

HERITAGE IMPACT STATEMENT



Development Application
No. 30 Fairlight Street, Fairlight

October 2021 | J5029

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1 INTRODUCTION

1.1 Preamble

This Heritage Impact Statement (HIS) has been prepared in conjunction with a Development Application for the demolition of an existing building and the construction of a new apartment building at 30 Fairlight Street, Fairlight, New South Wales.

The site is located within the Northern Beaches Local Government Area (LGA). The principal planning control for the site is the *Manly Local Environmental Plan 2013(LEP 2013)*. The site is not listed as a heritage item, however, it is located within the vicinity of a number of heritage items listed by Schedule 5 Part 1 of this plan. Under Part 5.10(c) of the LEP 2013, a heritage management document is to be submitted with the development application.

(4) Effect of proposed development on heritage significance

The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).

(5) Heritage assessment

The consent authority may, before granting consent to any development:

- (a) on land on which a heritage item is located, or
- (b) on land that is within a heritage conservation area, or
- (c) on land that is within the vicinity of land referred to in paragraph (a) or require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item

The appropriate heritage management document in this instance is a Heritage Impact Statement (HIS). This statement has been prepared at the request of the owner of the site and accompanies plans prepared by DKO Architecture

1.2 Authorship

This statement was prepared by Anna McLaurin, B. Envs (Arch), M.Herit.Cons., MURP and James Phillips, B.Sc.(Arch), B.Arch, M.Herit.Cons.(Hons), of Weir Phillips Heritage and Planning.

1.3 Limitations

No archaeological assessment was carried out on the site.

1.4 Methodology

This assessment has been prepared with reference to the *NSW Heritage Manual* update *Assessing Heritage Significance* (2001).

1.5 Physical Evidence

Due to the current September 2021 COVID Restrictions Unless otherwise stated, the photographs contained in this assessment were taken by the authors on these occasions.

1.6 Documentary Evidence

The following resources were accessed for the preparation of this report:

1.6.1 Heritage Listing Sheets

- Stone Kerbs (I2) State Heritage Inventory Database No.: 2020526.
- Group of 3 Houses, 21-25 Fairlight Street Fairlight (I51). State Heritage Inventory Database No.: 2020501
- Group of Dwellings 2A-25, 27, 29 Margaret Street and 38 The Crescent Fairlight (I61). State Heritage Inventory Database No.: 2020506
- Street Trees, Margaret Street (I62). State Heritage Inventory Database No.: 2020441

1.6.2 Planning Documents

- *Manly Local Environmental Plan 2013*
- *Manly Development Control Plan 2013*

1.7 Site Location

No. 30 Fairlight Street, Fairlight is located on the northern side of Fairlight Street, between Woods Parade to the west and George Street to the east, it is also located opposite the Margaret Street intersection with Fairlight Street (Figure 1). The site is identified as Lot 50 D.P. 705739.

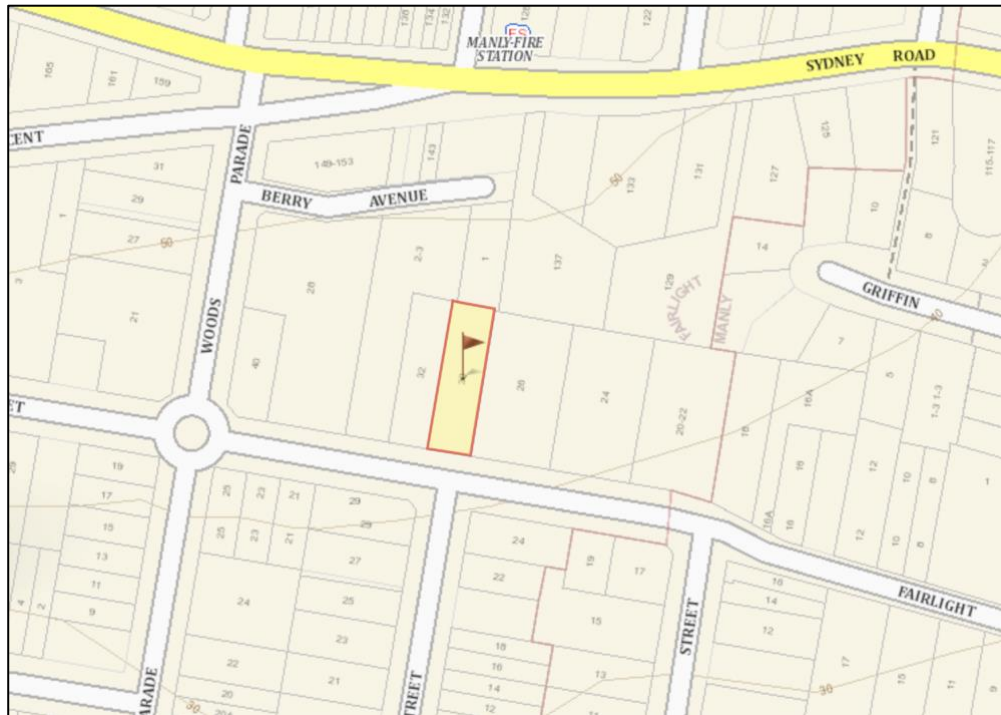


Figure 1: Site Location.
SIX Maps 2021.

2 ASSESSMENT OF SIGNIFICANCE

2.1 Summary of Statutory Heritage Listings

No. 30 Fairlight Street, Fairlight:

- Is not listed as a local heritage item under Schedule 5, Part 1 of the *Manly Local Environmental Plan 2013*
- Is located within the vicinity of local heritage items under Schedule 5, Part 1 of the *Manly Local Environmental Plan 2013*
- Is not listed as a State heritage item under the auspices of the *NSW Heritage Act 1977*.
- Is not located within a Heritage Conservation Area under Schedule 5, Part 2 of the *Manly Local Environmental Plan 2013*

2.2 Heritage Items Within the Vicinity of the Site

Refer to Figure 2 which shows a heritage plan from the *Manly LEP 2013*. In this plan, heritage items are coloured brown and numbered and Landscape Conservation Areas are hatched green. The subject site is indicated by the red arrow.

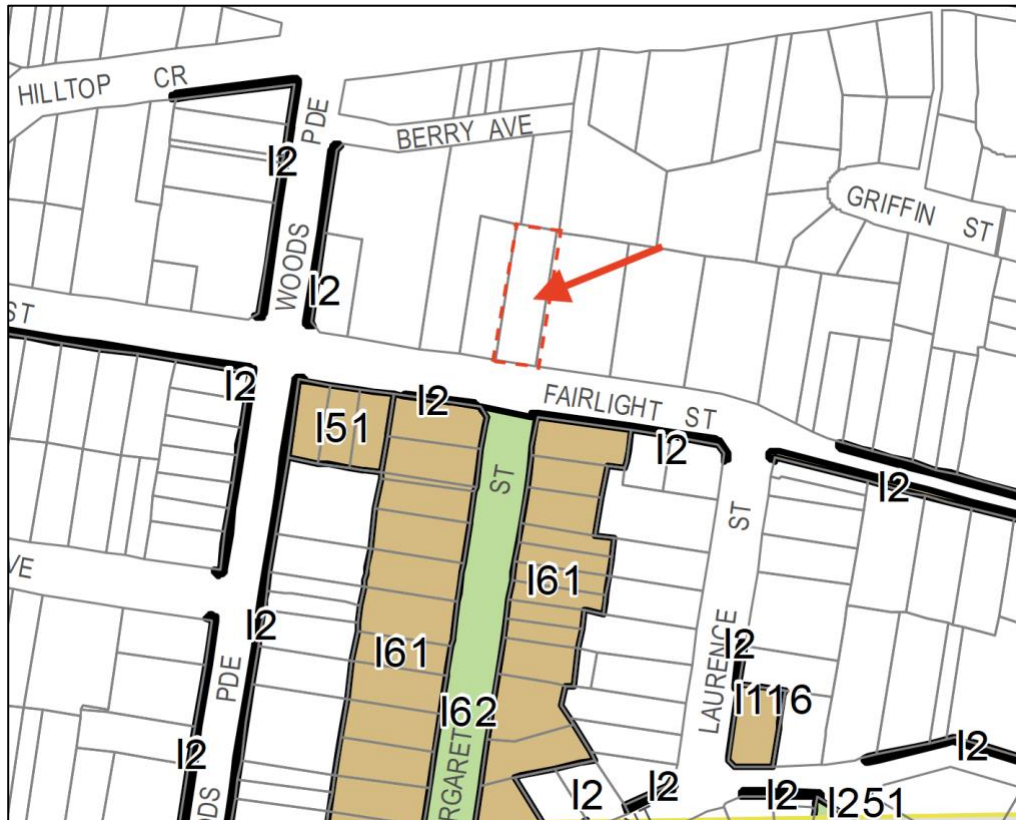


Figure 2: Detail of heritage plan showing heritage items in relation to the subject site.

Manly LEP 2013

For the following, 'within the vicinity' has been determined with reference to physical proximity, existing and potential view corridors, and the nature of the proposed works.

2.3 State Listings

There are no heritage items within the vicinity of the subject site as identified by the *NSW Heritage Act 1977*.

2.4 Local Listings

There are a number heritage item within the vicinity of the site as identified by Schedule 5, Part 1 of the *Manly LEP 2013* as follows:

2.4.1 Stone Kerbs (I2)

Located throughout the Northern Beaches LGA, the stone kerbs are a remnant historical feature of early town planning.



Figure 3: Stone kerbing opposite the site which is also present throughout the LGA.
Google Maps

2.4.1.1 Statement of Significance

There is no available Statement of Significance for the stone kerbing available on the NSW State Heritage Inventory.

2.4.2 Group of 3 Houses, 21-25 Fairlight Street Fairlight (I51)

Located approximately 50m to the south west of the subject site, the group of three dwellings are domestic in scale.

2.4.2.1 Description

The NSW State Heritage Inventory provides the following description of the item:

Three two-storey brick, shingle and rendered brick dwellings with tiled jerkin-head roofs c. 1920. Significant elements include: shingled gable ends (under main roof); stucco under lesser gable ends; Art Nouveau leadlight and verandah columns. Most joinery is intact. The three buildings are nearly identical which is significant for their style. The fences are not original

2.4.2.2 Statement of Significance

The NSW State Heritage Inventory provides the following Statement of Significance of the item:

Interesting Federation Bungalow in an unusual two storey form, one of a group of three (21,23,25 Fairlight Street).

Figure 4 illustrates this item.



Figure 4: View of the three dwellings from the intersection of Woods Parade and Fairlight Street.

Source: Google Maps



Figure 5: View towards the items from the subject site.

Source: Google Maps

2.4.3 Group of Dwellings 2A-25, 27, 29 Margaret Street and 38 The Crescent Fairlight (I61)

A group of dwellings of varied architectural styles of dwellings fronting Margaret Street. The Group of Dwellings. The multiple addresses are located between approx. 30m and 200m directly to the south of the subject site

2.4.3.1 Description

The NSW State Heritage Inventory provides the following description of the item:

The street contains an interesting range of generally small scale residential architecture with a number of fine examples of particular styles in the period c. 1910 - c. 1940. Notable individual buildings are No. 22 (Strathmore) brick flats with strong vertical elements and decorative brickwork; Nos. 27 and 7 - Federation style cottages and the pair of cottages Nos. 16 and 18, also showing Federation influence.

Generally the street is well planted. The streetscape is not yet seriously affected by infill.

2.4.3.2 Statement of Significance

The NSW State Heritage Inventory provides the following Statement of Significance of the item:

The streetscape has moderate significance for its range of architectural styles and textural interest.



Figure 6: View of dwellings on western side of Margaret Street.
Google Maps



Figure 7: Dwellings on the eastern side of Margaret Street.
Google Maps



Figure 8: Looking north along Margaret Street towards the subject site.
Google Maps.



Figure 9: Looking from the subject site south down Margret Street.
Google Maps.

2.4.4 Street Trees, Margaret Street (I62)

A mixture of different well-established varieties of trees lining Margaret Street. They are located along the same alignment as the dwellings fronting Margaret Street.

2.4.4.1 Description

The NSW State Heritage Inventory provides the following description of the street trees:

Street tree planting. Mixed tree species; Norfolk Island Pine, Brush Box and Hill's Fig.

2.4.4.2 Statement of Significance

The NSW State Heritage Inventory provides the following Statement of Significance for the subject site.

Listed for its *aesthetic* importance to the streetscape.



Figure 10: Looking from Margaret Street towards the subject site.
Google Maps



Figure 11: Looking south towards the Norfolk Island Pines.
Google Maps

3 SITE ASSESSMENT

3.1 The Site

For the following, refer to Figure 12, an aerial photograph over the site and to the survey that accompanies this application.

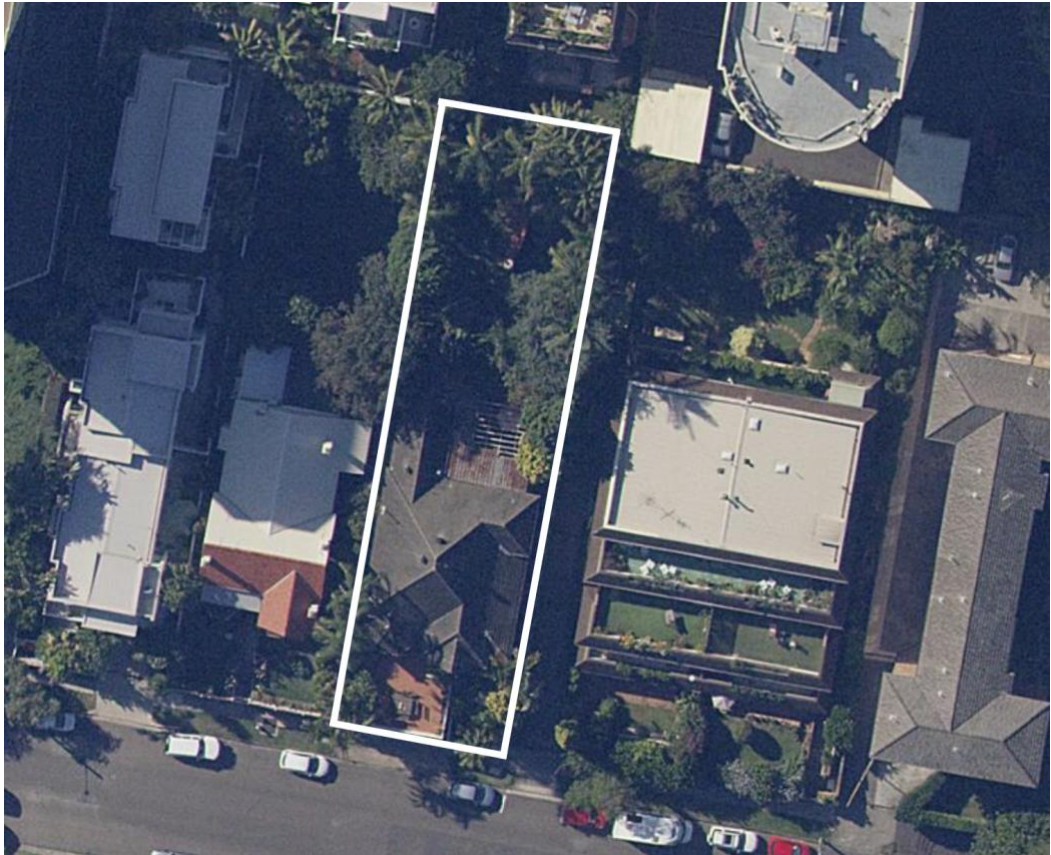


Figure 12: Aerial photograph of the site outlined in white.
SIX Maps 2021

The subject property is described as Lot 50 in DP 705739, 30 Fairlight Street, Fairlight. The site comprises a rectangular shaped allotment, comprising a total site area of 861.7 sqm with a frontage of 16.01 metres to Fairlight Street, an eastern boundary comprising 54.19 metres, western boundary comprising 54.64 metres and rear northern boundary comprising 15.68 metres. The site is predominately covered by the dwelling, garage, hard standing areas and swimming pool, with soft landscaping and trees provided predominately to the rear of the site.



Figure 13: The dwelling as viewed from Fairlight Street.

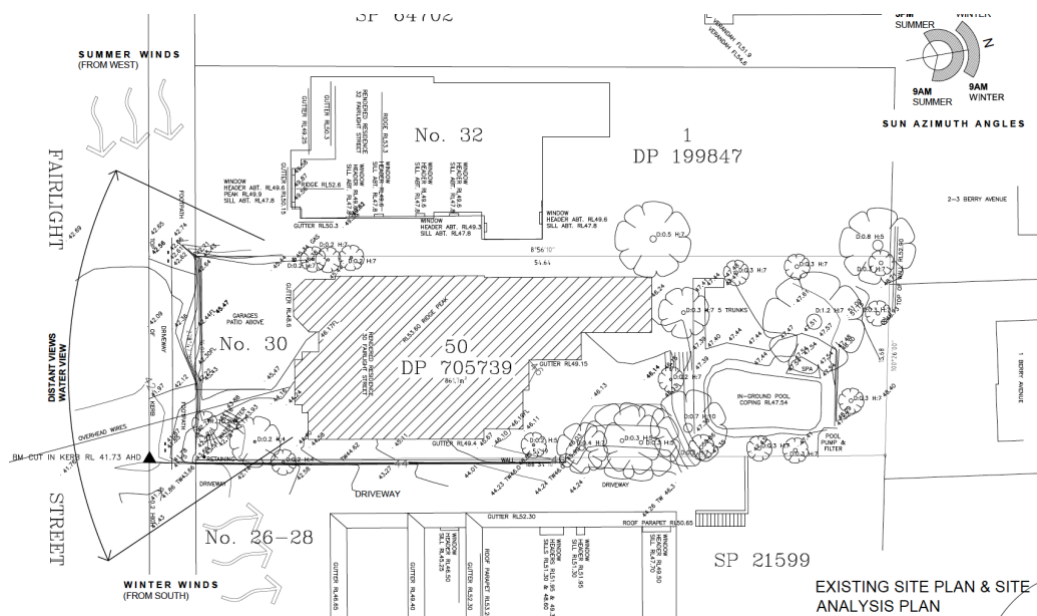


Figure 14: Survey of the existing site showing the layout of the site.

Adjoining the site to the west is a similar scale Federation era detached dwelling at 32 Fairlight Street, Fairlight. To the south is a c.1980s residential flat building. There are several other single detached dwellings and residential flat buildings.



Figure 15: The adjoining Federation style dwelling to the west of the site at 32 Fairlight Street, Fairlight.



Figure 16: c.1980s residential flat building to the east of the site.

3.2 THE PROPOSAL

The following should be read in conjunction with the plans prepared by DKO Architects that accompanies this application:

It is proposed to remove all the existing structures and majority of the vegetation and to construct a new three-storey (plus basement) apartment building. The following is noted:

- The building adopts a curved form with façade articulation to reduce its overall bulk.
- The third level of the apartment building is set back from the lower levels.
- The basement will comprise 10 car spaces and is accessed via a ramp off Fairlight Street.
- The garage at Fairlight Street is constructed of face brickwork with a light-coloured metal screen.
- There will be new vegetation planted along all boundaries of the site with more established vegetation on the northern elevation. the southwestern corner of the site.

The following materials and finishes include the following:

- Rendered and painted walls.
- Ribbed concrete balconies
- Dark bronze coloured powder coated aluminium framed windows.
- Warm white face brick garage with bronze coloured metal screen door.

4 EFFECT OF WORK

4.1 Methods of Assessment

The following is a merit-based assessment. It does not consider compliance or otherwise with Council's numerical controls except where non-compliance would result in a heritage impact. Refer to the Statement of Environmental Effects, prepared by others.

The following assessment is made with an understanding of the objectives and controls provided by the *Manly LEP 2013* and the *Manly DCP 2013*.

4.2 Effect of Work on Heritage Items Within the Vicinity

4.2.1 Stone Kerbs (I2)

The proposed works will have no physical or visual impact on the stone kerbs. There are no stone kerbs present outside the subject site due to the existing triple fronted garage fronting Fairlight Street. The kerbs will continue to be readily understood as a remnant historical feature of early town planning.

4.2.2 Group of 3 Houses, 21-25 Fairlight Street Fairlight (I51)

The proposed works will have no heritage impact on the significance of the Group of three houses to the southwest of the site.

- The item is located to the southwest of the site and is separated from it by approximately 50m.
- The proposed building will not block or reduce significant view corridors to and from the item because appropriate front setbacks have been provided. The front elevation of these items is best viewed from the intersection of Fairlight Street and Woods Parade.
- The building will be three-storeys in height which is consistent with the prevailing pattern of development in the area surrounding the item, which includes buildings of up to four-storeys and which are greater in scale than the proposed building.
- The proposed building is well-designed and well-articulated. The use of neutral, plain colours in the form of warm beige render will enable the building to be unobtrusive in the setting of the item.
- The building will be set back from the front boundary and otherwise screened by vegetation which will help to integrate it into the streetscape over time.
- The proposed works will, overall, have no impact on the ability for the public to understand or appreciate the historic and aesthetic significance of the heritage items.

4.2.3 Group of Dwellings 2A-25, 27, 29 Margaret Street and 38 The Crescent

The proposed works will have a minor but acceptable impact on the heritage significance of the dwellings fronting Margaret Street. The new apartment building will be visible when travelling north along Margaret Street at the apex of the view corridor. As the significance of these items are largely derived from their mixed architectural value as a streetscape with the dwellings facing east/west, the proposed apartment building at the northern end of these items will have no additional impact on their significance of these items. The contemporary apartment building at No. 29 Margaret Street and vegetation fronting the streetscape also assists reducing the visibility of the new buildings from these items.

Despite the visibility of the item, the new streetscape presence of the building is improved when compared with the existing building, with the garage adopting a more sympathetic form and use of more compatible materials with the surrounding area. Additionally, it is acceptable for the following reasons:

- The building will be three-storeys in height which is consistent with the prevailing pattern of development in the area surrounding the item, which includes buildings of up to four-storeys and which are greater in scale than the proposed building.
- The proposed building is well-designed and well-articulated. The use of neutral, plain colours in the form of warm beige render will enable the building to be unobtrusive in the setting of the item.

4.2.4 Street Trees, Margaret Street (I62)

No heritage impact. The street trees within the urban landscape are unaffected by the proposed apartment building. They will continue to line the historically significant Margaret Street without overshadowing or physical impact from the development on the subject site.

4.3 Manly DCP 2013

Section 3.2.1.1 Manly DCP 2013	Response
<i>a) In addition to LEP listings of Environmental Heritage (LEP Schedule 5), this DCP requires consideration of the effect on heritage significance for any other development in the vicinity of a heritage item or conservation area.</i>	This report satisfies this requirement.
<i>b) Proposed development in the vicinity of a heritage item or conservation area must ensure that:</i> <i>i) it does not detract or significantly alter the heritage significance of any heritage items, conservation area or place;</i>	As outlined above, the subject site is sufficiently separated from the heritage items in the vicinity to not have a significant impact on those items.
<i>ii) the heritage values or character of the locality are retained or enhanced; and</i>	The heritage values and character of the locality are retained. The northern side of Fairlight Street has

	several apartment buildings while the southern side is more historic in character. As such, the setting is retained.
<i>iii) any contemporary response may not necessarily seek to replicate heritage details or character of heritage buildings in the vicinity, but must preserve heritage significance and integrity with complementary and respectful building form, proportions, scale, style, materials, colours and finishes and building/street alignments.</i>	The design of the apartment building is contemporary in character, however the materiality and colours of the building have been chosen to reflect the warm tones of the Federation and Inter-War character of those item in the vicinity. The alignment of the new building is consistent with the existing building on site and the adjoining dwelling to the north.
<i>c)The impact on the setting of a heritage item or conservation area is to be minimised by: i) providing an adequate area around the building to allow interpretation of the heritage item;</i>	The physical separation of the site by the width of Fairlight Street is an adequate area to provide interpretation of the heritage item.
<i>ii)retaining original or significant landscaping (including plantings with direct links or association with the heritage item);</i>	There is no significant landscaping on the site associated with heritage items in the vicinity on the site.
<i>iii) protecting (where possible) and allowing the interpretation of any archaeological features; and</i>	There are no known archaeological deposits on the site.
<i>iv) retaining and respecting significant views to and from the heritage item.</i>	As outlined above, new corridors to or from heritage items in the vicinity are not affected by the proposed works.

5 CONCLUSION

This Heritage Impact Statement has been prepared in conjunction with a Development Application for the removal of the existing building and the construction of an apartment building at No. 30 Fairlight Street, Fairlight, New

South Wales. The subject site has no statutory heritage listings but lies within the vicinity of heritage items under Schedule 5, Part 1 of the *Manly LEP 2013*.

The proposed new apartment building will have a minimal and acceptable impact on the setting of the heritage items because it is sufficiently separated from the item and will not block view corridors to and from the item or have any impact on its fabric. The proposed building is well-designed and will sympathetically relate to the style of the period while reading as contemporary in its materiality. The building will be unobtrusive in the setting of the item due to its neutral, plain colours and vegetation that will help to integrate it into the streetscape.

The proposed works fulfil the aims and objectives of the *Manly LEP 2013* and the *Manly DCP 2013* by improving the quality and diversity of accommodation in Fairlight while respecting the heritage significance of the area in which it lies.