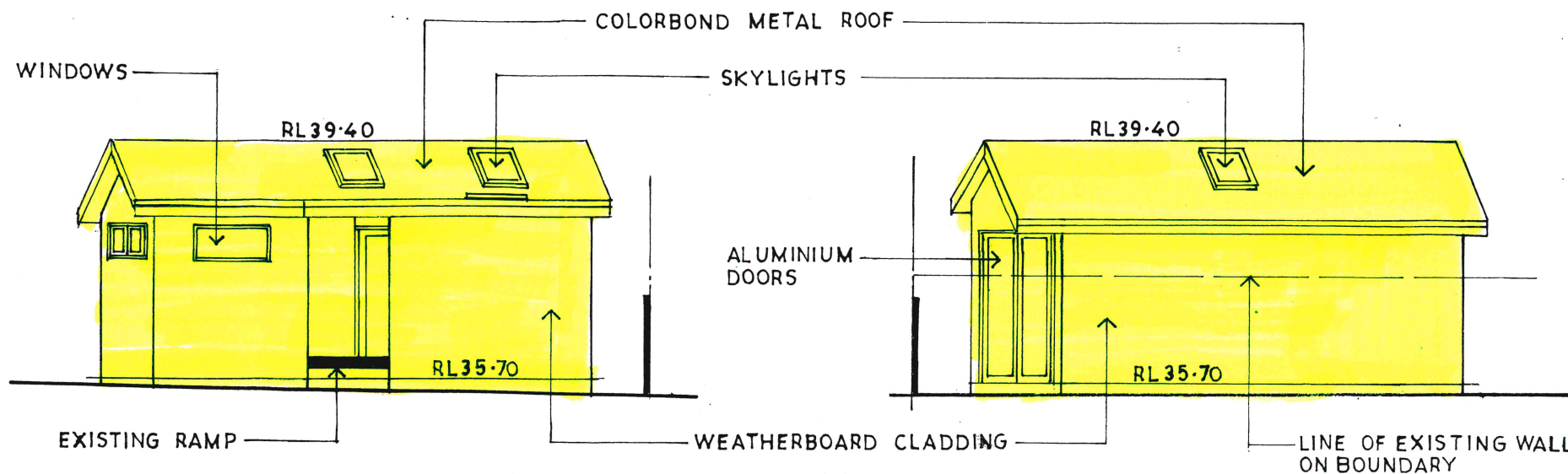
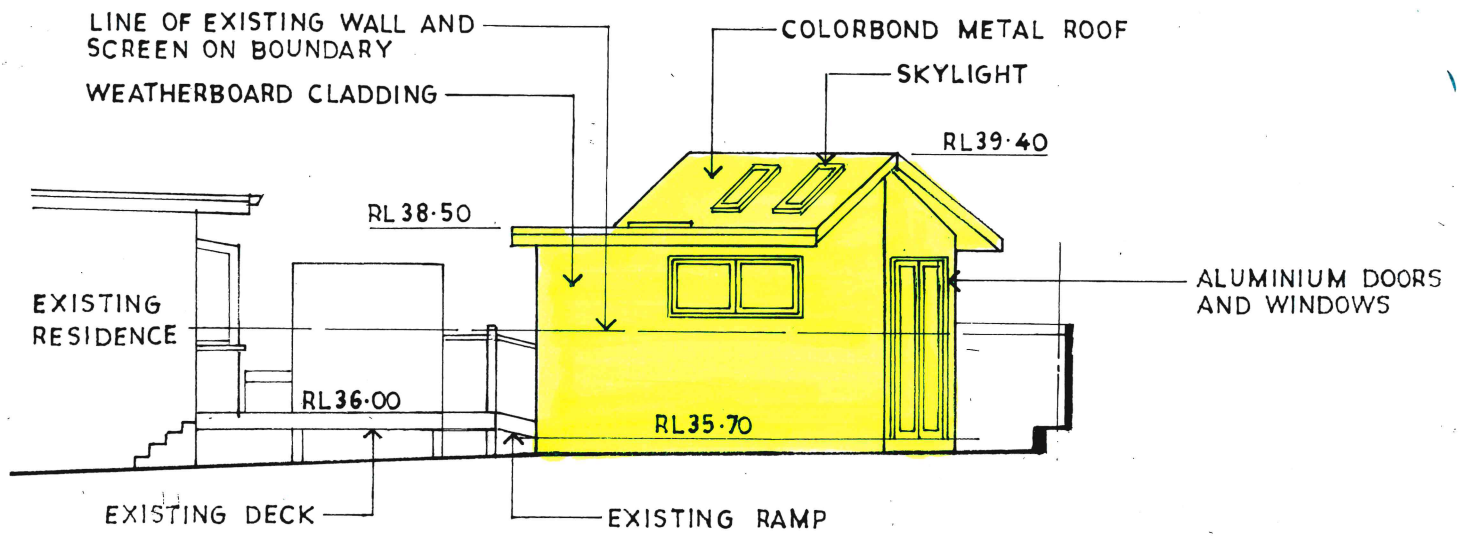


**STUDIO PLAN**



**SOUTH ELEVATION**

**NORTH ELEVATION**



**EAST ELEVATION**

**Window & Door Schedule**

All windows & doors to be aluminium framed

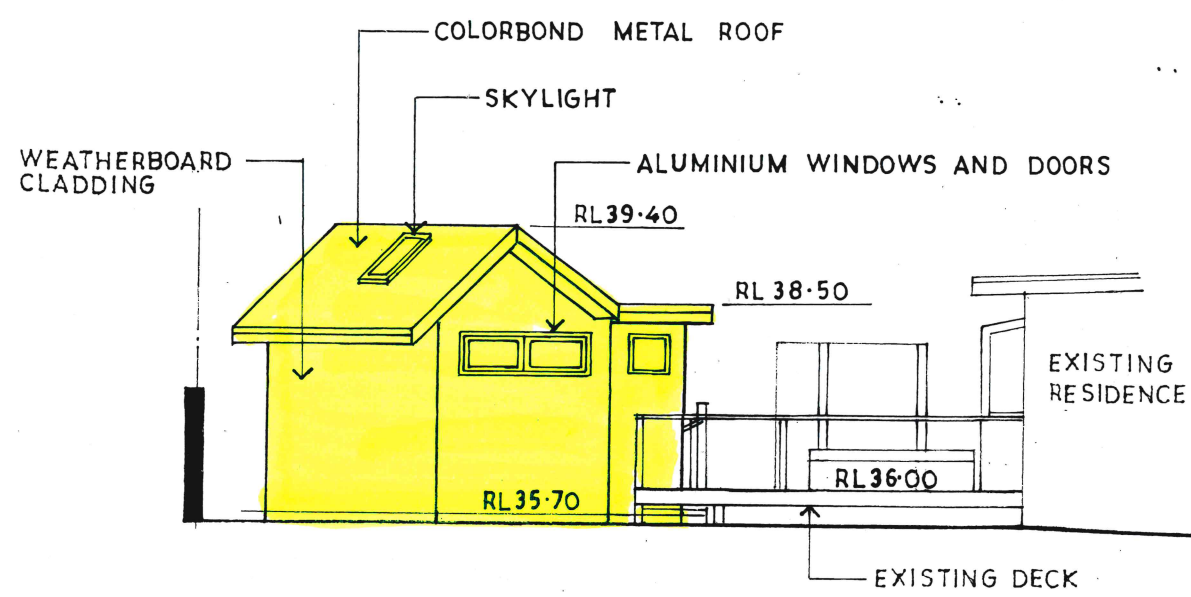
Legend	Height	x	Width	Description
D1	2400	x	1400	Glass doors
W2	800	x	1800	Awning window
W3	600	x	1200	Fixed window
D4	2400	x	1000	Glass door
W5	600	x	1800	Awning window

**Glazing Note**

All windows and doors to be glazed with Single clear glass to achieve a total system U-value: 6.44, SHGC: 0.75.

**Skylight Note**

S01, S03, S04 to be 0.5m<sup>2</sup> maximum in area and glazed to achieve a total system U-value: 4.3, SHGC: 0.5  
S02 to be 0.9m<sup>2</sup> maximum in area and glazed to achieve a total system U-value: 4.3, SHGC: 0.5



**WEST ELEVATION**

John Wright

**NETWORK DESIGN**

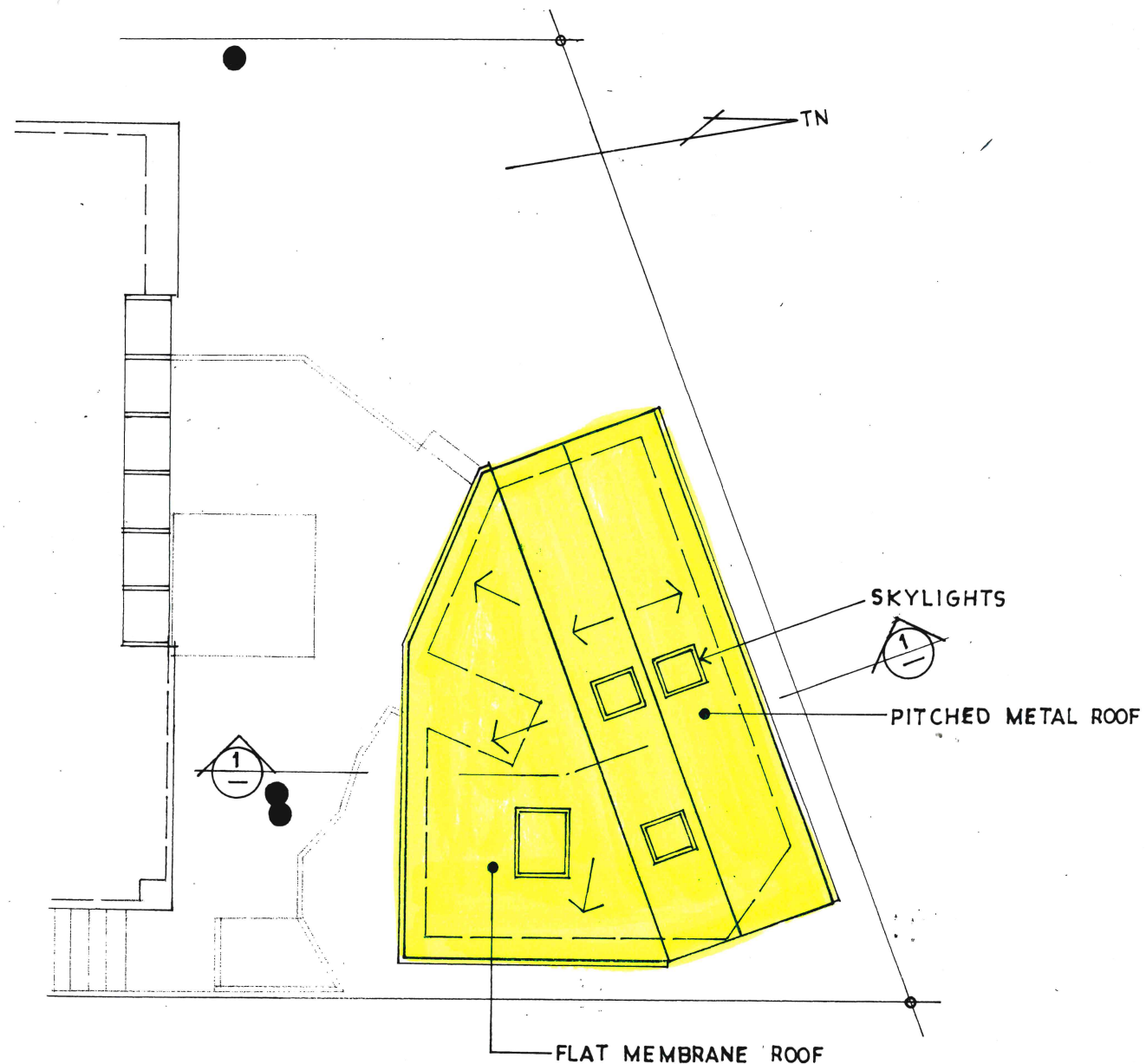
a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

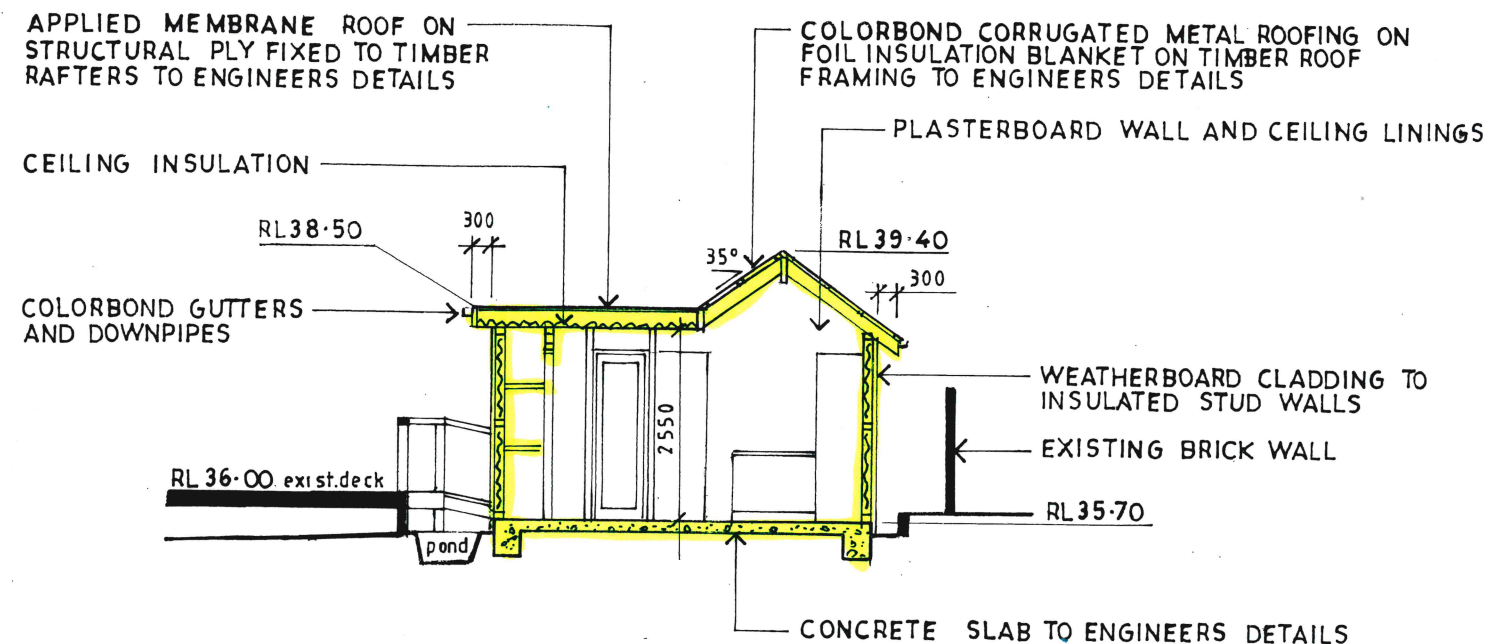
M. 0417 459 596

alwayswright@optusnet.com.au

<b>PROPOSED MANAGERS STUDIO</b>		
38 MAKIM STREET		
NORTH CURL CURL LOT 64 DP16078		
<b>CLIENT</b>		
STEPHEN SCOTT		
<b>STUDIO PLAN AND ELEVATIONS</b>		
<b>DATE</b>	<b>DRAWN</b>	<b>DRG. NO.</b>
JANUARY 2021	J.WRIGHT	1-21-MAK
<b>SCALE</b>	<b>ISSUE:</b>	<b>SHEET NO.</b>
1:100	DA	1




**ROOF PLAN**



**SECTION 1**

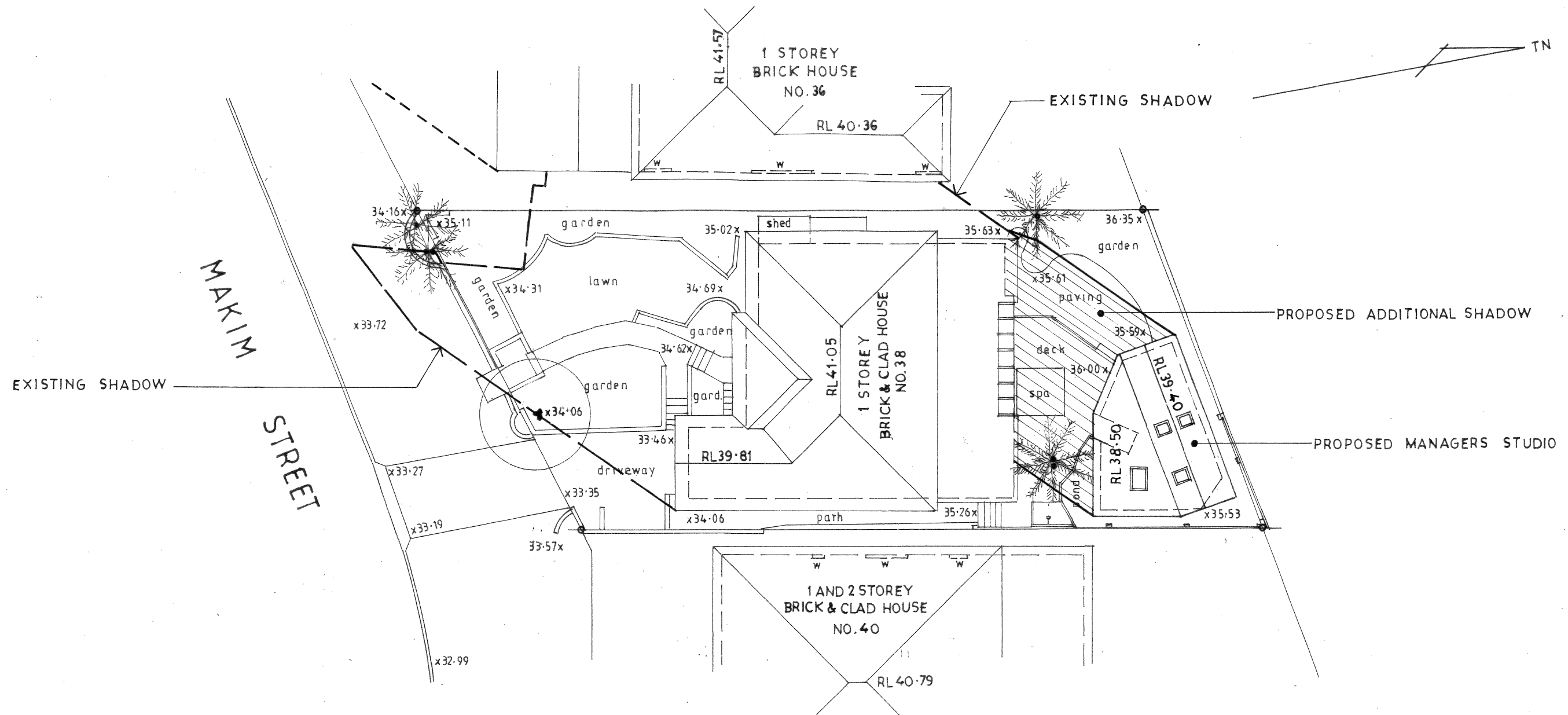
**Notes**

1. All dimensions to be checked on site by builder prior to the commencement of works. Figured dimensions to be used. Do not scale drawing. All dimensions in millimetres unless shown otherwise.
2. Concrete works to be in accordance with AS3600 and Engineers details.
3. All timber framing to AS1684 & 1720 and Engineers details where relevant.
4. All steelwork to AS4100 and Engineers details.
5. All new glazing to be in accordance with AS1288. Windows and doors to be installed in accordance with manufacturers specifications. Flashing details to comply with the relevant exposure condition for each window or door.
6. All new roof drainage to be connected to existing stormwater system draining to street.
7. All works generally to be in accordance with local council bylaws and the Building Code of Australia.
8. All work to be left in a safe and stable condition at the end of each day.

 <p>John Wright</p> <p><b>NETWORK DESIGN</b> a.b.n.52 057 985 118 37 McKillop Road Beacon Hill 2100 M. 0417 459 596 alwayswright@optusnet.com.au</p>	<p><b>PROPOSED MANAGERS STUDIO</b> 38 MAKIM STREET NORTH CURL CURL LOT 64 DP16078</p>		
	<p><b>CLIENT</b> STEPHEN SCOTT</p>		
	<p><b>ROOF PLAN AND SECTION</b></p>		
	<p><b>DATE</b> JANUARY 2021</p>	<p><b>DRAWN</b> J.WRIGHT</p>	<p><b>DRG. NO.</b> 1-21-MAK</p>
<p><b>SCALE</b> 1:100</p>	<p><b>ISSUE:</b> DA</p>	<p><b>SHEET NO.</b> 2</p>	







## 9AM WINTER SHADOW PLAN



John Wright

**NETWORK DESIGN**

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37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

**PROPOSED MANAGERS STUDIO**

38 MAKIM STREET

NORTH CURL CURL LOT 64 DP16078

CLIENT

STEPHEN SCOTT

**9AM WINTER SHADOW PLAN**

DATE  
JANUARY 2021

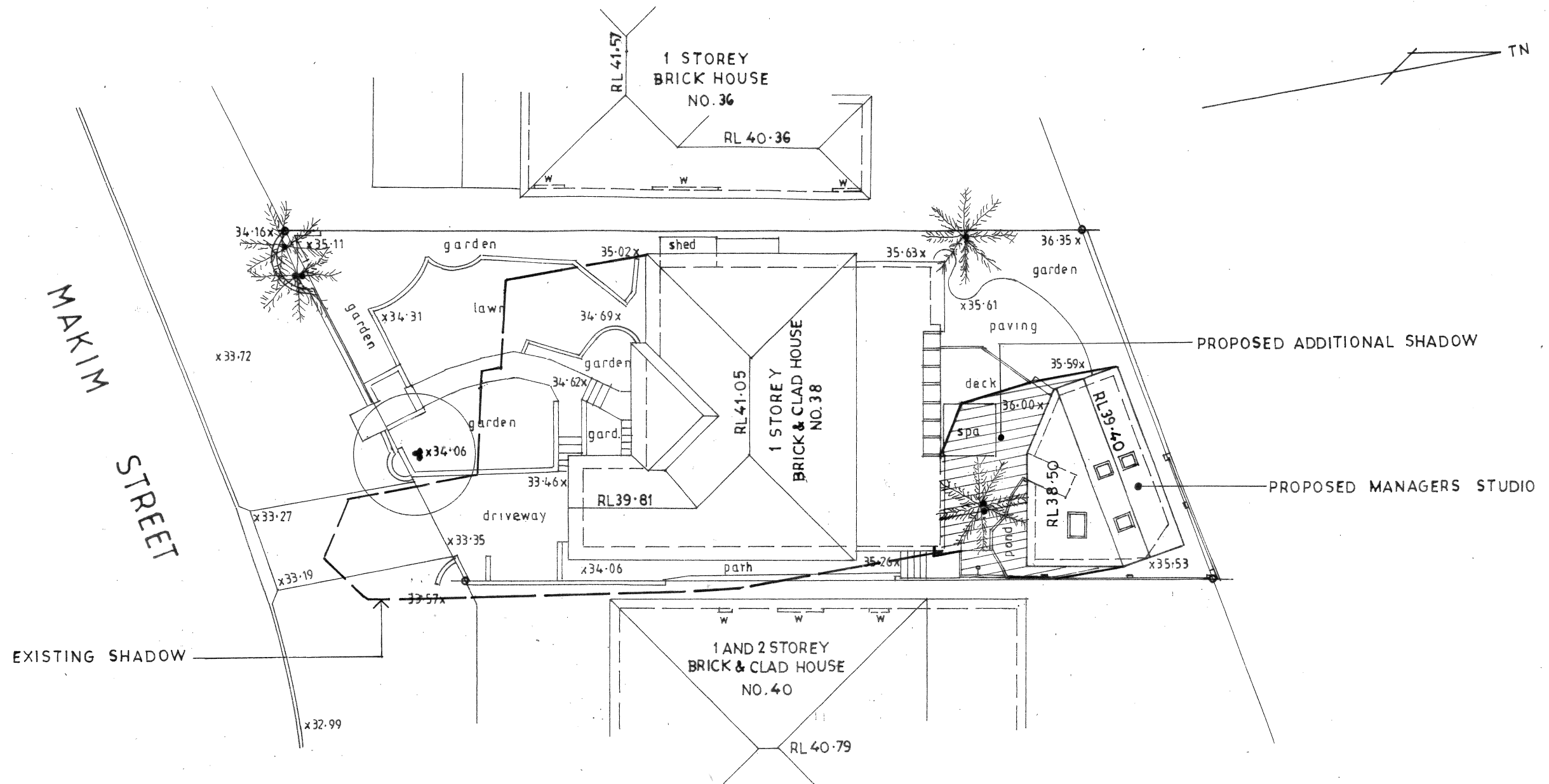
DRAWN  
J.WRIGHT

DRG. NO.  
1-21-MAK

SCALE  
1:200

ISSUE:  
DA

SHEET NO.  
6



NOON WINTER SHADOW PLAN



John Wright

**NETWORK DESIGN**

a.b.n.52 057 985 118

37 McKillop Road Beacon Hill 2100

M. 0417 459 596

alwayswright@optusnet.com.au

**PROPOSED MANAGERS STUDIO**

38 MAKIM STREET

NORTH CURL CURL LOT 64 DP16078

**CLIENT**

STEPHEN SCOTT

**NOON WINTER SHADOW PLAN**

**DATE**

JANUARY 2021

**DRAWN**

J.WRIGHT

**DRG. NO.**

1-21-MAK

**SCALE**

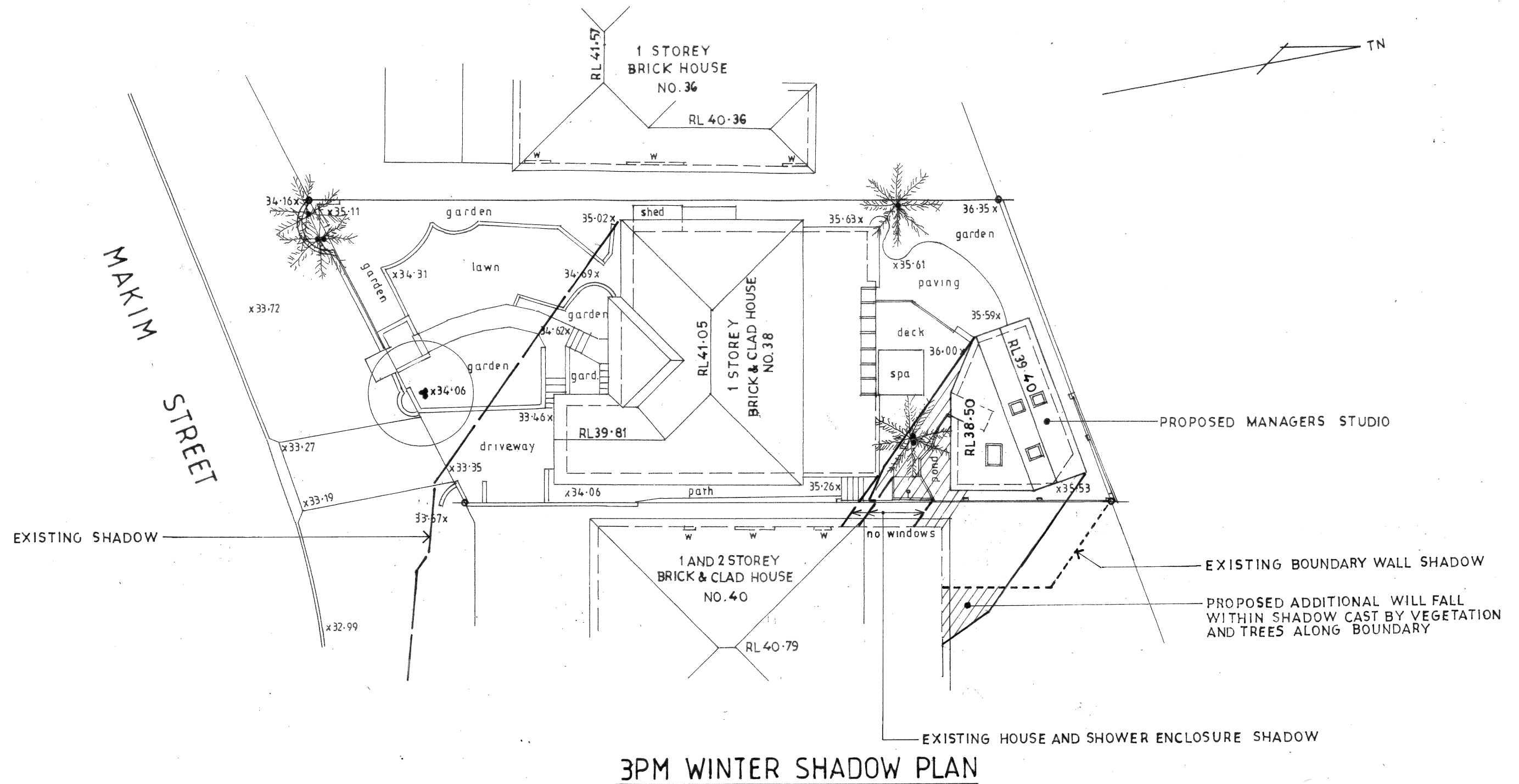
1:200

**ISSUE:**

DA

**SHEET NO.**

7



 <b>John Wright</b> <b>NETWORK DESIGN</b> a.b.n.52 057 985 118 37 McKillop Road Beacon Hill 2100 M. 0417 459 596 alwayswright@optusnet.com.au			<b>PROPOSED MANAGERS STUDIO</b>		
			38 MAKIM STREET NORTH CURL CURL LOT 64 DP16078		
			<b>CLIENT</b>		
			STEPHEN SCOTT		
			<b>3PM WINTER SHADOW PLAN</b>		
<b>DATE</b>		<b>DRAWN</b>	<b>DRG. NO.</b>		
JANUARY 2021		J.WRIGHT	1-21-MAK		
<b>SCALE</b>		<b>ISSUE:</b>	<b>SHEET NO.</b>		
1:200		DA	8		

# Schedule of Finishes

Managers Studio  
38 Makim Street, North Curl Curl



METAL ROOF – COLORBOND SHALE GREY

TIMBER WEATHERBOARDS TO MATCH EXISTING INCLUDING COLOR

WINDOWS – WHITE ALUMINIUM