

DEVELOPMENT APPLICATION DA 2019/0152
MODIFICATION TO CONSENT S4.55 (1A)

78 HUDSON PARADE, CLAREVILLE NSW 2107

Property Description:

site: Lot 2 DP 221631
number: 78
street: HUDSON PARADE
locality: NORTHERN BEACHES, SYDNEY



Modification Index		
Modification ID	Modification Name	Modification Issue
1	New section of decking in between and to sides existing boatshed sliprails	For Section 4.55 (1A)
2	New decking area to north of boatshed	For Section 4.55 (1A)
3	Reconfiguration of landscape stairs and extension of pool deck area	For Section 4.55 (1A)
4	Extension to proposed Carport store	For Section 4.55 (1A)

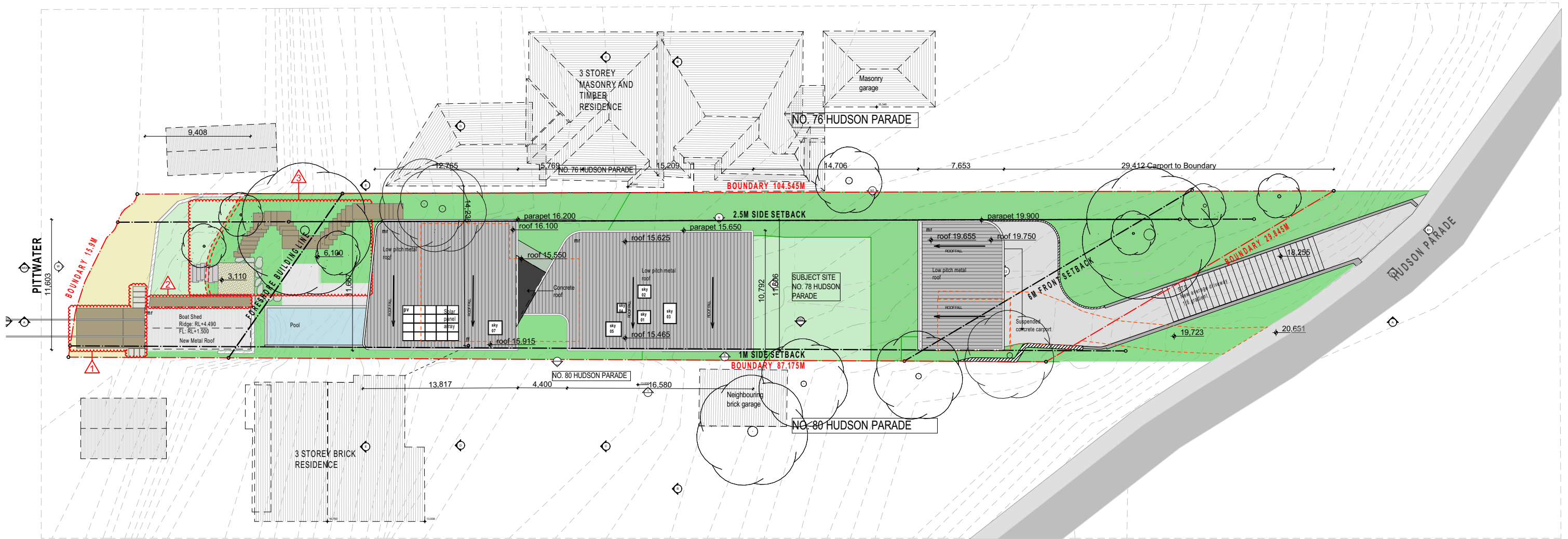
Key

bt	basalt tile
c	concrete
cr	cement render
ct	ceramic tile
ctw	charred timber weatherboards
cts	charred timber screen
ex	existing
ff	fireplace flue
fp	fireplace
ftw	fixed timber window
gpf	glass pool fence
hr	handrail
lw	louvre window
mr	metal roofing
otw	operable timber window
pv	photovoltaic cells
rw	retaining wall
tc	timber column
sc1	stone cladding 1
sc2	stone cladding 2
sf	steel fence
sky	skylight
st	stone tile
stc	steel column
std	sliding timber door
sw	shugg window
td	timber decking
tb	timber boards

DRAWING SCHEDULE

Sheet No.	Sheet Name
S4.55 00	COVER PAGE
S4.55 01	PROPOSED ROOF PLAN
S4.55 02	PROPOSED FIRST FLOOR PLAN (EAST)
S4.55 03	PROPOSED LOWER GROUND FLOOR
S4.55 04	PROPOSED WEST ELEVATION
S4.55 05	PROPOSED SOUTH ELEVATION
S4.55 06	PROPOSED NORTH ELEVATION
S4.55 07	NOTIFICATION PLAN AND ELEVATIONS
S4.55 08	NOTIFICATION ELEVATIONS
S4.55 09	PROPOSED LANDSCAPE MASTER PLAN (WEST)

rev.	date	description	rev.	date	description	<div>marker. Architecture & Design 402 Darling Street, Balmain NSW 2041 ABN: 12 624 281 858 www.markerarchitecture.com.au</div>	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise.	1801_Clareville House 78 Hudson Parade, Clareville NSW 2107 Owner: Pam & Danny Nemeny	NOT FOR CONSTRUCTION.	N/A	Consent Modification S4.55 (1A) <small>drawing issue</small>	01 <small>revision</small>	S4.55 00 <small>drawing number</small>	COVER PAGE <small>drawing title</small>	1801 <small>drawing job number</small>	A3 <small>Sheet Size</small>	AS SHOWN
01	17.08.22	S4.55 (1a)															<small>drawing scale(s)</small>
						local council: Northern Beaches Council		drawn: BN		checked:		31/08/2022 <small>drawn date</small>					10 <small>sheets in set</small>



1 Proposed Roof
SCALE: 1:350

Development description:

Architecture:
The proposed residence consists of two structures - a dwelling house and a garage. The construction of both structures will be suspended concrete slabs and a combination of reverse brick veneer walls, timber columns and screening and dry-stone cladding. The primary cladding material will be charred timber weatherboards. Roofs (which will be visible from Hudson Parade) will be metal. Where necessary, floor structures will be pierced to avoid tree roots and be porous to allow drainage. The existing boatshed will be over-clad with charred timber weatherboards to match the house.

Landscaping:
A Landscape architect will be engaged to design generous and sympathetic landscaping to surround the structures. There will be a focus on native species, large trees to replace those removed. Where possible and as required by tree protection zones, the natural ground level will be maintained.

Setbacks:

North: 2.5m
South: 1m
East: 6.5m
West: Foreshore Building Line / Average of neighbouring buildings

No change to deep soil
landscape are and no change to
required bush regeneration area

Landscaping Calculations:

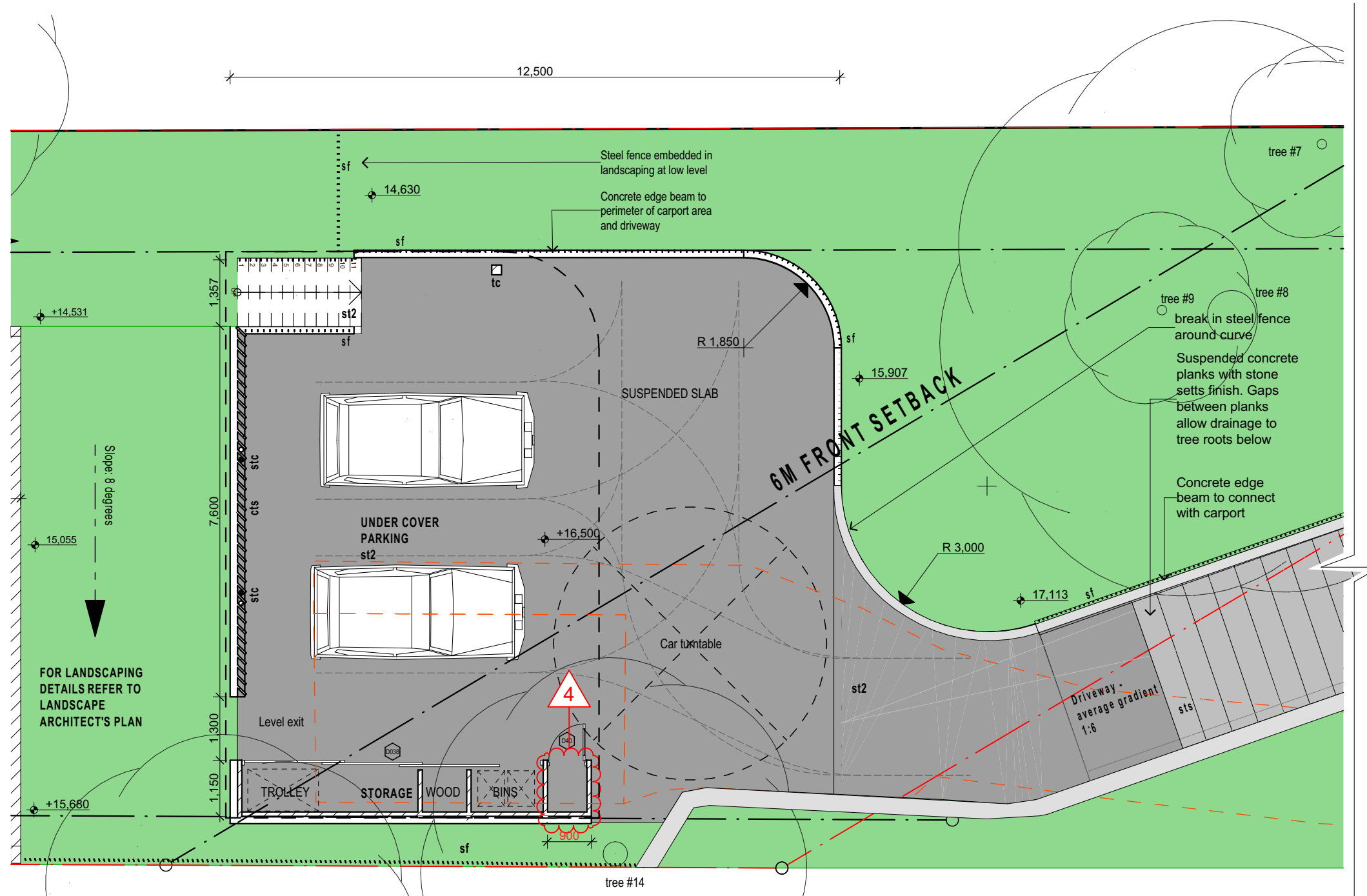
Item	Area (m ²)	% of Site Area
Site Area	1366	
Existing Hard Surface Area	261	19.1
Existing Landscaped Area	1050	76.9
Existing Impervious Area	55	4.0
		100.0
Proposed Hard Surface Area	545	39.9
Proposed Landscaped Area	739	54.1
Proposed Impervious Area	82	6.0
		100.0

Total Landscape Area = 60.4% of Total Site Area

Site Plan Legend:

Site boundary	Lawn
Site setbacks	Landscaping
Sun path	Sand
Existing building line	Deco Gravel
Building height control	Pool
Existing building footprint	External decking
Element over	External stone paving
	Existing endemic trees

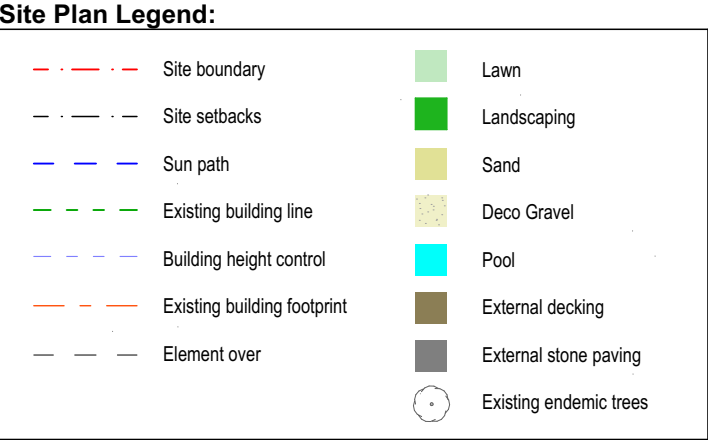
rev.	date	description	rev.	date	description	marker. Architecture & Design 402 Darling Street, Balmain NSW 2041 ABN: 12 624 281 858 www.markerarchitecture.com.au	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise.	1801 Clareville House 78 Hudson Parade, Clareville NSW 2107 Owner: Pam & Danny Nemeny	NOT FOR CONSTRUCTION.	 Project North	Consent Modification S4.55 (1A) drawing issue	01 revision	S4.55 01 drawing number	PROPOSED ROOF PLAN drawing title	1801 drawing job number	A3 Sheet Size 31/08/2022 drawing date	AS SHOWN drawing scale(s) 10 sheets in set
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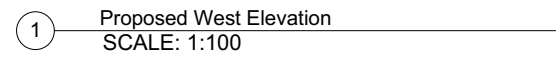


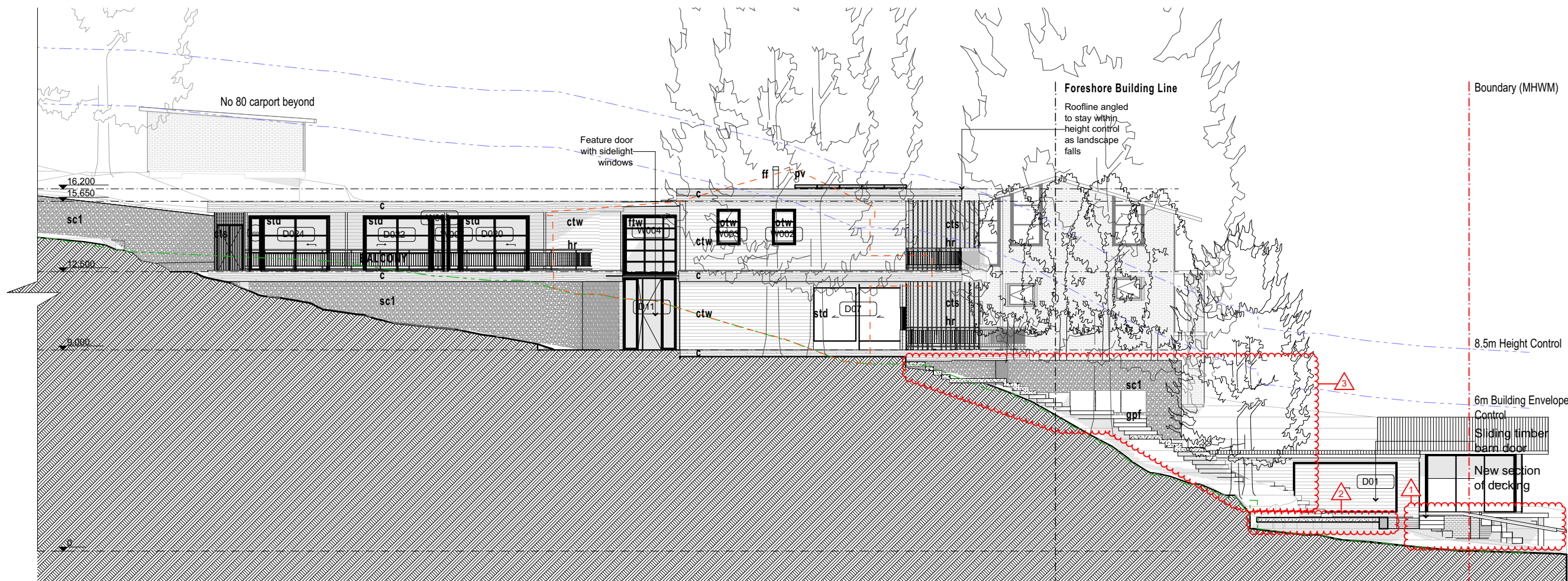
1 Proposed First Floor
SCALE: 1:100

Site Plan Legend:	
	Site boundary
	Site setbacks
	Sun path
	Existing building line
	Building height control
	Existing building footprint
	Element over
	Lawn
	Landscaping
	Sand
	Deco Gravel
	Pool
	External decking
	External stone paving
	Existing endemic trees

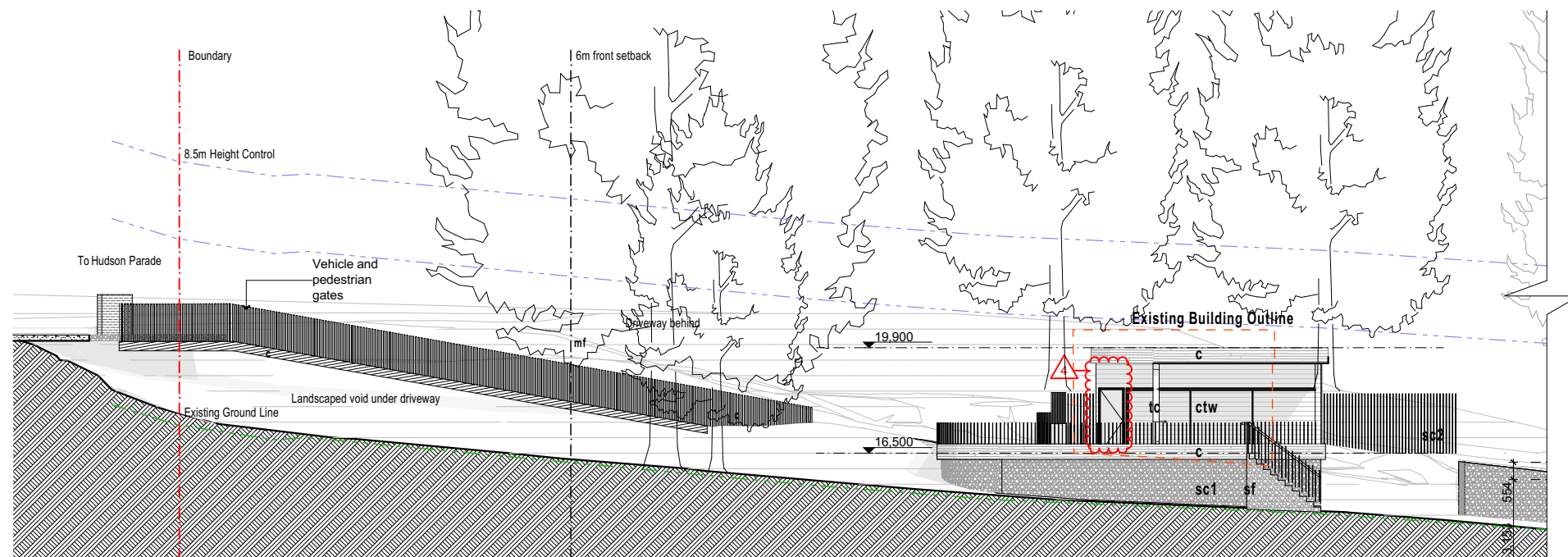
rev.	date	description	rev.	date	description	marker.	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise.	1801 Clareville House 78 Hudson Parade, Clareville NSW 2107 Owner: Pam & Danny Nemeny	NOT FOR CONSTRUCTION.		Consent Modification S4.55 (1A) drawing issue	01 revision	S4.55 02 drawing number	PROPOSED FIRST FLOOR PLAN (EAST) drawing title	1801 drawing job number	A3 Sheet Size	AS14000 drawing scale(s)
01	17.08.22	S4.55 (1a)				Architecture & Design 402 Darling Street, Balmain NSW 2041 ABN: 12 624 281 858 www.markerarchitecture.com.au										31/08/2022 drawn date	10 sheets in set
										Project North			local council: Northern Beaches Council		drawn: BN	checked:	



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2 Proposed North Elevation
SCALE: 1:200



2 Proposed North Elevation
SCALE: 1:200

Site Plan Legend:

Site boundary	Lawn
Site setbacks	Landscaping
Sun path	Sand
Existing building line	Deco Gravel
Building height control	Pool
Existing building footprint	External decking
Element over	External stone paving
	Existing endemic trees

rev.	date	description	rev.	date	description	marker.	Dimensions shall not be obtained by scaling. All dimensions are in millimeters unless noted otherwise.	1801 Clareville House 78 Hudson Parade, Clareville NSW 2107 Owner: Pam & Danny Nemeny	NOT FOR CONSTRUCTION.	Consent Modification S4.55 (1A) drawing issue	01 revision	S4.55 06 drawing number	PROPOSED NORTH ELEVATION drawing title	1801 drawing job number	A3 Sheet Size 31/08/2022 drawing date	A3 drawing scale(s) 10 sheets in set
01	17.08.22	S4.55 (1a)				Architecture & Design 402 Darling Street, Balmain NSW 2041 ABN: 12 624 281 858 www.markerarchitecture.com.au				Project North	Northern Beaches Council	BN	checked:			

BACK GARDEN

Retain existing *Corymbia maculata*

Bush Regeneration Area

2 x Nest boxes to be installed in remaining trees

Retain existing *Corymbia maculata*

Remove existing *Acacia saligna* Bush Regeneration Area

Retaining wall to rake with existing landform

Vertical black steel rod fence through garden surrounded with planting

Remove existing *Corymbia maculata*

Hardwood timber steps to lower decking platform. All steps to sit on top of natural ground level.

Pool equipment to be located in store room

STORE

RUMPUS ROOM

Shallow wading area

Glass pool fence 1.2m high with gate in channel

Remove existing *Corymbia maculata* (as recommended by arborist)

Remove existing *Corymbia maculata* (as recommended by arborist)

Thin Blackbutt decking (64mm), oiled and allowed to naturally silver

Approximate sewer location. To be confirmed onsite. Pool backwash to be connected to the residential sewer line via a gully and will be installed by a licensed plumber in accordance with AS/NZS 3500

Location of new connection to sewer under deck (pump fed)

Stone clad wall to run into water and down side of pool wall

Large stone boulders to protrude from pool, exact locations tbc

Remove existing *Corymbia maculata* (as recommended by arborist)

Face fixed glass pool fence

Level lawn area

Rebuild existing sea wall to allow for a larger lawn area

Permeable landscape landing

Stone stairs

Boulders to be placed next to stairs to stabilise slope where necessary

900mm Wide timber decking

EXISTING BOAT SHED

Grade mound to allow for new levels around path, stockpile and re-use existing top soil. Proposed tree

Grade mound to allow for new levels around path, stockpile and re-use existing top soil. Proposed tree

Lower garden, mid level landing. Brown deco-granite floor

Replace existing retaining wall to engineers detail

1.2m tall black aluminium fence on level below - to sit under spillover trough and continue under deck

Pool with infinity edge along 2 exposed sides. Water to spillover into channel (300mm wide x 300mm deep) attached to the side of the pool

Proposed pool. Pool backwash to be connected to proposed sewer in accordance with AS/NZS 3500. Balance tank to sit underneath and plumbed into therachlor glass filtration filtration system located in the lower ground store room. Pool to be protected with automatic pool cover.

SWIMMING POOL

Max Capacity 27,000 litres

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Suspend hardwood timber deck to be same level as floor inside. To be cut around tree trunks

Retain existing *Corymbia maculata*

Retain existing *Corymbia maculata*

Small feature tree underplanted with groundcovers

Tall narrow feature sculpture with uplighting (fbc)

Black steel gate

Large concrete pads slightly raised above ground with groundcovers between

Retaining wall clad with stone, to run along an even rake with existing ground level

Large feature pot

Boundary screening planting with spillover planting to soften wall

Hardwood timber steps with concrete landings to front garden

KITCHEN

PANTRY

LIFT STORE

WC

TV

87.175 (MHW)

270°16'20"

No change to deep soil landscape are and no change to required bush regeneration area

Landscape Calculations:

Item	Area (m ²)	% of Site Area
Site Area	1965	
Existing Hard Surface Area	263	13.1
Existing Landscaped Area	1005	50.9
Existing Impervious Area	55	2.8
	1000	
Proposed Hard Surface Area	545	27.9
Proposed Landscaped Area	739	37.4
Proposed Impervious Area	82	4.2
	1000	

Total Landscape Area = 60.4% of Total Site Area

	BENCHMARK ON KERB RL 93.95		EXISTING WALLING TO BE RETAINED		EXISTING TREE TO BE REMOVED/ RETAINED
	EXISTING SPOT LEVEL / PROPOSED SPOT LEVEL		PROPOSED MASONRY WALLING (TW= TOP OF WALL)		PROPOSED TREES
	BOUNDARY LINE (APPROX LOCATION)		PROPOSED STONE WALLING (TW= TOP OF WALL)		LAWN AREA
	LINE OF ROOF OVER		PROPOSED STONE BOULDERS		GARDEN AREA
	AGRICULTURAL DRAINAGE PIPE		PROPOSED ORGANIC STEPPING STONES		SPOTTED GUM VEGETATION AREA

Note 1: All materials and workmanship shall be in accordance with the latest relevant Australian Standards and Building Code of Australia. All plumbing and drainage works shall also be in accordance with the by-laws of Sydney Water.

Note 2: Written dimensions shall take precedence over scaled measurements. dimensions and levels shall be verified by contractor on site, and initial setout approved by construction manager prior to commencement of work. If in doubt contact Landscape Architect / Designer.

Note 3: Contractor shall confirm extent of existing vegetation to be removed / transplanted on site, prior to commencement of works.

Note 4: Excavator shall strip approved topsoil from all areas to be excavated and shall store material in an approved location on site. All excavation shall be carried out as necessary, including over-excavation in lawn areas (as required) to ensure min. 200mm depth of topsoil is able to be provided and for garden areas (as required) to ensure that min. 350mm topsoil depth is able to be provided. Topsoil depths refer to depth over subsoil, not over rock or concrete.

Note 5: Contractor shall ensure that damp proof courses on buildings are not breached and that air vents are not blocked or restricted.

Note 6: Retaining walls shall be constructed to heights as necessary to retain existing/proposed ground levels, with final extent of all walling to be as required and to construction manager's on-site approval.

Note 7: Waterproofing and drainage line in gravel filled trench, or other approved drainage layer, shall be installed to rear of all walls where retaining.

Comparative levels
Approx height of pool surrounds relative to existing ground levels at points A - D are as follows:

A: + 5.00
B: + 1.23
C: - 3.65
D: + 2.00

Note 8: The above information is for DA submission purposes only and is not to be used for construction purposes.

Note 9: Spotted Gum Forest Revegetation
Total Area = 362m² (308m² in the front garden and 54m² in the back)

Plants have been selected from the Pittwater and Wagstaffe Spotted Gum Forest Endangered Ecological Community and are to be planted at a rate of 5 plants per m2 with a high species diversity.

Plants for the Spotted Gum Revegetation Area to be tubestock sourced from local bush regeneration nurseries and propagated from plants within 10km from the site. Existing native species that occur in the revegetation area are to be retained where possible.

The area is to be mulched to a depth of 75mm to with Eucalyptus mulch only (weed free). No new soils, fertilisers, pesticides or insecticides to be used in this area.

Landscaping Calculations:

Item	Area (m ²)	% of Site Area
Site Area	1366	
Existing Hard Surface Area	261	19.1
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Proposed Hard Surface Area	545	39.9
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Total Landscape Area = 60.4% of Total Site Area



D	6/12/19	Additional details for Certifier
C	22/11/19	Additional details added for certifier
B	15/10/19	Post DA feedback and ammendments for certifier

NOT FOR CONSTRUCTION.