

CC0738/04



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C (1) (b), 81a (2) and 81a (4)

Pittwater Council

Unit 9/5 Vuko Place, Warriewood NSW 2102

PO Box 882, Mona Vale NSW 1660

Tel: (612) 9970 1111

Fax: (612) 9970 7150

Internet: www.pittwaterlga.com.au

Email: pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite:	Street No: 3	Street: BILGOLA TEE
Suburb: BILGOLA	Lot No:	Deposit /Strata Plan:

DEVELOPMENT CONSENT

Development Application No: NO116/04	Determination Date: 9/7/04
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APPLICANT DETAILS

Name/Company:	Contact Person: GUY TRELOR
Postal Address: 3 BILGOLA TERRACE BILGOLA 2107	Contact Numbers: Phone (H/A): 02-99184991 Mobile: 0419-383836 Fax:
Signature of Applicant: <i>Guy Trelor</i>	Date: 24/9/04

OWNERS DETAILS

Name: GUY TRELOR	If Company, contact person:
Postal Address: AS ABOVE	Contact Numbers: Phone (H/A): 02-99184991 Mobile: 0419-383836 Fax:

As the owner of the land to which this application relates, I consent to this application. I also give consent for the authorised Council Officer to enter the land to carry out inspections.

Signature of Owners: <i>Guy Trelor</i>	Date: 24/9/04
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If more than one owner, every owner must sign. If the owner is a company, the form must be signed by an authorised director and the common seal must be stamped on this application.
 If the property has been recently purchased, written confirmation from the purchaser's Solicitor must be provided.
 If the contracts have been exchanged for the purchase of the land, the current owner is to sign the application.

DEVELOPMENT DETAILS

Type of Work:	<input checked="" type="checkbox"/> Building Work
	OR
	<input type="checkbox"/> Subdivision Work
Description of proposal – (Provide brief, concise details):	
WIDENING CONCRETE DRIVEWAY (ADDITION 35 M ²)	

WHO WILL BE DOING THE BUILDING WORKS?

<input checked="" type="checkbox"/> Owner Builder	Owner Builders Permit No: <u>283220P</u>
Copy of Owner Builders permit attached: <input checked="" type="checkbox"/>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia. Tel: 61 2 98950111 Fax: 61 2 9895 0222.</i>	

OR

<input type="checkbox"/> Licensed Builder	
Name of Builder: Phone: Mobile: Fax:	Contact person: Insurance Company:
Insurance Certificate attached:	<input type="checkbox"/> Yes <input type="checkbox"/> No – to be provided with Notice of Commencement Form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance. A certificate of insurance must be provided with this application or submitted with the Notice of Commencement Form.</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works: \$.....**10,000**..... (including full cost of labour and materials)

DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

Yes No

Only required if the development involves building works exceeding \$25,000.00.

OFFICE USE ONLY

Fee Type	Fee Amount	
Construction Certificate Application Fee	1643 .132.55	
Long Service Levy Fee		
Driveway/Street Levels		
Kerb & Gutter Fee		
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		
Date of Receipt:	Receipt No:	Accepted By:

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection:	To enable Council as the consent authority to assess your proposal.
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal.
Supply:	The information is required by legislation
Consequence of Non-provision:	Your application may not be accepted, not processed or rejected for lack of information
Storage:	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public.
Retention period:	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely.
Please contact Council if this information you have provided changes or is incorrect.	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	530	
Gross floor area of existing building?	Area in square metres	400 m ²	
<i>If no existing building, write "NIL"</i>			
What is the existing building or site used for at present?	Main uses:	RESIDENTIAL	
	Other uses:		
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	Proposed floor area in square metres	40 m ²	
What will the proposed building to be used for?	Main uses:	RESIDENTIAL	
	Other uses:		
How many dwellings:			
Are pre-existing at this property?	Dwellings:	1	
Are proposed to be demolished?	Dwellings:	—	
Are proposed to be constructed?	Dwellings:	—	
How many storeys will building consist of?	Storeys:	NIL - DRIVEWAY EXTENSION	
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input checked="" type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input type="checkbox"/>
Concrete, masonry	<input checked="" type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Timber/weatherboard	<input type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input checked="" type="checkbox"/>	Timber	<input checked="" type="checkbox"/>
Timber	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>

APPLICANTS CHECK LIST

Note: This list is intended as a guide to the type of information to be submitted. Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application.

<p>Application Form –</p>	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Owners Consent <input checked="" type="checkbox"/> Applicant's Signature <input type="checkbox"/> Long Service Levy <input type="checkbox"/> Driveway/Street levels Application
<p>Supporting Documentation - (3 copies of each)</p>	<ul style="list-style-type: none"> <input type="checkbox"/> Architectural Plans <input type="checkbox"/> Quick Check Plans endorsed by Sydney Water <input checked="" type="checkbox"/> Construction Specifications for Building Works <input checked="" type="checkbox"/> Structural Engineer's Plans <input checked="" type="checkbox"/> Structural/Geotechnical Certificates <input checked="" type="checkbox"/> Landscape Plans <input checked="" type="checkbox"/> Driveway Level Plans <input type="checkbox"/> On-site Stormwater Detention Plans <input checked="" type="checkbox"/> Drainage Plans on Site Storm Management <input type="checkbox"/> Erosion and Sediment Management Plan <input type="checkbox"/> Sydney Water Quick Check Plans <input type="checkbox"/> Subdivision Work Plans <input type="checkbox"/> Schedule of External Finishes/Colours <input type="checkbox"/> Fire Safety Measures Schedule <input checked="" type="checkbox"/> Form No. 2 – "Geotechnical Risk Management Policy for Pittwater" <input type="checkbox"/> Details and location of fencing for Swimming Pool to comply with AS 1926-1986 "Fences and Gates for Private Swimming Pools" <input type="checkbox"/> Specifications for construction of buildings in Bushfire-prone areas <input type="checkbox"/> Security Deposit / Section 94 contributions



OFFICE OF FAIR TRADING

NSW Consumer Protection Agency

Department of Commerce

GUY JOHN TRELOAR
3 BILGOLA TCE
BILGOLA 2107

HOME BUILDING ACT 1989

OWNER BUILDER PERMIT

Permit :283220P
Receipt:AA1960932

Issued:16/09/2004
Amount:\$126.00

Building Site:

LOT 7, 3 BILGOLA TCE, BILGOLA 2107


Authorised Building Work:

BUILDING WORK AS PER BA NO.
DA NO.: 116/04
ISSUED BY PITTWATER COUNCIL

Should the property be sold within 6 years of completion of the work it will be necessary to obtain home warranty building insurance from approved insurers if the value of the work was greater than \$12,000. A certificate of insurance must be attached to any contract for sale.

You should obtain professional advice from general insurers regarding public liability and property damage cover, etc.

Note: This permit is only valid when an official receipt has been imprinted.
If payment is made by cheque, the permit is conditional on the cheque being met at presentation.



Issuing Officer

***** END OF PERMIT *****



Pittwater Council

ABN 61 340 837 871

All Correspondence to be addressed to General Manager

Units 9, 11 & 12/ 5 Vuko Place
WARRIEWOOD NSW 2102
Avalon Customer Service Centre
59A Old Barrenjoey Road, AVALON 2107

Postal Address
P.O. Box 882
MONA VALE NSW 1660
DX 9018MONA VALE

Telephone (02)9970 1111
Facsimile (02) 9970 7150
Internet www.pittwaterlga.com.au
Email: pittwater_council@pittwater.nsw.gov.au

MEMO

RE: Development Application N0116/04

This is to certify that Pittwater Council accept the altered cost estimate from \$17 000 to \$10 000 for the widening of a concrete slab on the existing driveway at 3 Bilgola Terrace, Bilgola.

Regards,

Lashta Haidari
Assistant Development Officer

RECEIVED

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TAX DEPARTMENT

INTERNAL SECURITY

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**GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTWATER
FORM NO. 2 – To be submitted with detailed design for construction certificate**

Development Application for _____	Name of Applicant _____
Address of site <u>3 BILGOLA TERRACE, BILGOLA.</u>	

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design
 I, JACK HODGSON on behalf of JACK HODGSON CONSULTANTS PTY LTD.
(insert name) (trading or company name)

on this the 30.8.2004
(date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittwater. I am authorised by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least \$2million. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development

Geotechnical Report Details:

Report Title: <u>STABILITY REPORT PROPOSED DRIVE EXTENSION 3 BILGOLA TERRACE, BILGOLA.</u>
Report Date: <u>30.8.2004</u>
Author: <u>J. Hodgson</u>

Structural Documents list:

<u>FOOTING / SLAB PLAN DETAIL, 20317-1,</u>
<u>PREPARED BY JACK HODGSON CONSULTANTS AND</u>
<u>DATED 4.12.2002.</u>

I am also aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

J. Hodgson
(name)

[Signature]
(signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated _____ and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriate taken into account by the structural engineer in the preparation of these structural documents. I am aware that Pittwater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified. in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature

Name J. Hodgson

Chartered Professional Status..... MEMBER FICADORS.

Membership No..... 149 788





**STABILITY REPORT
PROPOSED DRIVE EXTENSION
3 BILGOLA TERRACE, BILGOLA**

This Report is based on a surface inspection of the subject property. It did not include any excavation or opening up of the site or of any existing development on the site. The inspection was directed at observing any cracks or other signs of movement in the land or any structures on it which would indicate land instability. It is not intended to be a complete assessment of the structure with regard to structural adequacy.

Experience over a period of some twenty five years in the Pittwater and Warringah areas and inspection of some 10,000 slopes in that period form the back ground to this Report. This assessment of the risk of instability regarding landslides is according to the latest guidelines issued by the Australian Geomechanics Society.

This property was inspected on 19th February 2003.

1. SITE DESCRIPTION.

This property is on the high side of the road and the surface slopes up from the road to the rear boundary. A double garage is located immediately adjacent to the road surface. Access to the block is by steps up the side of the garage and from a concrete paved driveway that leaves the road to the north of the garage. This driveway leads up to car parking under the front of the house.

The house is in excellent condition with no signs of movement due to landslides.

2. GEOLOGY OF THE SITE.

The site is underlain by interbedded sandstones, siltstones and shales of the Upper Narrabeen Group that do not outcrop on the site but there are some rock exposures. The Narrabeen Group Rocks are Late Permian to Middle Triassic in age with the early rocks not outcropping in the area under discussion. The materials from which the rocks were formed consist of gravels, coarse to fine sands, silts and clays. They were deposited in a riverine type environment with larger floods causing fans of finer materials. The direction of deposition changed during the period of formation. The lower beds are very variable with the variations decreasing as the junction with the Hawkesbury Sandstones is approached. This is marked by the highest of persistent shale beds over thicker sandstone beds which are similar in composition to the Hawkesbury Sandstones.



2. GEOLOGY OF THE SITE. Continued.

The slope materials are colluvial at the surface and residual at depth. They consist of sandy loam topsoil over sandy clays and clays with rock fragments and some floaters through out the profile. The sandy clays and clays merge into the weathered zone of the under lying rocks at depths expected to be in the range 0.6 to 1.8 metres.

3. SURROUNDING AREA.

Observation of the adjacent properties indicates that they do not present a risk of instability to the subject property.

4. SUBSURFACE INVESTIGATION.

The surface features described in this Report are considered to provide adequate information for the proposed development, therefore no subsurface investigation is required.

5. DRAINAGE OF THE SITE.

The site has adequate drainage with no natural water courses.

6. PROPOSED DEVELOPMENT.

It is proposed to extend the upper car parking area to the east. Details of the proposed development are shown on Drawing No. 20317-1 prepared by Jack Hodgson Consultants Pty Limited.

7. STABILITY OF THE SITE.

It is our opinion that the land and the existing house present a very low to low risk of instability with regard to landslides in their present state and that construction of the proposed development, in accordance with the requirements of this Report and good engineering and building practice, will not increase the risk of instability.

In the AGS guidelines the terms used above have the following meanings:-

Very low risk	Acceptable. Manage by normal slope maintenance procedures.
Low risk	Usually accepted. Treatment requirements and responsibility to be defined to maintain or reduce risk.



7. STABILITY OF THE SITE. Continued.

This Assessment of Stability will be valid for at least 100 years provided that:-

1. The proposed development is completed in accordance with the conditions in this Report.
2. The conditions on the block do not change from those present at the time this Report was prepared except for changes due to this development.
3. There is no change to the property due to an extraordinary event external to this site.
4. The property is maintained in good order and in accordance with the guidelines set out in CSIRO Sheet No. 10-91 1988 and the Australian Geomechanics article "Landslide Risk Management Concepts and Guidelines" May 2002.

8. EXCAVATIONS AND FILLS.

Except for footings, there are no excavations in the proposed development.

No fills are shown on the plans of the proposed development.

9. FOUNDATION MATERIALS AND FOOTINGS.

It is recommended that all footings for the proposed development be supported on the underlying weathered rock using piers as necessary. The design ultimate bearing pressures are 1.2 MPa for spread footings or shallow piers and 2.4 MPa for piers in which the surface of the rock is deeper than 1.2 metres from the ground level at the top of the pier.

10. REMEDIAL WORKS.

No remedial works are required.

11. STORM WATER AND EFFLUENT.

Runoff from the additional driveway surface will be collected and piped to the street drainage system.

The existing house is connected to the main sewer.



Jack Hodgson Consultants Pty Limited

CONSULTING CIVIL, GEOTECHNICAL AND STRUCTURAL ENGINEERS

ABN: 94 053 405 011

VN 20317.

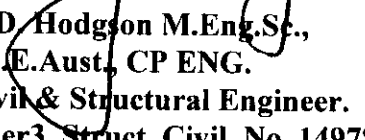
5th March, 2003.

Page 4.

12. INSPECTIONS.

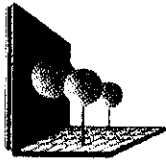
It is recommended that all footing excavations be inspected and approved before concrete is placed.

JACK HODGSON CONSULTANTS PTY. LIMITED.


**J. D. Hodgson M.Eng.Sc.,
F.I.E.Aust., CP ENG.
Civil & Structural Engineer.
Nper3, Struct. Civil. No. 149788.
Director.**

DIRECTOR: J.D. HODGSON, M.Eng.Sc., F.I.E. Aust., Nper3 Struc. Civil 149788

11 Bungan Street, Mona Vale NSW 2103
PO Box 389 Mona Vale NSW 1660
Telephone: 9979 6733 Facsimile: 9979 6926



Ian Barnett

LANDSCAPE ARCHITECT

B.L. Arch., Cert Hort.
Lic No. 24585C.

ABN 49 735 736 248

Pittwater Council
2nd Floor, Unit 11
No 5 Vuko Place
Warriewood
PO Box 882, Mona Vale
NSW 1660

Ian Barnett
81/25 Best Street
Lane Cove NSW 2066
Ph. 0418-291-943

Dear Sir/Madam

18 October 2004

**Re: Certification of Landscape Documentation
Proposed Driveway Extension
For Guy and Liz Treloar
3 Bilgola Terrace
Avalon. 2107**

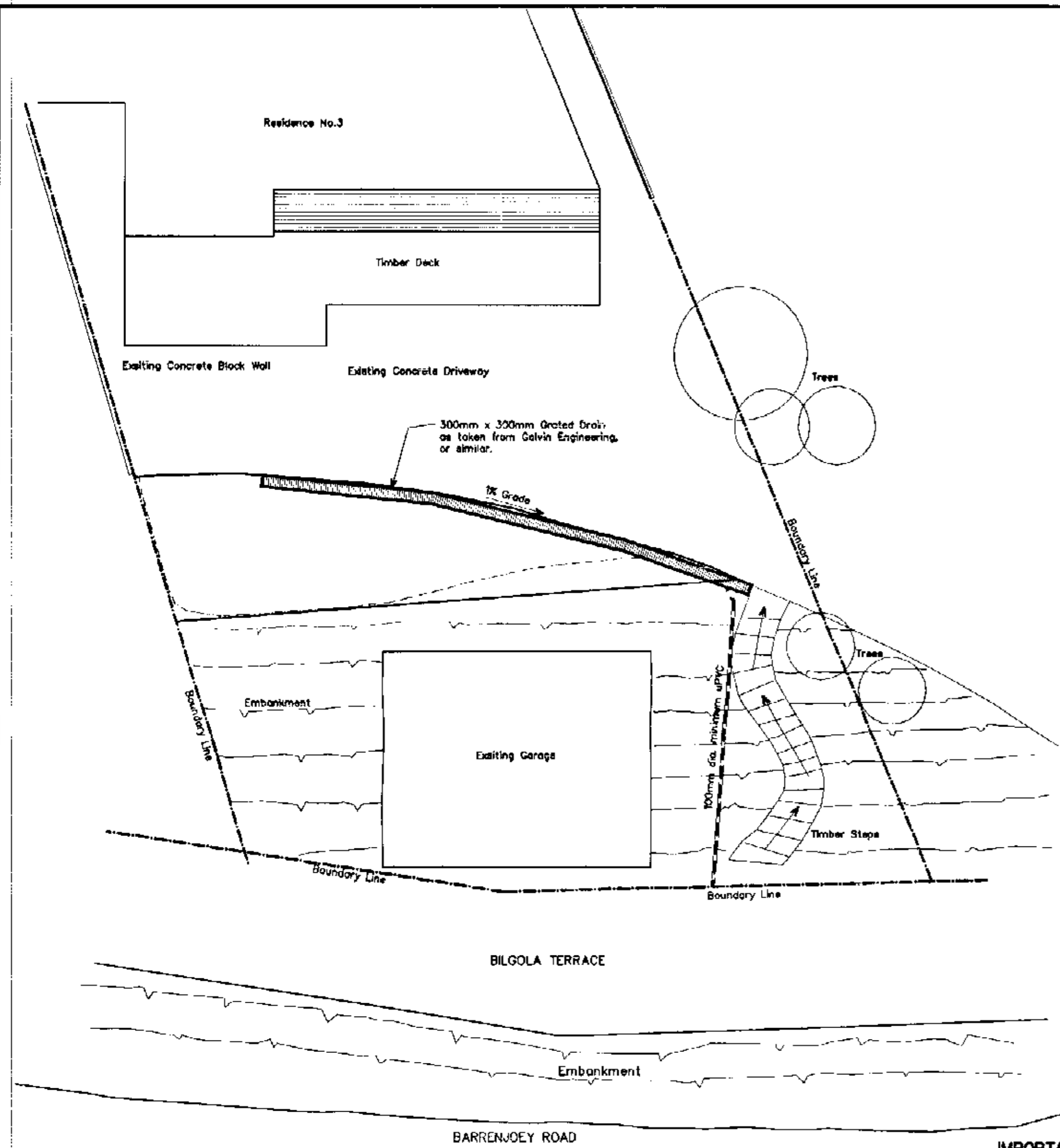
DA. N0116/04

The tertiary qualifications I have attained include a Bachelor of Landscape Architecture (University of NSW) and Certificate of Horticulture (Ryde). I also hold a current Structural Landscape license from the Department of Fair Trading.

Pursuant to the proposed driveway extension at 3 Bilgola Terrace, I certify that the landscape documentation complies with the conditions set out in the Development Application (N0116/04) pertaining to Pittwater Councils Development Control Plan No.23.

Yours Sincerely

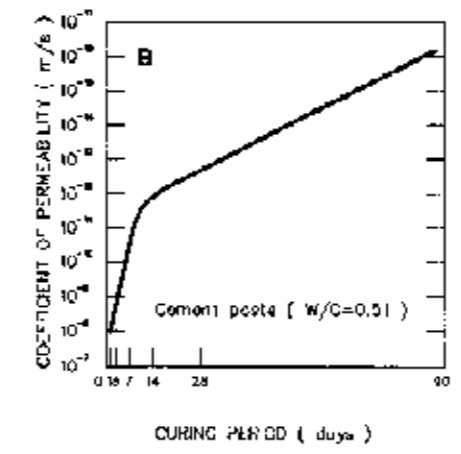
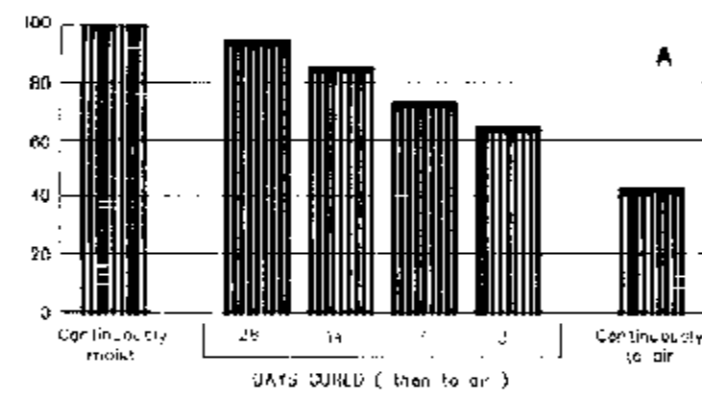
Ian Barnett
B.L. Arch., Cert Hort.
Lic No 24585C.



DRAINAGE PLAN
Scale 1:100

IMPORTANCE OF CURING CONCRETE

COMPRESSIVE STRENGTH AT 180 DAYS AS % OF CONTINUOUSLY MOIST CURED SAMPLE



Effect of curing duration on : (A) compressive strength; and (B) concrete permeability
Acknowledgement : Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HB84:1996)

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia.
A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.3800., A.S.3700., A.S.4100

Jack D. Hodgson *Jack D. Hodgson*
Name Date Signature

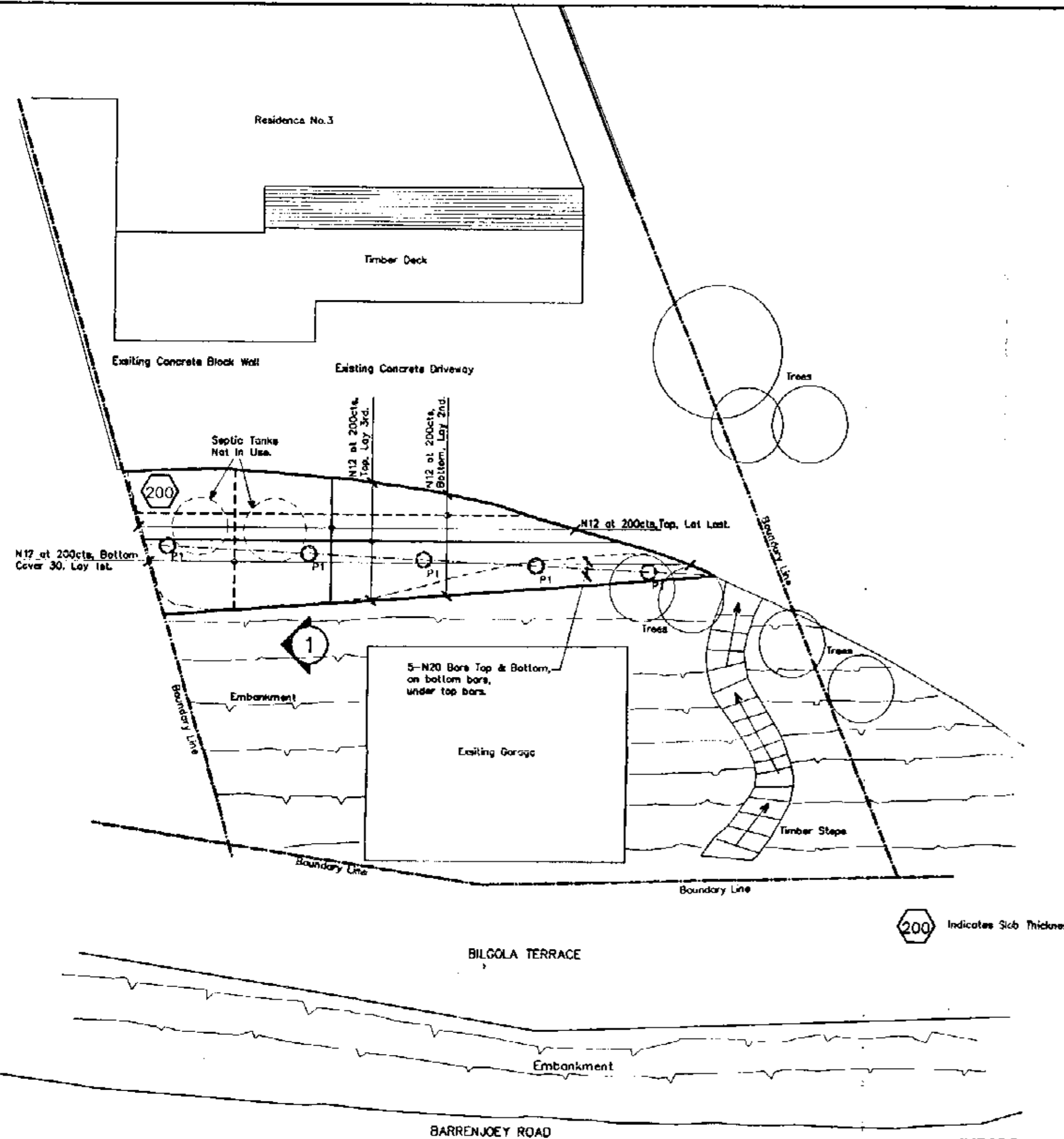
No.	Amendment	Drawn	Date
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STORMWATER MANAGEMENT PLAN
PROPOSED ADDITIONS
3 BILGOLA TERRACE
AVALON BEACH

The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.

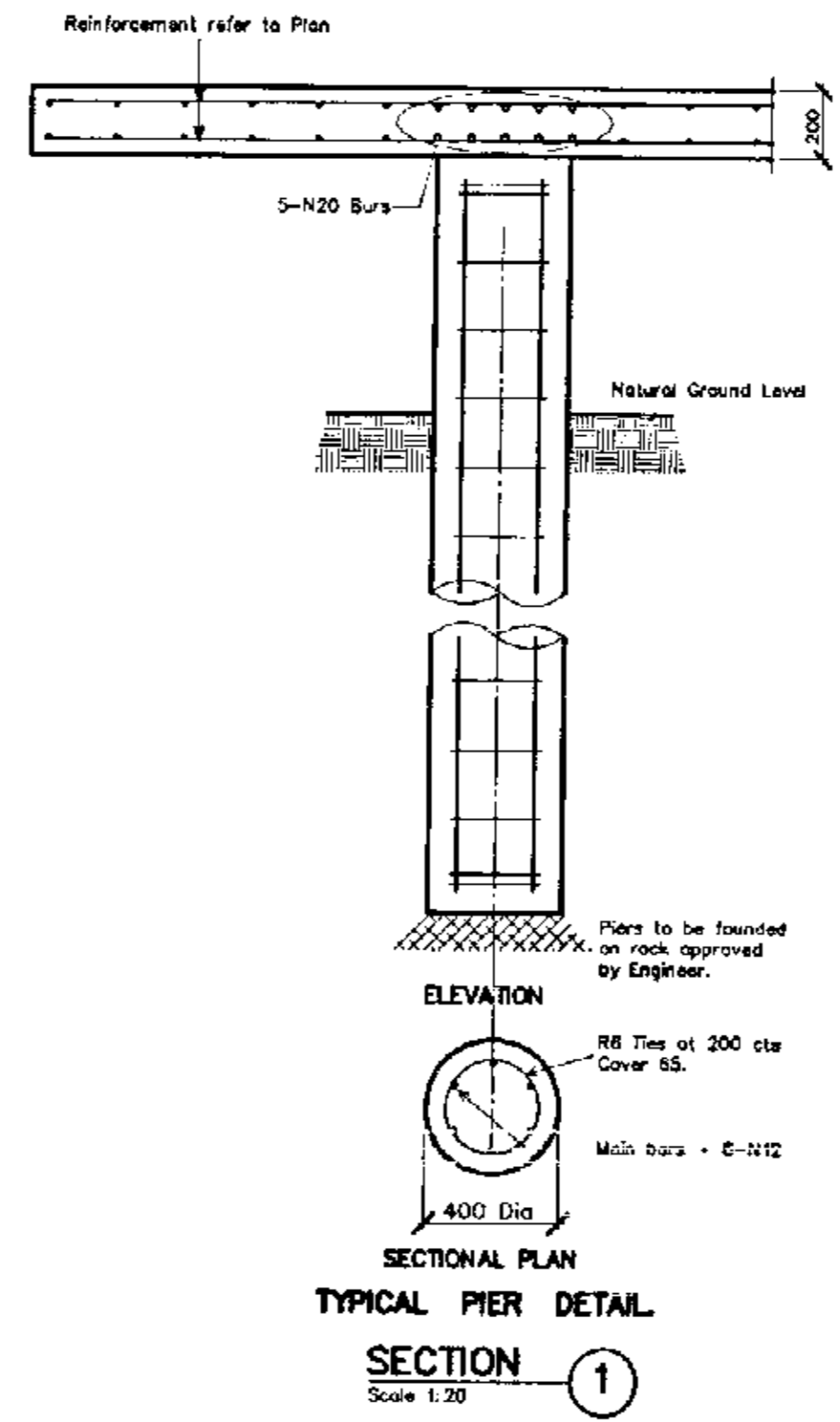
JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungun Street, MONA VALE, P.O. Box 384, Post Code 2103.
Telephone (02) 9979 5733. Facsimile (02) 9979 8326. A.C.N. 053 405 011

Designed	JDH	Drawn	KLC	Job No.	Drawing No.
Checked	JDH	Scale	1:100, 20 uno	20317-H1	
Date	6th SEPTEMBER 2004				



200 Indicates Slab Thickness

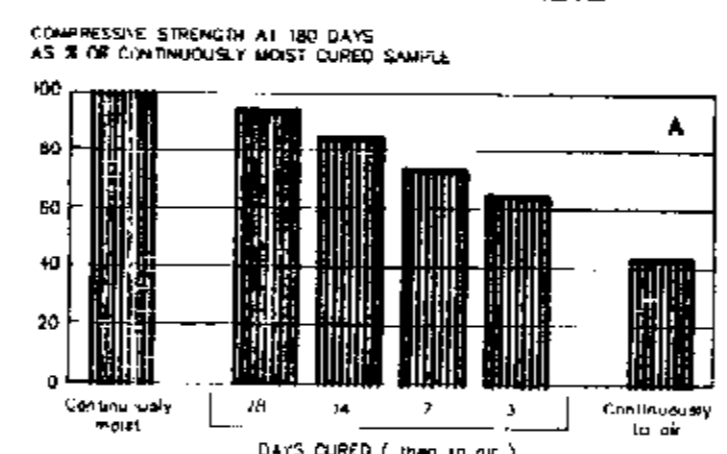
FOOTING / SLAB PLAN
Scale 1:100



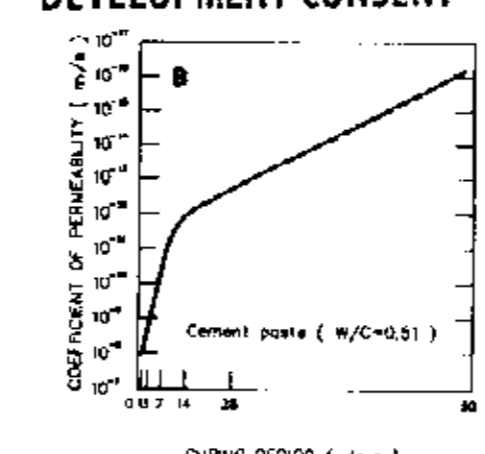
PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

IMPORTANCE OF CURING CONCRETE

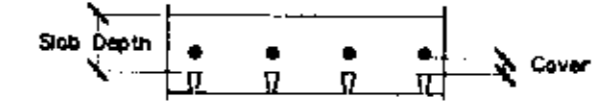


DEVELOPMENT CONSENT



Effect of curing duration on: (A) compressive strength; and (B) concrete permeability
Acknowledgement: Diagram is based on fig 1.2 of Guide to Concrete Repair & Protection (SAA/HEB4:1998)

- CONCRETE NOTES.**
- All concrete work to be in accordance with AS 3600.
 - $f'c = 40$ MPa for All external slabs & columns.
= 25 MPa for slabs, piers and beams.
= 20 MPa for block filling and footings.
 - Maximum aggregate size = 20 for footings, slabs & beams.
= 10 for block filling.
 - Slump = 80.
 - All concrete, including block filling, to be vibrated.
 - Slabs to be kept damp for at least 14 days after placing or to be protected by an approved curing membrane.
 - Bar Chairs to be no more than 800mm ctr to ctr spacing.
 - Reinforcing Steel to comply with AS/NZS 4871:2001, and to be D500H unless noted otherwise. (where 500 = strength grade in megapascals & N = Normal ductility class)
 - Reinforcement to be tied at every other intersection minimum.
 - Metal roofing being used as formwork (not Boardex or similar).
Depth of Slab must be taken from the Top of the Roof Rib.
Specified bottom cover must be taken from the Top of the Roofing Rib.



- STEELWORK NOTES**
- Fabricate and erect all structural steelwork in accordance with AS 4100, AS 1554 and the Specification.
 - Do not obtain dimensions by scaling the structural elements.
 - Chip all welds free of slag.
 - All steelwork to be Hot Dipped Galvanised. Unless Otherwise Noted.
 - Unless otherwise noted use:
 - 6mm continuous fillet weld
 - 10mm thick gusset, fin and end plates, weld all round.
 - 16mm dia. 4.6/s bolts
 - Minimum end bearing 150mm.

PLAN OR DOCUMENT CERTIFICATION

I am a qualified...CIVIL, GEOTECHNICAL & STRUCTURAL ENGINEER...
I hold the following qualifications or licence No.....M.Eng.Sc.....
.....F.I.E.Aust.....Nper3.....Struct.Civil.No.149788.....
Further I am appropriately qualified to certify this component of the project.
I hereby state that these plans or details comply with the conditions of development consent, the provisions of the Building Code of Australia, A.S.1170., A.S.1170.1, A.S.1170.2, A.S.1684., A.S.3600., A.S.3700., A.S.4100

Jack D. Hodgson

Name	Date	Signature

No.	Amendment	Drawn	Date

FOOTING / SLAB PLAN AND DETAIL

PROPOSED ADDITIONS
3 BILGOLA TERRACE
AVALON BEACH

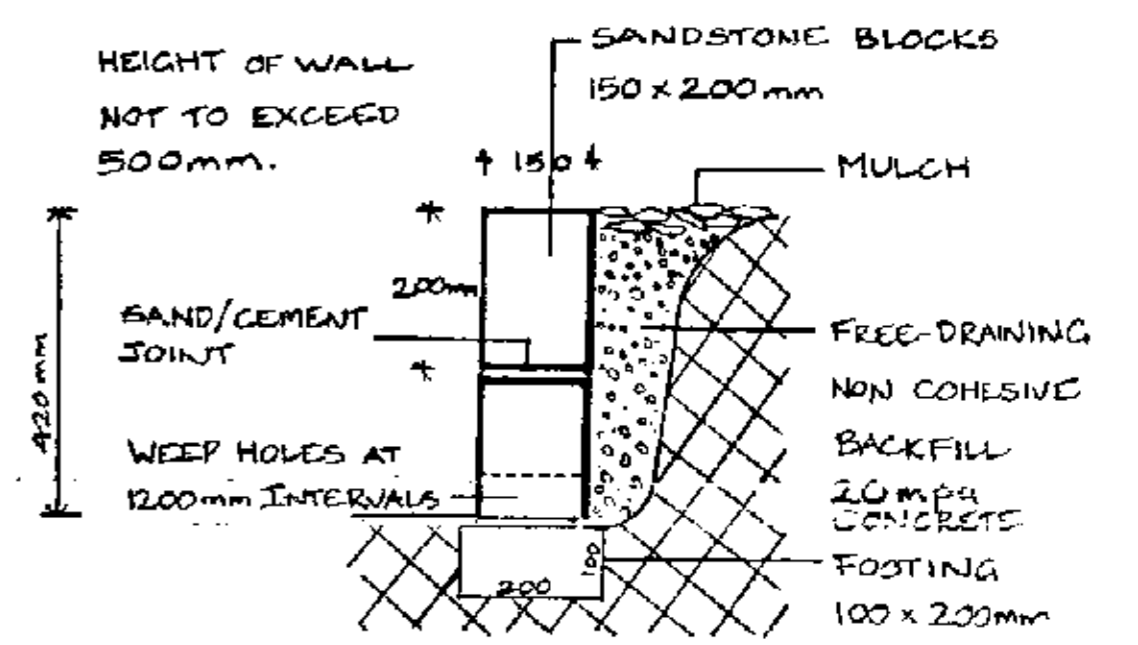
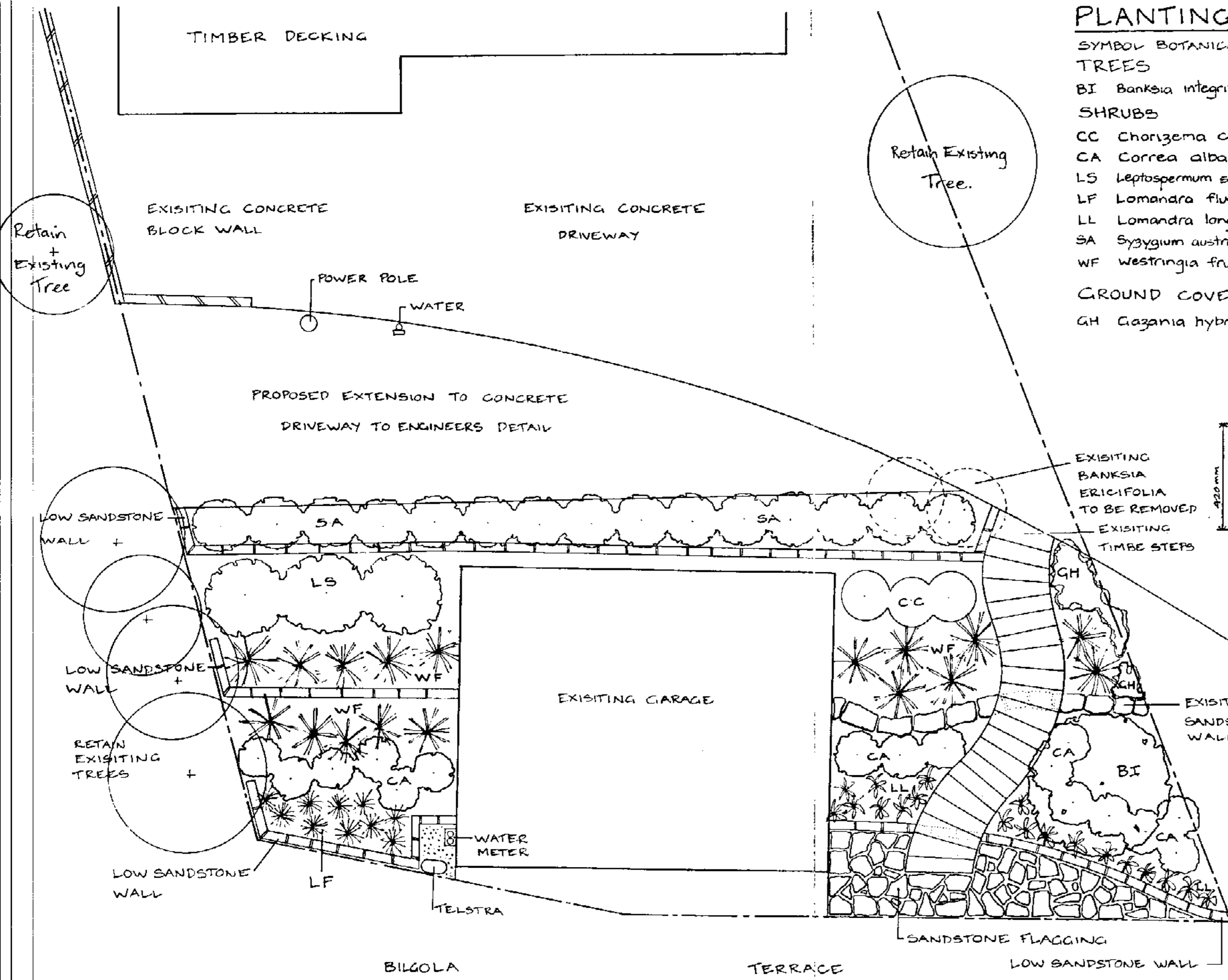
The Structural Details shown on this Drawing are Not to change under any circumstance. No Certificate will be issued for work Not in accordance with this Drawing.

JACK HODGSON CONSULTANTS PTY. LIMITED.
Consulting Civil, Geotechnical, and Structural Engineers.
11 Bungun Street, MONA VALE, P.O. Box 389, Post Code 2103.
Telephone (02) 9879 6733. Facsimile (02) 9879 6928. A.C.N. 053 435 011

Designed	JDH	Drawn	ED	Job No.		Drawing No.	
Checked	JDH	Scale	1:100,20 uno	20317-1			
Date	4 DECEMBER 2002						

PLANTING SCHEDULE.

SYMBOL	BOTANICAL NAME	COMMON NAME	NO	SIZE
TREES				
BI	Banksia integrifolia	Coastal Banksia	1	25 liter
SHRUBS				
CC	Chorizema cordatum	Flame Pea	3	200mm
CA	Correa alba	Correa	16	200mm
LS	Leptospermum squarrosum	Tea Tree	3	200mm
LF	Lomandra fluvialis	Lomandra	19	150mm
LL	Lomandra longifolia	Lomandra	10	150mm
SA	Syzygium australe 'Select'	Lilly Pilly	15	200mm
WF	Westringia fruticosa	Coastal Rosemary	17	200mm
GROUND COVER				
GH	Gazania hybrids	Gazania	10	150mm



SECTION. LOW SANDSTONE WALL
SCALE 1:10

PITTWATER COUNCIL
APPROVED DEVELOPMENT CONSENT PLANS

NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF LAND DEVELOPMENT CONSENT PLAN PROPOSED ADDITIONS 3 BILGOLA TERRACE AVALON BEACH

CLIENT MR & MRS TRELOAR			
DATE 12/2/03	SCALE 1:50, 1:10	DRAWN I.B.	DRAWING No 0313-03
IAN BARNETT LANDSCAPE DESIGN 77 HUDSON PARADE CLAREVILLE PH 0418 291 943 LIC# 25485G Bachelor of Landscape Architecture Certificate Horticulture			

LANDSCAPE PLAN.