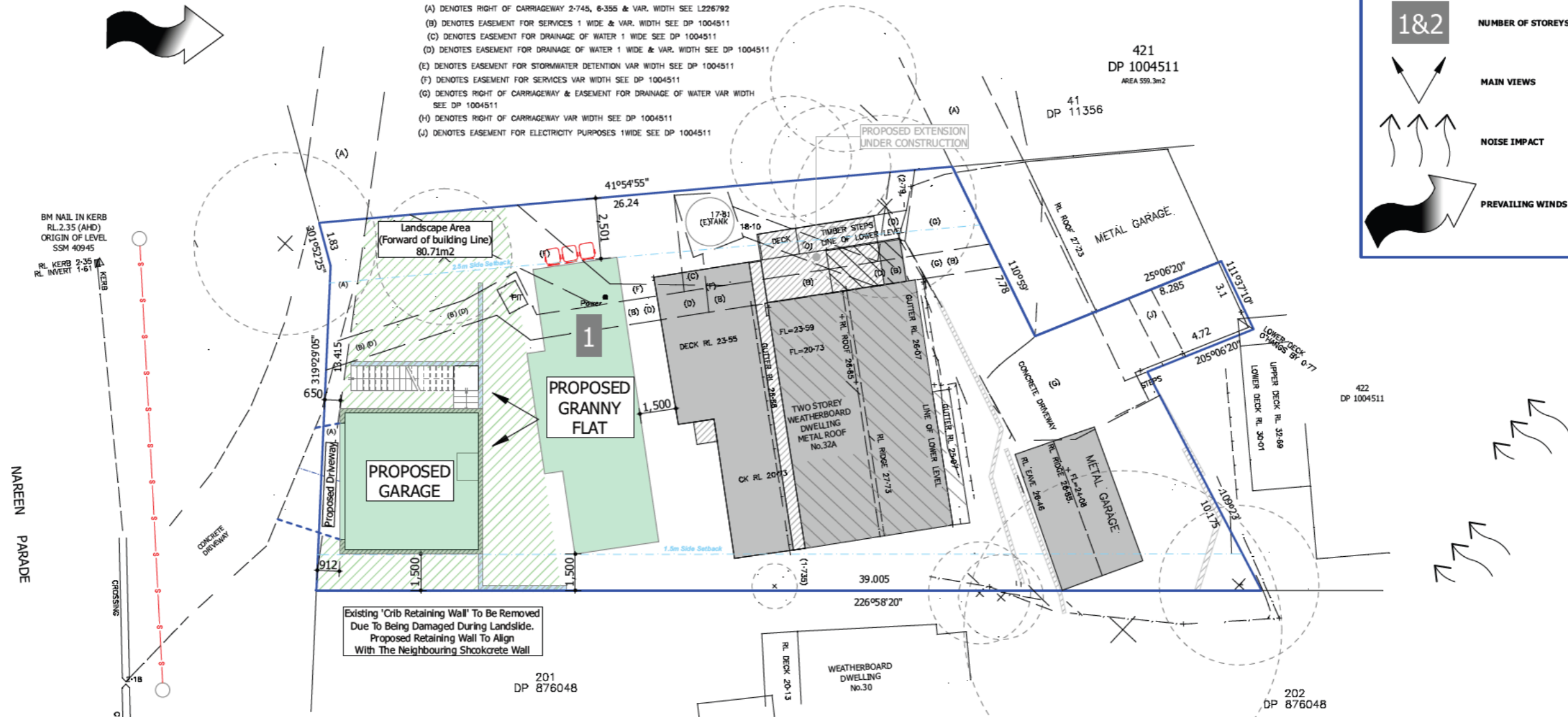
Lot 421
DP1004511
558.3m²



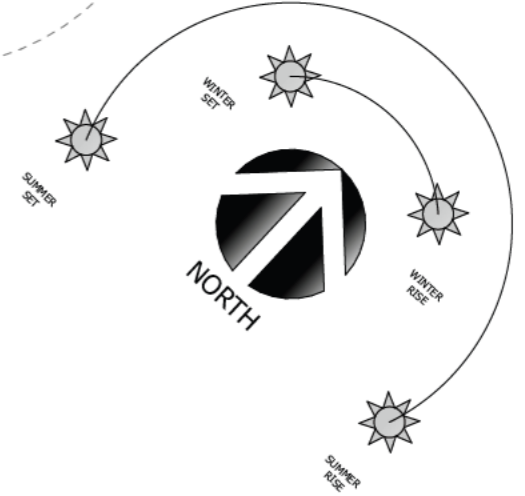
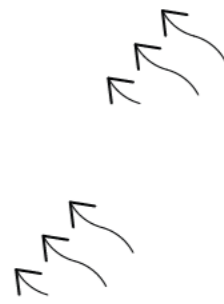
LEGEND

- NUMBER OF STOREYS
- MAIN VIEWS
- NOISE IMPACT
- PREVAILING WINDS

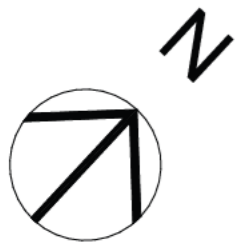
- (A) DENOTES RIGHT OF CARRIAGEWAY 2-745, 6-355 & VAR. WIDTH SEE L226792
- (B) DENOTES EASEMENT FOR SERVICES 1 WIDE & VAR. WIDTH SEE DP 1004511
- (C) DENOTES EASEMENT FOR DRAINAGE OF WATER 1 WIDE SEE DP 1004511
- (D) DENOTES EASEMENT FOR DRAINAGE OF WATER 1 WIDE & VAR. WIDTH SEE DP 1004511
- (E) DENOTES EASEMENT FOR STORMWATER DETENTION VAR WIDTH SEE DP 1004511
- (F) DENOTES EASEMENT FOR SERVICES VAR WIDTH SEE DP 1004511
- (G) DENOTES RIGHT OF CARRIAGEWAY & EASEMENT FOR DRAINAGE OF WATER VAR WIDTH SEE DP 1004511
- (H) DENOTES RIGHT OF CARRIAGEWAY VAR WIDTH SEE DP 1004511
- (J) DENOTES EASEMENT FOR ELECTRICITY PURPOSES 1WIDE SEE DP 1004511



Existing 'Crib Retaining Wall' To Be Removed Due To Being Damaged During Landslide. Proposed Retaining Wall To Align With The Neighbouring Shookcrete Wall

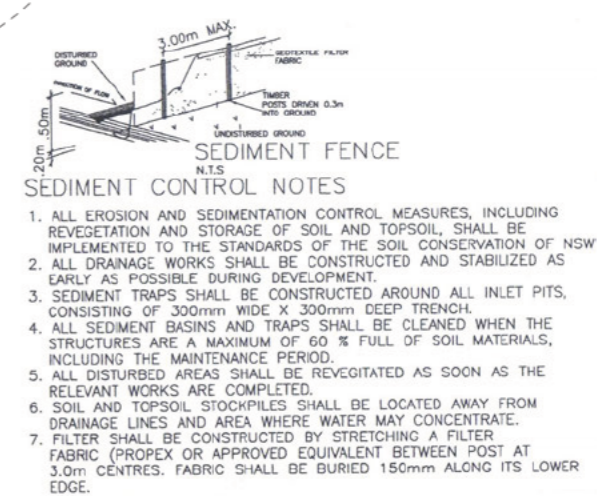
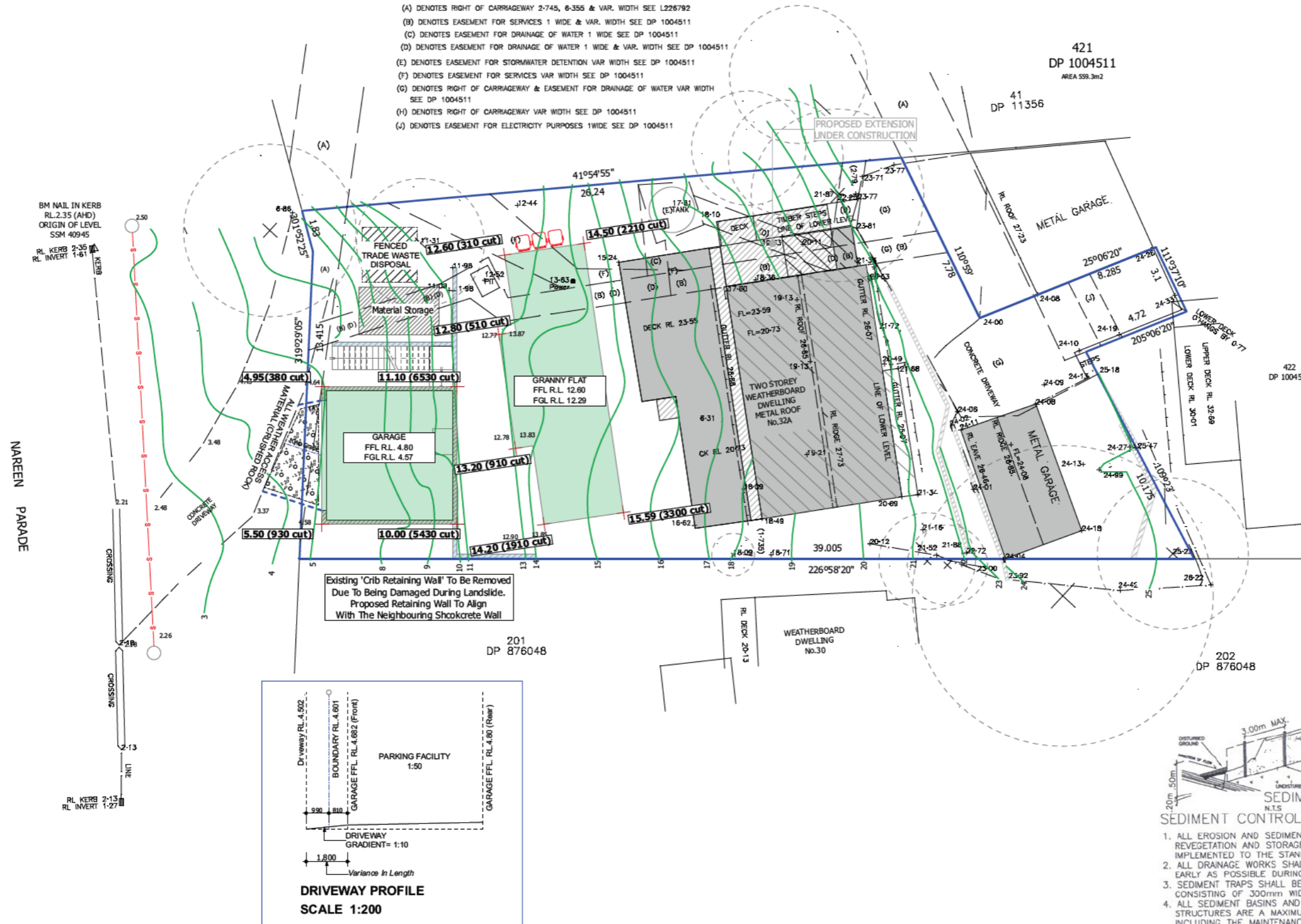


Site Analysis Plan



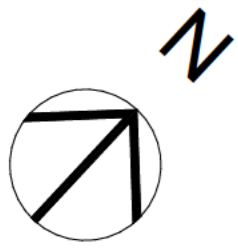
Lot 421
DP1004511
558.3m²

STORMWATER
Refer To Plans Prepared By JN Responsive
Engineering For Hydraulic Design

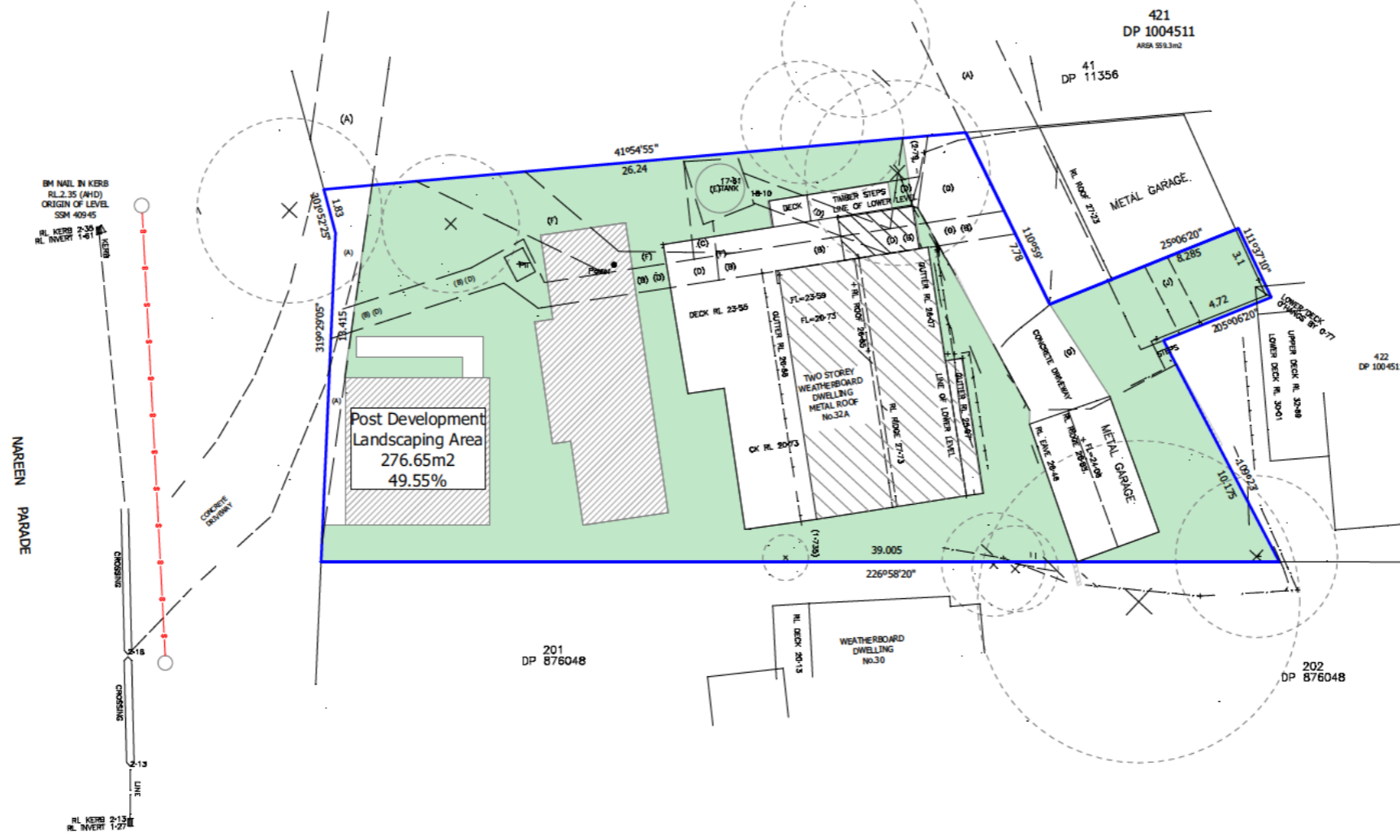
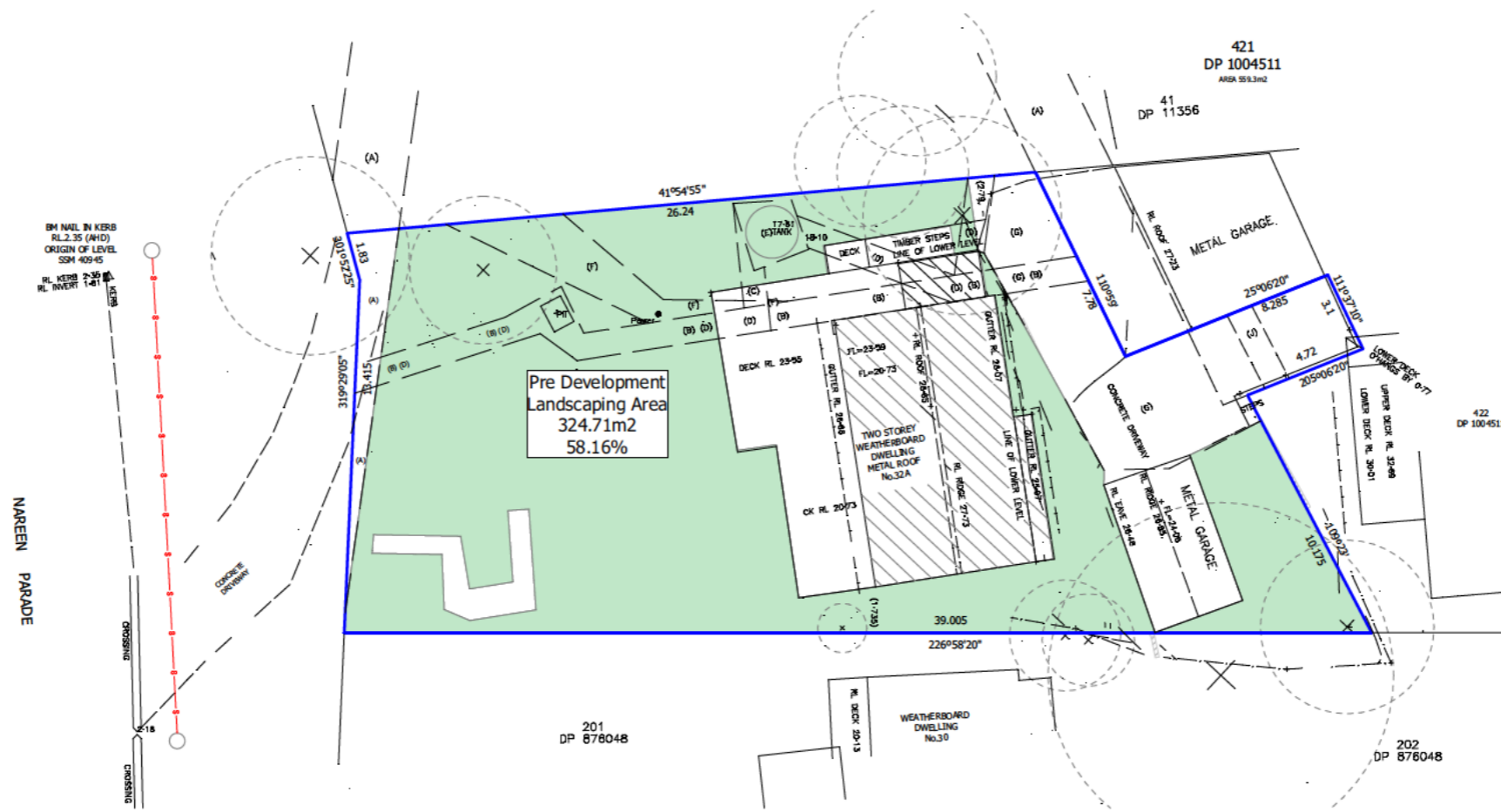


Site Works & Waste Management Plan

<p>Dave & Peta Parker</p>	<p>Date November 2023</p>	<p>Scale 1:200</p>	<p>Project Number 0111-PA</p>	<p>Drawing Number 04</p>	<p>bdaa BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA</p>
<p>32A Nareen Parade, North Narrabeen, 2101</p>	<p>Drawn By Ryan Cribb</p>	<p>Contact Phone 0447 184 311</p>	<p>Contact Email ryan@cribbdrafting.com.au</p>	<p>REV. A</p>	<p>CRIBB ARCHITECTURAL DRAFTING</p>



Lot 421
DP1004511
558.3m²



Landscaping Area

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale
1:250

Contact Phone
0447 184 311

Project Number
0111-PA

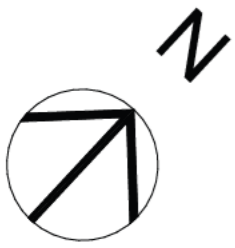
Contact Email
ryan@cribbdrafting.com.au

Drawing Number

05

REV. A





Lot 421
 DP1004511
 558.3m²

SHADOW CAST AT 9.00am on June 21st

SHADOW CAST AT 12.00pm on June 21st

SHADOW CAST AT 3.00pm on June 21st



Shadow Diagram

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
 November 2023

Drawn By
 Ryan Cribb

Scale
 1:250

Contact Phone
 0447 184 311

Project Number
 0111-PA

Contact Email
 ryan@cribbdrafting.com.au

Drawing Number







06

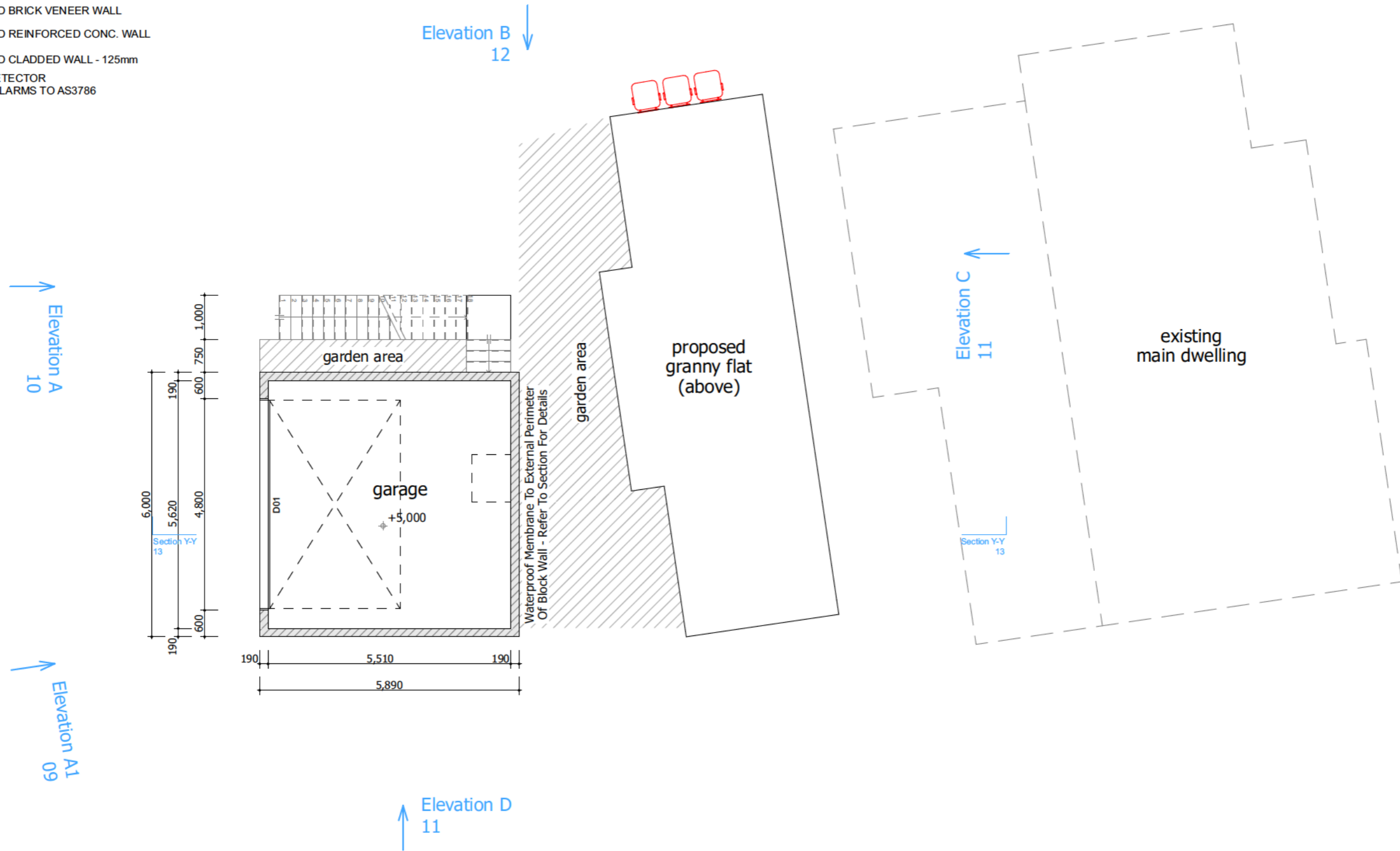
REV. A



ALL DIMENSIONS SHOWN EXCLUDE INTERNAL OR EXTERNAL LININGS.
 CLARIFICATION ON SITE WILL BE REQUIRED PRIOR TO CONSTRUCTING.

WALL LEGEND

-  90mm TIMBER FRAMED WALL
-  90mm DWARF TIMBER FRAMED WALL (HEIGHT AS NOMINATED)
-  PROPOSED BRICK VENEER WALL
-  PROPOSED REINFORCED CONC. WALL
-  PROPOSED CLADED WALL - 125mm
-  SMOKE DETECTOR
- SMOKE ALARMS TO AS3786



PROPOSED FLOOR AREAS

GARAGE	35.34m ²
TERRACE	29.46m ²
GRANNY FLAT	45.29m ²

Ground Floor Plan

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale
1:100

Contact Phone
0447 184 311

Project Number
0111-PA

Contact Email
ryan@cribbdrafting.com.au







Drawing Number

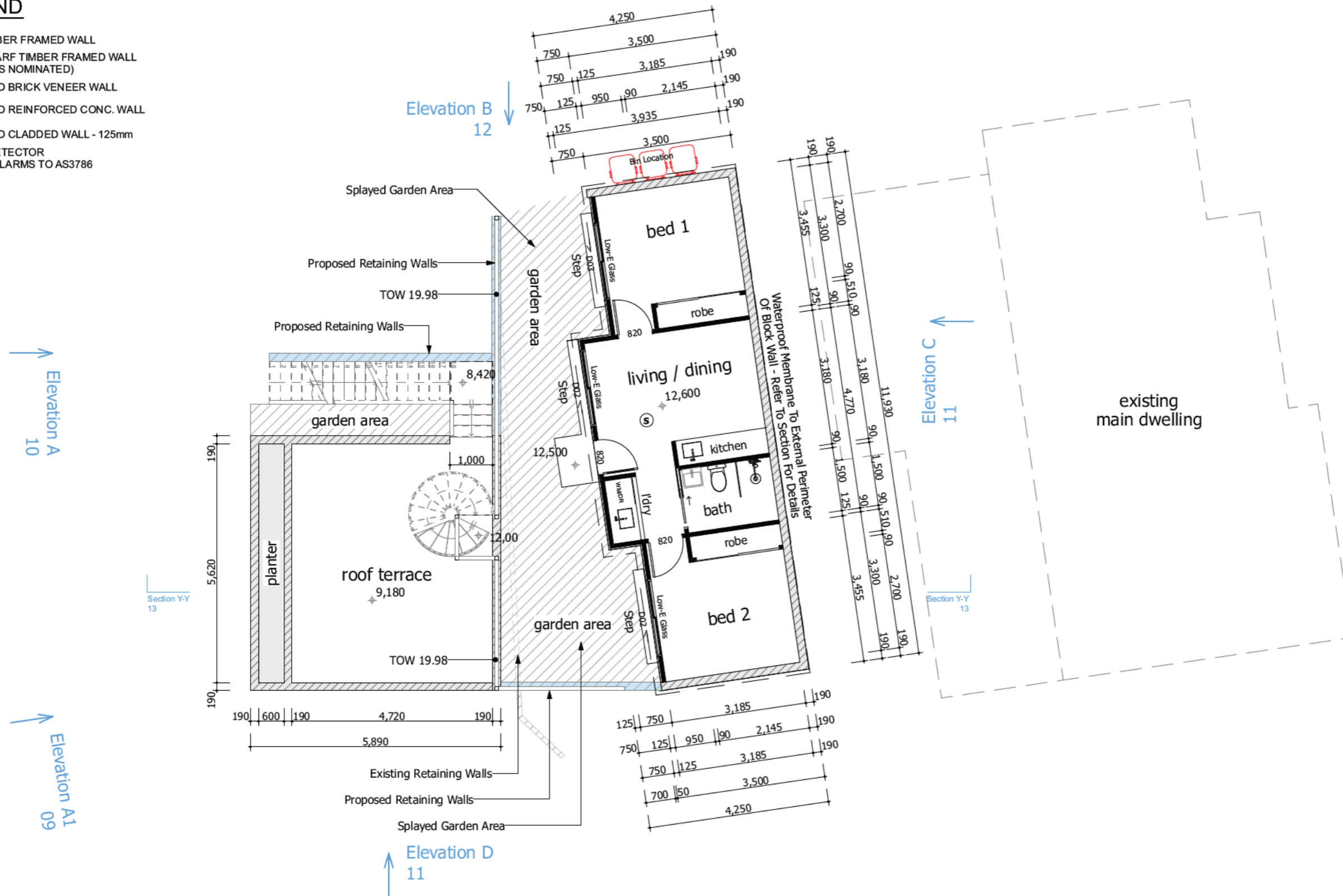
07
REV. A



ALL DIMENSIONS SHOWN EXCLUDE INTERNAL OR EXTERNAL LININGS.
 CLARIFICATION ON SITE WILL BE REQUIRED PRIOR TO CONSTRUCTING.

WALL LEGEND

-  90mm TIMBER FRAMED WALL
-  90mm DWARF TIMBER FRAMED WALL (HEIGHT AS NOMINATED)
-  PROPOSED BRICK VENEER WALL
-  PROPOSED REINFORCED CONC. WALL
-  PROPOSED CLADED WALL - 125mm
-  SMOKE DETECTOR
- SMOKE ALARMS TO AS3786



PROPOSED FLOOR AREAS

GARAGE	35.34m ²
TERRACE	29.46m ²
GRANNY FLAT	45.29m ²

First Floor Plan

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale
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Contact Phone
0447 184 311

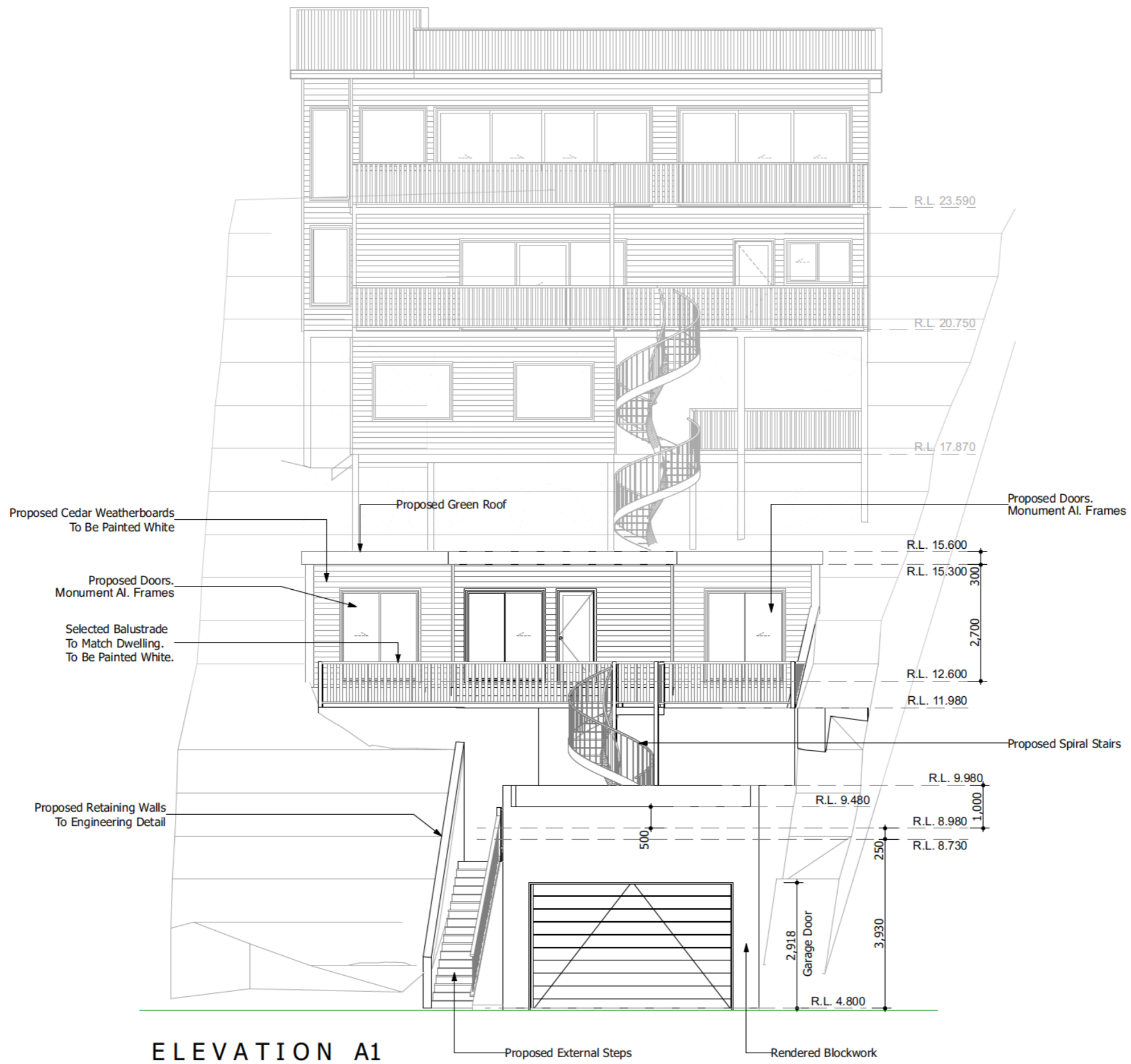
Project Number
0111-PA

Contact Email
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Drawing Number

08
REV. A





ELEVATION A1

Proposed Elevations

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale
1:100

Contact Phone
0447 184 311

Project Number
0111-PA

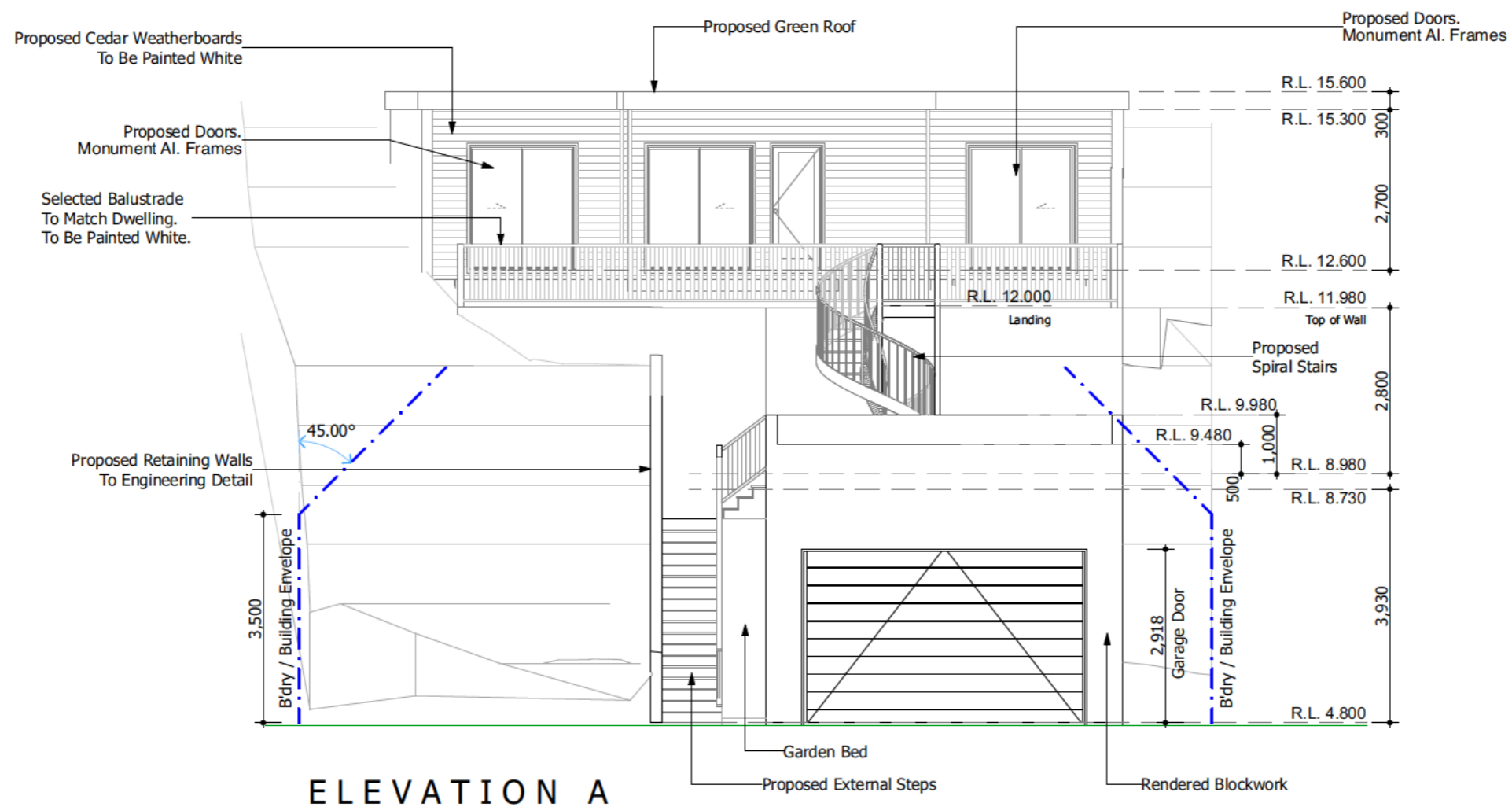
Contact Email
ryan@cribbdrafting.com.au

Drawing Number

09
REV. A

bdaa
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ASSOCIATION OF AUSTRALIA

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Proposed Elevations

Dave & Peta Parker
 32A Nareen Parade, North Narrabeen, 2101

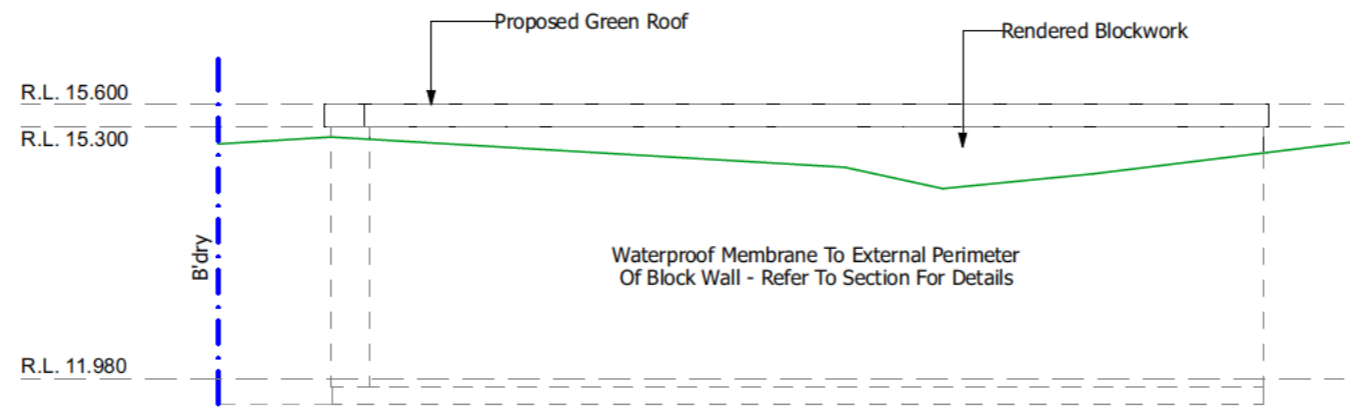
Date
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 Drawn By
 Ryan Cribb

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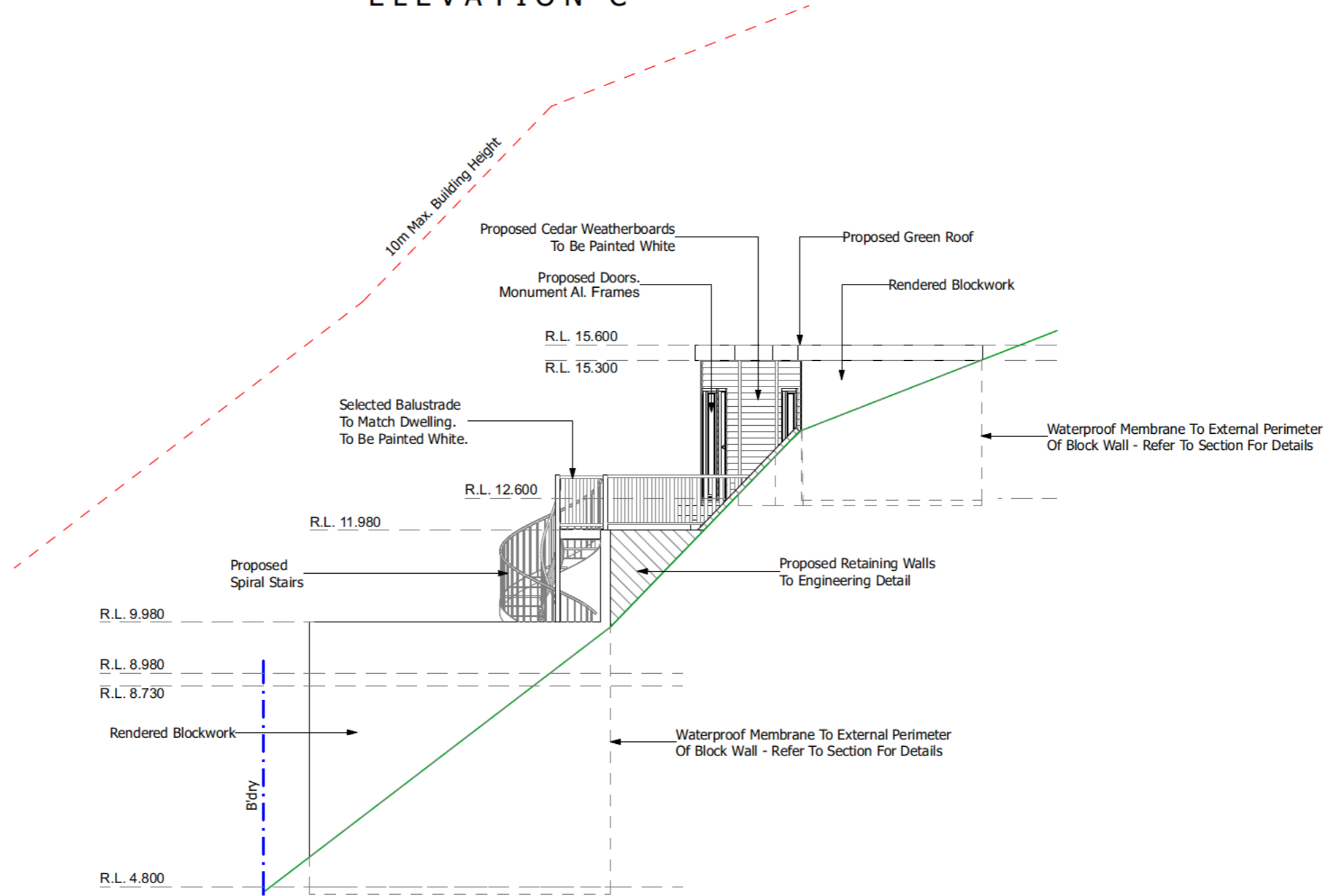
Project Number
 0111-PA
 Contact Email
 ryan@cribbdrafting.com.au

Drawing Number
10
 REV. A





ELEVATION C



ELEVATION D

Proposed Elevations

Dave & Peta Parker
 32A Nareen Parade, North Narrabeen, 2101

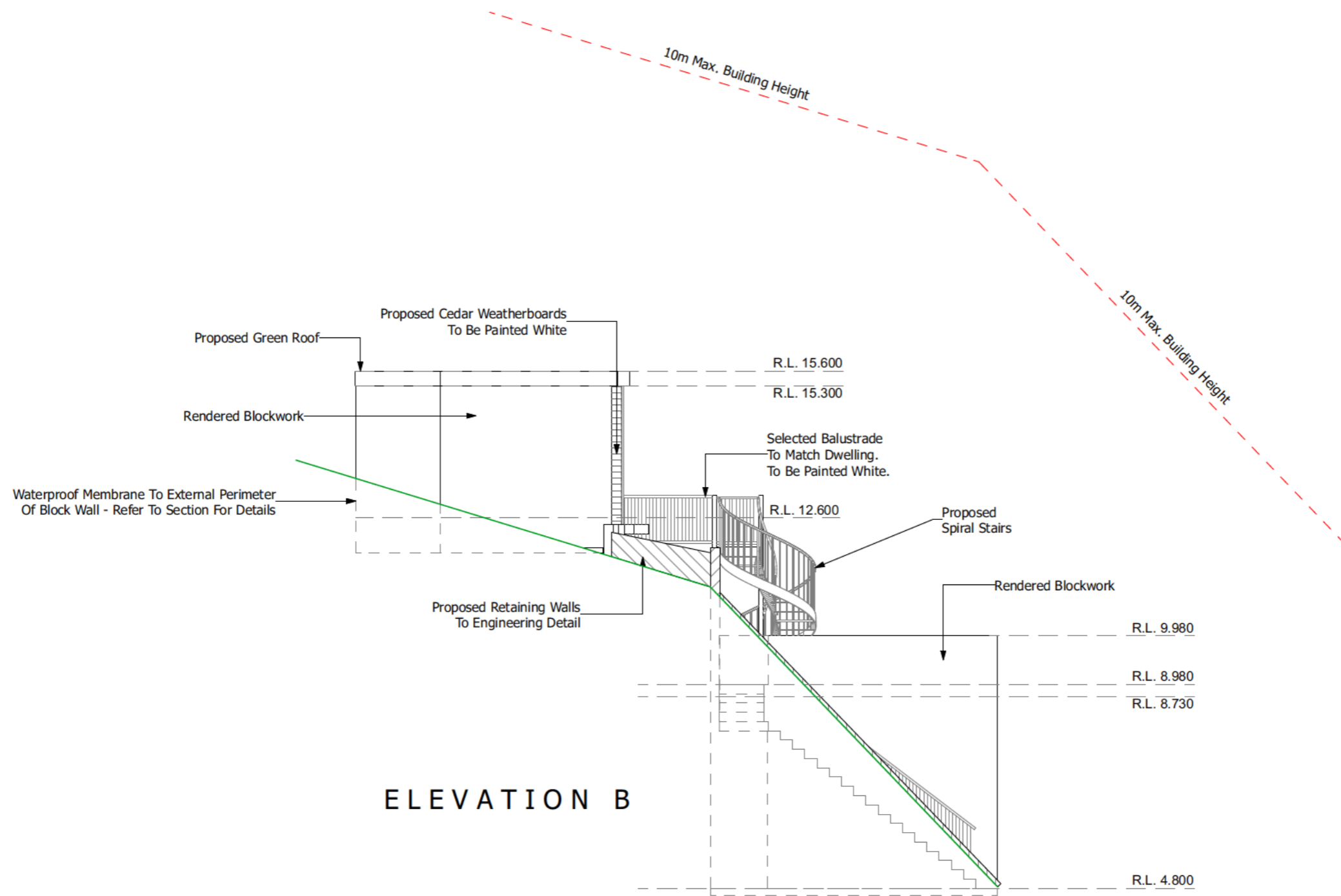
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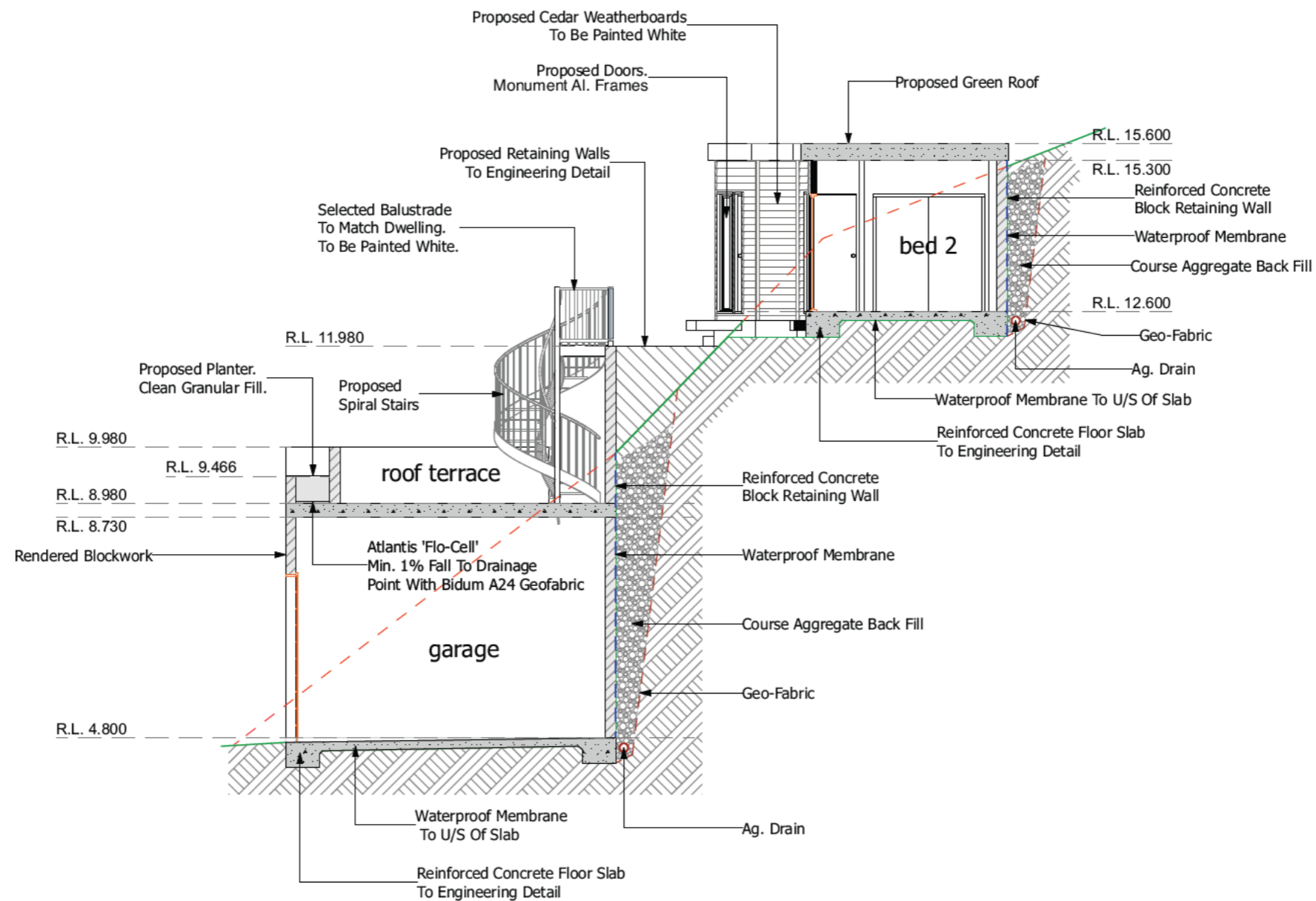
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 ryan@cribbdrafting.com.au

Drawing Number
11
 REV. A





Proposed Elevations



SECTION Y-Y

Proposed Sections

Dave & Peta Parker

32A Nareen Parade, North Narrabeen, 2101

Date
November 2023

Drawn By
Ryan Cribb

Scale
1:100

Contact Phone
0447 184 311

Project Number
0111-PA

Contact Email
ryan@cribbdrafting.com.au

Drawing Number

13
REV. A



Door Schedule

ID	D01	D02	D03	D04
Opening Width	4,800	1,810	1,810	846
Opening Height	3,000	2,100	2,100	2,100
Surface Area	14.40	3.80	3.80	1.78
QTY	1	2	1	1
Plan Preview				
Elevation				

Door Schedule

Single Dwelling

Certificate number: 1424990S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 22 September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	0111-PA	
Street address	32A Nareen Parade North Narrabeen 2101	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 1004511	
Lot no.	421	
Section no.	-	
Project type	separate dwelling house - secondary dwelling	
No. of bedrooms	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by	
Name / Company Name:	Cribb Architectural Drafting
ABN (if applicable):	67393384067

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 100 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 45 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• the cold water tap that supplies each clothes washer in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Description of project

Project address		Assessor details and thermal loads	
Project name	0111-PA	Assessor number	n/a
Street address	32A Nareen Parade North Narrabeen 2101	Certificate number	n/a
Local Government Area	Northern Beaches Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 1004511	Area adjusted cooling load (MJ/m ² .year)	n/a
Lot no.	421	Area adjusted heating load (MJ/m ² .year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	separate dwelling house - secondary dwelling	Project score	
No. of bedrooms	2	Water	✓ 40 Target 40
Site details		Thermal Comfort	✓ Pass Target Pass
Site area (m ²)	558	Energy	✓ 50 Target 50
Roof area (m ²)	45		
Conditioned floor area (m2)	41.0		
Unconditioned floor area (m2)	3.0		
Total area of garden and lawn (m2)	320		
Roof area (m2) of the existing dwelling	99		
No. of bedrooms in the existing dwelling	4		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Construction		Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil		
external wall - concrete block/plasterboard	1.88 (or 2.40 including construction)		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)		
ceiling and roof - flat ceiling / flat roof, concrete/plasterboard internal	ceiling: 3.5 (up), roof: foil backed blanket (55 mm)	concrete/plasterboard internal; medium (solar absorptance 0.475-0.70)	
Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Thermal Comfort Commitments						Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights								
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.						✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.						✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:						✓	✓	✓
<ul style="list-style-type: none"> For the following glass and frame types, the certifier check can be performed by visual inspection. <ul style="list-style-type: none"> Aluminium single clear Aluminium double (air) clear Timber/uPVC/fibreglass single clear Timber/uPVC/fibreglass double (air) clear For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only. 								✓
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing			
South-West facing								
W01	2100	1810	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 250 mm, 600 mm above head of window or glazed door	not overshadowed			
W02	2100	1810	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 250 mm, 600 mm above head of window or glazed door	not overshadowed			
W03	2100	1810	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 250 mm, 600 mm above head of window or glazed door	not overshadowed			

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check			
<ul style="list-style-type: none"> all bathrooms/toilets; dedicated the laundry; dedicated all hallways; dedicated 								✓	✓
Other									
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.								✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.								✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.								✓	

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check		
Hot water								
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous.						✓	✓	✓
Cooling system								
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a							✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a							✓	✓
Heating system								
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.							✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.							✓	✓
Ventilation								
The applicant must install the following exhaust systems in the development:								
At least 1 Bathroom: individual fan, ducted to façade or roof, Operation control: manual switch on/off							✓	✓
Kitchen: individual fan, ducted to façade or roof, Operation control: manual switch on/off							✓	✓
Laundry: individual fan, ducted to façade or roof, Operation control: manual switch on/off							✓	✓
Artificial lighting								
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:								
<ul style="list-style-type: none"> at least 2 of the bedrooms / study; dedicated at least 1 of the living / dining rooms; dedicated the kitchen; dedicated 							✓	✓

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	