

## SEPP 65 Design Verification Statement

Prepared to accompany the Development Application submitted to Northern Beaches Council.

### Project Address:

4 Collaroy St Collaroy

### Prepared on behalf of:

HCAP Group

### Prepared by:

Walsh Architects Pty Limited trading as Walsh Architects

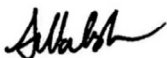
## Verification of Qualifications

Scott Walsh is a registered Architect in New South Wales (10366)

## Statement of Design

Walsh Architects has been responsible for the construction documentation of the project. The Design of the building is by Gartner Trovato Architects and they are to be referenced for any Moral Rights of the site as the designers. The project has been designed to contribute positively to the local area and respond respectfully to the local planning and design controls including the best practice design principles of SEPP 65.

We verify that our proposed residential development generally complies with the design quality principles set out in the Apartment Design Guide within SEPP 65. Details of the design compliance are included in the attached SEPP 65 Design Statement.



**Scott Walsh**

Director

NSW Registered Architect No. 10366

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## Apartment Design Guide Compliance Statement

Prepared to accompany the Development Application submitted to Northern Beaches Council.

**Project Address:**  
4 Collaroy St Collaroy

Design Criteria		Control Compliance	Notes
3D	Communal Open Space	No	<p>The approved DA was approved with a shortfall numerically with the control, there is still a large communal open space on the site and there is a larger indoor area which includes a Gym, Surfboard Room and Common Room.</p> <p><b>This Modification does NOT change the approved meters squared of the Communal Open Space.</b></p>
3E	Deep Soil Zones	No	<p>The approved DA was approved with a shortfall numerically with the control.</p> <p><b>This Modification does NOT change the approved meters squared of Deep Soil Zones</b></p>
3F	Visual Privacy	No	<p>The approved DA does not comply with the numerics in this control; however, privacy screens and other measures such as offset balconies etc generally meet the objectives of this control.</p> <p><b>This Modification does NOT change the approved privacy measures</b></p>
3J	Car Parking	Yes	<p>The proposal provides basement parking which complies with the Guide to Traffic Generating Development parking generation rates for residential parking. The development application is accompanied by a traffic letter by Genesis Traffic which demonstrates compliance.</p> <p><b>This Modification DOES change the approved parking rates but only by increasing one parking space.</b></p>
4A	Solar and Daylight Access	Yes	<p>Gartner Trovato Architects proved at the DA stage that 70% of apartments receive solar access. No apartments receive less than 15mins of sun.</p> <p><b>This Modification does NOT change the approved solar access compliance.</b></p>
4B	Natural Ventilation	Yes	<p>Gartner Trovato Architects proved at the DA stage that 7% of apartments receive cross ventilation.</p> <p><b>This Modification does NOT change the approved Natural Ventilation compliance.</b></p>

4C	Ceiling Heights	No	<p>Ceiling heights of 2.7m are provided for habitable rooms and 2.4m for non-habitable rooms for the top floor. There will be some areas of the development that have 2.65m in habitable rooms (other than one apartment at 2.55m). No non-habitable rooms are less than 2.4m. The objective has still been met as ceiling heights have been maximised as much as possible.</p> <p><b>This Modification DOES change the approved heights as a clear 2.7m cannot be achieved at all times. Ceilings Heights will still be maximised to as high as possible in all apartments. Some apartments may require 2.65m or areas that are less due to pipes in ceilings which will be minimised. All apartments will still exceed NCC minimums.</b></p>
4D-1	Apartment Size	Yes	<p>Apartments are greater than minimum area and each habitable room has a window to an external wall of not less than 10% of the floor area.</p> <p><b>This Modification does NOT change the Apartment Areas other than a slight increase to one apartment. This still complies</b></p>
4D-2	Apartment Depth	No	<p>The approved DA has open plan layouts have a habitable exceeding 8m.</p> <p><b>This Modification does NOT change the Apartment Depths.</b></p>
4D-3	Apartment Layout	Yes	<p>Bedrooms and living rooms meet or exceed minimum dimensional requirements with all bedrooms having a minimum dimension of 3m excluding wardrobe space. Construction tolerance may impact this during construction but the design maximises dimensions where possible.</p> <p><b>This Modification does NOT change the Apartment Layout Dimensions.</b></p>
4E	Private Open Space and Balconies	YES	<p>All balconies and primary open space meet or exceed minimum dimensions.</p> <p><b>This Modification does NOT change the primary POS dimension.</b></p>
4F	Common Circulation and Spaces	YES	<p>All cores have a maximum of 4 apartments per level with a single lift core and fire stair accessible to all units.</p> <p><b>This Modification does NOT change the circulation.</b></p>
4G	Storage	YES	<p>Storage size volumes for each apartment type exceed the minimum criteria. 50% or greater of the required storage volume is located with each apartment.</p> <p><b>This Modification does NOT change the storage of apartments other than the two apartments that have been redesign which still comply.</b></p>

## SEPP DESIGN STATEMENT

4 COLLAROY ST COLLAROY

### Principle 1: Context and Neighbourhood Character

*Good design responds and contributes to its context. Context can be defined as the key natural and built features of an area.*

*Responding to context involves identifying the desirable elements of a location's current character or, in the case of precincts undergoing a transition, the desired future character as stated in planning and design policies. New buildings will thereby contribute to the quality and identity of the area.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.

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### Principle 2: Built Form + Scale

*Good design provides an appropriate scale in terms of the bulk and height that suits the scale of the street and the surrounding buildings.*

*Establishing an appropriate scale requires a considered response to the scale of existing development. In precincts undergoing a transition, proposed bulk and height needs to achieve the scale identified for the desired future character of the area.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.

## Principle 3: Density

*Good design achieves a high level of amenity for residents and each apartment, resulting in a density appropriate to the site and its context. Appropriate densities are consistent with the area's existing or projected population. Appropriate densities can be sustained by existing or proposed infrastructure, public transport, access to jobs, community facilities and the environment.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.
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## Principle 4: Sustainability

*Good design combines positive environmental, social, and economic outcomes. Good sustainable design includes use of natural cross ventilation and sunlight for the amenity and livability of residents and passive thermal design for ventilation, heating and cooling reducing reliance on technology and operation costs. Other elements include recycling and reuse of materials and waste, use of sustainable materials, and deep soil zones for groundwater recharge and vegetation.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage. There is also an updated BASIX submitted as per the changes to the windows and apartments.

## Principle 5: Landscape

*Good design recognises that together landscape and buildings operate as an integrated and sustainable system, resulting in attractive developments with good amenity. A positive image and contextual fit of well-designed developments is achieved by contributing to the landscape character of the streetscape and neighbourhood.*

*Good landscape design enhances the development's environmental performance by retaining positive natural features which contribute to the local context, coordinating water and soil management, solar access, micro-climate, tree canopy, habitat values, and preserving green networks. Good landscape design optimises usability, privacy and opportunities for social interaction, equitable access, respect for neighbours' amenity, provides for practical establishment and long-term management.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage. An updated landscape plan has also been submitted as part of the modification, but this actually increases the amount of planting area onsite.

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## Principle 6: Amenity

*Good design positively influences internal and external amenity for residents and neighbours. Achieving good amenity contributes to positive living environments and resident well-being.*

*Good amenity combines appropriate room dimensions and shapes, access to sunlight, natural ventilation, outlook, visual and acoustic privacy, storage, indoor and outdoor space, efficient layouts and service areas, and ease of access for all age groups and degrees of mobility*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage. Whilst some items in this principle has slightly changed from the approved DA, the objectives of maximising ceiling heights are still achieved where possible.

## Principle 7: Safety

*Good design optimises safety and security, within the development and the public domain. It provides for quality public and private spaces that are clearly defined and fit for the intended purpose. Opportunities to maximise passive surveillance of public and communal areas promote safety.*

*A positive relationship between public and private spaces is achieved through clearly defined secure access points and well-lit and visible areas that are easily maintained and appropriate to the location and purpose.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.
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## Principle 8: Housing Diversity and Social Interaction

*Good design achieves a mix of apartment sizes, providing housing choice for different demographics, living needs and household budgets.*

*Well-designed apartment developments respond to social context by providing housing and facilities to suit the existing and future social mix. Good design involves practical and flexible features, including different types of communal spaces for a broad range of people, providing opportunities for social interaction amongst residents*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.

## Principle 9: Aesthetics

*Good design achieves a built form that has good proportions and a balanced composition of elements, reflecting the internal layout and structure. Good design uses a variety of materials, colours, and textures.*

*The visual appearance of well-designed apartment development responds to the existing or future local context, particularly desirable elements, and repetitions of the streetscape.*

- The changes as part of this modification still meet the principle as approved during the Development Assessment stage.