



PITTWATER COUNCIL

CONSTRUCTION CERTIFICATE APPLICATION

2nd Floor, Unit 11, No 5 Vuko Place, Warriewood
 PO Box 882, MONA VALE NSW 1660
 DX 9018, MONA VALE
 Facsimile: (02) 9970 7150
 Telephone: (02) 9970 1111

Office Use Only:

C/C NO: _____

FILE AND PART NO: _____

PROPERTY NO: _____

OFFICER: _____

LODGEMENT

- All information required by the schedule and checklist are to accompany this application.
- Incomplete applications will not be accepted.
- Fees are to be paid at the time of lodgement.
- To minimise delays it is suggested that you lodge this application between the hours of 10.00am and 4.30pm weekdays.

THIS APPLICATION RELATES TO: (please tick)

BUILDING WORK SUBDIVISION WORK

AN EXISTING DEVELOPMENT CONSENT FOR THIS SITE

Consent No _____ Date _____

A CONCURRENT DEVELOPMENT APPLICATION

Application No _____ Date _____

SITE DETAILS: (please print)

House No 1064 Street/Road Barrenjoey Rd Suburb Palm Beach

Postcode 2108 Lot A Section _____ Deposited Plan 327726

Description of Proposal Alteration to roof line with Deck.

VALUE OF DEVELOPMENT: \$ 30,000

Nominated Building Classification: Class(es) _____

APPLICANT: (please print)

Name/Company W. J. & J. Warwick

Address 1064 Barrenjoey Rd Palm Beach

Phone () 99745828 Daytime Contact No () 0418443363

I declare that all of the particulars and information supplied in connection with this application are correct. Further, I acknowledge that I am aware of my obligations under the Disability Discrimination Act.

Signature WJW Date 31-3-04

BUILDER: (please print)

Name/Company W. J. & J. Warwick

Address 1064 Barrenjoey Rd Palm Beach

Phone () 99745828 Daytime Contact No () 0418443363

SCANNED

- 2 APR 2004

PITTWATER COUNCIL

OWNER (please print)

This section must be signed by ALL owners

I/we consent to the lodgement of this application and permit Council authorised personnel to enter the site for the purpose of inspections.

Owner/s W. J. & J. WARWICK

Address 1064 Barrenjoey Rd Palm Beach

Postcode 2108

Signature(s) W. Warwick Julio Warwick

- If the property has recently been purchased, written confirmation from the Purchaser's Solicitor must be provided.
- If contracts have been exchanged for purchase of the land, the current owner is to sign the form.
- If signed on behalf of a Company, the seal must be stamped over the signature.
- If the land is below mean high water mark, the written consent of the Crown is required.
- If the written consent is not signed by all owners of the property, this application will not be accepted.

BUILDER'S NAME AND ADDRESS

(must be completed when the proposal involves residential building work): *(please print)*

Are you an Owner-Builder? YES, Permit No.....

Licensed Builder Details

Name/Company _____

Address _____

Phone () _____ Daytime Contact No () _____

Licence No _____ Insurance Policy No _____

Note: (1) Where the works are to be carried out by a licensed builder, documentary evidence must be submitted confirming that the builder's insurance is current and appropriate for this proposal.

(2) Prior to the release of the Construction Certificate, the owner/builder permit must be sighted by a Council Officer.

THE CHECKLIST

- We suggest you use the left hand column as your checklist. Council staff will check off the items in the right hand column.
- All of the details in the relevant sections must be included in your application, or it will not be accepted.

INFORMATION REQUIRED TO ACCOMPANY THIS APPLICATION:

- **Three (3) sets of full sized plans and all other documentation must accompany this application**

For Building Work See Items A – J in the checklist.

For Subdivision – See Items A, B, C, F and J in the checklist.

YOUR USE		\$T L
A	COMPLIANCE WITH CONSENT CONDITIONS	
<input type="checkbox"/>	All information required by the conditions of development consent, prior to the issue of the Construction Certificate accompanies this application.	
B	COMPLIANCE CERTIFICATE A Certificate which signifies compliance with conditions of development consent, Australian or Industry standards or the Building Code of Australia.	
<input type="checkbox"/>	A copy of any Compliance Certificates which may have been issued in respect of this proposal, accompanies this application.	
C	SITE PLAN An aerial view of the site showing existing and proposed buildings and the following information. Minimum Scale 1:300	
<input type="checkbox"/>	North point and all boundary dimensions of the block.	
<input type="checkbox"/>	All existing/proposed buildings on the site and their setback or distance to the boundary; the location of windows and doors. Proposed additions to existing buildings are to be clearly identified (preferably coloured).	
<input type="checkbox"/>	The outline of buildings on the adjoining sites, the setback or distance from the street and common boundary including the location of windows and doors.	
<input type="checkbox"/>	Any easements or right of way over the site, existing/proposed stormwater drainage lines or watercourses.	
<input type="checkbox"/>	Existing/proposed fences, swimming pools, retaining walls, driveways or parking areas, garbage or trade waste holding areas.	
D	ELEVATIONS A view of all sides of the building and the site profile. Minimum scale 1:100	
<input type="checkbox"/>	All relevant elevations detailed and identified (i.e. north, south etc) with the proposed additions clearly identified.	
<input type="checkbox"/>	Existing/proposed ground levels and all floor to ceiling heights.	
<input type="checkbox"/>	Reduced levels (RL's) to Australian Height Datum (AHD) shown for all roof ridges, floor and ceiling levels for the existing/proposed building and those on adjoining sites, also street levels.	
<input type="checkbox"/>	Roof profile, material, colour, reflectivity and eaves width are shown.	
<input type="checkbox"/>	The outline of buildings on the adjoining sites.	



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CONSTRUCTION MATERIALS/DETAILS:

(please print) (must by law be accurate)

Please complete this schedule for the purpose of providing information to the Australian Bureau of Statistics

All NEW Buildings

Please complete the following details:

Current use of the land/building(s) _____

- Number of storeys (including underground floors) _____
- Gross floor area of new building (m²) _____
- Gross site area (m²) _____

Residential Buildings Only

Please complete the following details on residential structures

- Number of dwellings to be constructed _____
 - Number of pre-existing dwellings on site _____
 - Number of dwellings to be demolished _____
 - Will the new dwellings be attached to other new buildings? Yes No
 - Will the new buildings be attached to existing buildings? Yes No
 - Does the site contain a Dual Occupancy? Yes No
- (NB Dual Occupancy = two dwellings on the same site)

Construction materials

WALLS	ROOF	FLOOR	FRAME
Brick (double) <input type="checkbox"/>	Tiles <input type="checkbox"/>	Concrete or slate <input type="checkbox"/>	Timber <input type="checkbox"/>
Brick(veneer) <input type="checkbox"/>	Concrete or Slate <input type="checkbox"/>	Timber <input type="checkbox"/>	Steel <input type="checkbox"/>
Concrete or stone <input type="checkbox"/>	Fibre cement <input type="checkbox"/>	Other <input type="checkbox"/>	Aluminium <input type="checkbox"/>
Fibre cement <input type="checkbox"/>	Steel <input type="checkbox"/>	Not specified <input type="checkbox"/>	Other <input type="checkbox"/>
Timber <input type="checkbox"/>	Aluminium <input type="checkbox"/>		Not specified <input type="checkbox"/>
Curtain glass <input type="checkbox"/>	Other <input type="checkbox"/>		
Aluminium <input type="checkbox"/>			
Other <input type="checkbox"/>			
Not specified <input type="checkbox"/>			

YOUR USE	STAFF USE
E SECTIONS A cut through view of the building and site. Minimum scale 1:100	
<input type="checkbox"/> The outline of the existing and/or proposed building showing all dimensions including roof pitch.	<input type="checkbox"/>
<input type="checkbox"/> All sections labelled and cross related back to where they occur on the floor plan and site plan (including driveways and their proposed gradients).	<input type="checkbox"/>
<input type="checkbox"/> Existing and proposed RL's to AHD, for the building (ceiling and floor level) and the site showing proposed excavation or filling (if any).	<input type="checkbox"/>
<input type="checkbox"/> Construction details for wall, floor, window, door, ceiling, roof frame, type of footings and size	<input type="checkbox"/>
<input type="checkbox"/> Provisions made for Fire Safety and Fire Resistance.	<input type="checkbox"/>
F LONG SECTIONS A length ways cut through view of the site, the building or driveway. Minimum Scale 1:100	
<input type="checkbox"/> Details of driveways, vehicle crossing profiles and transitions.	<input type="checkbox"/>
<input type="checkbox"/> Maximum driveway grade 1:4; maximum emergency pedestrian access grade 1:8.	<input type="checkbox"/>
G FLOOR PLAN An aerial view of the room layout on all levels, or storeys. Minimum scale 1:100	
<input type="checkbox"/> North point shown.	<input type="checkbox"/>
<input type="checkbox"/> Room dimensions and use shown.	<input type="checkbox"/>
<input type="checkbox"/> The location and dimension of all windows, doors and walls (including wall thickness).	<input type="checkbox"/>
<input type="checkbox"/> Provisions made for Fire Safety and Fire Resistance	<input type="checkbox"/>
H BUILDING SPECIFICATION Details of construction.	
<input type="checkbox"/> Three copies, detailing method of construction, fire ratings, type of materials, dimensions and length.	<input type="checkbox"/>
<input type="checkbox"/> Whether the material will be new or second hand. Give particulars of second hand materials.	<input type="checkbox"/>
<input type="checkbox"/> Details of drainage, effluent disposal, water supply, ventilation arrangements etc.	<input type="checkbox"/>
<p>Note: Where the proposal involves an alternative solution to the Building Code of Australia requirements, the application must be accompanied by details of the performance standard intended to be met and the details/assessment used to establish compliance with the performance standard.</p>	
I FIRE SAFETY PROVISIONS Class 2-9 buildings only	
<input type="checkbox"/> Details of the fire safety measures to be implemented.	<input type="checkbox"/>
<input type="checkbox"/> Where the proposal involves alterations or additions to an existing building, details of the existing fire safety measures.	<input type="checkbox"/>
J DETAILED ENGINEERING DRAWINGS Detailed plans which have been certified by a qualified consultant for the following where relevant	
<input type="checkbox"/> Earthworks, erosion control measures, elevations of retaining walls, etc.	<input type="checkbox"/>
<input type="checkbox"/> Roadworks, road pavement details.	<input type="checkbox"/>
<input type="checkbox"/> Stormwater drainage (including stormwater management details).	<input type="checkbox"/>
<input type="checkbox"/> Water supply, effluent disposal.	<input type="checkbox"/>
<input type="checkbox"/> Landscape construction works.	<input type="checkbox"/>
<p>Note: Where the works involve an amendment or modification to previously approved plans, the alteration is to be appropriately highlighted on the submitted engineering plans.</p>	

Checked by: _____

Pittwater Council

ABN: 61340837871

TAX INVOICE OFFICIAL RECEIPT

31/03/2004 Receipt No 139049

To WJ & J WARWICK

1064 BARRENJOEY RD
PALM BEACH

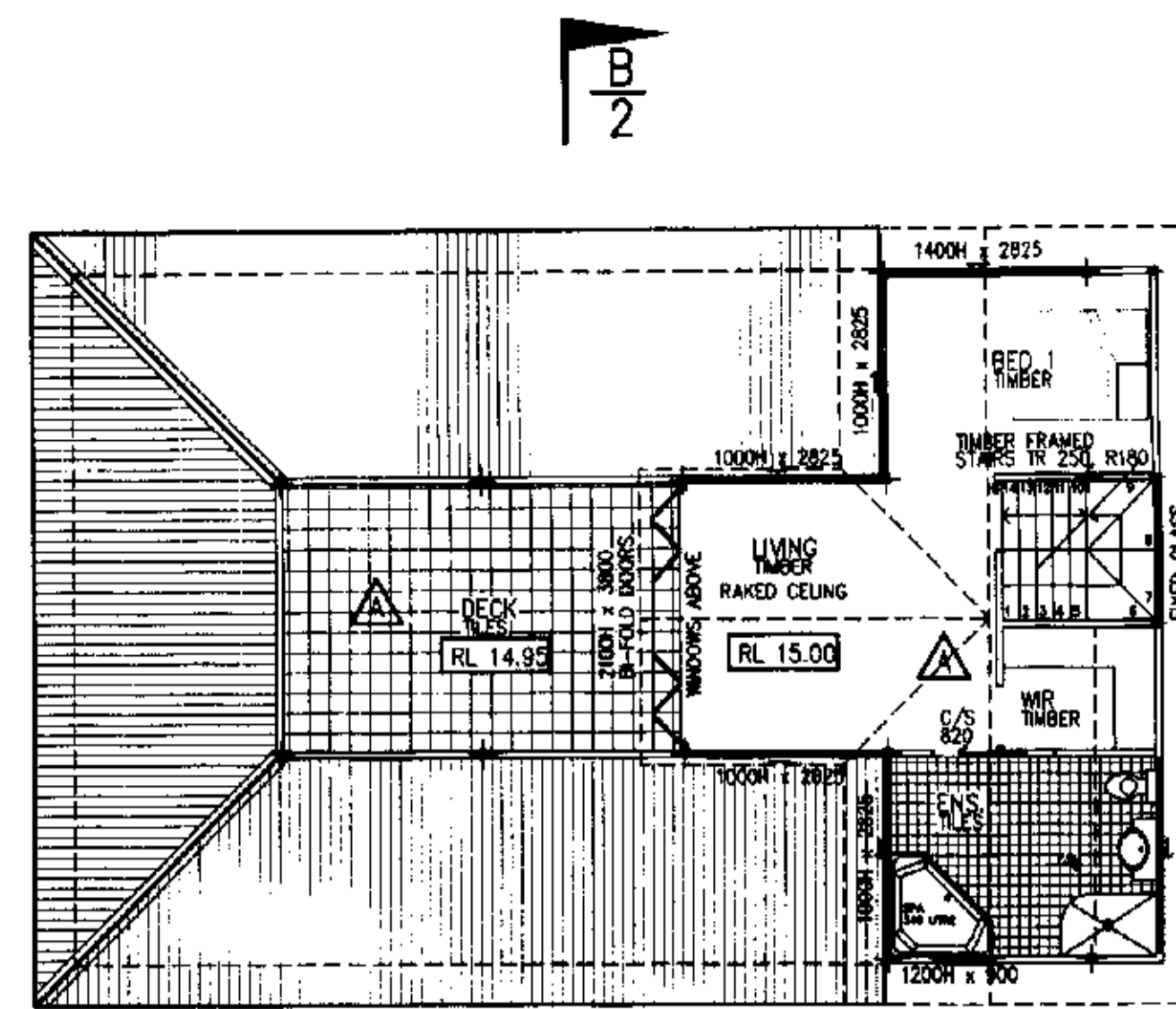
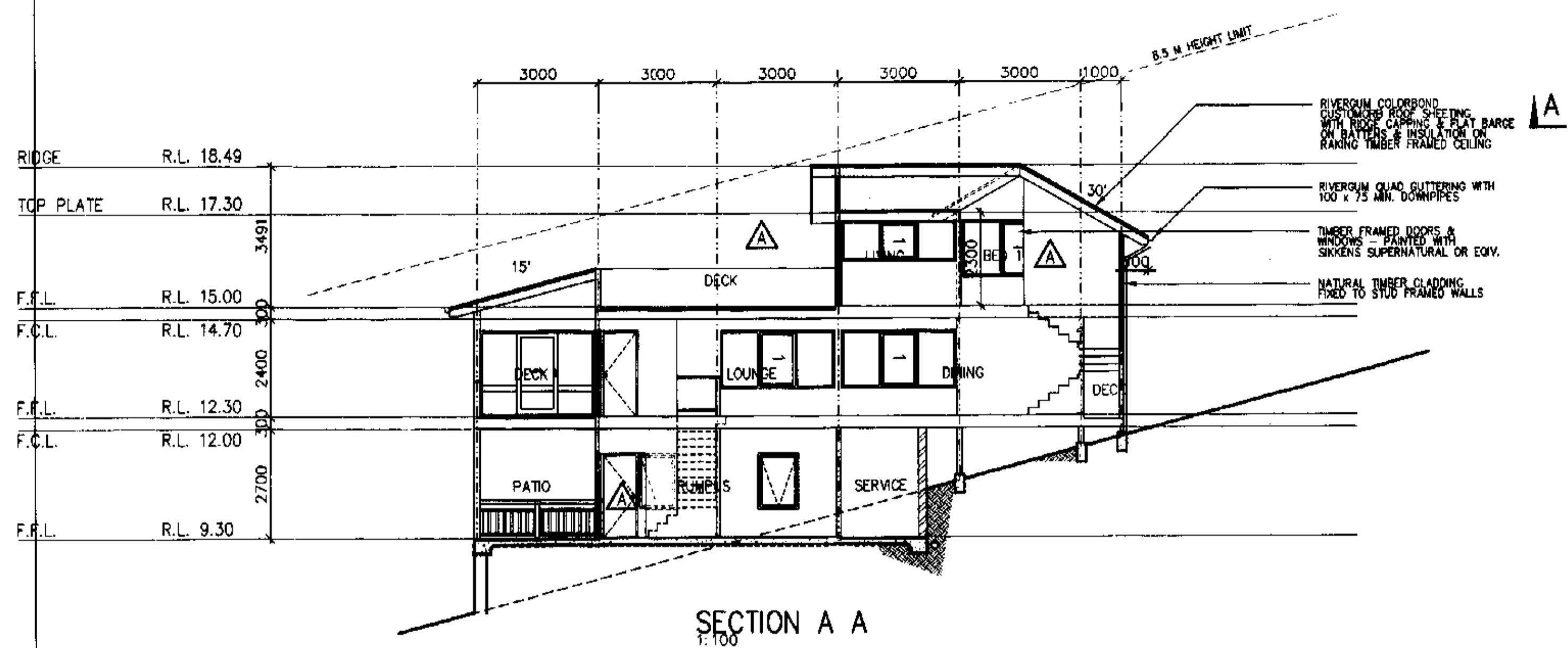
Qty/ Applic	Reference	Amount
1 GL Rec	TCER-Cons 1 X N0550/03	\$187.50
GL Rec	BST	\$18.75
GL Rec	GLSL-Buil 1 X N0550/03	\$60.00
To GL Receipt:		

Total Amount:	\$266.25
Includes GST of:	\$18.75

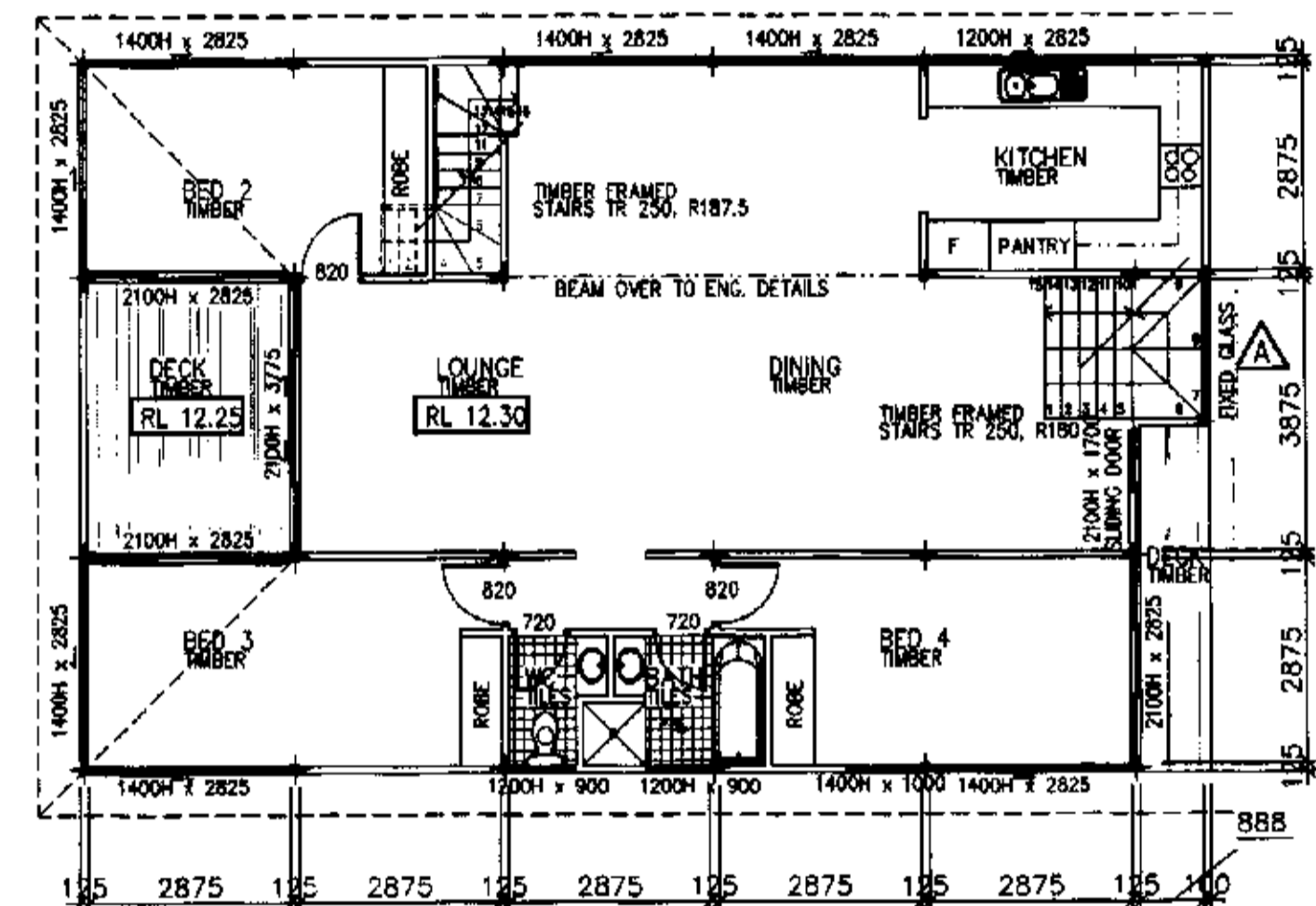
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Rounding	\$0.00
Change	\$0.00
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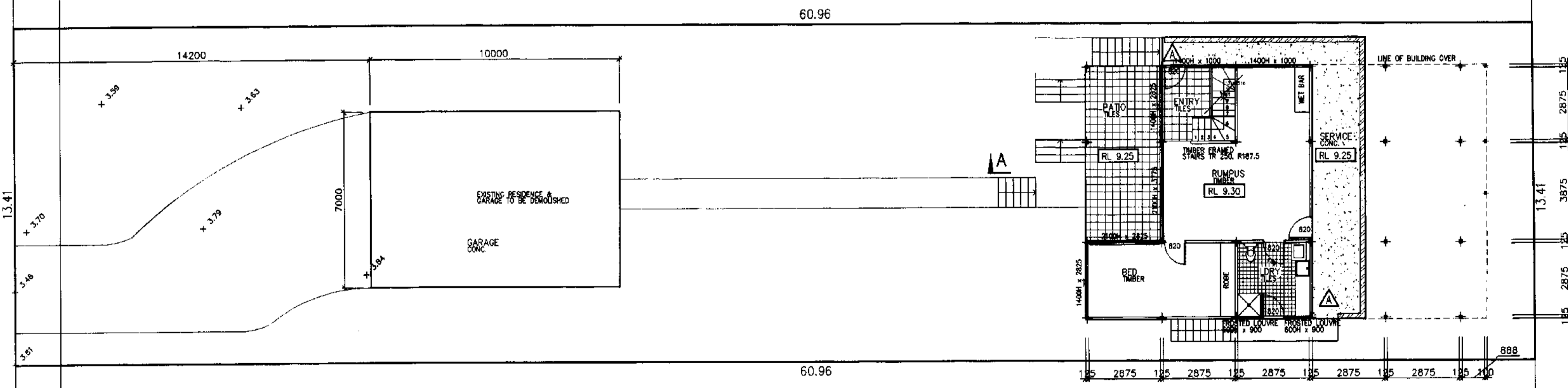
Cashier RLindsay1



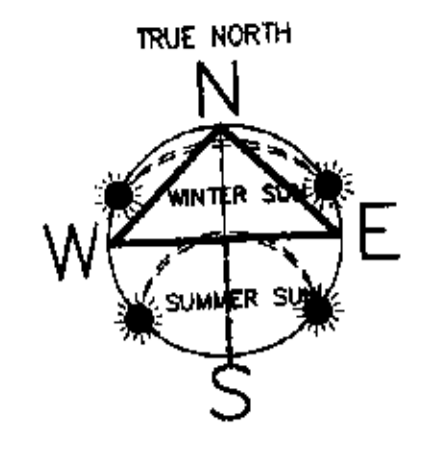
ROOF PLAN
1:100



GROUND FLOOR PLAN
1:100



LOWER GROUND FLOOR PLAN
1:100



PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

- NOTES**
1. ALL DIMENSIONS ARE IN MILLIMETRES U.N.D. AND SHOULD BE VERIFIED ON SITE BY THE BUILDER BEFORE COMMENCING WORK.
 2. ALL CONSTRUCTION IS TO COMPLY WITH THE RELEVANT S.A.A. BUILDING CODES AND TO THE LOCAL COUNCIL REQUIREMENTS AND OTHER AUTHORITIES CONCERNED.
 3. ALL DIMENSIONS THAT RELATE TO SITE BOUNDARIES AND EASEMENTS ARE SUBJECT TO VERIFICATION BY A SITE SURVEY.
 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE A.S.1684.
 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 7. THE LOCATION OF ALL DOWNPIPES TO BE DECIDED BY THE BUILDER.
 8. ALL STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY THE BUILDER.
 9. ALL FINISHES TO BE TO FINISH HEIGHT DATUM.
 10. ALL ELECTRICAL POWER & LIGHTING OUTLETS AS DETERMINED BY OWNER.
 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

PITTSWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT.

1064

drawing by
PLANART
PH: 9073 4746 OR 0407 236 088 PO BOX 5 AYALON NSW 2107
PETER BARKER EMAIL: planart@bigpond.com.au

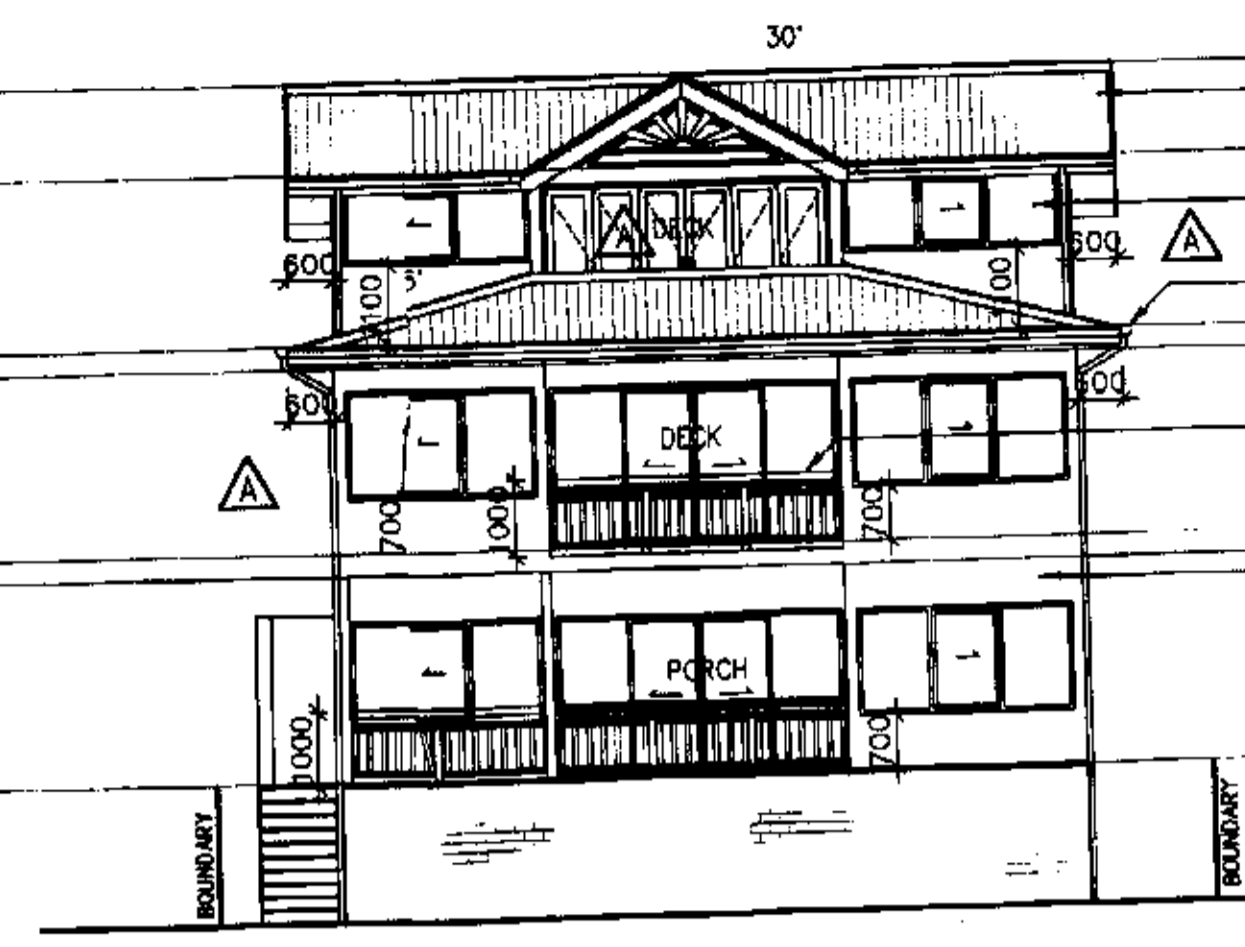
PROJECT
PROPOSED NEW RESIDENCE AT
106 BARRENJOEY ROAD, PALM BEACH 2108
MR. & MRS. WARWICK

THIS DRAWING
WORKING DRAWINGS - SITE & FLOOR PLANS, SECTION

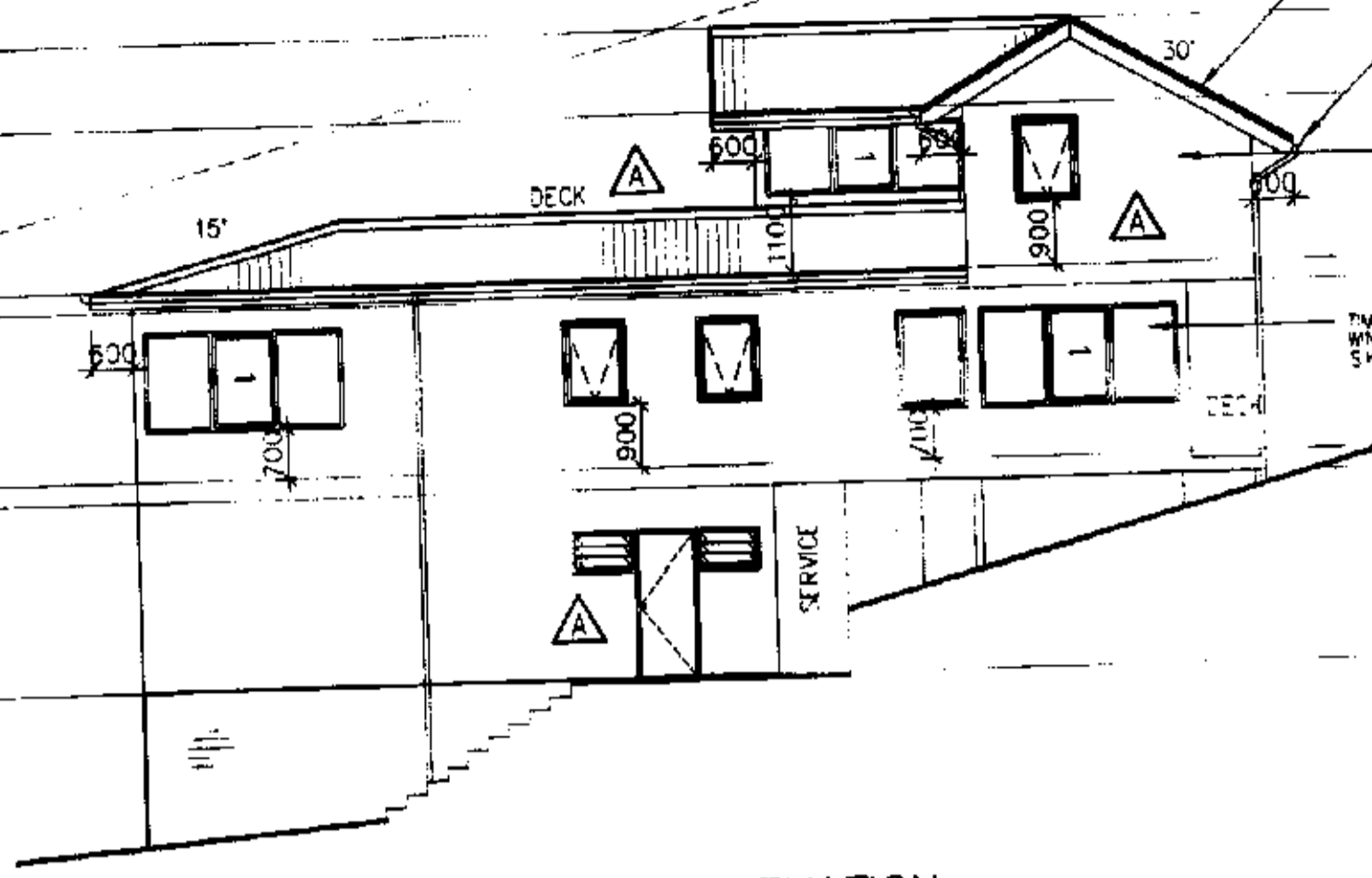
SCALE 1:100	DATE MARCH 2003	SHEET No. 1 OF 2
DRAWN A.H.	CHECKED	PROJECT No. AMENDMENT A-001 A

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

RIDGE	R.L. 18.49
TOP PLATE	R.L. 17.30
F.F.L.	R.L. 15.00
F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30

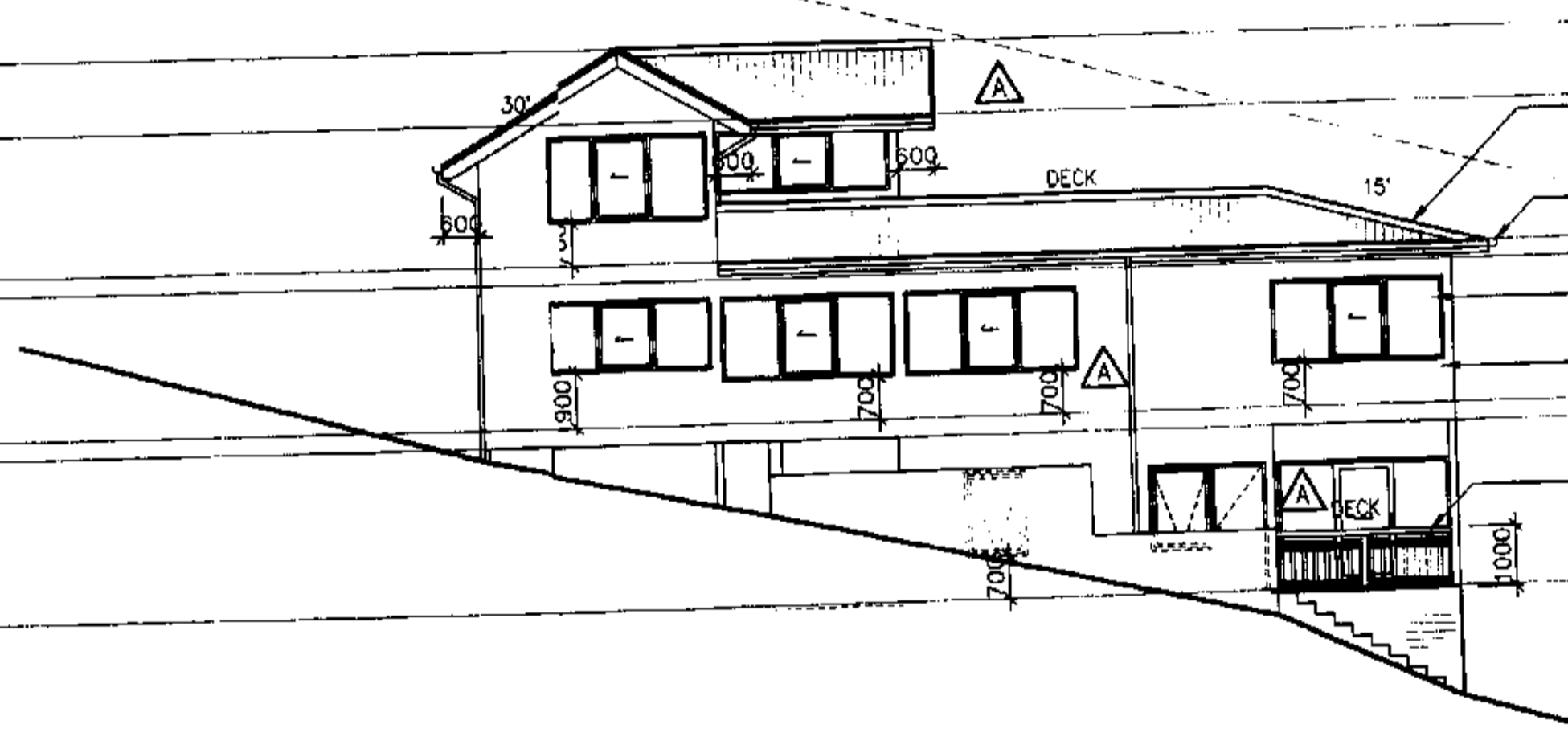


WEST ELEVATION
1:100

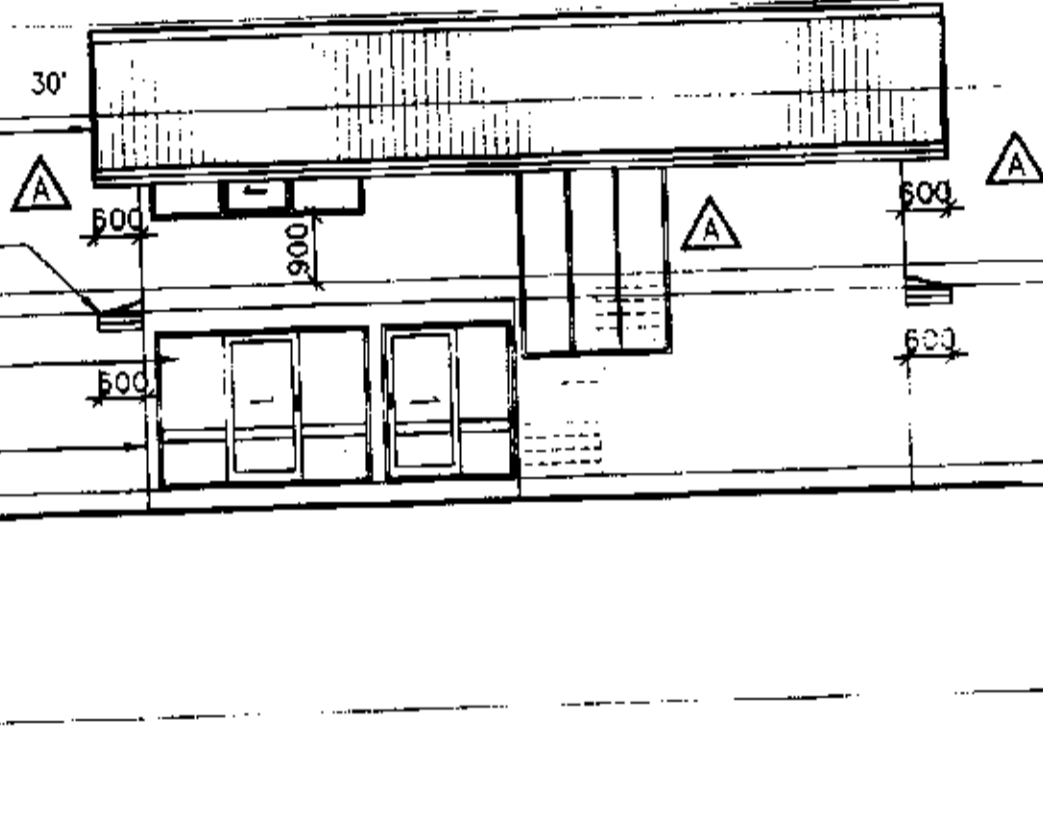


SOUTH ELEVATION
1:100

RIDGE	R.L. 18.49
TOP PLATE	R.L. 17.30
F.F.L.	R.L. 15.00
F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30

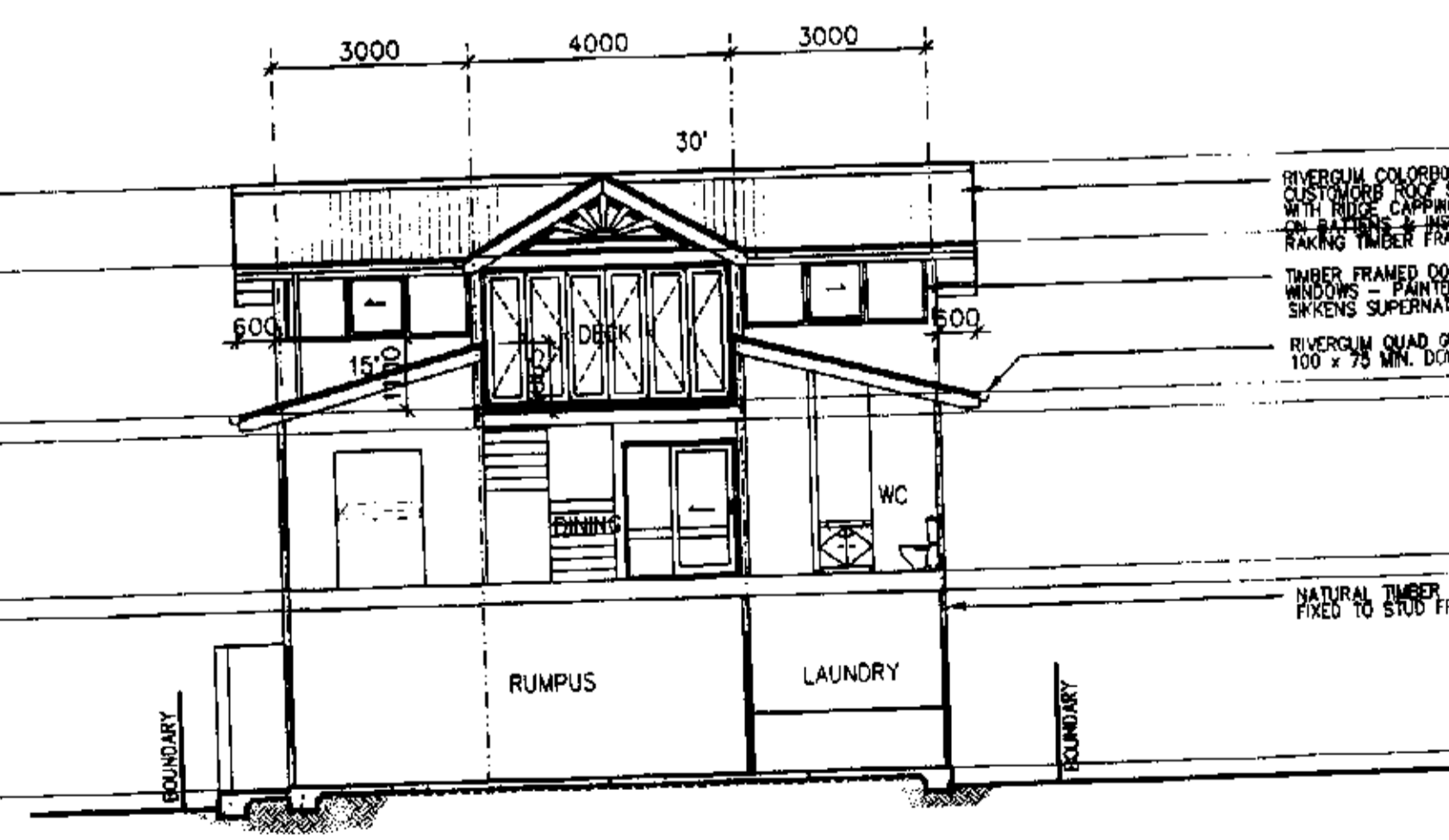


NORTH ELEVATION
1:100

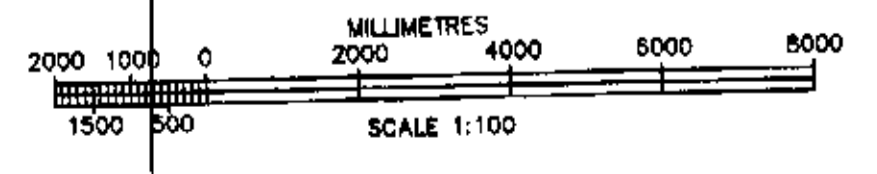


EAST ELEVATION
1:100

RIDGE	R.L. 18.49
TOP PLATE	R.L. 17.30
F.F.L.	R.L. 15.00
F.C.L.	R.L. 14.70
F.F.L.	R.L. 12.30
F.C.L.	R.L. 12.00
F.F.L.	R.L. 9.30



SECTION B-B
1:100



- NOTES
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 4. FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED READINGS.
 5. ALL TIMBER CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE A.S.1684.
 6. ROOF WATER AND SUB SOIL DRAINAGE TO BE DISPOSED OF IN THE APPROVED MANNER OR AS DIRECTED BY LOCAL INSPECTORS.
 7. FINAL POSITION OF ALL DOWNPIPES TO BE DECIDED BY ROOF PLUMBER.
 8. ANY STRUCTURAL DETAILS OR DESIGN IS TO BE SUPPLIED BY A STRUCTURAL ENGINEER.
 9. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.
 10. ALL ELECTRICAL, POWER & LIGHT OUTLETS AS DETERMINED BY OWNER.
 11. MAKE GOOD & REPAIR ALL EXISTING FINISHES AFFECTED BY NEW WORK. RE-USE EXISTING MATERIALS WHERE POSSIBLE.
 12. ANY DETAILING IN ADDITION TO WHAT IS SUPPLIED ON THIS DRAWING SHALL BE RESOLVED BETWEEN THE OWNER & THE BUILDER.

A	5/3/2003	SECTION 95 AMENDMENT OF APPROVAL DA No N0074/00, CC No CC0061/00
MARK	DATE	AMENDMENT

drawing by
PLANART
PH: 9923 4746 OR 0407 238 068 PO BOX 5 AVALON NSW 2107
PETER BARKER EMAIL: planart@ppans.com.au

PROJECT
PROPOSED NEW RESIDENCE AT
1064 BARRENJOEY ROAD, PALM BEACH 2108
MR. & MRS. WARWICK

THIS DRAWING
WORKING DRAWINGS -
ELEVATIONS AND SECTION

SCALE	DATE	SHEET No.	OF
1:100	MARCH 2003	2	2
DRAWN	CHECKED	PROJECT No.	AMENDMENT
A.H.		A-001	A