

**SYDNEY WATER
BUILDING PLAN APPROVED -
SUBJECT TO REQUIREMENTS**

Sydney Water Tap in™ Ref No: 2040235

e-Developer Case No: NA

Property Location

Street No: 11

Lot No: 2 D.P 14040

Street Name: Loch

Suburb: Freshwater

Building/Structure Description: Proposed New Dwelling

Building Plan No: Job Ref number: 2409
Sheet: A100

Engineers Plan No: Drawing:245016 Sheet:A1 Revision:2
Drawing:245016 Sheet:A2 Revision:2
Drawing:245016 Sheet:A3 Revision:2
Drawing:245016 Sheet:A4 Revision:2

Proposed building/structure is APPROVED to construct OVER/ADJACENT TO a Sydney Water asset, subject to the following requirements:

1. The foundations/piers are to be founded below the zone of influence or to solid rock.
2. No part of the building/structure or its foundations to be less than a minimum 900mm, horizontal distance from the outside edge of the asset.
3. No part of the below ground building/ structure/foundations to be less than 600/900mm horizontal distance from the outside edge of any Sydney Water Structure.
4. Foundations/piers are constructed in accordance with Engineers detail plans (stated above) as submitted to Sydney Water.
5. Sydney Waters Asset to maintain no less than 450mm of ground cover.

SPECIAL REQUIREMENTS

(A) Please allow 48 hours to book in the pier inspection

NOTE:

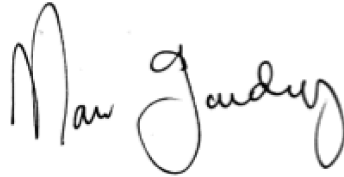
Above requirements must be inspected/supervised by a WSC to enable the issue of a satisfactory compliance letter.

Warning - Document current at time of printing or downloading.

APPROVED BY

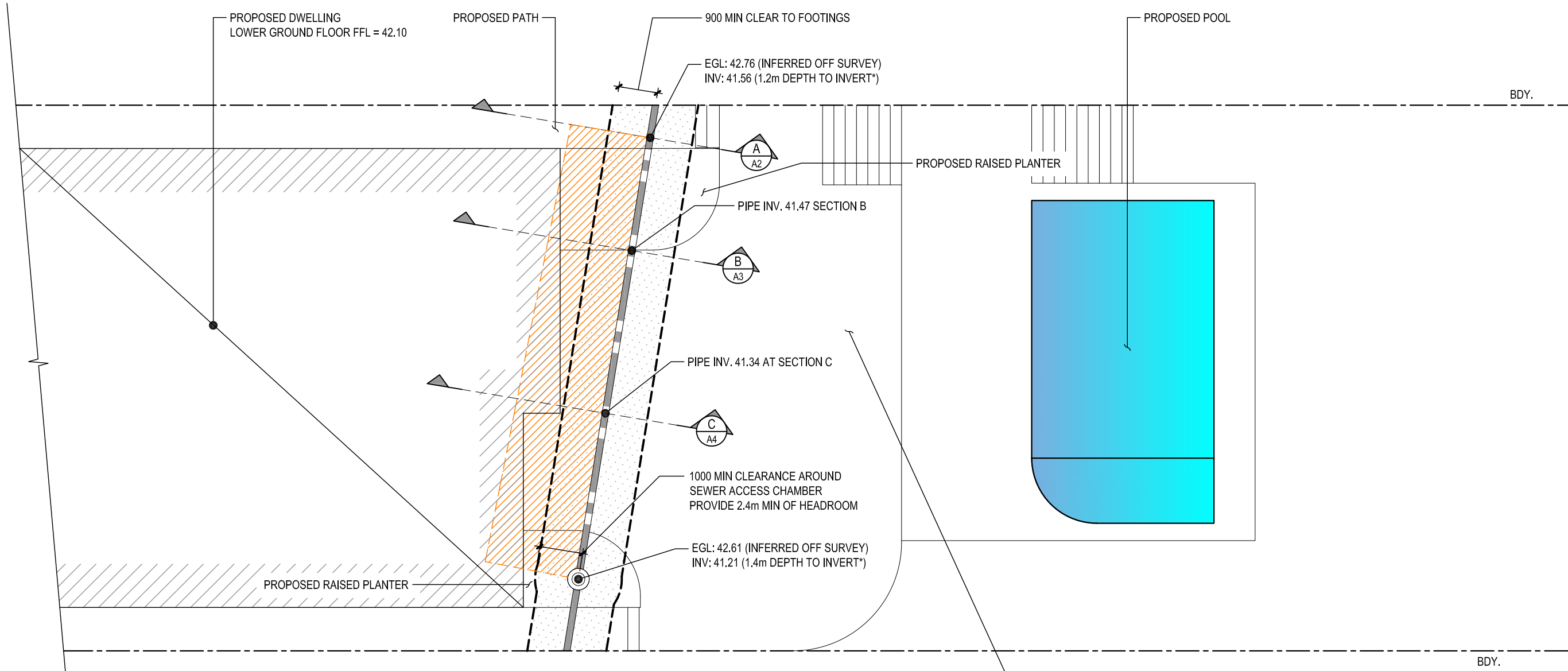
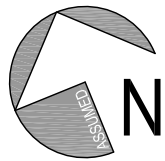
WSC Company Name: MGP Building & Infrastructure Services Pty Ltd

Name of Key Personnel: Marc Gaudry

A handwritten signature in black ink that reads "Marc Gaudry". The letters are cursive and fluid, with the first name "Marc" and the last name "Gaudry" written in a single continuous stroke.

Signature of Key Personnel:

Date:/...../.....



CONSTRUCTION NOTES:
 1. WHERE COVER TO PIPE IS LESS THAN 450mm NO CONSTRUCTION PLANT PERMITTED WITHIN THE ZONE OF INFLUENCE [ZOI] OF THE PIPE.
 2. WHERE COVER EXCEEDS 450mm, ONLY LIGHT CONSTRUCTION PLANT (5t MAX. GROSS OPERATING MASS) IS PERMITTED WITHIN THE ZOI OF THE PIPE.

LEGEND:
 HORIZONTAL PROJECTION OF ZOI TOWARDS PROPOSED DWELLING SIDE OF PIPE

SEWER ZONE OF INFLUENCE SITE PLAN
 SCALE 1:100

CLEARANCES TO EXISTING SEWER MAIN IN ACCORDANCE WITH SYDNEY WATER 'BUILDING OVER AND ADJACENT TO PIPE ASSETS' POLICY'.

* DEPTH TO PIPE INVERT & POSITION OF SEWER MAIN IN ACCORDANCE WITH SERVICE PROTECTION REPORT BY MGP BUILDING AND INFRASTRUCTURE SERVICES, JOB REFERENCE 2024-1022, DATED 28 OCTOBER 2024

| REV. | DATE | ISSUE DESCRIPTION | DESIGN | DRAWN | CHECKED |
|------|----------|------------------------|--------|-------|---------|
| 2 | 16.12.24 | Additional information | JDF | CRV | JDF |
| 1 | 13.12.24 | Sewer ZOI | JDF | CRV | JDF |

Approved:

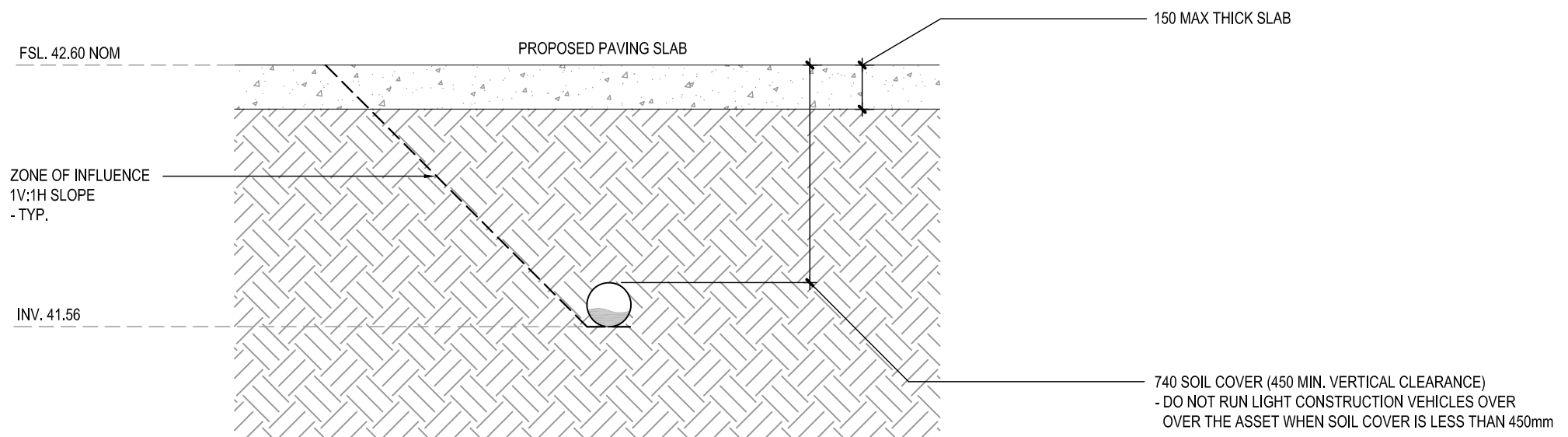
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 admin@5qs.com.au
 Port Macquarie | Newcastle
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SEWER ZONE OF INFLUENCE SITE PLAN
 PROPOSED DWELLING
 11 LOCH STREET, FRESHWATER
 G. & L. AITKEN

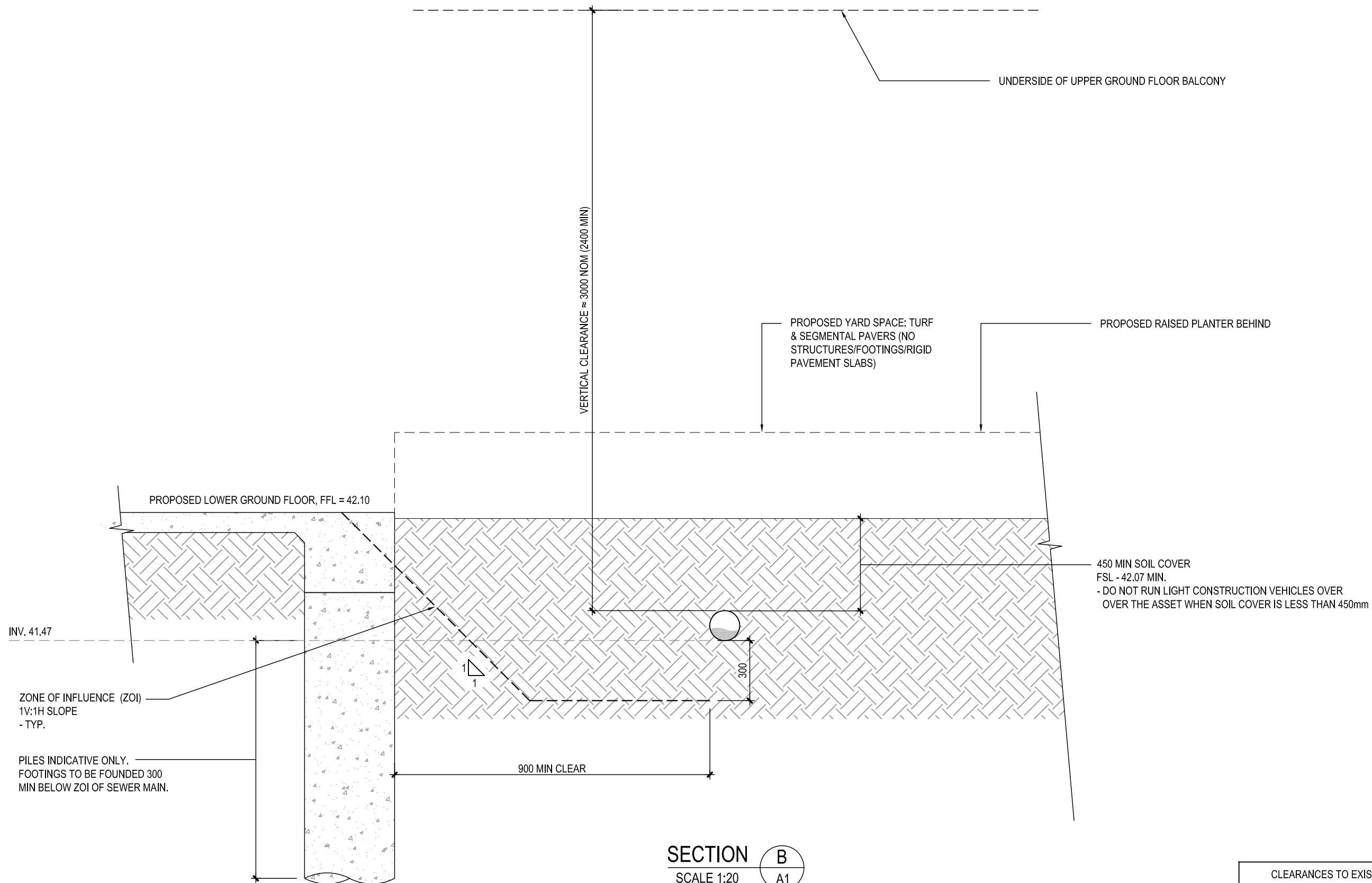
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| Drawing: 245016 | |
| Sheet: A1 | Revision: 2 |
| Original Sheet Size: A3 | |



SECTION A
SCALE 1:20 A1

CLEARANCES TO EXISTING SEWER MAIN IN ACCORDANCE WITH SYDNEY WATER 'BUILDING OVER AND ADJACENT TO PIPE ASSETS' POLICY'.

| | | | | | | | | | | | |
|------|----------|------------------------|--------|-------|---------|--|---|---|--|--------------------------------|--------------------|
| | | | | | | Approved: |  | (02) 4952 1666 admin@5qs.com.au | SEWER ZONE OF INFLUENCE DETAILS PROPOSED DWELLING 11 LOCH STREET, FRESHWATER G. & L. AITKEN | Drawing: 245016 | |
| 2 | 16.12.24 | Additional information | JDF | CRV | JDF | Copyright © 2024 - 5Eng Pty. Ltd. (Trading as 5QS Consulting Engineers) <small>This drawing is issued under licence and remains the property of 5Eng Pty. Ltd. and is not to be copied or used without permission.</small> | | Port Macquarie Newcastle | | Sheet: A2 | Revision: 2 |
| 1 | 13.12.24 | Sewer ZOI | JDF | CRV | JDF | | | Central Coast Canberra Hobart | | Original Sheet Size: A3 | |
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450 MIN SOIL COVER
 FSL - 42.07 MIN.
 - DO NOT RUN LIGHT CONSTRUCTION VEHICLES OVER
 OVER THE ASSET WHEN SOIL COVER IS LESS THAN 450mm

SECTION B
 SCALE 1:20

CLEARANCES TO EXISTING SEWER MAIN IN
 ACCORDANCE WITH SYDNEY WATER 'BUILDING
 OVER AND ADJACENT TO PIPE ASSETS' POLICY'.

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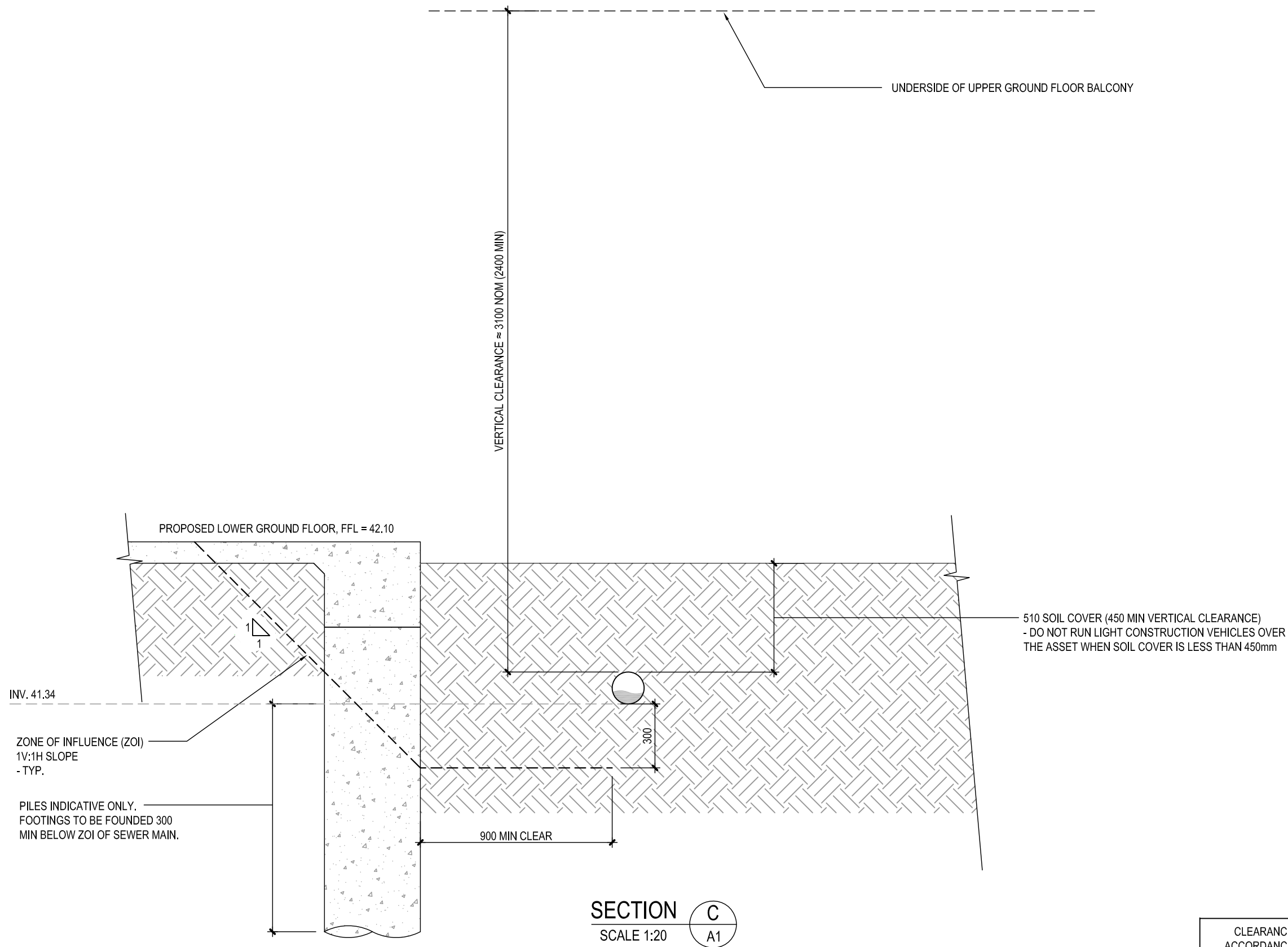


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SEWER ZONE OF INFLUENCE DETAILS
 PROPOSED DWELLING
 11 LOCH STREET, FRESHWATER
 G. & L. AITKEN

| | |
|-------------------------|-------------|
| Drawing: 245016 | |
| Sheet: A3 | Revision: 2 |
| Original Sheet Size: A3 | |



CLEARANCES TO EXISTING SEWER MAIN IN ACCORDANCE WITH SYDNEY WATER 'BUILDING OVER AND ADJACENT TO PIPE ASSETS' POLICY'.

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PROPOSED DWELLING
11 LOCH STREET, FRESHWATER
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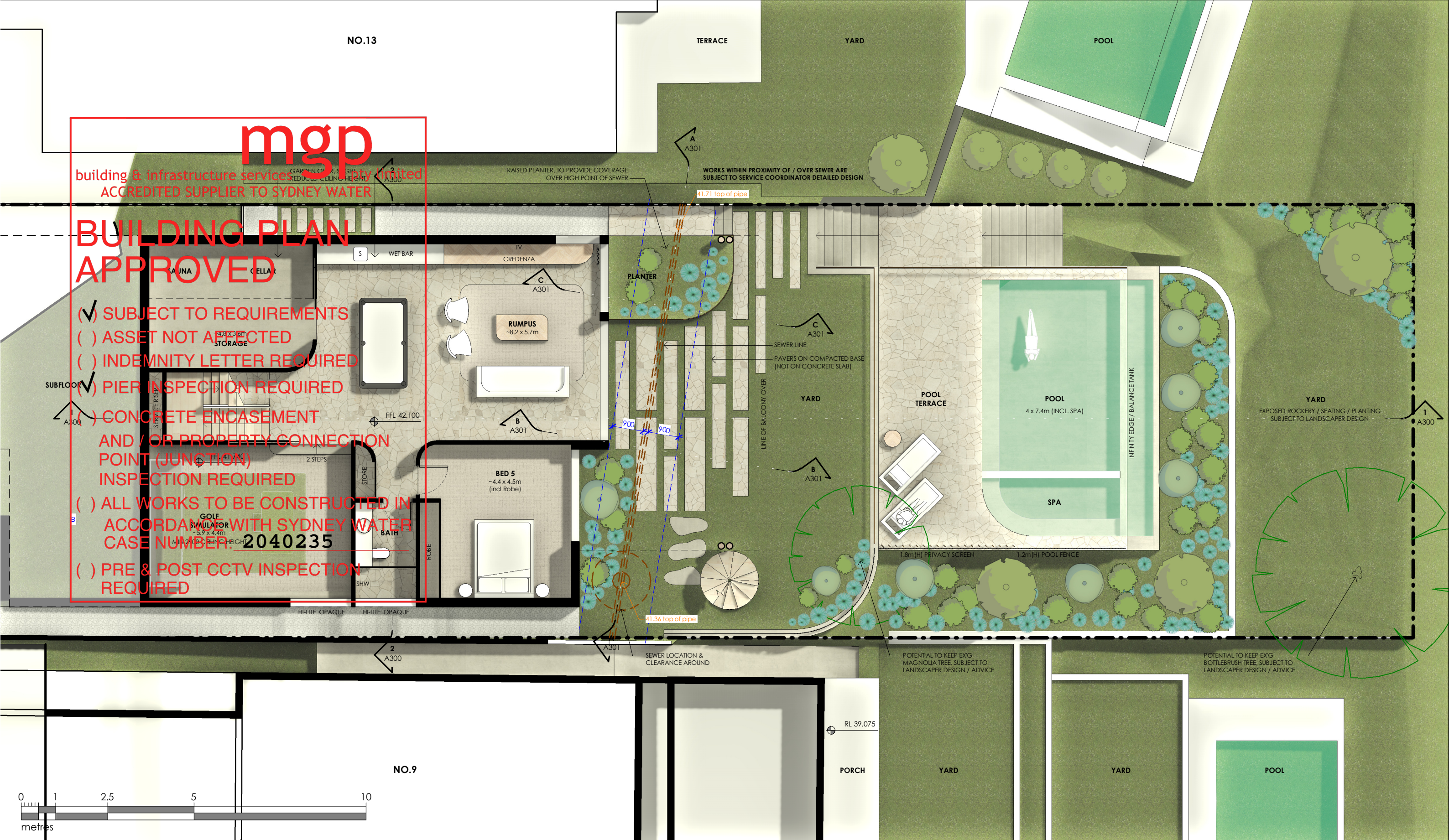
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| Drawing: 245016 | |
| Sheet: A4 | Revision: 2 |
| Original Sheet Size: A3 | |

mgp

building & infrastructure services **mgp** Pty Limited
ACCREDITED SUPPLIER TO SYDNEY WATER

BUILDING PLAN APPROVED

- (✓) SUBJECT TO REQUIREMENTS
- () ASSET NOT AFFECTED
- () INDEMNITY LETTER REQUIRED
- (✓) PIER INSPECTION REQUIRED
- () CONCRETE ENCASEMENT AND / OR PROPERTY CONNECTION POINT (JUNCTION) INSPECTION REQUIRED
- () ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH SYDNEY WATER CASE NUMBER: 2040235
- () PRE & POST CCTV INSPECTION REQUIRED



CONSULTANT ISSUE - NOT FOR CONSTRUCTION

info@fbcarchitects.com.au
ABN: 77653550237



Nominated Architect:
David Buehler-Craig NSW Reg #12472

ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2022 (NCC) / BUILDING CODE OF AUSTRALIA (BCA), RELEVANT AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS / CONSENT CONDITIONS, WITHOUT EXCEPTION

DO NOT SCALE OFF THIS DRAWING. FIGURED DIMENSIONS ONLY TO BE USED. ALL DIMENSIONS TO BE CHECKED AND VERIFIED BY CONTRACTOR PRIOR TO INITIATING WORKS & CONFIRMED ON SITE PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES IN DIMENSIONS TO BE COMMUNICATED TO FBC ARCHITECTS. THIS DRAWING REMAINS THE PROPERTY OF FBC ARCHITECTS. DRAWINGS NOT TO BE COMMERCIALISED, REPRODUCED OR DISCLOSED TO ANY PERSONS WITHOUT EXPRESS WRITTEN CONSENT OF FBC ARCHITECTS. COPYRIGHT IS RESERVED

ALL LEVELS, CONTOURS AND R.L.'S, ARE TO AUSTRALIAN HEIGHT DATUM (AHD) AND ARE IN METRES, U.N.O SITE INFORMATION HAS BEEN SUPPLIED BY OTHERS. FBC ARCHITECTS TAKES NO RESPONSIBILITY FOR ITS ACCURACY. CONTRACTOR TO CONFIRM LOCATION OF ALL SERVICES, VEGETATION AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORKS WITH ANY DISCREPANCIES REPORTED TO FBC ARCHITECTS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO LIAISE WITH SUPPLIERS / SUBCONTRACTORS TO CONFIRM EXACT REQUIREMENTS/CLEARANCES/TREATMENTS ETC FOR ALL FINISHES / FIXTURES / FITTINGS, UNDER NO CIRCUMSTANCE IS THERE TO BE NON-COMPLYING OR NON-COMPLYING BUILDING PRODUCTS USED

SMOKE ALARMS TO BE INSTALLED AS PER AS3786

ALL DRAWINGS AND DOCUMENTATION TO BE READ IN CONJUNCTION WITH RELEVANT PROJECT SPECIFIC CONSULTANT / ENGINEERS REPORTS &/OR DRAWINGS

ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE RELEVANT BASX CERTIFICATE. THE CONTRACTOR / SUB-CONTRACTORS & OWNER MUST ENSURE THAT THE MINIMUM REQUIREMENTS ARE MET.

ALL DESIGN IS CONSIDERED REASONABLY SAFE AND PRACTICAL. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS AND WITH REGARD TO SAFETY DATA SHEETS. BUILDER / CONTRACTOR TO CONTACT FBC ARCHITECTS WITH ANY CONCERNS

WET AREAS TYPICALLY TO BE SETDOWN NOMINAL 50mm (U.N.O) TO ENSURE FINISHED FLOOR IS FLUSH WITH ADJOINING. INTERNAL FLOOR FINISHES ARE TO BE FLUSH THROUGHOUT

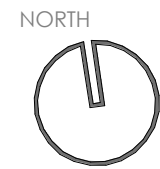
ALL STAIRS TO HAVE SUP-RESISTANT FINISH TO NOSINGS AS PER NCC REQUIREMENTS

ALL WINDOWS WITH FALLS OVER 2M TO HAVE RESTRICTED OPENINGS PER NCC REQUIREMENTS

IF SITE IS DEEMED TO BE WITHIN A BUSHFIRE PRONE AREA, ALL WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH RELEVANT BAL (BUSHFIRE ATTACK LEVEL) RATING AND AS 3959- CONSTRUCTION OF BUILDINGS IN BUSHFIRE-PRONE AREAS

ALL TIMBER FRAMING IS TO BE MINIMUM H2 TREATED, OR ABOVE, SPECIFIC TO THE APPLICATION

JOB REF
2409



TITLE **LOWER GROUND FLOOR PLAN**

SHEET **A100** A3 SCALE **1 : 100**

PROJECT **PROPOSED NEW DWELLING WITH POOL, ASSOCIATED SITE WORKS. DEMOLITION OF EX'G DWELLING**

CLIENT **GEORGE & LAURA AITKEN**

ADDRESS **11 LOCH ST, FRESHWATER LOT 2 IN D.P 14040**

REVISIONS

| DATE | DESCRIPTION |
|------------|-------------------------|
| 2024.11.14 | CONSULTANT ISSUE |
| 2024.11.13 | ISSUE FOR CLIENT REVIEW |
| 2024.11.12 | ISSUE FOR CLIENT REVIEW |
| 2024.10.30 | ISSUE FOR CLIENT REVIEW |
| 2024.10.16 | ISSUE FOR CLIENT REVIEW |