DRAWING SCHEDULE

ARCHITECTURAL:
BY MARSTON ARCHITECTS

DA00 LOCATION PLAN
DA01 SITE ANALYSIS PLAN
DA02 EXCAVATION PLAN AND DEMOLITION PLAN
DA03 ROOF PLAN
DA04 UPPER GROUND PLAN
DA05 LOWER GROUND PLAN
DA06 BASEMENT PLAN
DA07 SOUTH ELEVATION
DA08 NORTH ELEVATION
DA09 WEST ELEVATION
DA10 EAST ELEVATION
DA11 SECTION
DA12 SUN EYE DIAGRAMS
DA13 GFA CALCULATIONS
DA14 OPEN SPACE CALCULATIONS
DA15 LANDSCAPE CALCULATIONS
DA16 SHADOW DIAGRAMS: JUNE 21
DA17 SCHEDULE OF MATERIALS AND FINISHES

SURVEY:
BY ADAM CLERKE SURVEYORS

9918 DETAILS AND LEVELS OVER LOT 1 IN D.P.965132
70 LAUDERDALE AVENUE, FAIRLIGHT

LANDSCAPE:
BY WOODSIDE PLANTS & DESIGN

19.318.1 LANDSCAPE PLANTING PLAN (UPPER & LOWER FLOOR PLAN)
19.318.2 LANDSCAPE PLANTING PLAN (BASEMENT PLAN | LANDSCAPE DETAILS & SPEC)

HYDRAULIC:
BY STELLEN CONSULTING ENGINEERS

DR–001 STORMWATER – CONCEPT

SPECIFICATION

GENERAL – USE AUSTRALIAN AND/OR OTHER STANDARDS APPLICABLE
TO THE WORKS FOR ALL SECTIONS OF THIS SPEC.

DEMOLITION – CAREFULLY DEMOLISH WORK AS INDICATED ON PLANS.

ROOF – METAL DECK

WALL FRAMING – USE GAUGED TIMBERS IN STUD, NOGGINGS AND PLATES.
PROVIDE ADDITIONAL SUPPORT IN THE FORM OF NOGGINGS, TRIMMERS AND STUDS FOR FIXING LININGS.

LINING – PLASTERBOARD TO AS2908.2. INSTALL TO MANUF'S INSTRUCTIONS BY SCREW OR NAIL COMBINED WITH ADHESIVE. FLUSH JOINTS.

WINDOWS – ALUMINIUM FRAMED GLAZING TO AS1288. FLASHINGS TO AS2904, USE FLASHINGS WHICH ARE CORROSION RESISTANT, COMPATIBLE WITH OTHER MATERIALS AND COATED WITH STAIN RESISTANT COMPOUND WHERE REQUIRED. INSTALL WINDOWS TO AS2146 AND AS2147.

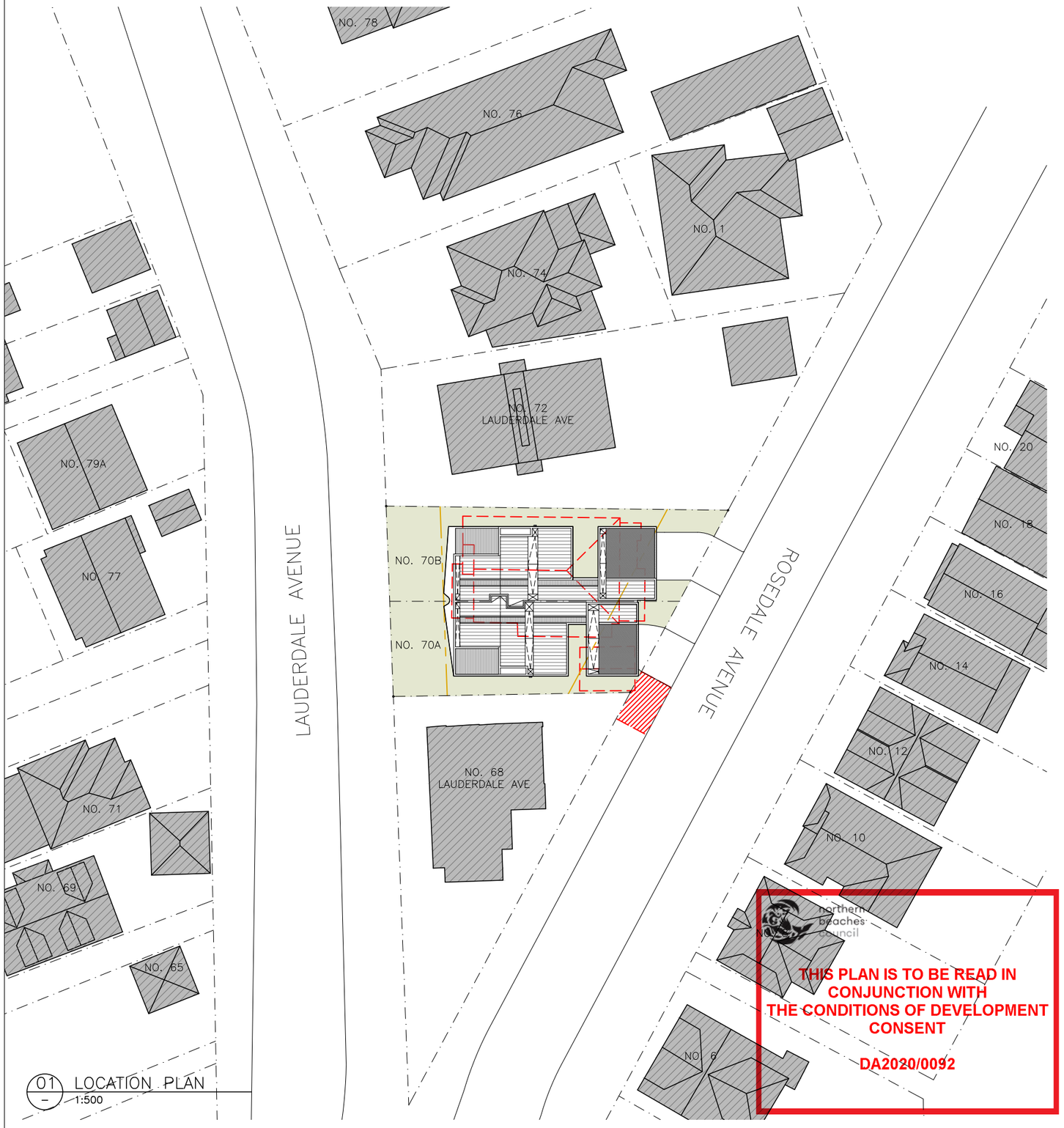
ELECTRICAL – TO STANDARD AS3000. CONCEAL WIRING RUNS.
DO NOT PENETRATE EXISTING STRUCTURAL MEMBERS OR MEMBRANES. PROVIDE ACCESSORIES WHERE REQUIRED.

BASIX – CERITICATE NO.1065658M

FIXTURES:
SHOWERHEADS: 3 STARS (4.5–6L/minute)
TOILETS: 4 STARS
KITCHEN TAPS: 4 STARS
BATHROOM TAPS: 4 STARS

ALTERNATIVE WATER:
RAINWATER TANK: 3200L
COLLECT RAIN RUNOFF FROM AT LEAST 100m2/ OF ROOF AREA
CONNECT TANK TO LANDSCAPE

ENERGY:
HOT WATER: 5.5 STARS (GAS INSTANTANEOUS)
COOLING SYSTEM: 1–PHASE AIRCONDITIONING 4 STAR (LIVING AREAS, BEDROOM AREAS)
HEATING SYSTEM: 1–PHASE AIRCONDITIONING 4 STAR (LIVING AREAS, BEDROOM AREAS)
VENTILATION: FAN (BATHROOMS, KITCHEN)
NATURAL VENTILATION (LAUNDRY)
ARTIFICIAL LIGHTING: LED (4x BEDROOMS/STUDY, 1x LIVING/DINING, KITCHEN, BATHROOMS, LAUNDRY, HALLWAYS)
NATURAL LIGHTING: KITCHEN
COOKTOP: GAS
OVEN: ELECTRIC
REFRIGERATOR: VENTILATED
CLOTHES DRYING: PRIVATE OUTDOOR CLOTHES DRYING LINE



01 – LOCATION PLAN
1:500

NOTE:
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK

AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
CP	CUPBOARD	GL	GLASS	TD	TIMBER DECKING
DP	DOWNPIPE	HC	HOSE COCK	TF	TIMBER FENCE
DR	DRAWER	HWU	HOT WATER UNIT	TG	TRANSLUCENT GLASS
DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

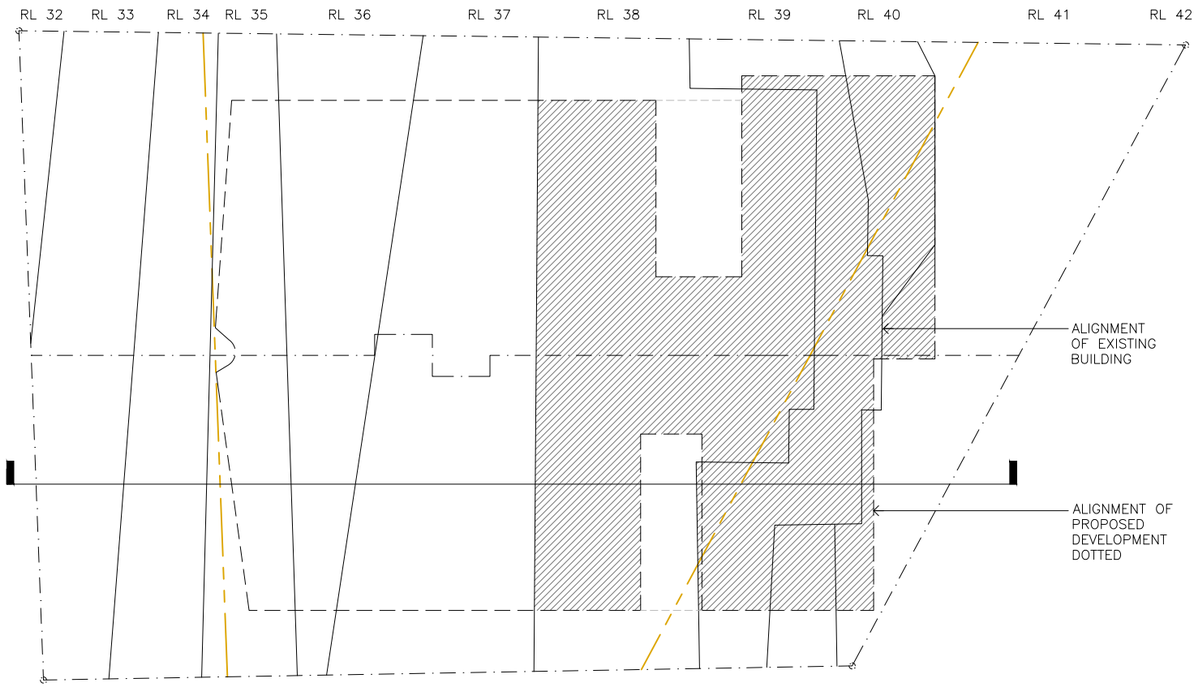
EXISTING TO BE DEMOLISHED
EXISTING TO BE RETAINED

N

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

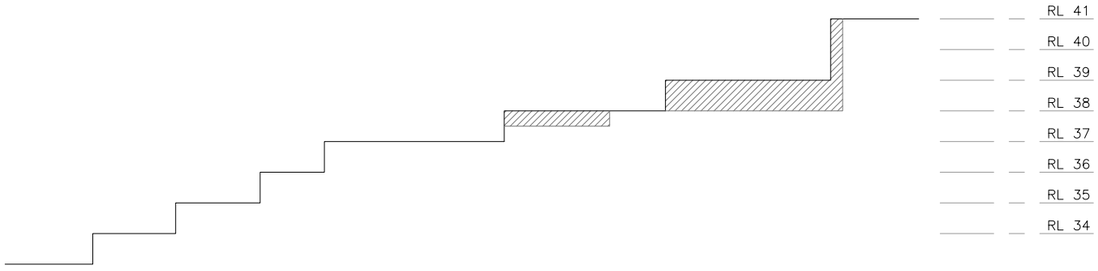
LOCATION PLAN
MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:500 @A3
DWG. NO. DA00

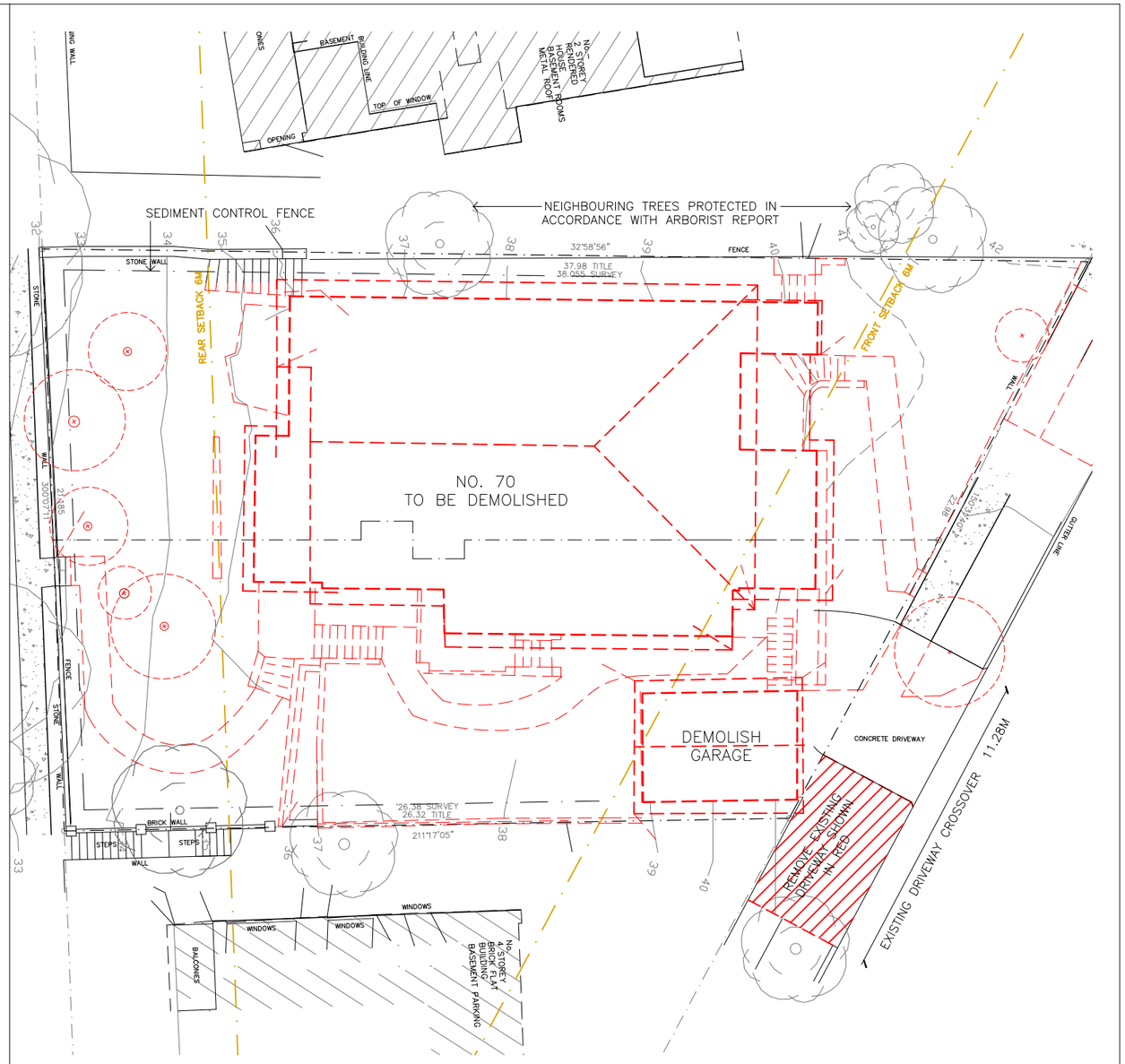


TOTAL VOLUME:
163.5M2

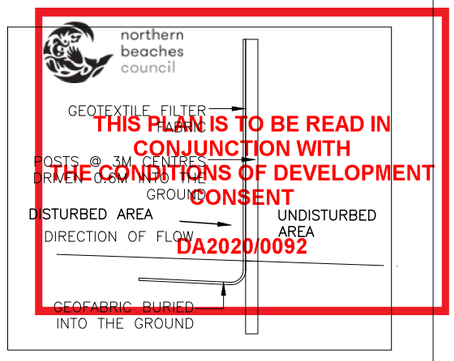
RL 38	RL 39	RL 40	RL 41
AREA: 105M2	AREA: 42M2	AREA: 21M2	AREA: 9M2
DEPTH: 0.5M	DEPTH: 1M	DEPTH: 2M	DEPTH: 3M
VOLUME: 52.5M3	VOLUME: 42M3	VOLUME: 42M3	VOLUME: 27M3



01 – EXCAVATION PLAN
1:200



02 – DEMOLITION PLAN
1:200



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
DA2020/0092

03 – SEDIMENT CONTROL FENCE
1:50

NOTE:
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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
CP	CUPBOARD	GL	GLASS	TD	TIMBER DECKING
DP	DOWNPIPE	HC	HOSE COCK	TF	TIMBER FENCE
DR	DRAWER	HWU	HOT WATER UNIT	TG	TRANSLUCENT GLASS
DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED
EXISTING TO BE RETAINED

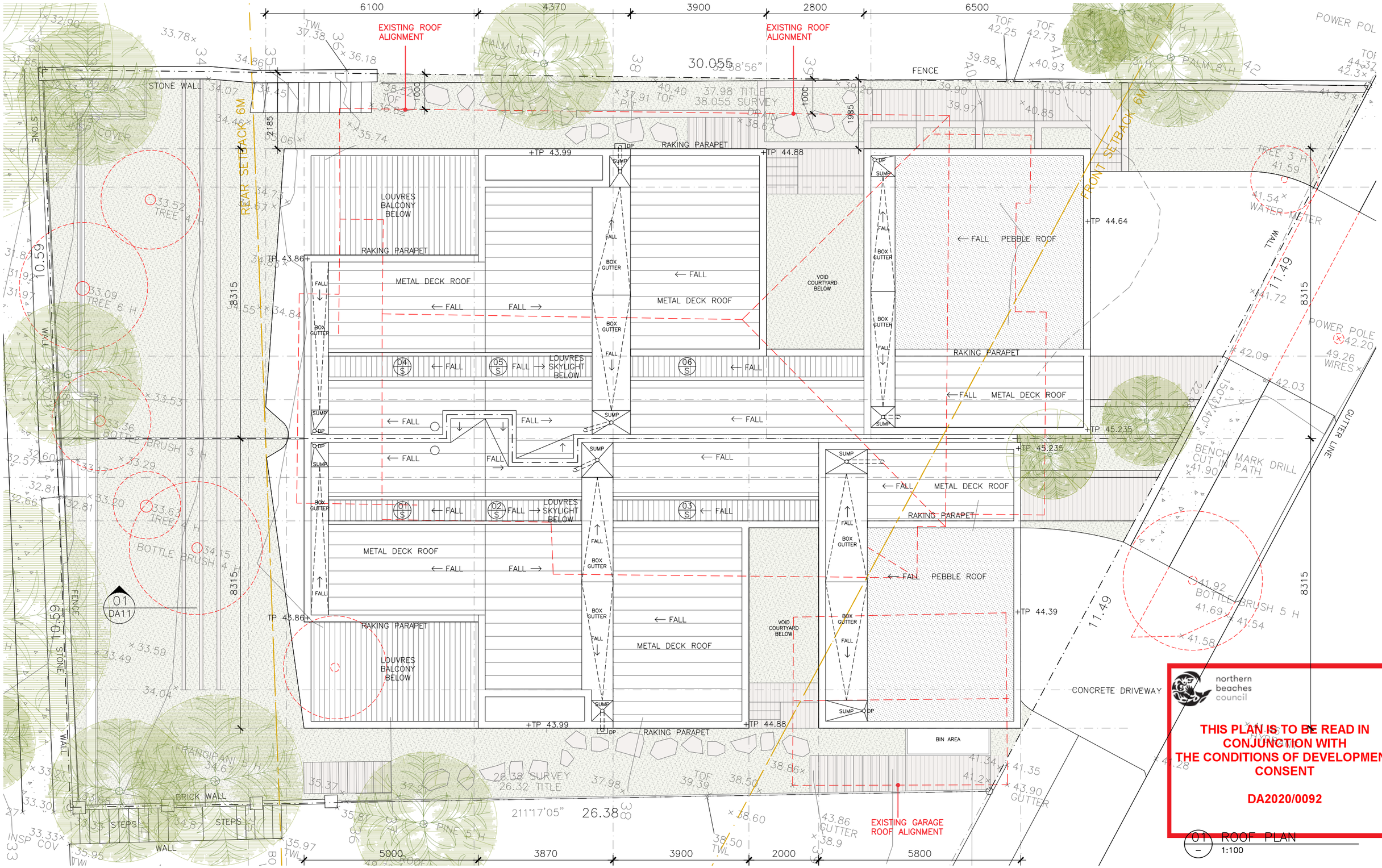
N

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

EXCAVATION PLAN AND DEMOLITION PLAN

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:200 @A3
DWG. NO. DA02



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DA2020/0092

01 ROOF PLAN
1:100

NOTE:

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
CP	CUPBOARD	GL	GLASS	TD	TIMBER DECKING
DP	DOWNPIPE	HC	HOSE COCK	TF	TIMBER FENCE
DR	DRAWER	HWU	HOT WATER UNIT	TG	TRANSLUCENT GLASS
DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

TP TOP OF PARAPET

N

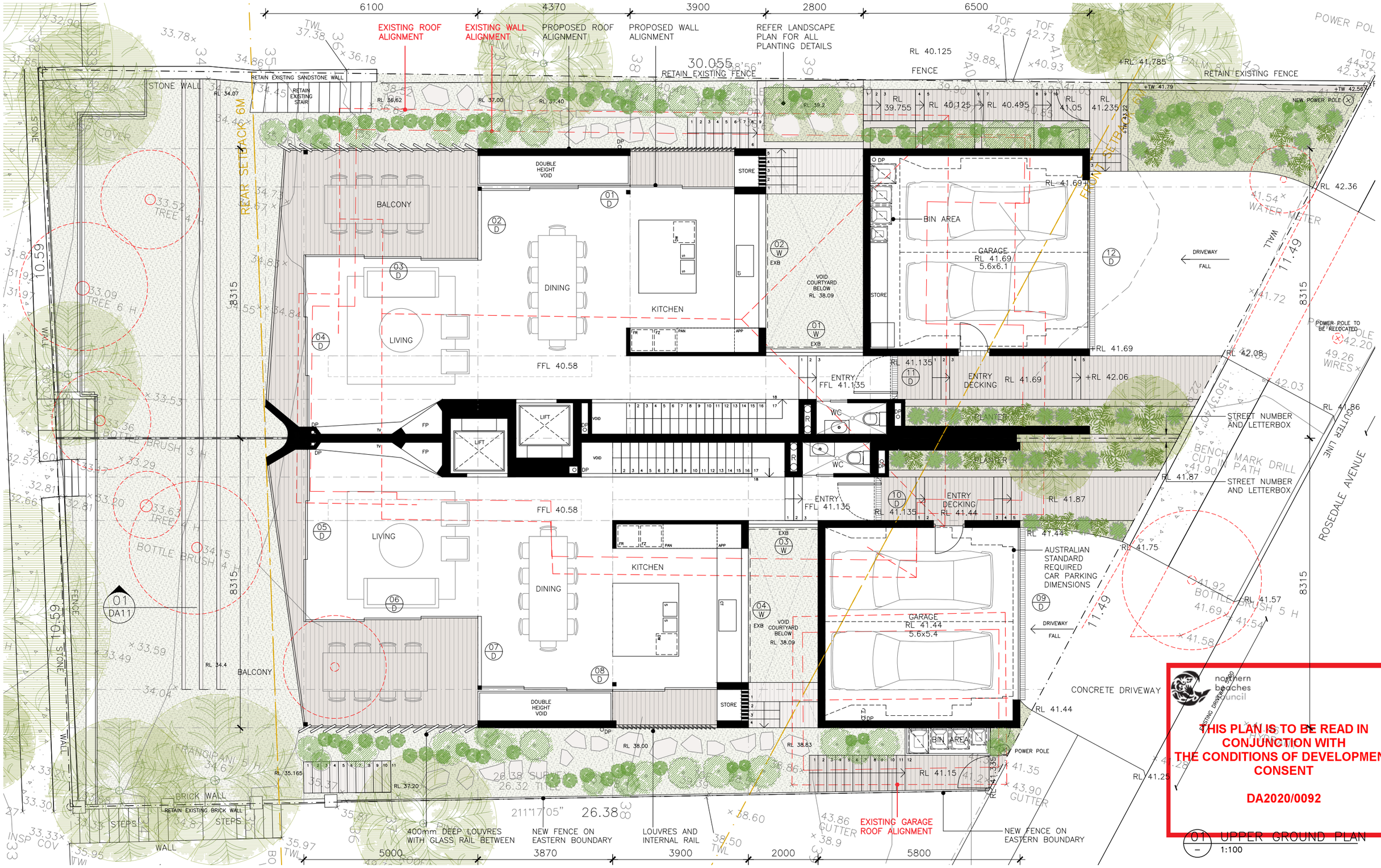
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

ROOF PLAN

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA03



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DA2020/0092

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

R RISER DUCT

FP FIREPLACE

N

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

UPPER GROUND PLAN

MARSTON ARCHITECTS

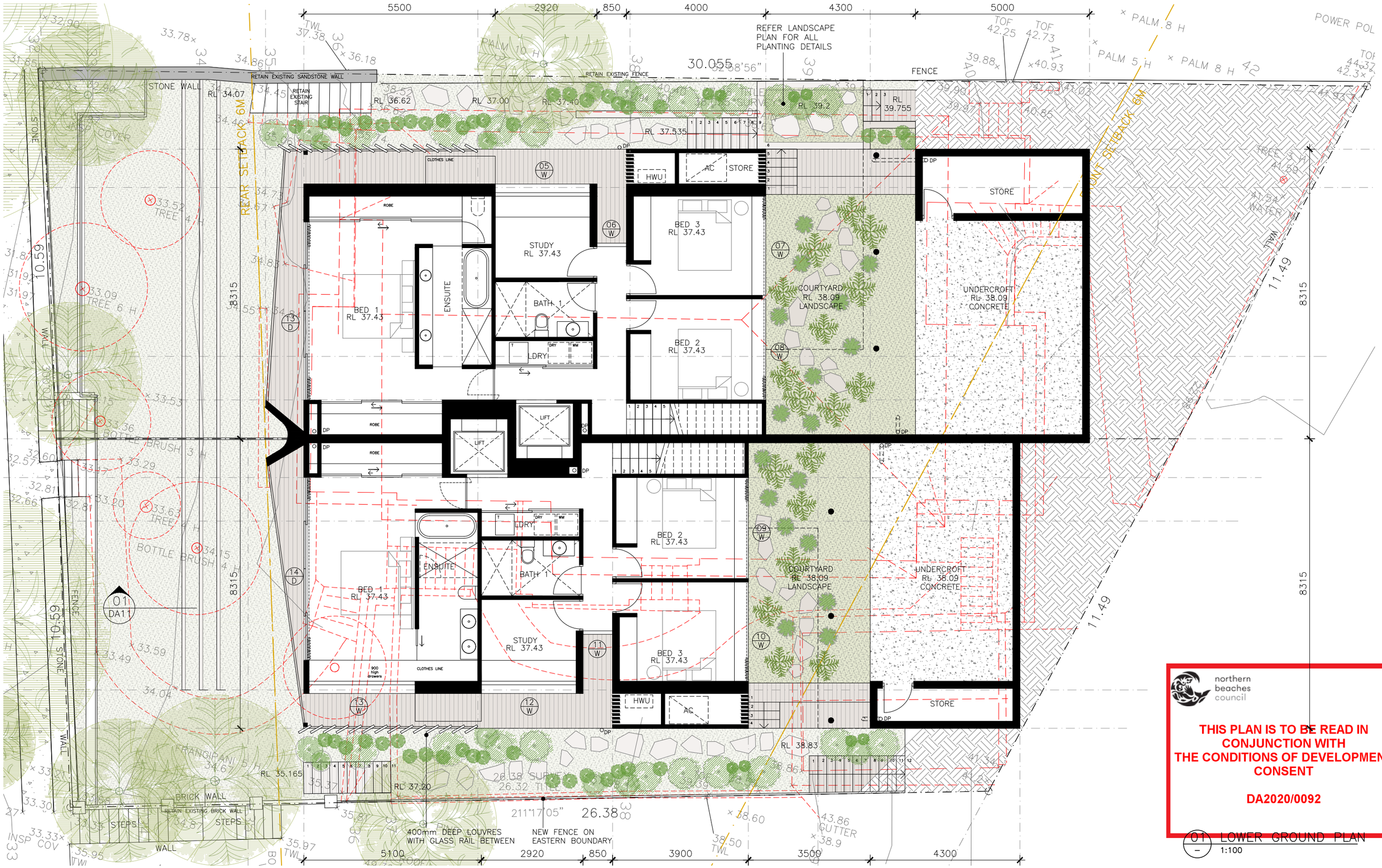
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA

DATE: JANUARY 2020

SCALE: 1:100 @A3

DWG. NO. DA04



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DA2020/0092

01 LOWER GROUND PLAN
1:100

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

AC AIRCONDITIONING

N

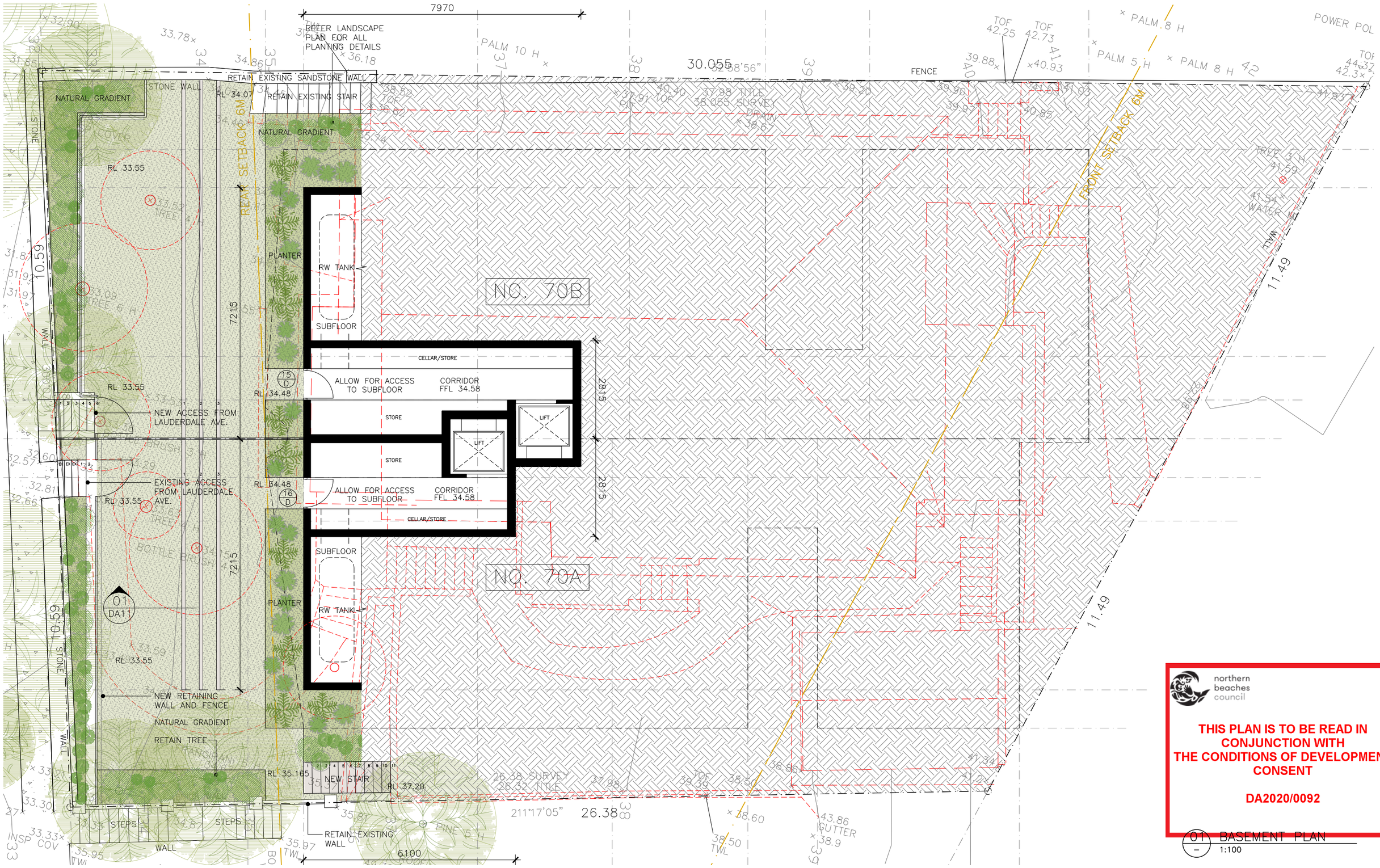
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

LOWER GROUND PLAN

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA05



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DA2020/0092

01 BASEMENT PLAN
1:100

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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DP	DOWNPIPE	HC	HOSE COCK	TF	TIMBER FENCE
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DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

N

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

BASEMENT PLAN

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA06

01 – ELEVATION SOUTH (LAUDERDALE AVENUE)
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

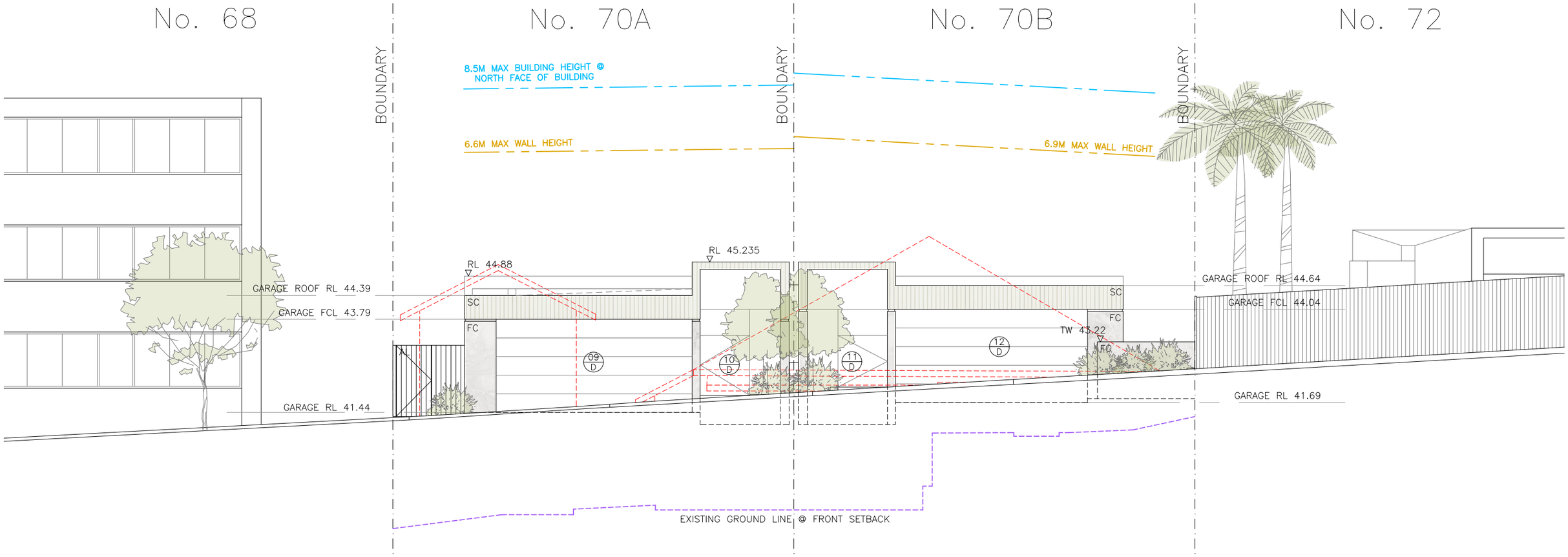
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

SOUTH ELEVATION

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA07



01 – ELEVATION NORTH (ROSEDALE AVENUE)
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED
EXISTING TO BE RETAINED

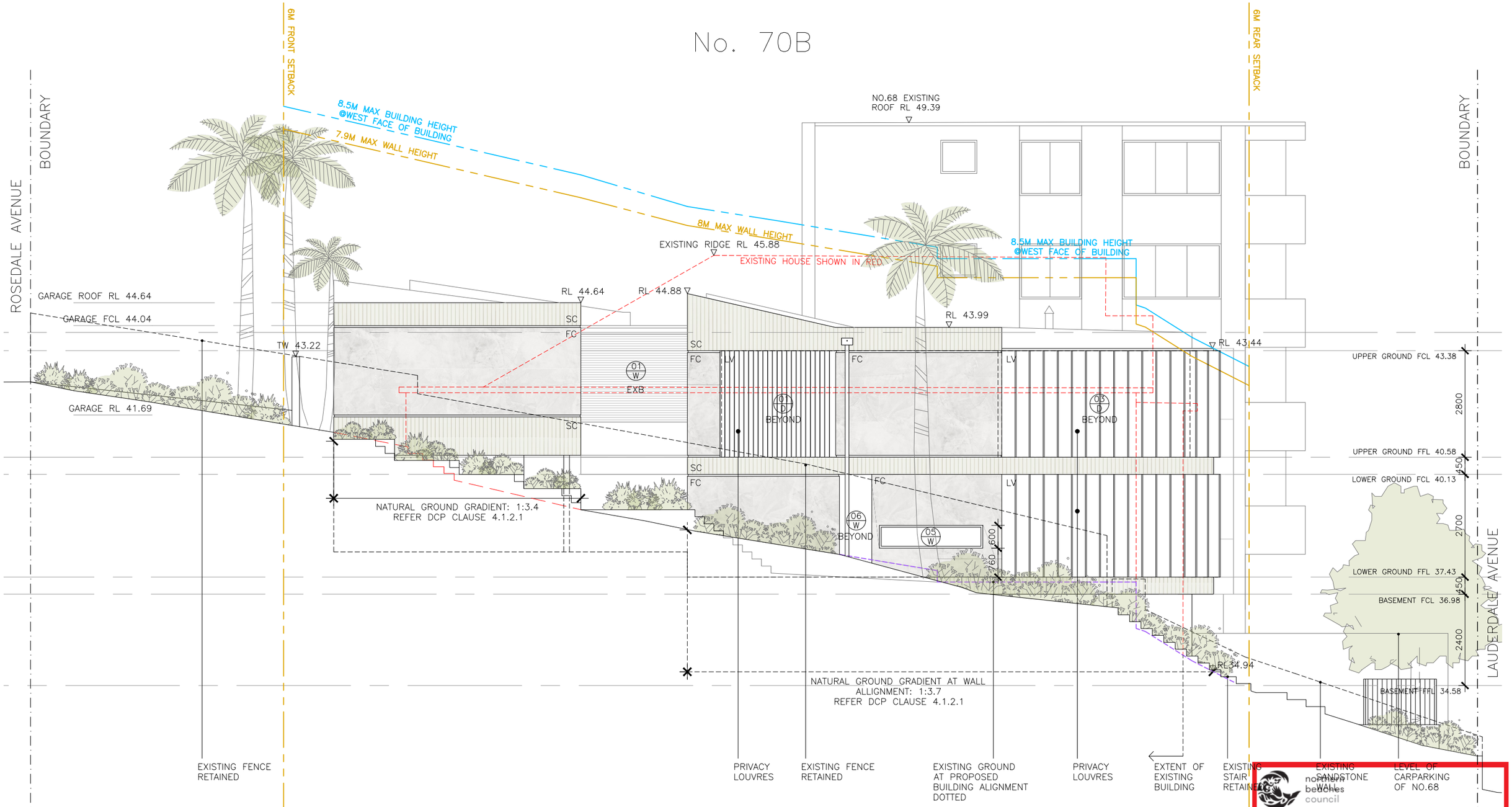
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

NORTH ELEVATION

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3
DWG. NO. DA08

No. 70B



01 ELEVATION WEST
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

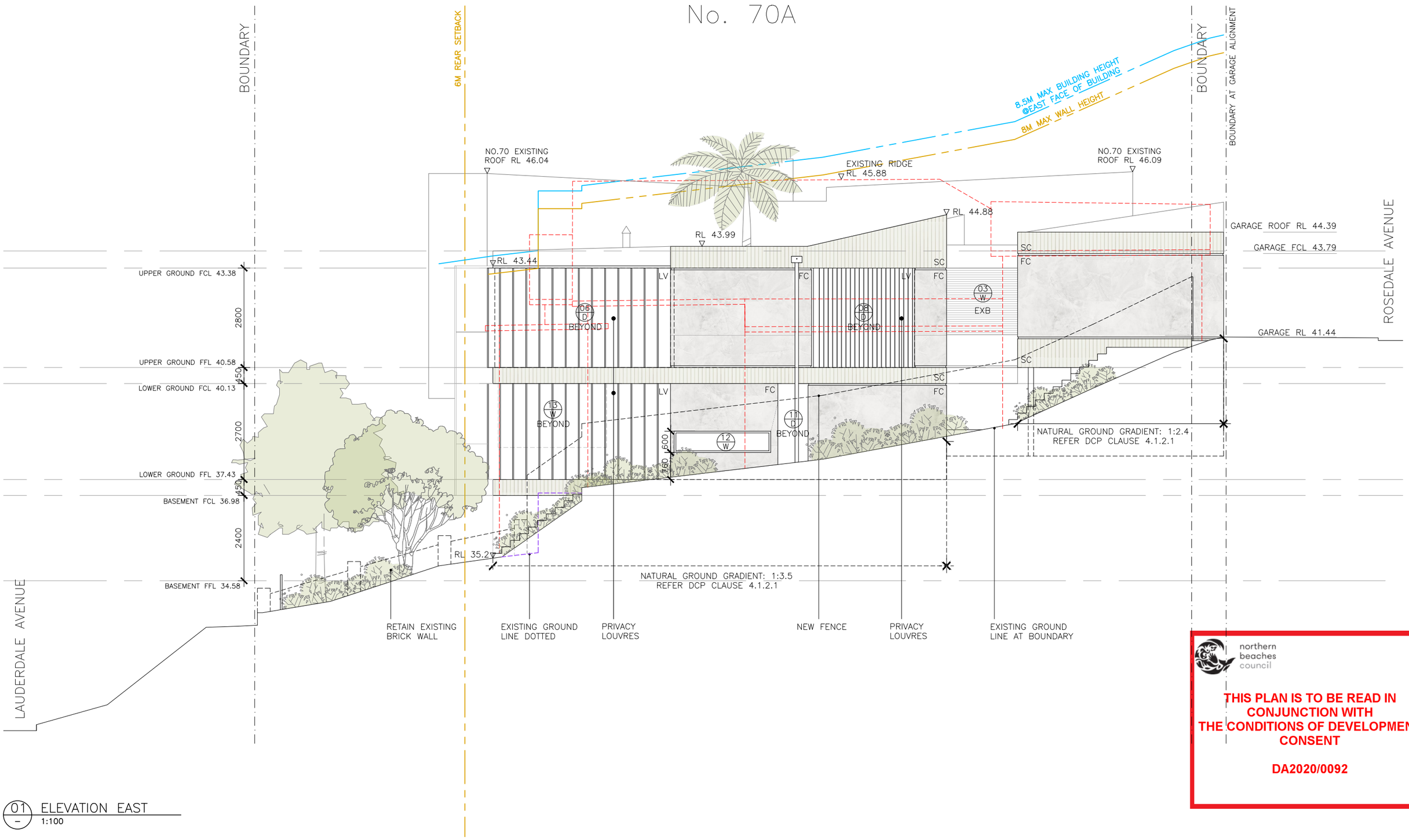
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

WEST ELEVATION

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA09



01 ELEVATION EAST
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

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AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
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EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

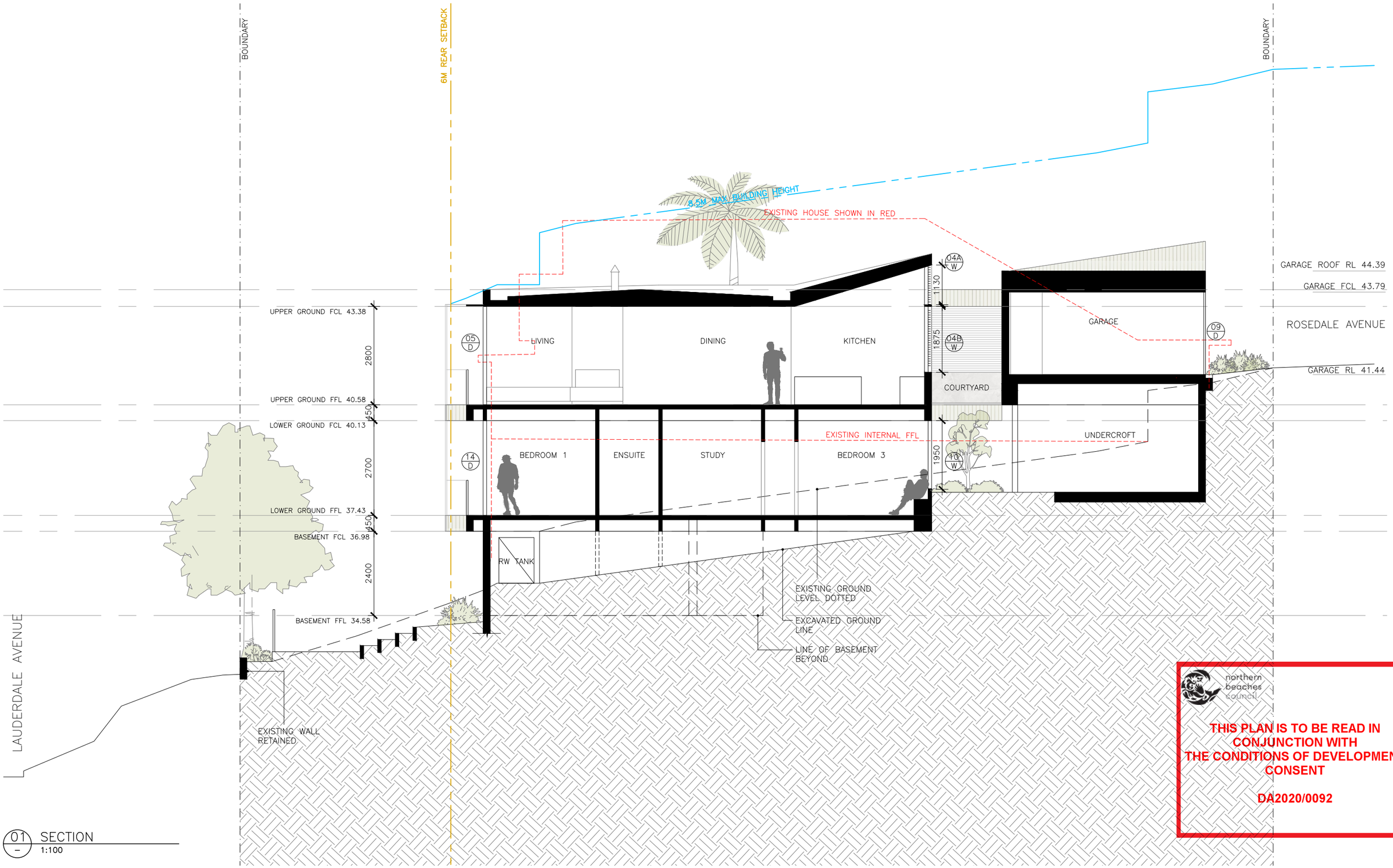
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

EAST ELEVATION

MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA10



01 – SECTION
1:100

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

NOTE:

DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK

AMENDMENTS

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
COS	CHECK ON SITE	GD	GARAGE DOOR	TB	TIMBER FLOORING
CP	CUPBOARD	GL	GLASS	TD	TIMBER DECKING
DP	DOWNPIPE	HC	HOSE COCK	TF	TIMBER FENCE
DR	DRAWER	HWU	HOT WATER UNIT	TG	TRANSLUCENT GLASS
DW	DISHWASHER	LB	LETTERBOX	TL	TILE
EDB	ELEC. DIST BOARD	LV	LOUVRES	TW	TOP OF WALL
EX	EXISTING	PB	PEBBLES	WB	WALL BRACING
EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

EXISTING TO BE DEMOLISHED

EXISTING TO BE RETAINED

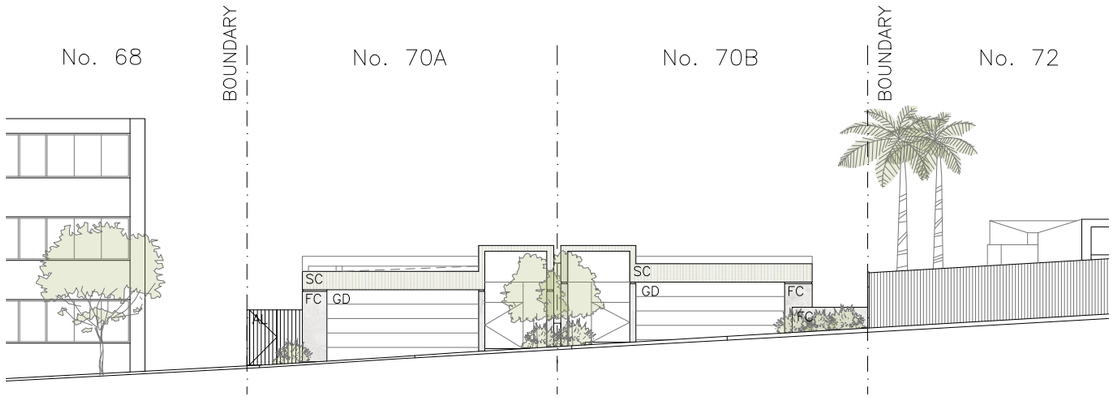
70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

SECTION

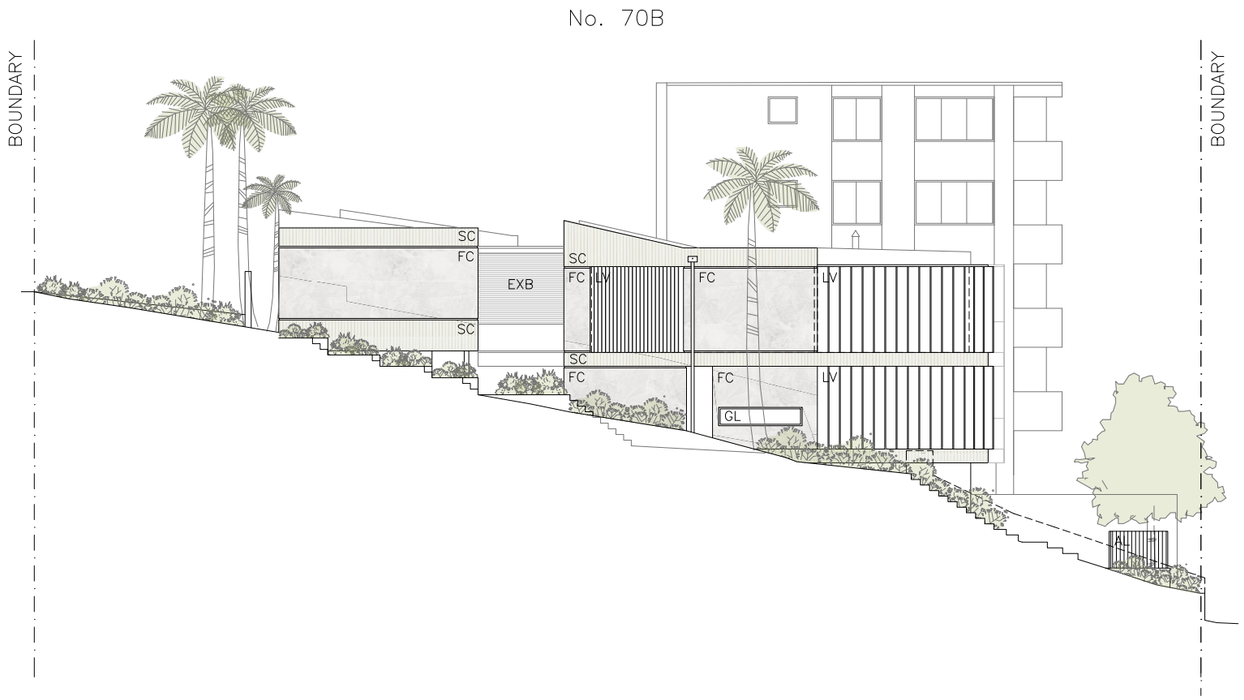
MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: 1:100 @A3

DWG. NO. DA11



01 – ELEVATION NORTH (ROSEDALE AVENUE)
1:100



02 – ELEVATION WEST
1:200

SC
SHADOWCLAD PLYWOOD CLADDING
FINISH: PAINT
COLOUR: SURFMIST

LV
ALUMINIUM VERTICAL LOUVRES
FINISH: POWDERCOATED
COLOUR: SURFMIST

GD
PANEL LIFT GARAGE DOOR
FINISH: POWDER COATED
COLOUR: SURFMIST

AL
ALUMINIUM BATTEN FENCE
FINISH: POWDER COATED
COLOUR: SURFMIST

RF
METAL ROOF SHEETING
COLORBOND ULTRA
COLOUR: ULTRA WINDSPRAY

FC
FIBRE CEMENT SHEET
MUROWASH + SAND
COLOUR: RAW EARTH

TD
TIMBER DECKING
TALLOWOOD OR SIMILAR
FINISH: NATURAL FINISH

VG
VEGETATION AS PER LANDSCAPE PLAN

EXB
RETRACTABLE EXTERNAL BLINDS
COLOUR: WHITE

GL
GLASS: CLEAR
WINDOW FRAMES: ALUMINIUM
COLOUR: CLEAR ANODISED

PB
PEBBLES
COLOUR: NATURAL

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

NOTE:	AMENDMENTS
DO NOT SCALE OFF DRAWINGS. BUILDER TO CONFIRM ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORKS AND ORDERING OF MATERIALS. BUILDER TO NOTIFY ARCHITECT OF ANY DISCREPANCIES, OMISSIONS OR ERRORS PRIOR TO COMMENCEMENT OF WORK	

LEGEND

AL	ALUMINIUM	F	FIXED GLASS	REF	REFRIGERATOR
CL	EXTERNAL CLADDING	FC	FIBRE CEMENT SHEET	S	SINK
CON	CONCRETE	FW	FLOOR WASTE	SC	SHADOWCLAD
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EXB	EXTERNAL BLIND	RF	ROOF SHEETING	VG	VEGETATION

70 LAUDERDALE AVENUE, FAIRLIGHT NSW 2094

SCHEDULE OF MATERIALS AND FINISHES

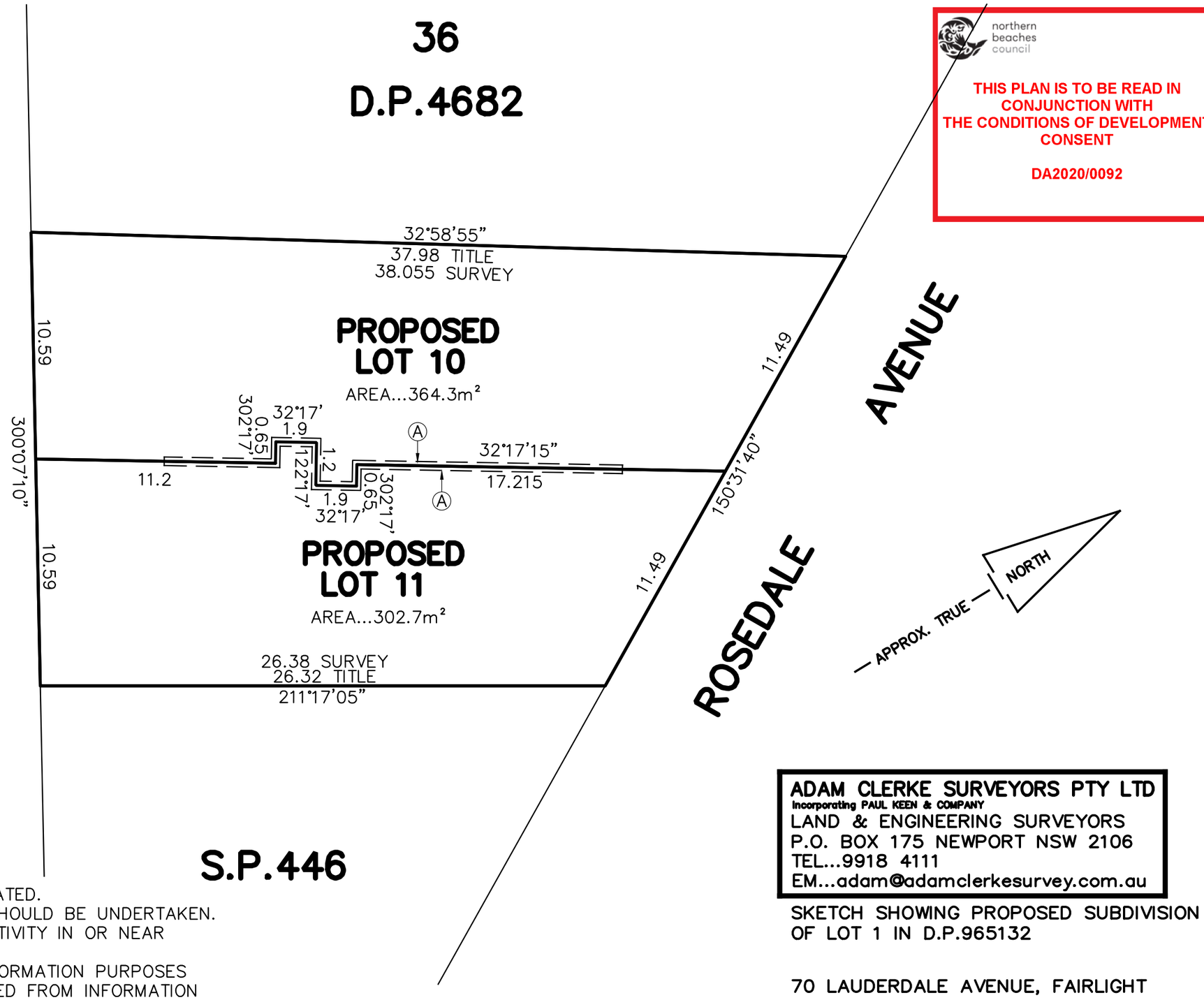
MARSTON ARCHITECTS
45 PITTWATER ROAD MANLY NSW 2095 PH 9977 2101

STAGE DA
DATE: JANUARY 2020
SCALE: NTS @A3

DWG. NO. DA17

DRAFT PLAN ONLY
PLANS & AREAS ARE
SUBJECT TO FINAL DESIGN & SURVEY

1/11/2019



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2020/0092

NOTES:

Ⓐ ... PROPOSED EASEMENT FOR SUPPORT ? WIDE

- UNDERGROUND SERVICES HAVE NOT BEEN LOCATED. NOTIFICATION OF ALL RELEVANT AUTHORITIES SHOULD BE UNDERTAKEN. BEFORE CARRYING OUT ANY CONSTRUCTION ACTIVITY IN OR NEAR THE SURVEYED AREA.
- THIS SURVEY HAS BEEN CARRIED OUT FOR INFORMATION PURPOSES ONLY. BOUNDARIES ARE NOT TO BE ESTABLISHED FROM INFORMATION SHOWN ON DRAWING.
- THIS PLAN HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF IDETTE & JASON WARBURTON
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TEL...9918 4111
EM...adam@adamclerkesurvey.com.au

SKETCH SHOWING PROPOSED SUBDIVISION OF LOT 1 IN D.P.965132

70 LAUDERDALE AVENUE, FAIRLIGHT

DATE... 1/11/19 REF... 9918B
SCALE...1:200/A3

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