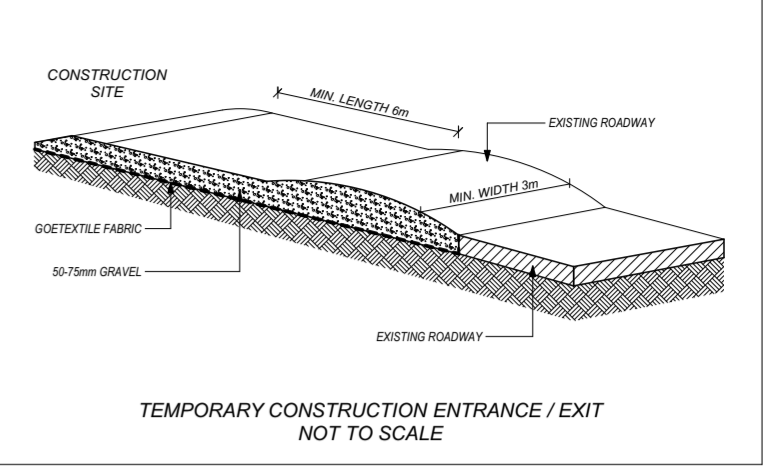
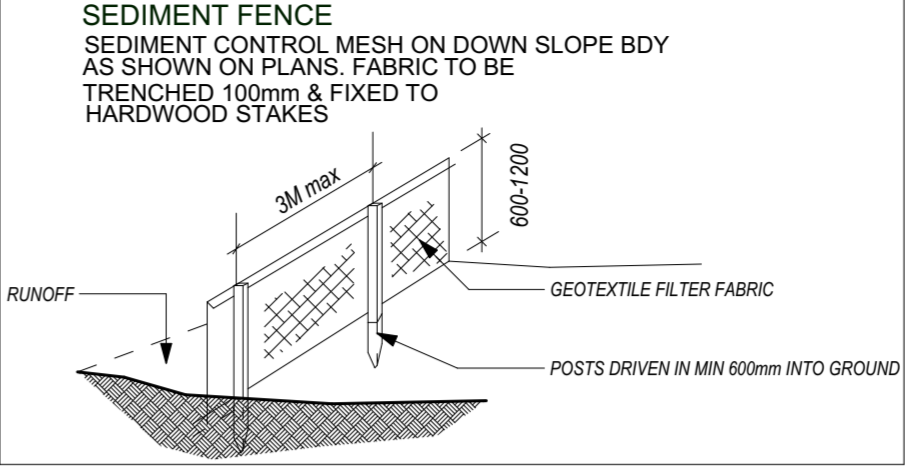
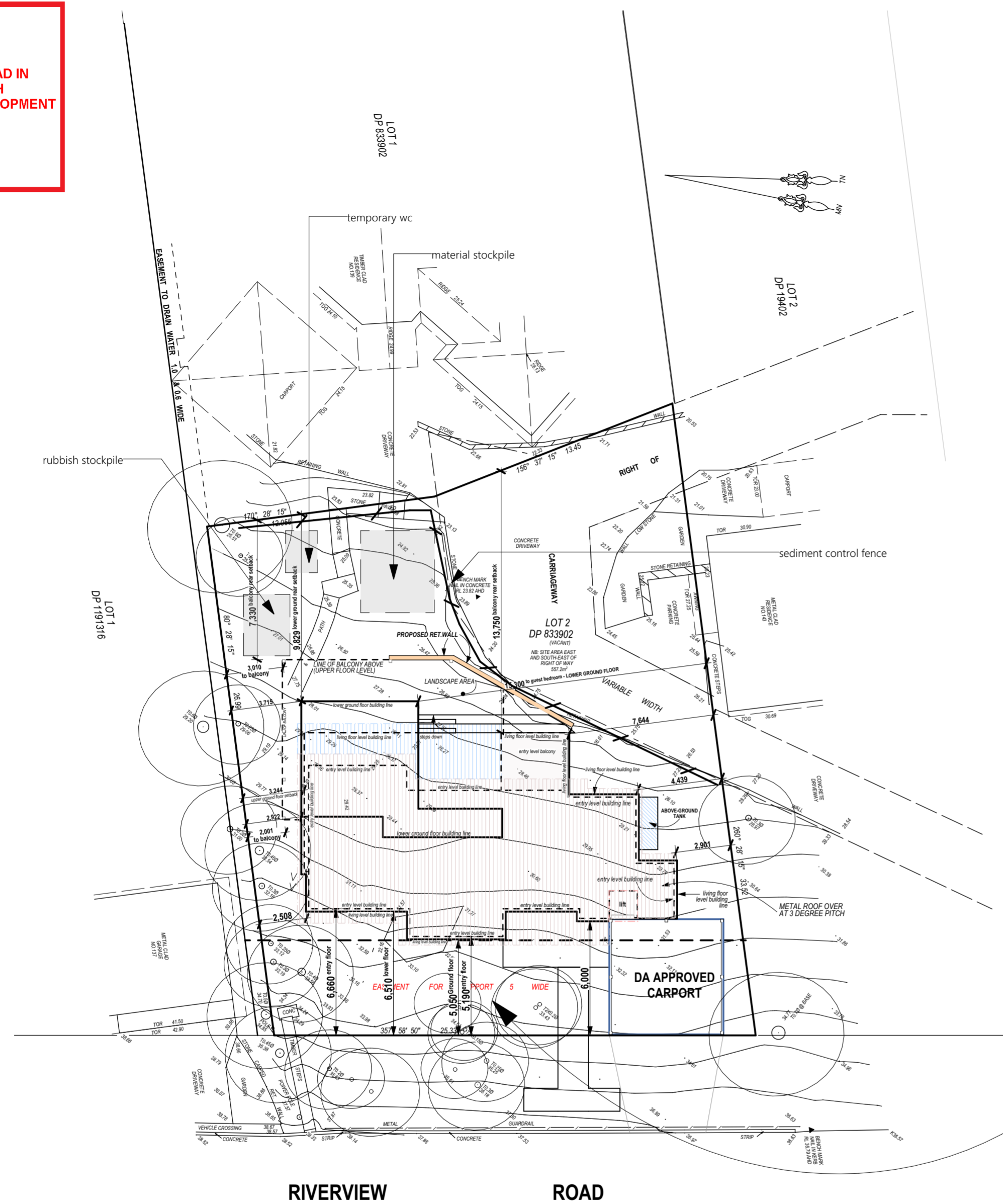



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SEDIMENT NOTE :
 1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY THE SITE MANAGER.
 2. MINIMISE DISTURBED AREAS. REMOVE EXCESS SOIL FROM EXCAVATED AREA AS SOON AS POSSIBLE.
 3. ALL MATERIAL STOCKPILE TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, OR WITHIN SEDIMENT FENCE AREA.
 4. DRAINAGE TO BE CONNECTED TO STORMWATER AS SOON AS POSSIBLE. IF STORED ON SITE, IT MUST BE FILTERED BEFORE RELEASING INTO STORMWATER SYSTEM OR WATERWAYS
 5. ROADS AND FOOTPATHS TO BE SWEEPED DAILY.

DUST CONTROL :
 TO REDUCE DUST GENERATED BY WIND ACTION, THE REMOVAL OF THE TOP SOIL IS TO BE MINIMISED. TO PREVENT DUST GENERATION, WATERING DOWN OF THE SITE, ESPECIALLY DURING THE MOVEMENT OF MACHINERY IS REQUIRED. WHERE EXCAVATING INTO ROCK, KEEP THE SURFACE MOIST TO MINIMISE DUST. CONSTRUCT A GRAVEL ENTRY/EXIT POINT USING BLUE METAL AND RESTRICT ALL VEHICLE MOVEMENTS WITHIN THE SITE TO A MINIMUM. ENSURE WIND BREAKS, SUCH AS EXISTING FENCES ARE MAINTAINED DURING THE CONSTRUCTION PHASE UNTIL NEW LANDSCAPING IS PROVIDED OR REINSTATED. PREVENT DUST BY COVERING STOCKPILES

NOTE:
 MINIMAL ADDITIONAL STORMWATER LOADING. STORMWATER TO BE DIRECTED TO EXISTING AND WORKING DISCHARGE POINT

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

NOTE:
 STORMWATER DISPOSAL AS PER HYDRAULICS ENGINEER'S DESIGN No.24956-C2 PREPARED BY NASTASI & ASSOCIATES

NOTE:
 EASEMENT FOR SUPPORT - 5m WIDE (REFER TO 88b INSTRUMENT - in the 2nd referred Clause)

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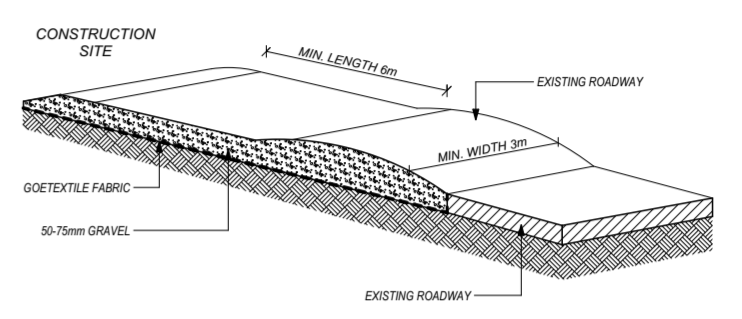
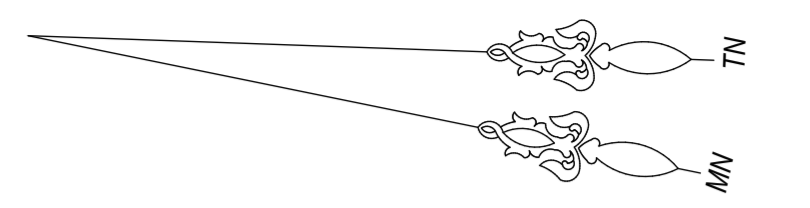
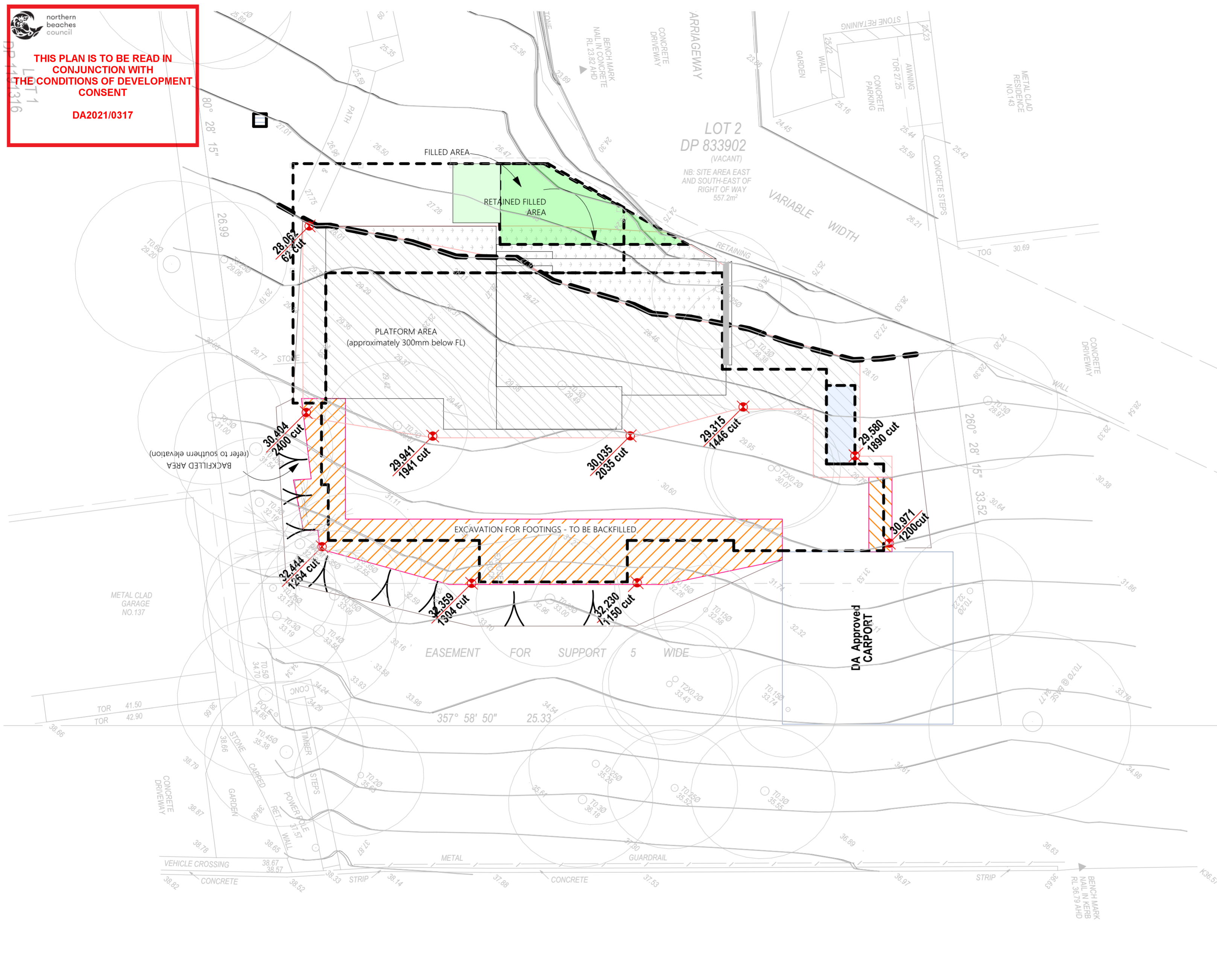
 Full Member
 No. 1672 - 14

DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT
18/03/2021	development application plans	6	PC	
21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu
07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

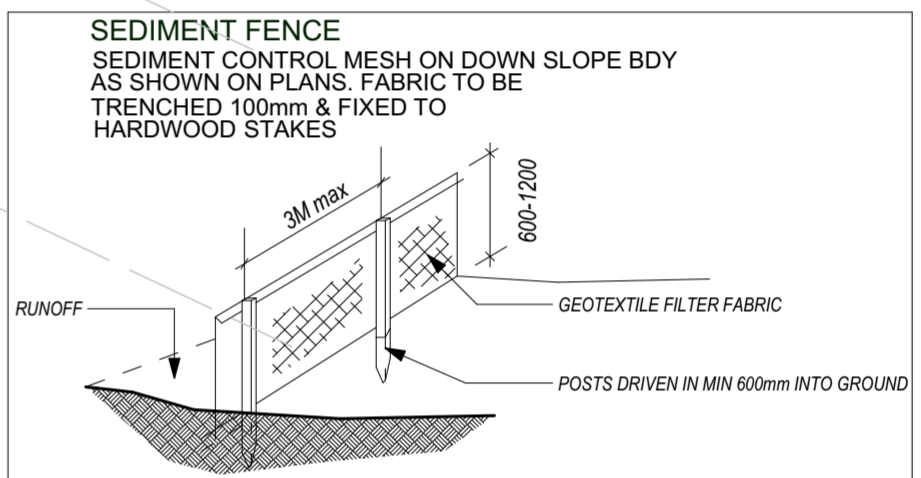
DRAWING TITLE	PROJECT
PROPOSED SITE PLAN	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:200 @ A2
DWG NO	JOB NUMBER	ISSUE
DA02	20127	09

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TEMPORARY CONSTRUCTION ENTRANCE / EXIT
 NOT TO SCALE



NOTE:
 REFER TO FLOOR PLANS FOR RESPECTIVE RL's FOR EACH FLOOR LEVEL

RIVERVIEW ROAD



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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
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07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

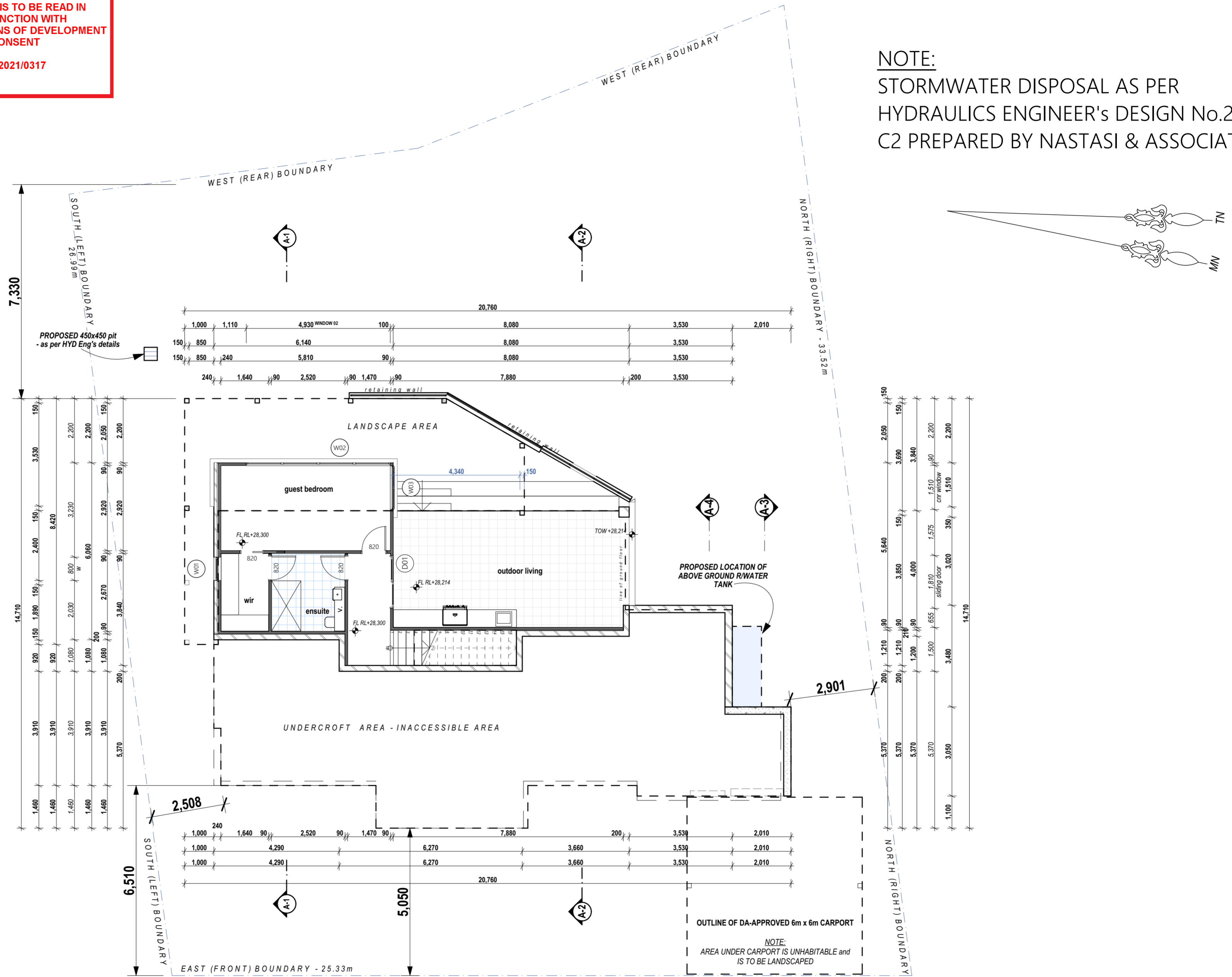
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PROJECT	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA05	20127	09

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

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NOTE:
 STORMWATER DISPOSAL AS PER HYDRAULICS ENGINEER'S DESIGN No.24956-C2 PREPARED BY NASTASI & ASSOCIATES



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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
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02/07/2021	Northern side of structure redesign	9	PC	

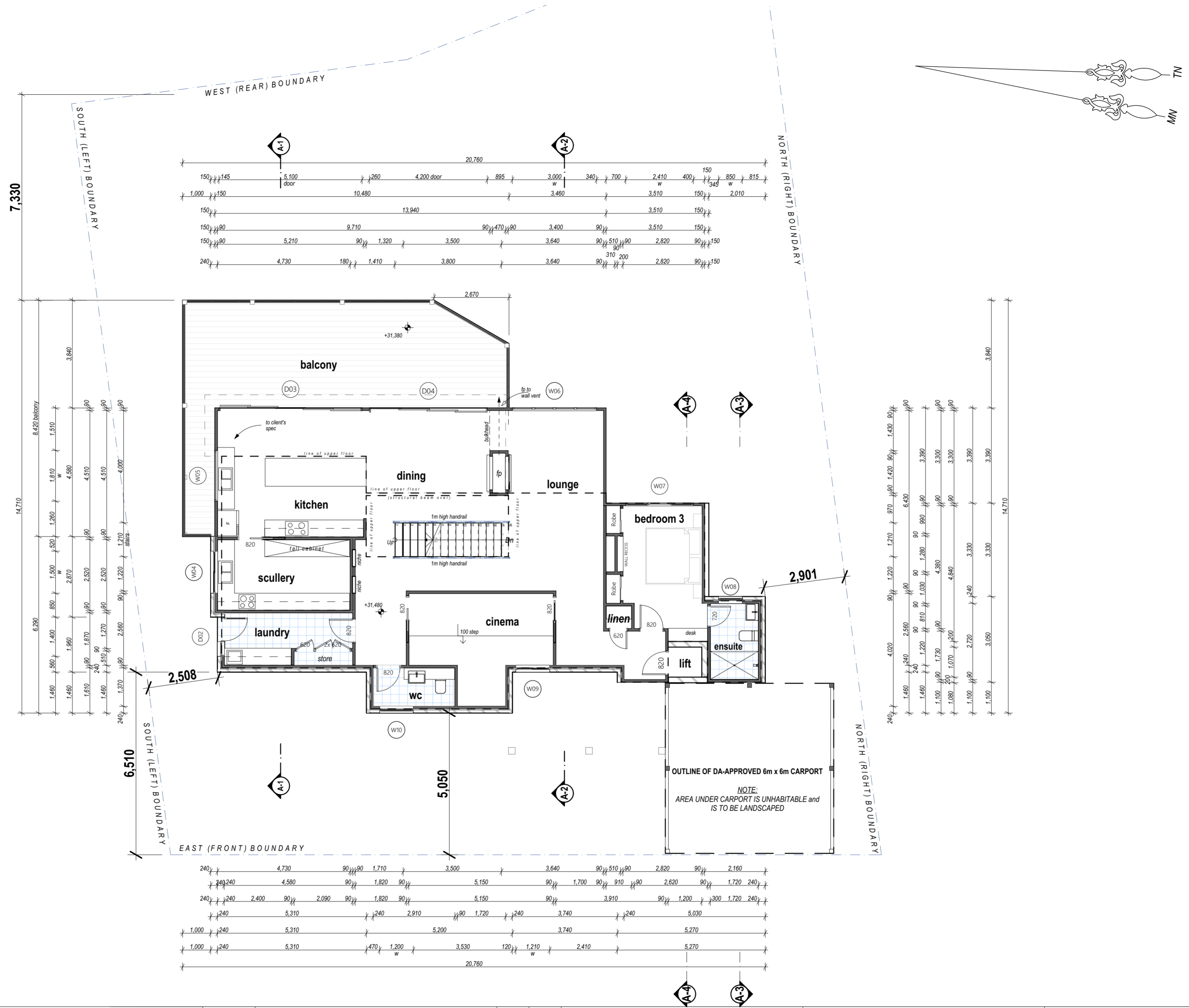
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PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:100 @ A2
	DWG NO
	DA06
	JOB NUMBER
	20127
	ISSUE
	09

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
16/02/2021	working drawings	4	AW	
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	
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07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

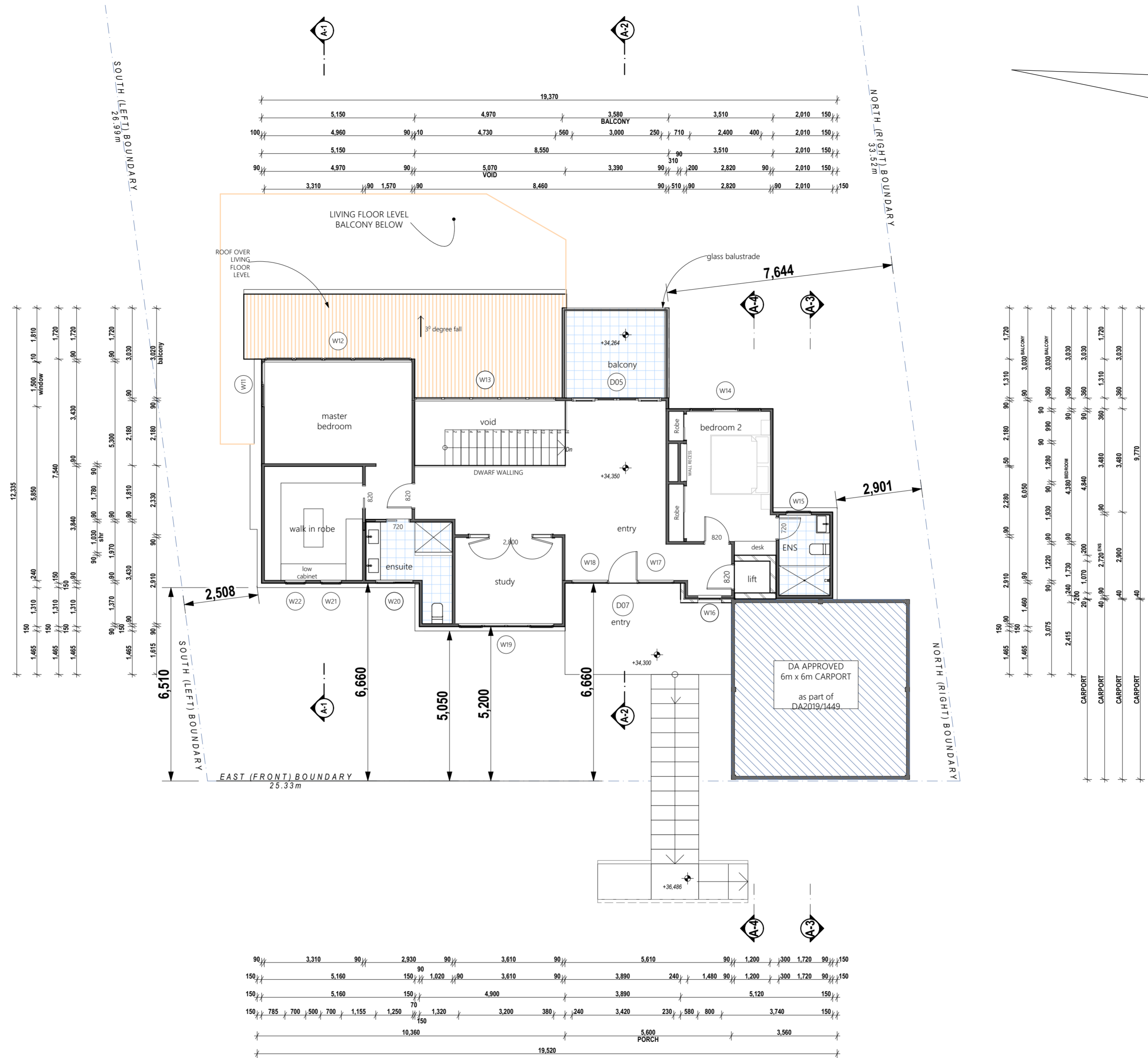
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LIVING LEVEL FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
	09/07/21
	SCALE
	1:100 @ A2
	DWG NO
	DA07
	JOB NUMBER
	20127
	ISSUE
	09

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
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07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE	DRAWING STATUS
ENTRY LEVEL FLOOR PLAN	DA SUBMISSION
PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
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	09

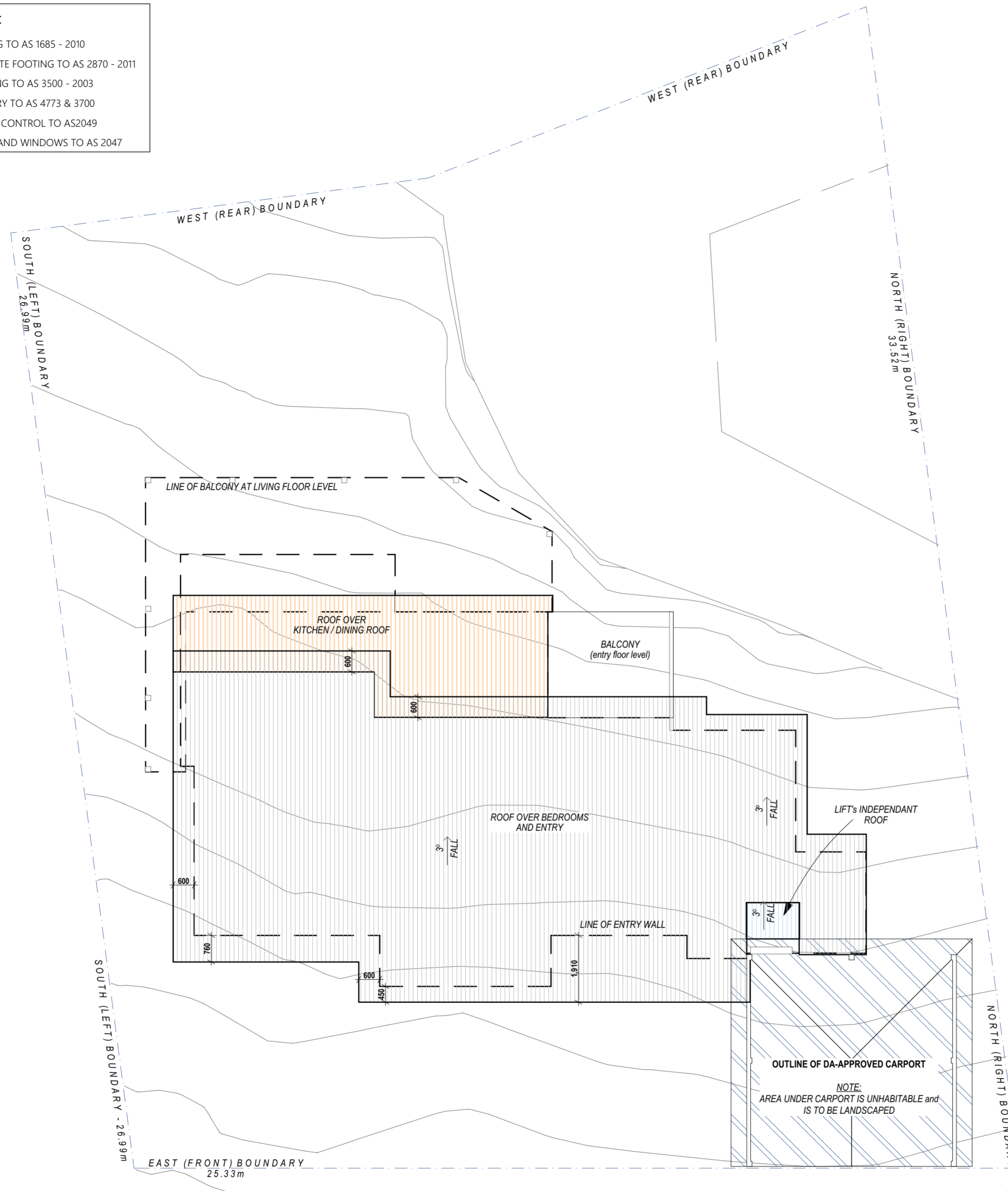
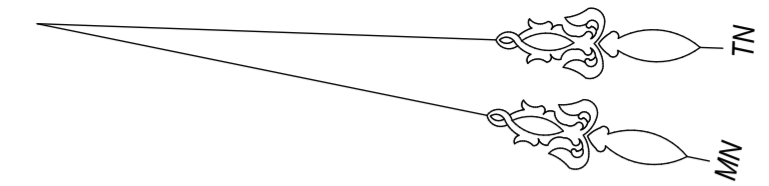


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2021/0317

NOTE:

- FRAMING TO AS 1685 - 2010
- CONCRETE FOOTING TO AS 2870 - 2011
- PLUMBING TO AS 3500 - 2003
- MASONRY TO AS 4773 & 3700
- TERMITE CONTROL TO AS2049
- DOORS AND WINDOWS TO AS 2047



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DATE	AMENDMENTS	NO	BY	ADDRESS
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21/05/2021	additional shadows & landscape calcs added	7	PC	Uday and Kavita Bonu
07/06/2021	6.5m front setback compliance redesign	8	PC	
02/07/2021	Northern side of structure redesign	9	PC	

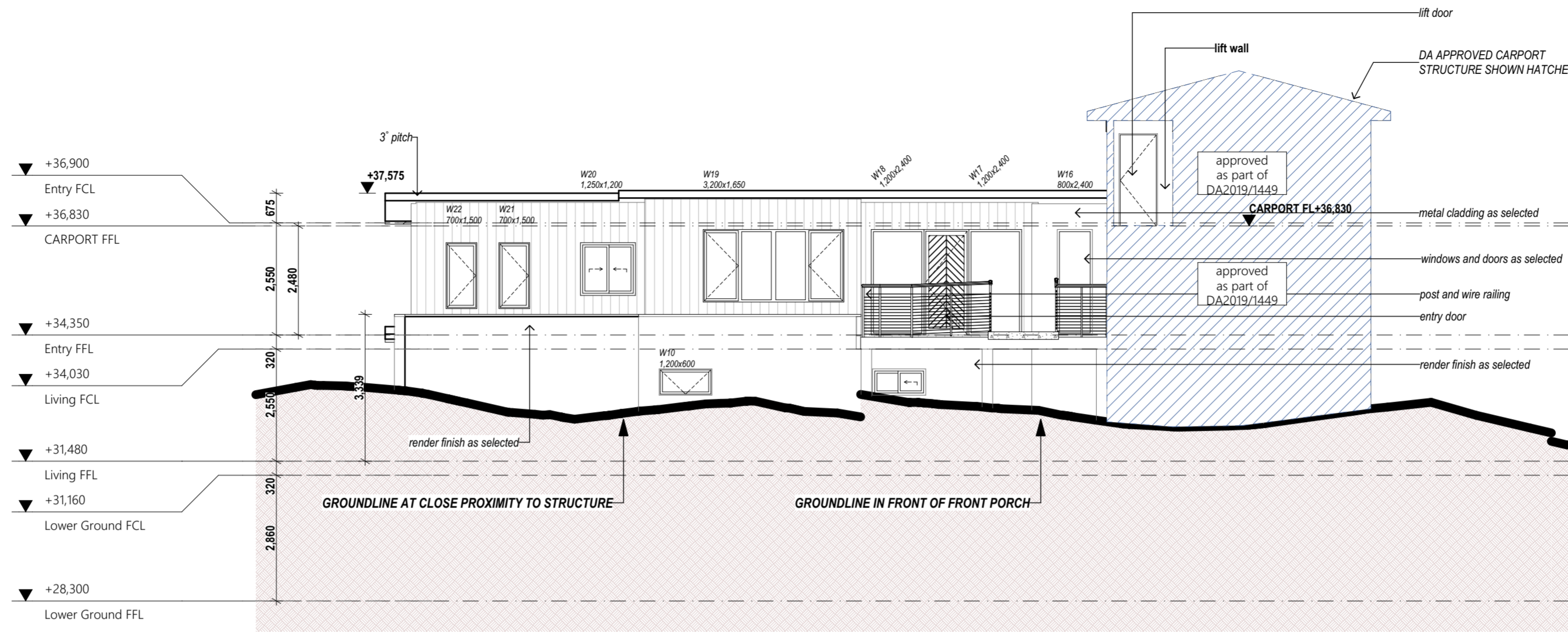
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PROJECT	DRAWN BY
PROPOSED NEW DWELLING	AW
	DATE
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	SCALE
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	DWG NO
	DA09
	JOB NUMBER
	20127
	ISSUE
	09

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

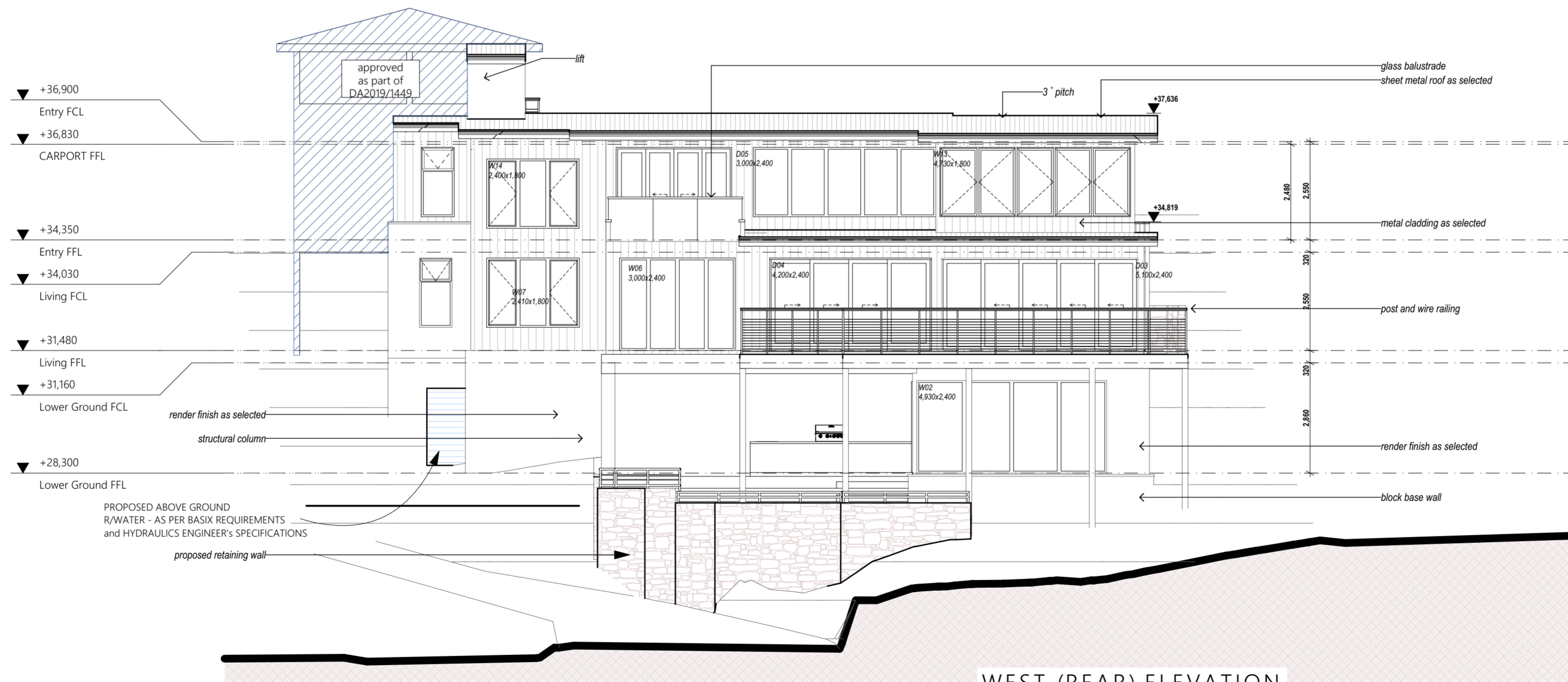
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EAST (FRONT) ELEVATION



WEST (REAR) ELEVATION

NOTE:
 W06 and STUDY WINDOW TO BE 45% OPANABLE AS PER NatHers REQUIREMENTS

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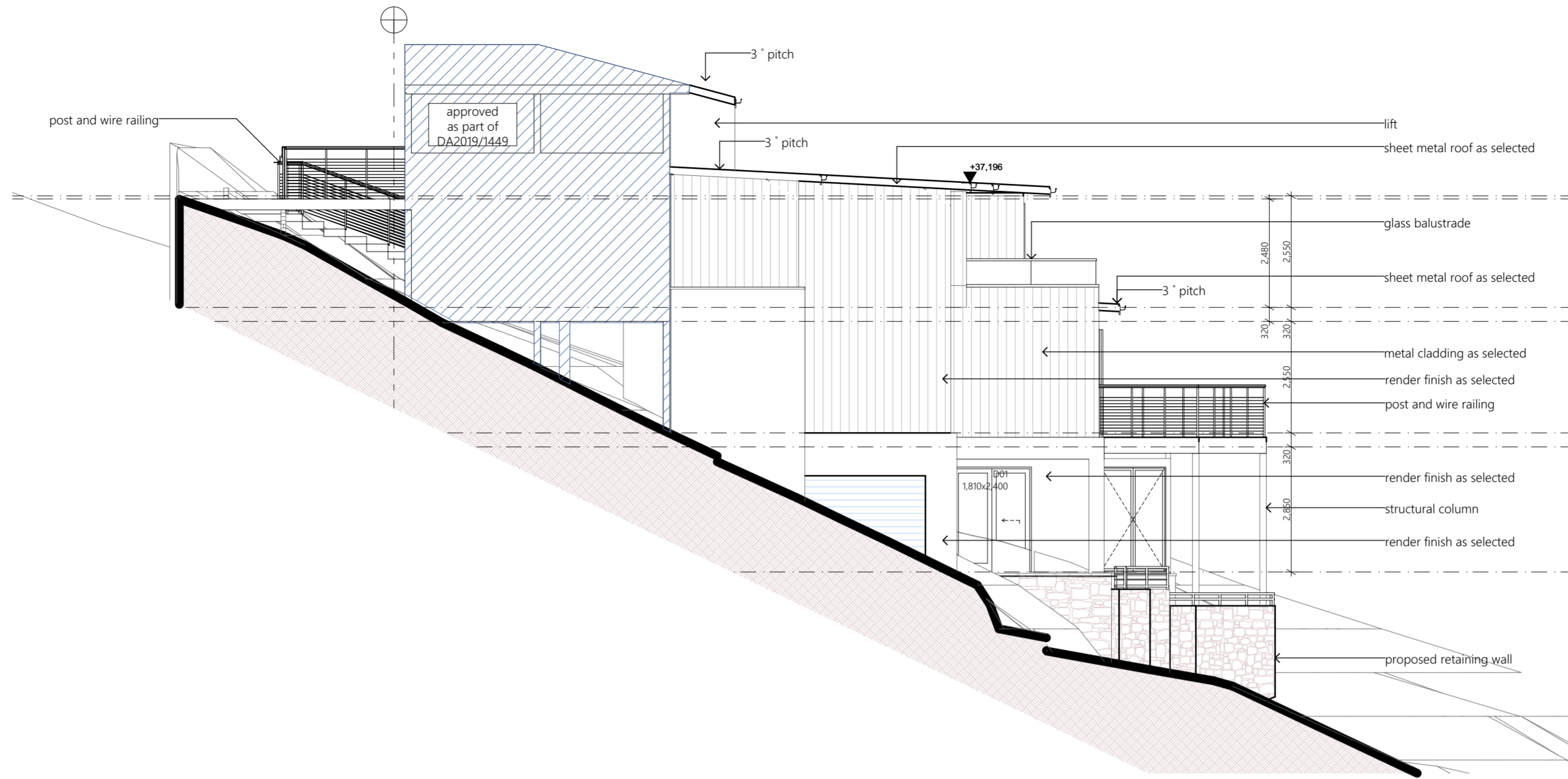
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21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902	EAST & WEST PLAN	DA SUBMISSION		
16/02/2021	working drawings	4	AW			DRAWN BY	DATE	SCALE
15/03/2021	windows changed as per client's email dated 12.03.21	5	PC	CLIENT Uday and Kavita Bonu	PROJECT PROPOSED NEW DWELLING	AW	09/07/21	1:100 @ A2
18/03/2021	development application plans	6	PC			DWG NO	JOB NUMBER	ISSUE
21/05/2021	additional shadows & landscape calcs added	7	PC			DA10	20127	09
07/06/2021	6.5m front setback compliance redesign	8	PC					
02/07/2021	Northern side of structure redesign	9	PC					

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

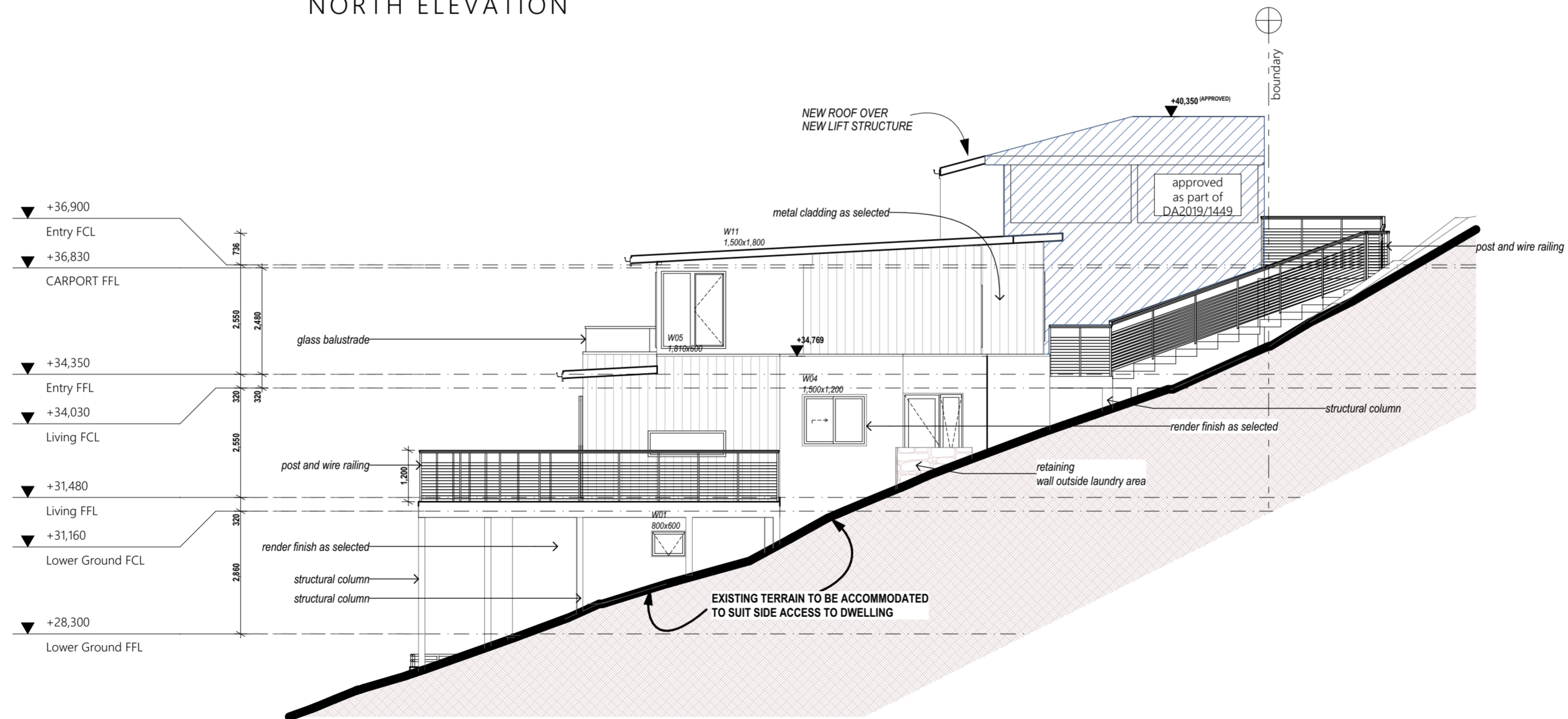
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NORTH ELEVATION



SOUTH ELEVATION

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DATE	AMENDMENTS	NO	BY	ADDRESS
21/01/2021	design development	3	HH	141 Riverview Road, Avalon Beach Lot 2/-/DP833902
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02/07/2021	Northern side of structure redesign	9	PC	

DRAWING TITLE
NORTH & SOUTH ELEVATION PLAN
PROJECT
PROPOSED NEW DWELLING

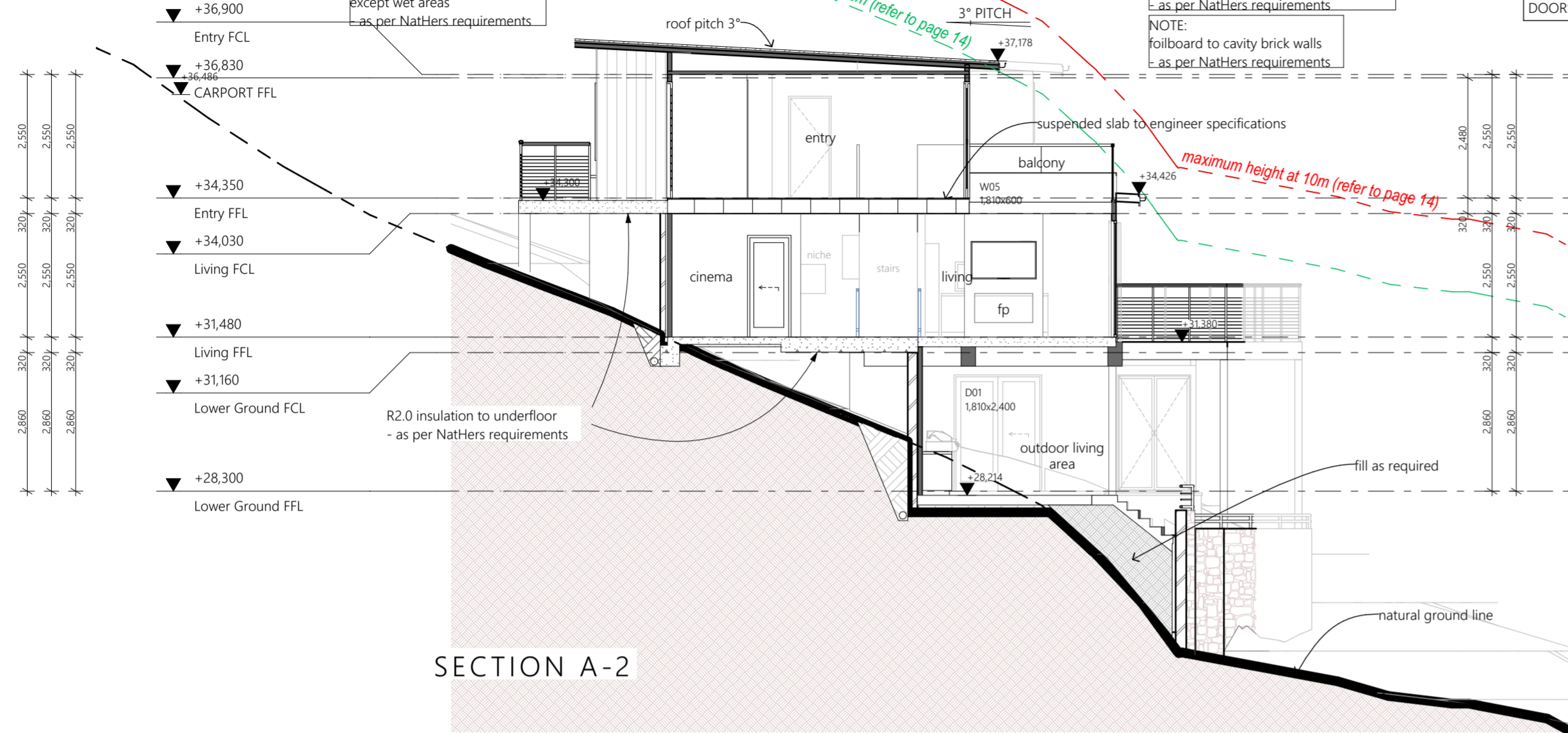
DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @ A2
DWG NO	JOB NUMBER	ISSUE
DA11	20127	09

NOTE:
 FRAMING TO AS 1685 - 2010
 CONCRETE FOOTING TO AS 2870 - 2011
 PLUMBING TO AS 3500 - 2003
 MASONRY TO AS 4773 & 3700
 TERMITE CONTROL TO AS2049
 DOORS AND WINDOWS TO AS 2047

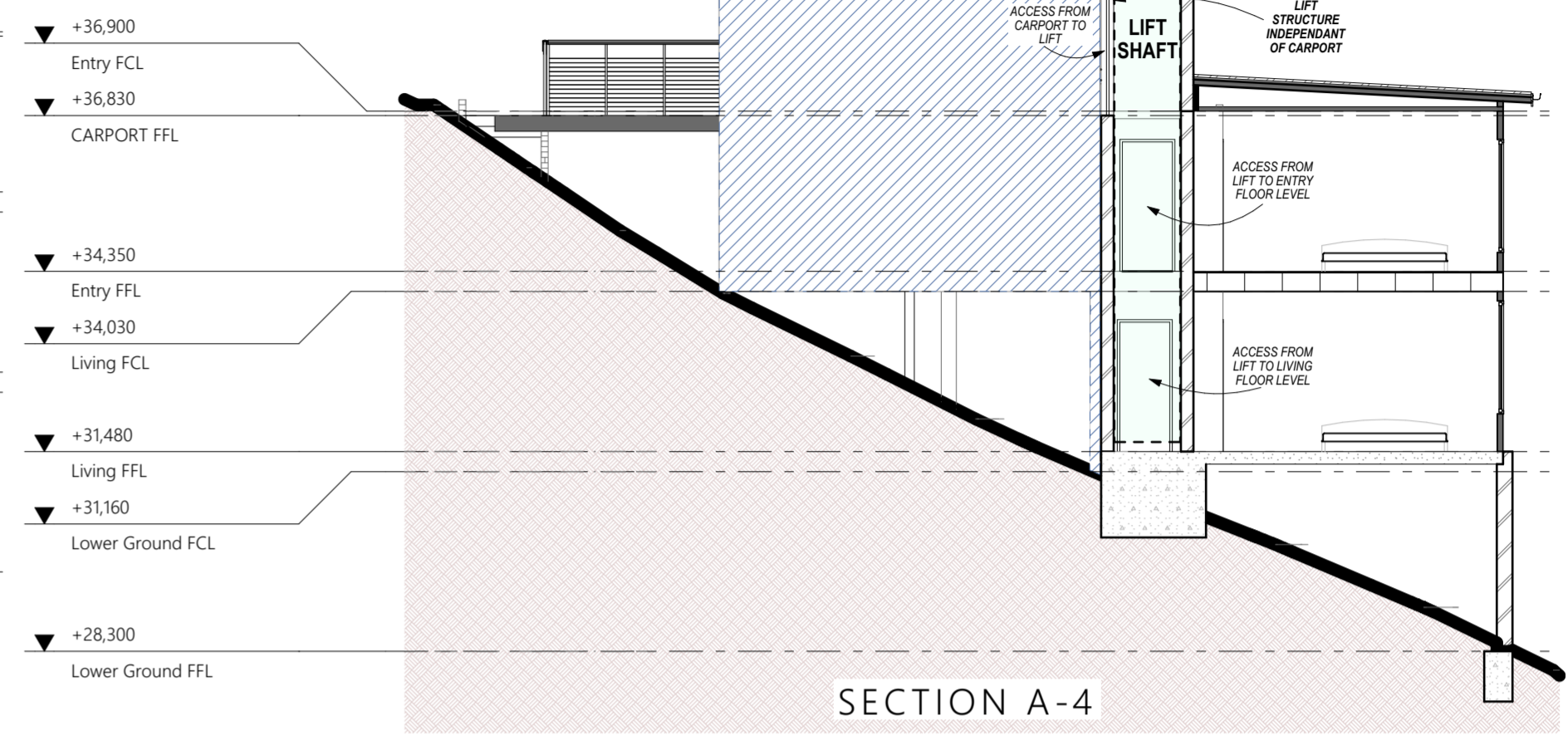
NOTE:
 double glazing to all windows except wet areas - as per NatHers requirements

NOTE:
 Comfort-Plus glazing to all bedrooms, study, cinema and D01 - as per NatHers requirements

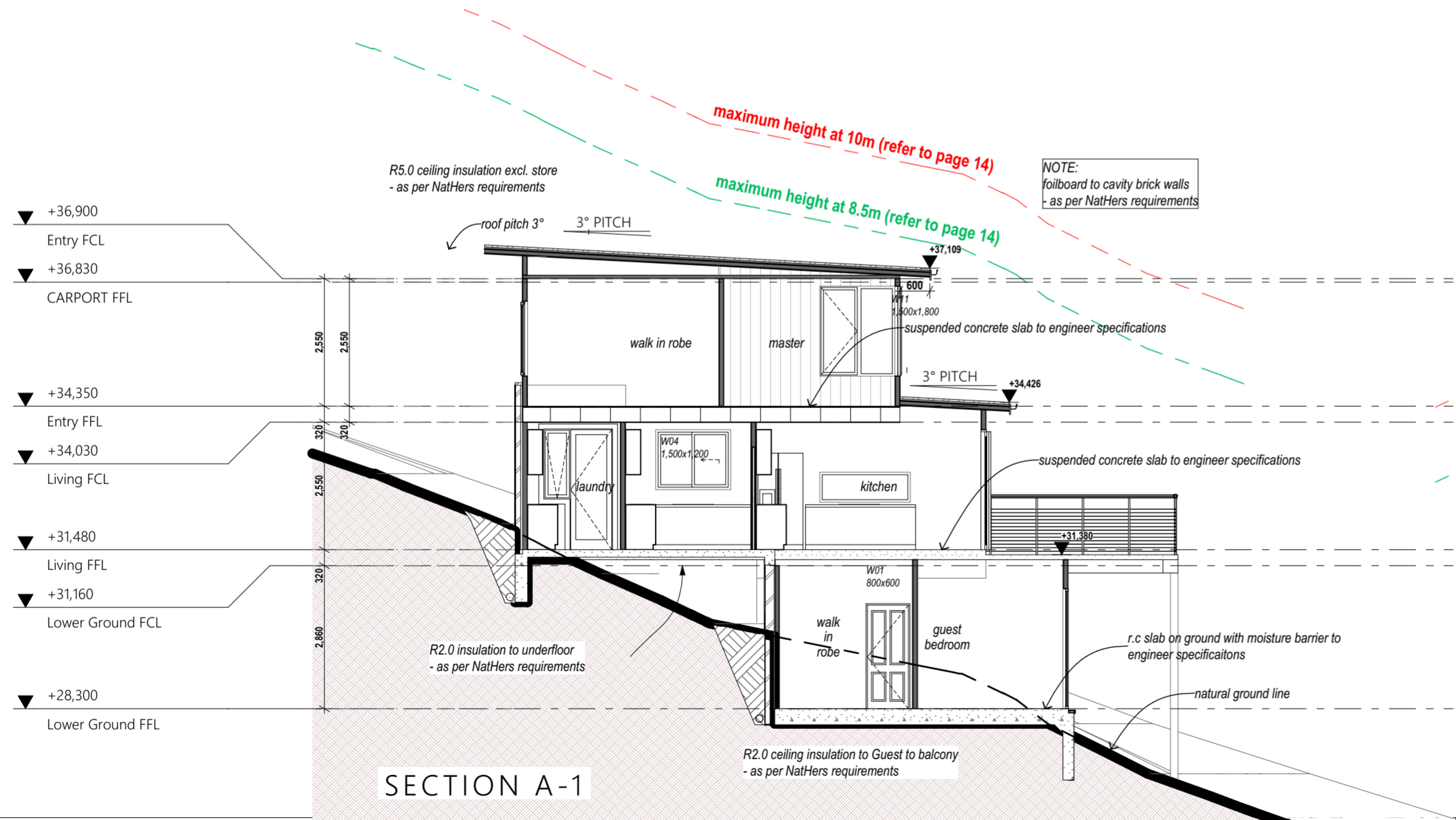
NOTE:
 foilboard to cavity brick walls - as per NatHers requirements



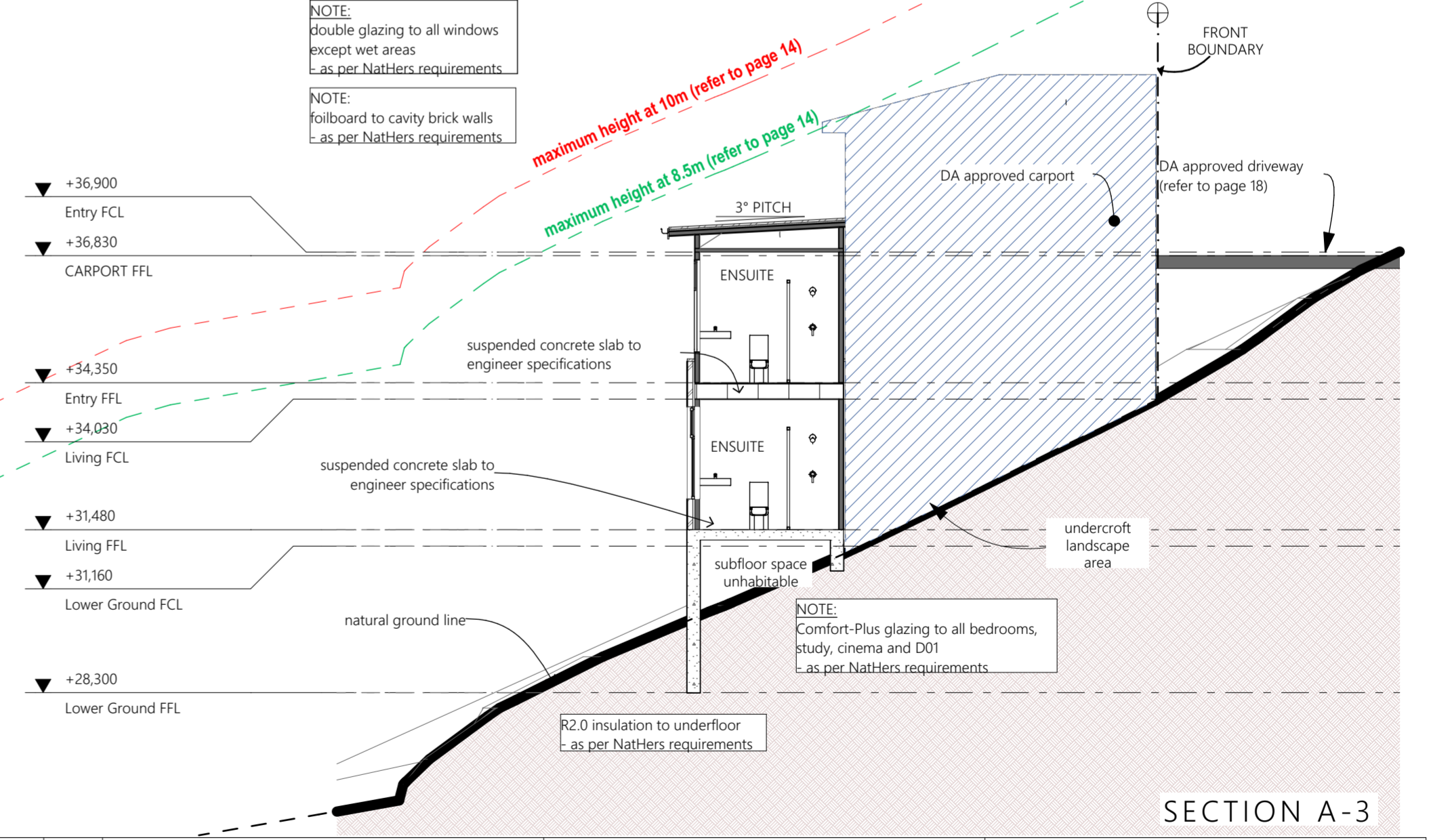
SECTION A-2



SECTION A-4



SECTION A-1



SECTION A-3

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DATE	AMENDMENTS	NO	BY
21/01/2021	design development	3	HH
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ADDRESS	CLIENT
141 Riverview Road, Avalon Beach Lot 2/-/DP833902	Uday and Kavita Bonu

DRAWING TITLE	PROJECT
A SECTION PLAN	PROPOSED NEW DWELLING

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	1:100 @A2
DWG NO	JOB NUMBER	ISSUE
DA12	20127	09



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

 DA2021/0317

NORTHERN BEACHES COUNCIL (AVALON BEACH LOCALITY)

Controls

External colours and materials shall be dark and earthy tones as shown below:



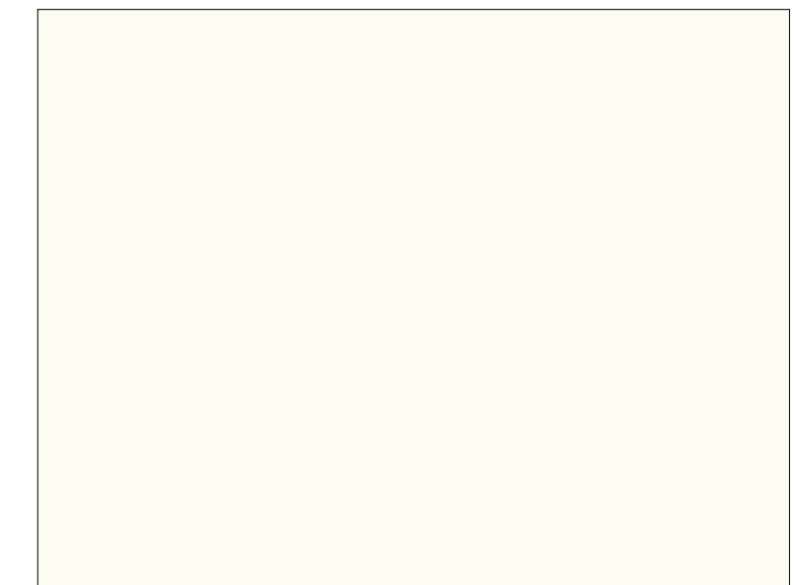
White, light coloured, red or orange roofs and walls are not permitted:



external walls
selected brick walls
dulux basalt or similar
(Dark Grey)



external selected surfaces
rendered brick/selected
surfaces
dulux monument or similar
(Black)



internal alfresco walls
rendered blockwork
dulux whitehaven
or similiar



light weight walls
'Mid Grey' vertical
aluminium cladding



roof gutter
rendered blockwork
astro metal sheet
(Dark Grey)



all balustrades
rendered blockwork
steel wire balustrade



decking
timber deck
or similiar
(Brown)

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DATE	AMENDMENTS	NO	BY	ADDRESS
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DRAWING TITLE	INDICATIVE MATERIALS SCHEDULE	
PROJECT	PROPOSED NEW DWELLING	

DRAWING STATUS		
DA SUBMISSION		
DRAWN BY	DATE	SCALE
AW	09/07/21	@ A2
DWG NO	JOB NUMBER	ISSUE
DA19	20127	09