

# 287 Whale Beach Road, Palm Beach NSW 2107

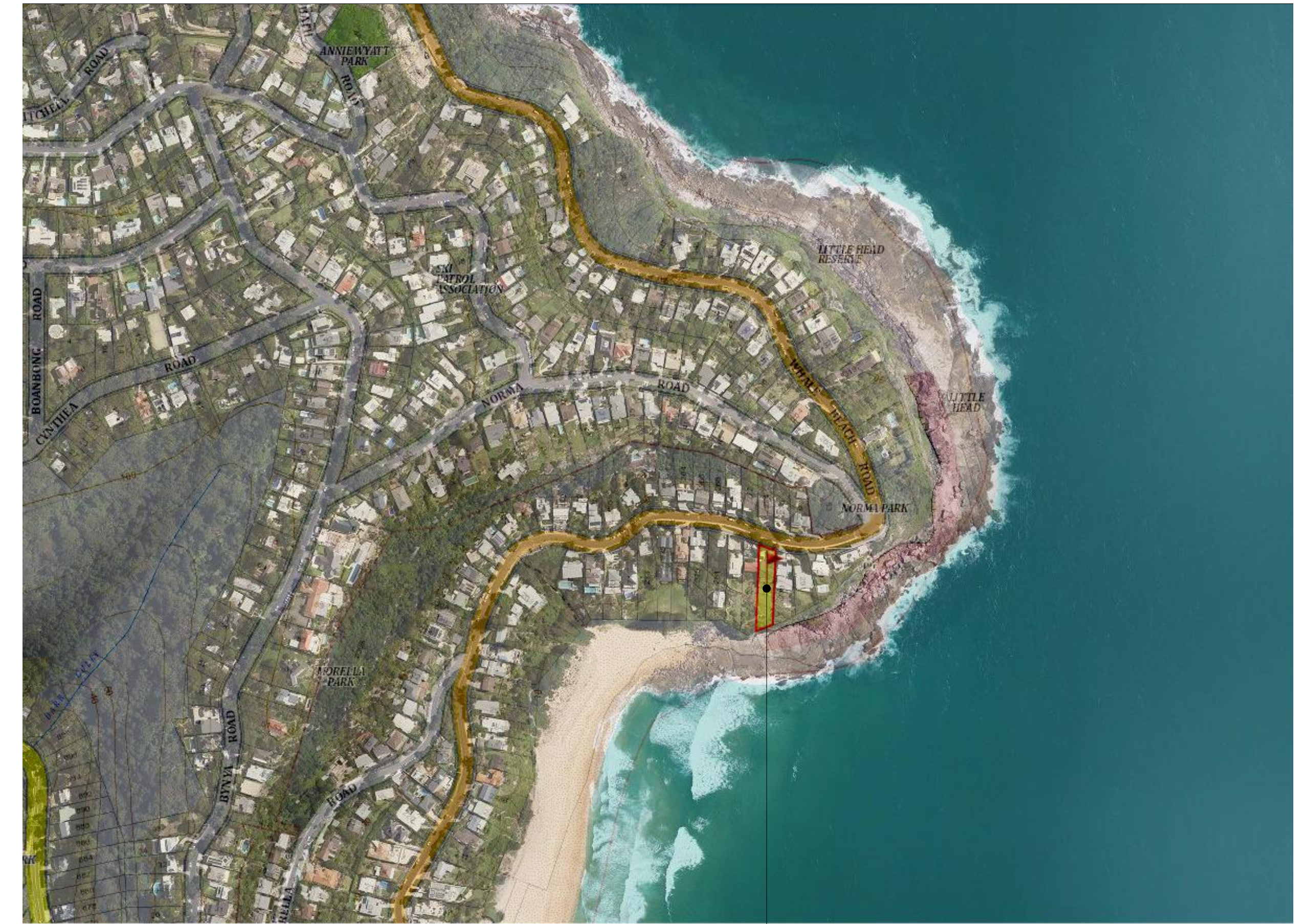
## DRAWING SCHEDULE

SHEET	TITLE	NOTE
DA00	Title Sheet and Location Map	
DA01	Site Analysis	
DA02	Site Plan	
DA03	DA Area Calculations	
DA04	Existing + Demolition Plan	
DA05	Roof Plan & Upper Studio Floor Plan	
DA06	Floor Plans Level 1 + 2	
DA07	Floor Plans Level 3 + 4	
DA08	Elevations North & South	
DA09	Elevations East & West	
DA10	Section A	
DA11	Section B, C, D + E	
DA12	Shadow Diagrams 1	
DA13	Shadow Diagrams 2	
DA14	Excavation and Fill Sections	
DA15	3D Perspectives	
DA16	3D Neighbours Perspectives 1	
DA17	3D Neighbours Perspectives 2	
DA18	Window Schedule	
DA19	Exterior Door Schedule	

## CONSULTANTS

Arborist:	Urban Arbor
Energy Assessor:	Efficient Living
Coastal Engineer:	Horton Coastal Engineering
Geotechnical Engineer:	White Geotechnical Group
Landscape Designer:	Wyer & Co.
Quantity Surveyor:	Newton Fisher Group
Stormwater Engineer:	TTW
Surveyor:	Adam Clerke Surveyors Pty Ltd
Town Planner:	Beam Planning
Visualisation:	Alex Gunawan

## LOCATION PLAN (NTS)



287 Whale Beach Road, Whale Beach



## GENERAL SPECIFICATION NOTES

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All pre-fabricated timber trusses and frames to utilise sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licensed tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licensed electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insulation), AS1904 (foil insulation) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

## ENERGY ASSESSMENT

### NatHERS and BASIX Inclusions

<b>Insulation Notes:</b> All insulation and vapour membranes must be installed in accordance with Part 10.8 Condensation Management and NSW H6P1 (Part 13.2) Building Fabric, NSW H6P2 (Part 13.4) Building Sealing, NSW H6P3 (Part 13.7) Services.
<b>Wall and roof frames</b> 90mm timber frames to all walls, mid floors and roof
<b>External Floors</b> 200mm Concrete slab on ground, with R2.5 slab and slab edge insulation 200mm Suspended concrete, R4.0 rigid board insulation to open and/or enclosed subfloors No insulation required to garage floor
<b>Internal Floors</b> Concrete structure between levels; No insulation is required where habitable rooms are below R4.0 rigid board insulation where subfloors and unconditioned zones are below
<b>External Walls</b> Cavity core filled concrete block and 110m brick wall with cavity insulation and plasterboard lining internally. Kingspan KB cavity board 40mm utilized in thermal model product R-value 1.75 and total system R-value R2.8. Lightweight cladding 90mm timber frame with R2.7 bulk insulation and plasterboard lining 75mm Hebel panel 90mm timber frame with R2.7 bulk insulation and plasterboard lining No insulation is required to external garage walls
<b>External colours:</b> External walls: Medium Roof: Medium
<b>Walls within dwellings</b> Single brick with plasterboard lining Concrete block with plasterboard lining R2.0 insulation to laundry and studio bathroom
<b>Glazing Doors/Windows</b> Double hung u-value: 1.99 and SHGC: 0.41 Awning u-value: 1.95 and SHGC: 0.47 Sliding doors: u-value: 1.92 and SHGC: 0.39 Hinged door u-value: 1.90 and SHGC: 0.37 Given values are AFRC total window system values (glass and frame)
<b>Window restrictors</b> Window restrictors are modelled in the first-floor bedrooms to all windows with a sill height under 1.7m and a fall height over 2m from the floor level of the room.
<b>Skylights</b> Skylights are openable U-value: 2.53 and SHGC: 0.21 Skylight shaft with stud framing and R4.0 insulation

<b>Roof and Ceilings</b> Metal roof with R1.8 foil-backed blanket 20mm Concrete roof Tiled roof with reflective sarking Plasterboard ceiling with R4.0 insulation where roof or balcony is above, the insulation must extend to the external wall
<b>Ceiling Penetrations</b> Sealed LED downlights, maximum one every 4.0m <sup>2</sup>
<b>Ceiling fans</b> 1200mm ceiling fans to living areas and bedrooms
<b>Floor coverings</b> As per plans
<b>External Shading</b> As per plans
<b>Ventilation</b> Weather seals and draft protection to all external windows and doors Dampers to all exhaust fans and chimneys
<b>BASIX Water Commitments</b> <b>Fixtures</b> Showerheads 3 stars (medium flow >7.5 and <= 9.0 litres/min) Toilet flushing system 4 stars in each toilet Kitchen taps 5 stars rating Bathroom taps (bath excluded) minimum 5 stars rating <b>Alternative water</b> 260m <sup>2</sup> of harvested roof area connected to rainwater tank, minimum capacity, 50,000L. Rain tank connected to at least one outdoor tap, toilets and pool
<b>BASIX Energy Commitments</b> <b>Hot water system</b> Electric heat pump - 26 to STC's <b>Cooling system</b> 3-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5 <b>Heating system</b> 3-phase air-conditioning to living areas and bedrooms: EER 3.0-3.5 <b>Ventilation</b> Bathrooms - individual fan, externally ducted manual on/off switch Kitchen - individual fan, externally ducted manual on/off switch Laundry room - individual fan, externally ducted manual on/off switch <b>Other</b> Gas cooktop, electric oven Outdoor clothes drying line <b>Alternative energy</b> 8.0kW Solar Photovoltaic system Positioned on northern roof at 25 to 35-degree pitch

Rev	Date	Issue
A	2/12/2024	DA Submission

Project:  
New Residence, Pool & Associated External Works  
Client:  
James & Anna Markham  
Address:  
287 Whale Beach Road, Palm Beach NSW 2107  
Lot 187 | DP 15376

Drawing Title:  
Title Sheet and Location Map  
Stage:  
Development Application  
Scale:  
@A1  
Drawn: GC  
Chkd: NG

Sheet No:  
DA00  
Rev:  
A

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Non-Residential Architects  
Michael Kibany NSW ABN 12302  
Sam Samuelpaul NSW ABN 9112  
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1 Site Analysis Plan  
 Scale 1:200

Legend	
DP	Down Pipe
RH	Rain Head
EG	Eaves Gutter
BG	Box Gutter
FP	Fireplace
RL	Reduced Level
TOW	Top of Wall
TOS	Top of Stair
PP	Power Pole
	Proposed Tree
	Existing Tree
	Top of Rock
	Vehicle Access

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 Lot 187 | DP 15376

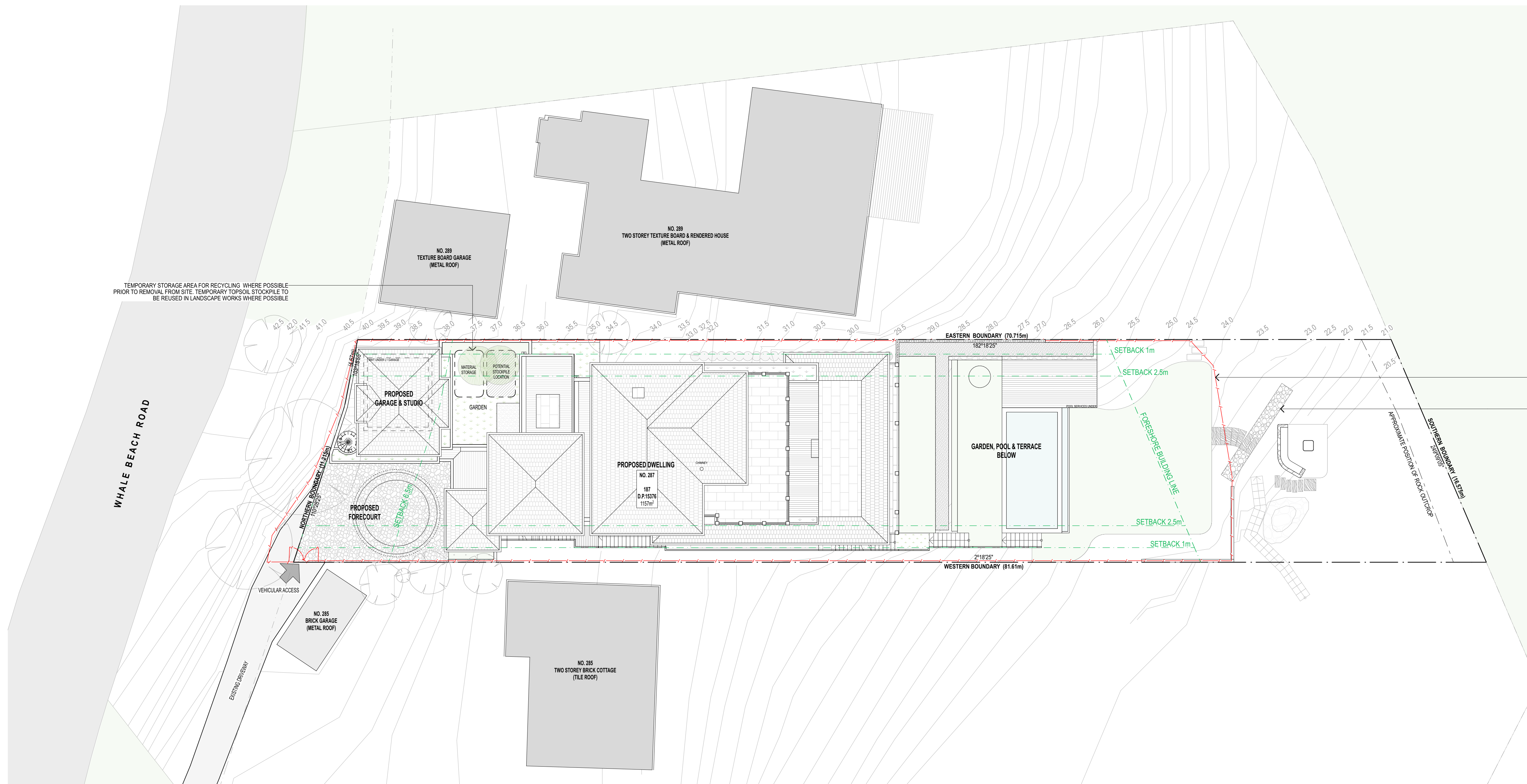
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 Stage: Development Application  
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 Drawn: GC  
 Chkd: NG

Sheet No: DA01  
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SITE SECURITY FENCING TERMINATES AT DENSE VEGETATION

INDICATIVE LOCATION OF STORMWATER LEVEL SPREADER:  
 - REFER TO STORMWATER ENGINEERING DOCUMENTATION.  
 - TO BE COORDINATED WITH LANDSCAPE DESIGN DOCUMENTATION.  
 - INSTALLED IN ACCORDANCE WITH NORTHERN BEACHES DCP REQUIREMENTS.  
 - MINIMUM 3.0m FROM ANY BUILDING OR BOUNDARY.  
 - INSTALLED LEVEL TO PREVENT SURFACE FLOW CONCENTRATION.  
 - INLET PIPES TO BE GRADED AT 1.0%.

1 Site Plan  
1:150

**Certificate No. #HR-8Y43LZ-03**  
 Scan QR code or follow website link for rating details.

**Assessor name** Daniela Russo  
**Accreditation No.** HERA 10270  
**Property Address** 287 Whale Beach Road, Whale Beach, NSW, 2107  
<http://www.hero-software.com.au/pdf/HR-8Y43LZ-03>

**General Notes**  
 Refer to Stormwater Documentation for Sediment Control Plan.  
 - All erosion and sedimentation control plan in accordance with the NSW Governments policy Managing Urban Stormwater: Soils and Construction (also known as The Blue Book).  
 - All measures to be installed to meet the requirements of Northern Beaches Council. Install temporary sediment control fences as shown.  
 - Provide temporary haybales where sediment control fence requires dismantling for site access.  
 - Install mesh and drainage inlet protection on stormwater inlets down slope of site.  
 - All stormwater requirements and specifications to Stormwater/Hydraulic Engineer's details.  
 - Tree protection measures in accordance with the Arborist reports.

DP	Down Pipe	RL	Reduced Level		Proposed Tree		Top of Rock
RH	Rain Head	TOW	Top of Wall		Existing Tree		Vehicle Access
EG	Eaves Gutter	TOS	Top of Stair				
BG	Box Gutter						
FP	Fireplace						

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A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
**Address:** 287 Whale Beach Road, Palm Beach NSW 2107  
 Lot 187 | DP 15376

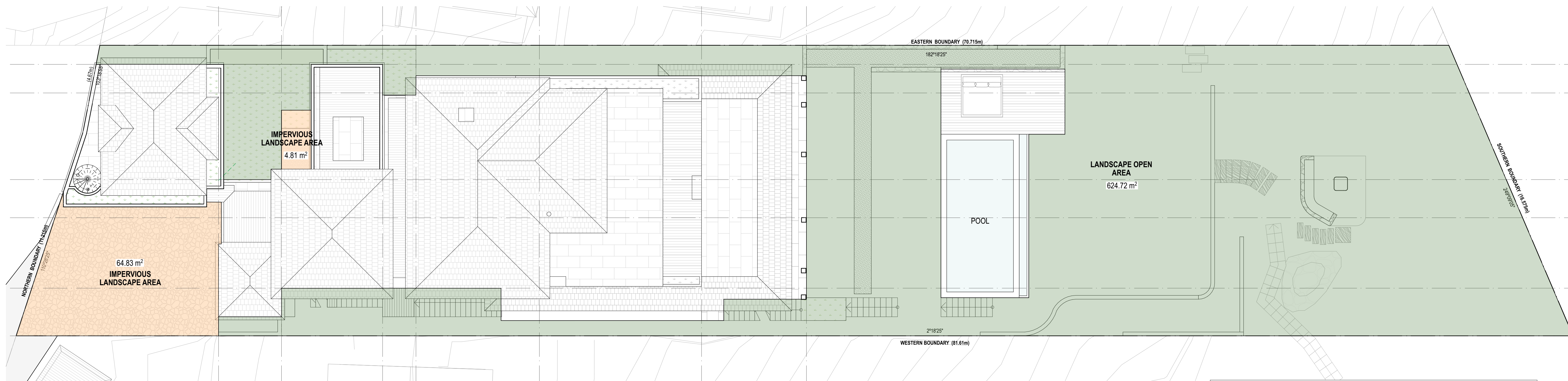
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**Stage:** Development Application  
**Scale:** 1:150, 1:100 @A1  
**Drawn:** GC  
**Chkd:** NG

**Sheet No:** DA02  
**Rev:** A

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1 Landscape Area Calculations - Plan  
1:100

Landscape Area Calculations				
	Control	Proposed (m <sup>2</sup> )	Compliance	
Impervious Landscape Open Area	Max. 6% or 69.64m <sup>2</sup>	69.64		<span style="background-color: #f4a460; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>
Landscape Open Area	54% total or 624.78m <sup>2</sup>	624.72		<span style="background-color: #90c090; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>
	Min. 60% total or 694m <sup>2</sup>	694.36 m <sup>2</sup>	Yes	

**Certificate No. #HR-8Y43LZ-03**  
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Lot 187 | DP 15376

**Drawing Title:** DA Area Calculations  
**Stage:** Development Application  
**Scale:** 1:100 @A1  
**Drawn:** GC  
**Chkd:** NG

**Sheet No.:** DA03  
**Rev:** A

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1 Existing/Demolition Plan  
Scale 1:100

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Legend	
DP	Down Pipe
RH	Rain Head
EG	Eaves Gutter
BG	Box Gutter
FP	Fireplace
RL	Reduced Level
TOW	Top of Wall
TOS	Top of Stair
	Proposed Tree
	Existing Tree
	Top of Rock

GENERAL NOTE:  
- REFER TO SURVEY

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Drawing Title:  
Existing + Demolition Plan  
Stage:  
Development Application  
Scale:  
1:100 @A1  
Drawn:  
GC  
Chkd:

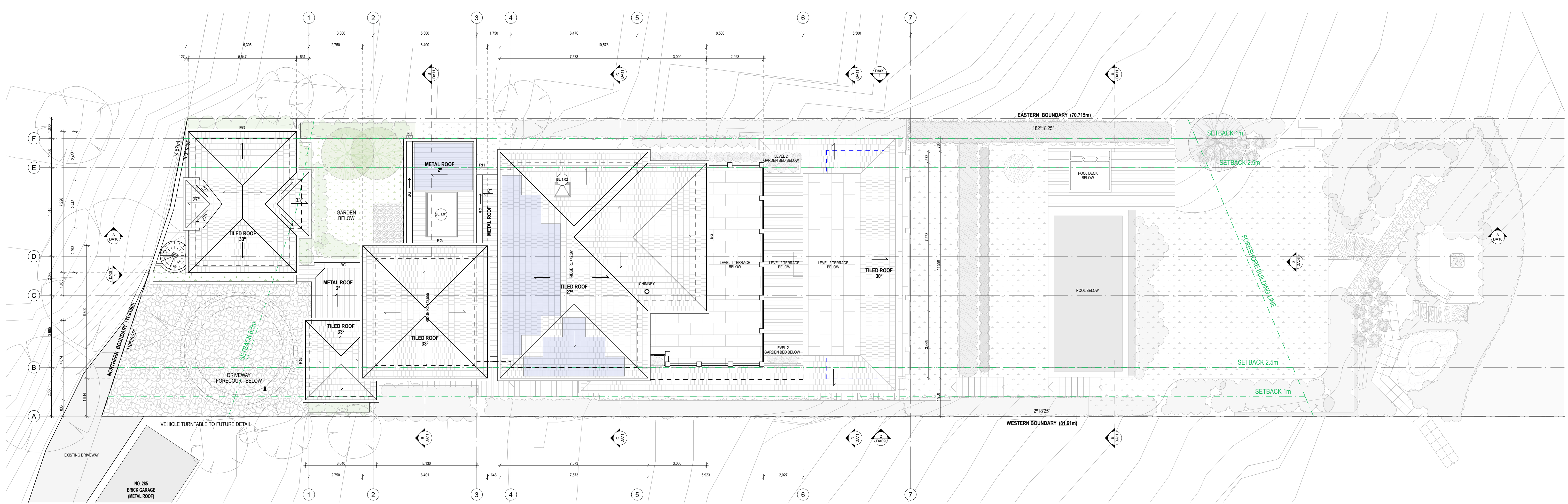
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Rev:  
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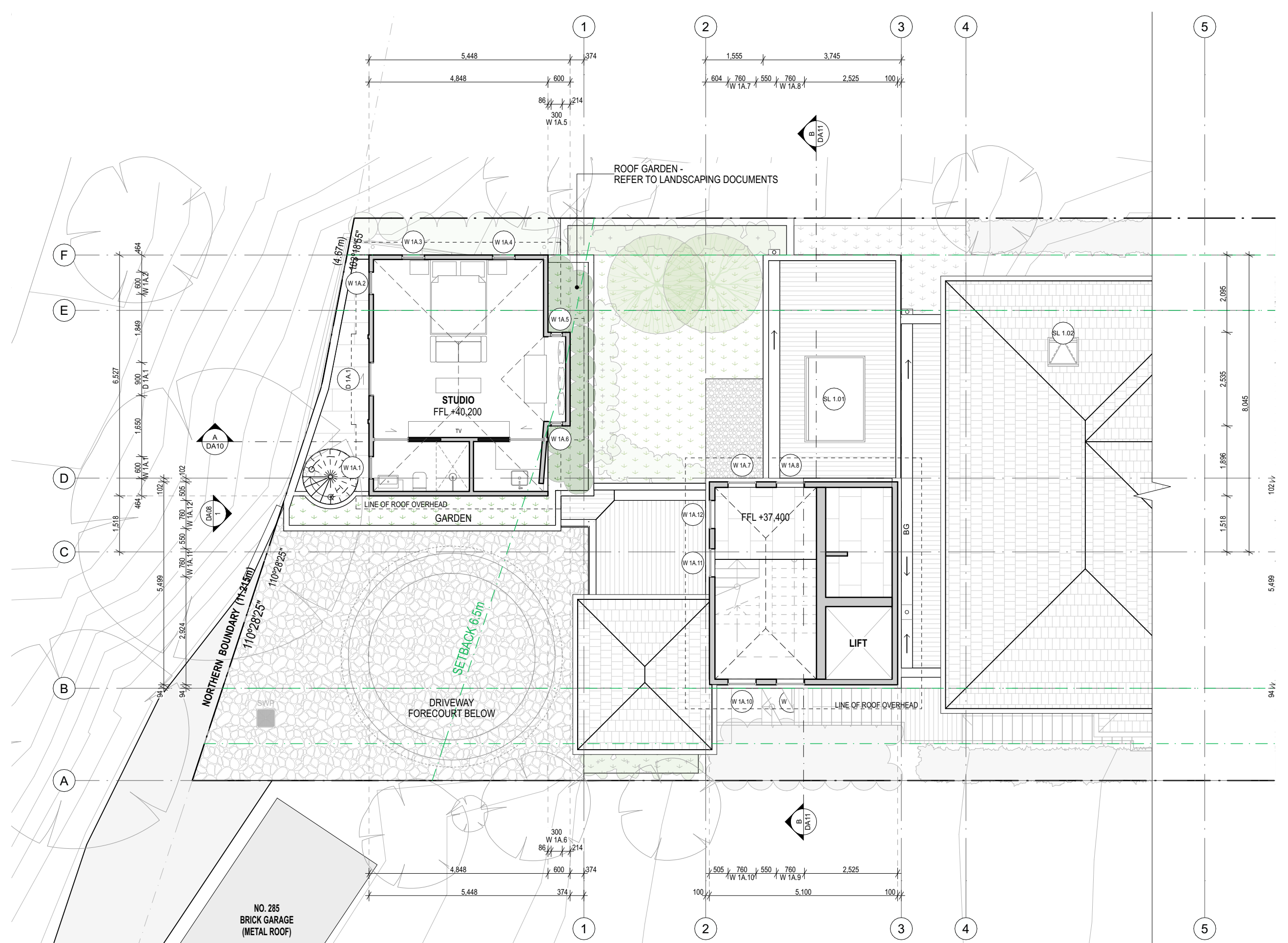


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1 Roof Plan  
Scale 1:100



2 Upper Studio Floor Plan  
Scale 1:100

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Legend

DP	Down Pipe	RL	Reduced Level		Proposed Tree		Top of Rock
RH	Rain Head	TOW	Top of Wall		Existing Tree		Solar
EG	Eaves Gutter	TOS	Top of Stair				
BG	Box Gutter						
FP	Fireplace						

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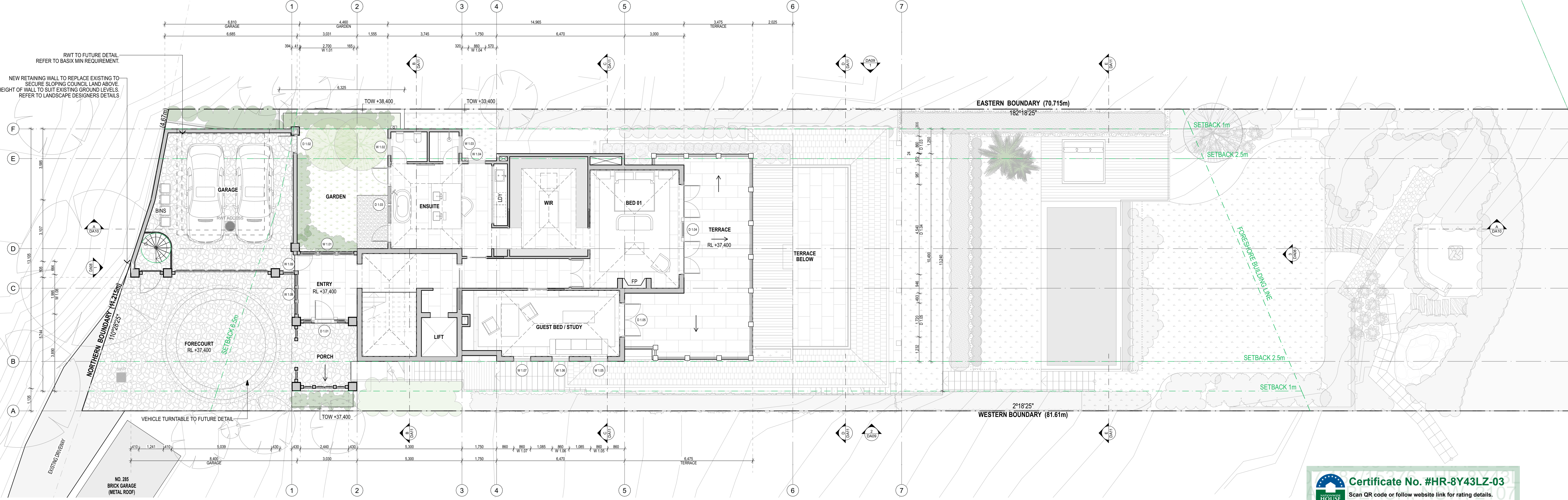
Project: New Residence, Pool & Associated External Works  
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Address: 287 Whale Beach Road, Palm Beach NSW 2107  
Lot 187 | DP 15376

Drawing Title: Roof Plan & Upper Studio Floor Plan  
Stage: Development Application  
Scale: 1:100 @A1  
Drawn: GC  
Chkd: NG

Sheet No: DA05  
Rev: A

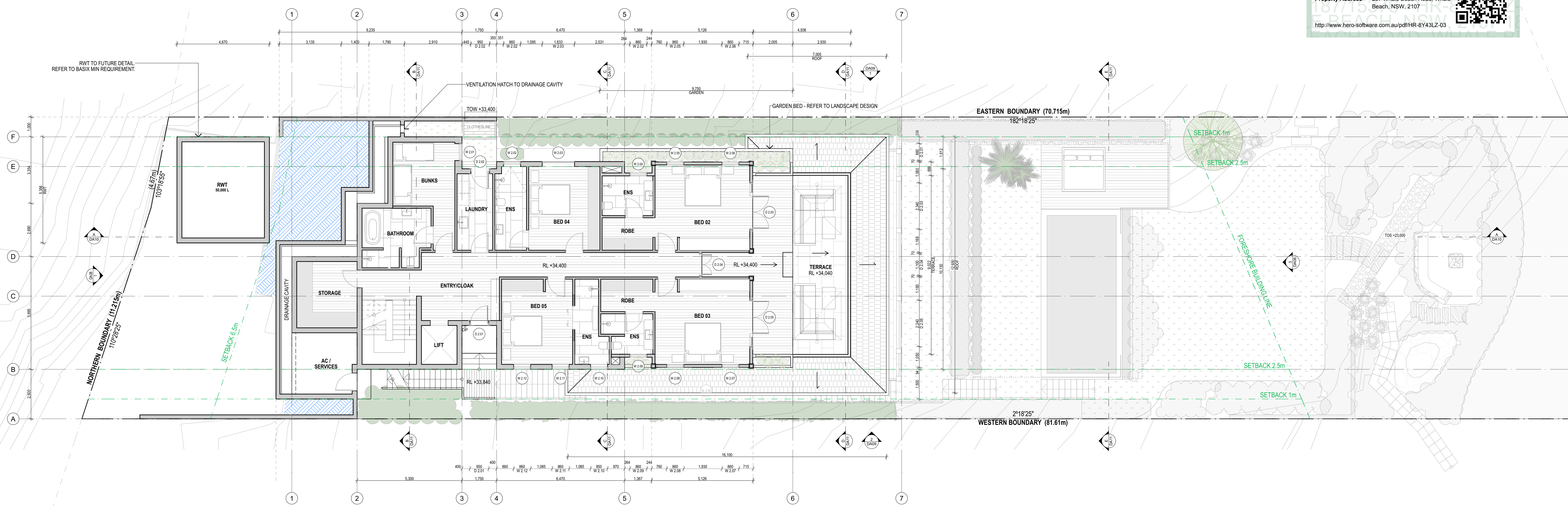
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1 Level 1 Floor Plan  
Scale 1:100

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2 Level 2 Floor Plan  
Scale 1:100

Legend

DP	Down Pipe	RL	Reduced Level		Proposed Tree		Top of Rock
RH	Rain Head	TOW	Top of Wall		Existing Tree		Fill
EG	Eaves Gutter	TOS	Top of Stair				
BG	Box Gutter						
FP	Fireplace						

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Project: New Residence, Pool & Associated External Works  
 Drawing Title: Floor Plans Level 1 + 2  
 Client: James & Anna Markham  
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 Lot 187 | DP 15376

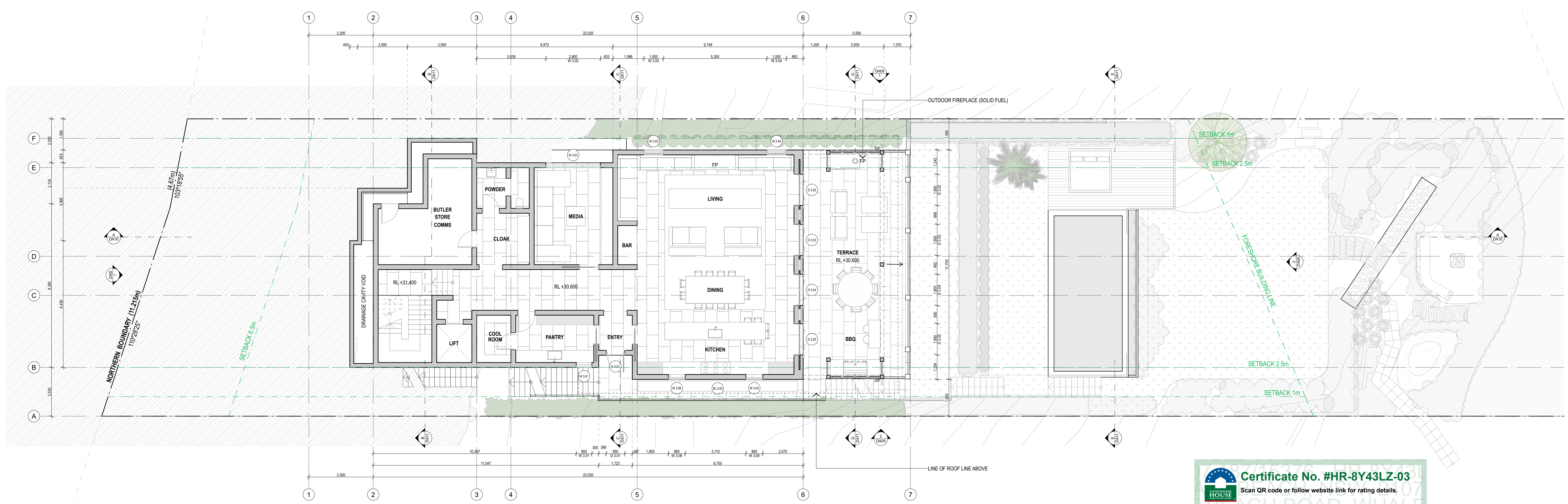
Stage: Development Application  
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 Drawn: GC  
 Chkd: NG

Sheet No: DA06  
 Rev: A

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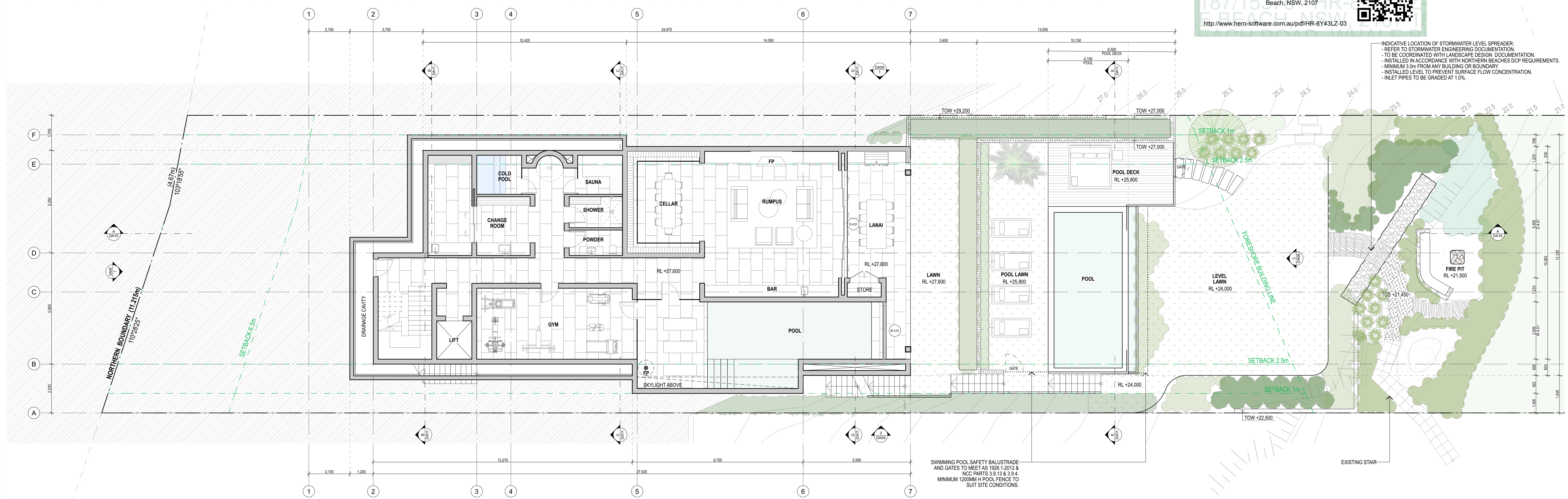




1 Level 3 Floor Plan  
Scale 1:100

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2 Level 4 Floor Plan  
Scale 1:100

INDICATIVE LOCATION OF STORMWATER LEVEL SPREADER:  
- REFER TO STORMWATER ENGINEERING DOCUMENTATION  
- TO BE COORDINATED WITH LANDSCAPE DESIGN DOCUMENTATION  
- INSTALLED IN ACCORDANCE WITH NORTHERN BEACHES DCP REQUIREMENTS  
- MINIMUM 3.0m FROM ANY BUILDING OR BOUNDARY  
- INSTALLED LEVEL TO PREVENT SURFACE FLOW CONCENTRATION  
- INLET PIPES TO BE GRADED AT 1.0%

Legend

DP	Down Pipe	RL	Reduced Level		Proposed Tree		Top of Rock
RH	Rain Head	TOW	Top of Wall		Existing Tree		
EG	Eaves Gutter	TOS	Top of Stair				
BG	Box Gutter						
FP	Fireplace						

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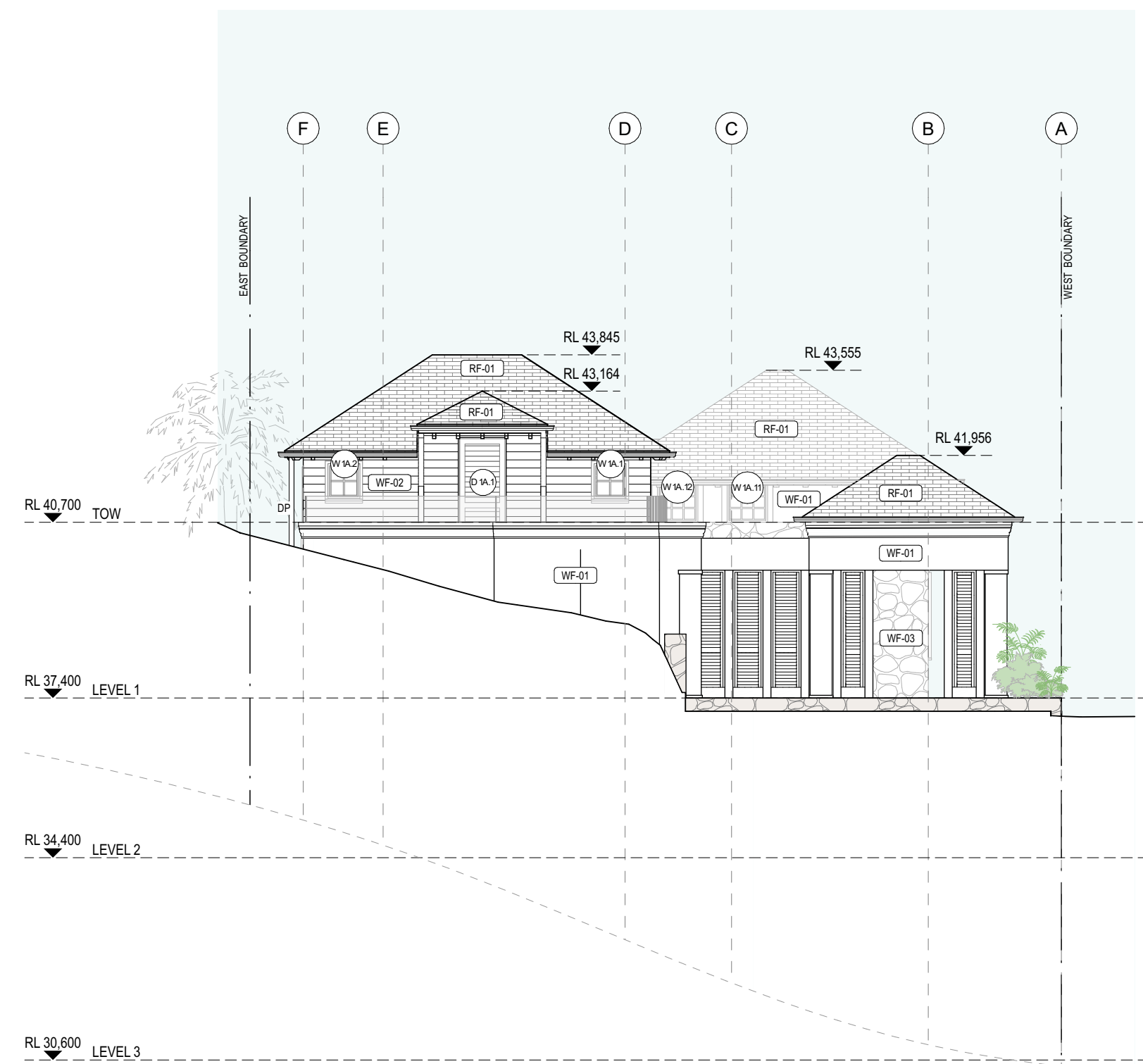
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Floor Plans Level 3 + 4  
Stage:  
Development Application  
Scale:  
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Drawn: GC  
Chkd: NG

Sheet No: **DA07**  
Rev: A

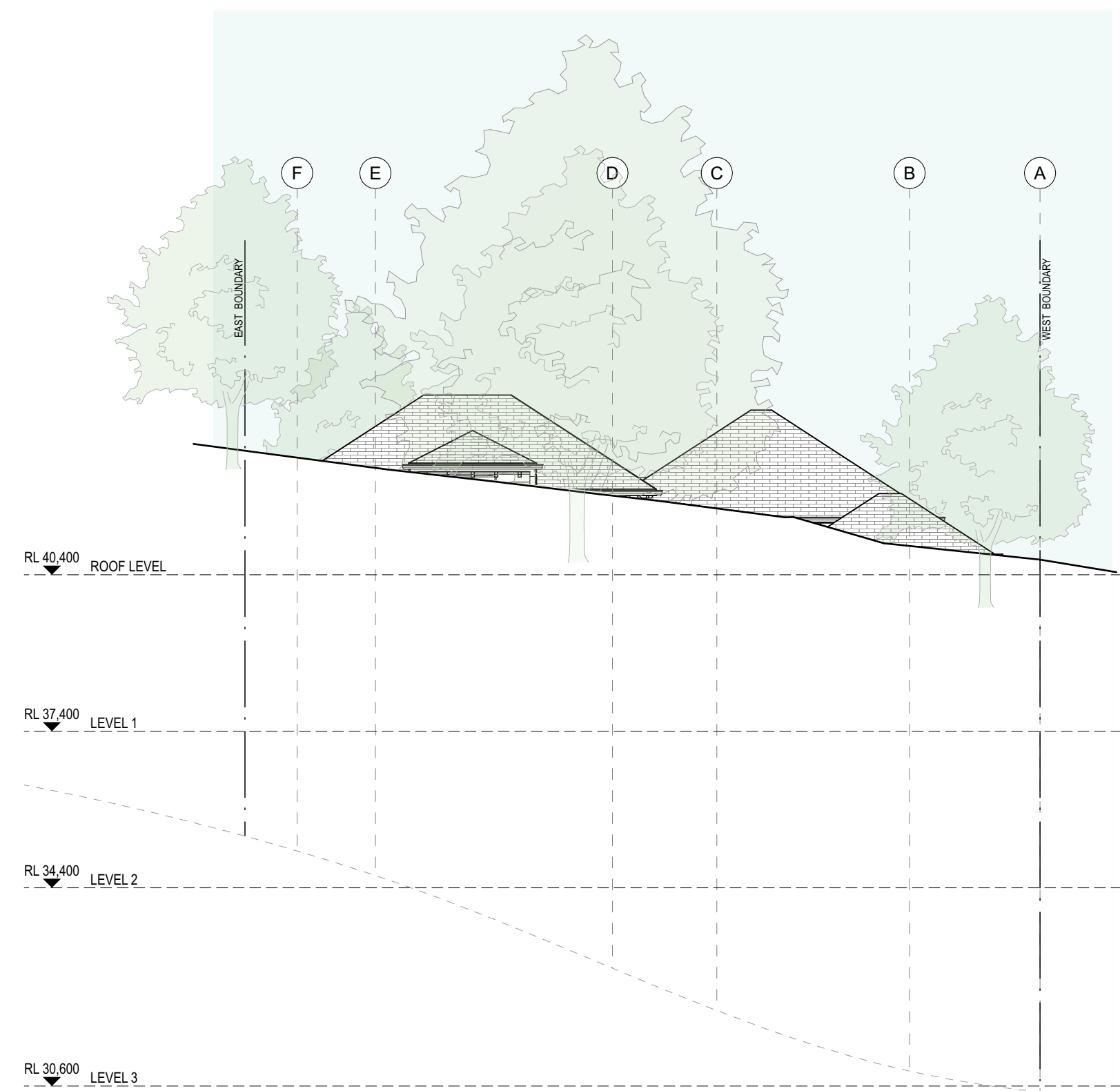
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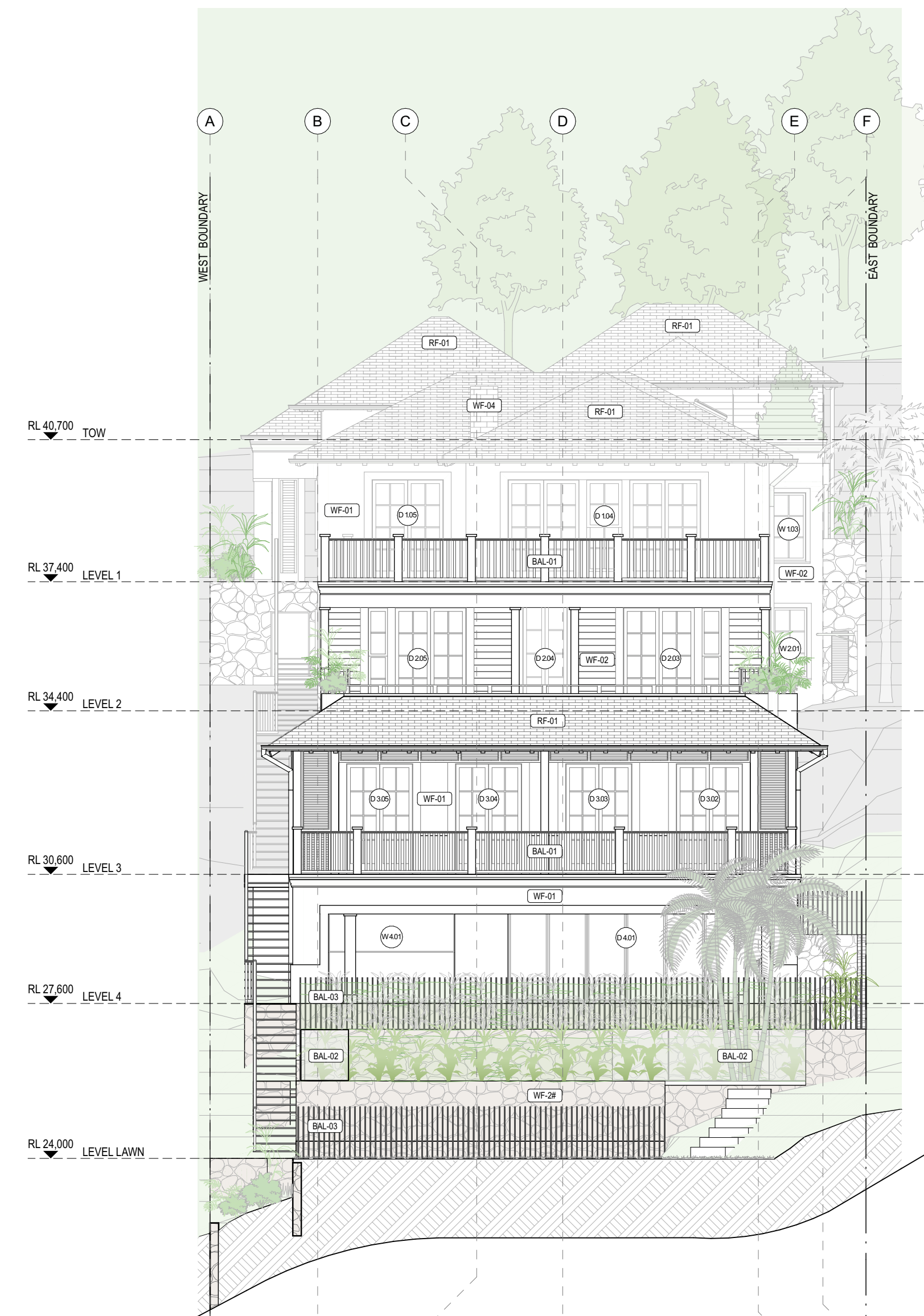




1 North Elevation  
Scale 1:100



2 North Elevation from Street Level  
Scale 1:100



3 South Elevation  
Scale 1:100

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Legend

WF-01	Cement Render Walls	RF-01	Roof Finish 1	DP	Down Pipe
WF-02	Timber Cladding	RF-02	Metal Roof	RH	Rain Head
WF-03	Stone Cladding	BAL-01	Timber Balustrade	RL	Reduced Level
WF-04	Chimney	BAL-02	Glass Balustrade	TOW	Top Of Wall
		BAL-03	Metal Balustrade		

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A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
**Address:** 287 Whale Beach Road, Palm Beach NSW 2107  
Lot 187 | DP 15376

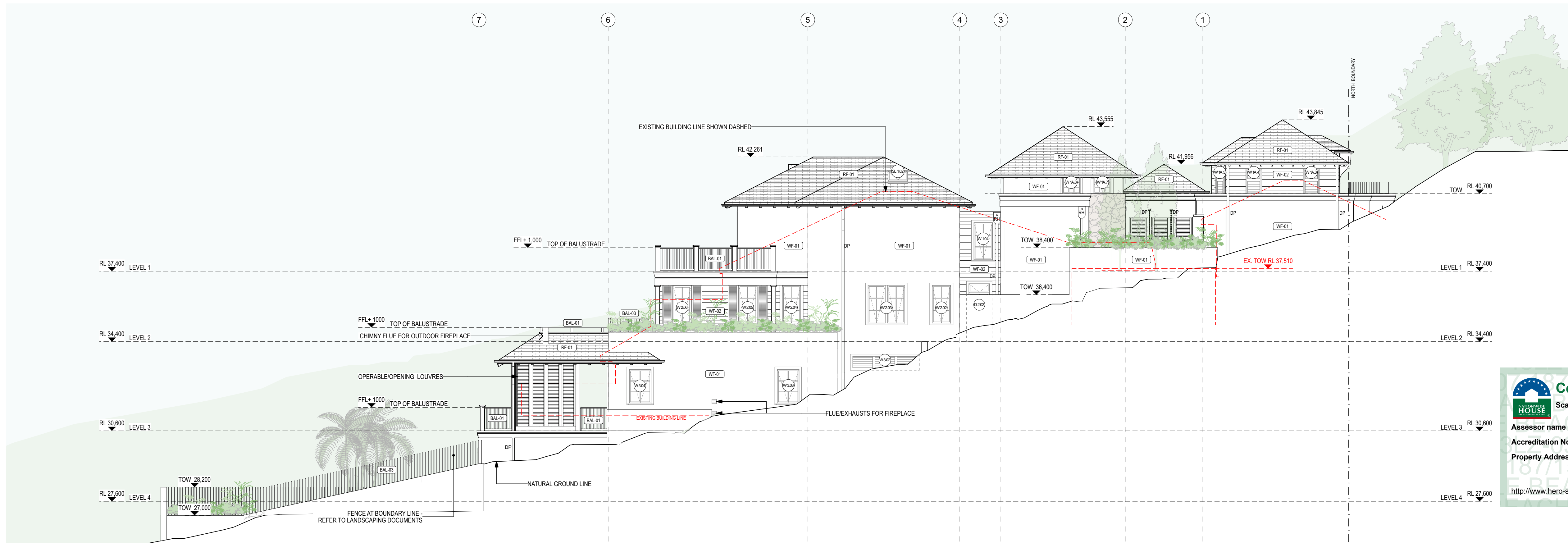
**Drawing Title:** Elevations North & South  
**Stage:** Development Application  
**Scale:** 1:100 @A1  
**Drawn:** GC  
**Chkd:** NG

**Sheet No:** DA08  
**Rev:** A

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Michael Kilgus: NSW ABR 12302  
Sam Samrangphol: NSW ABR 9112  
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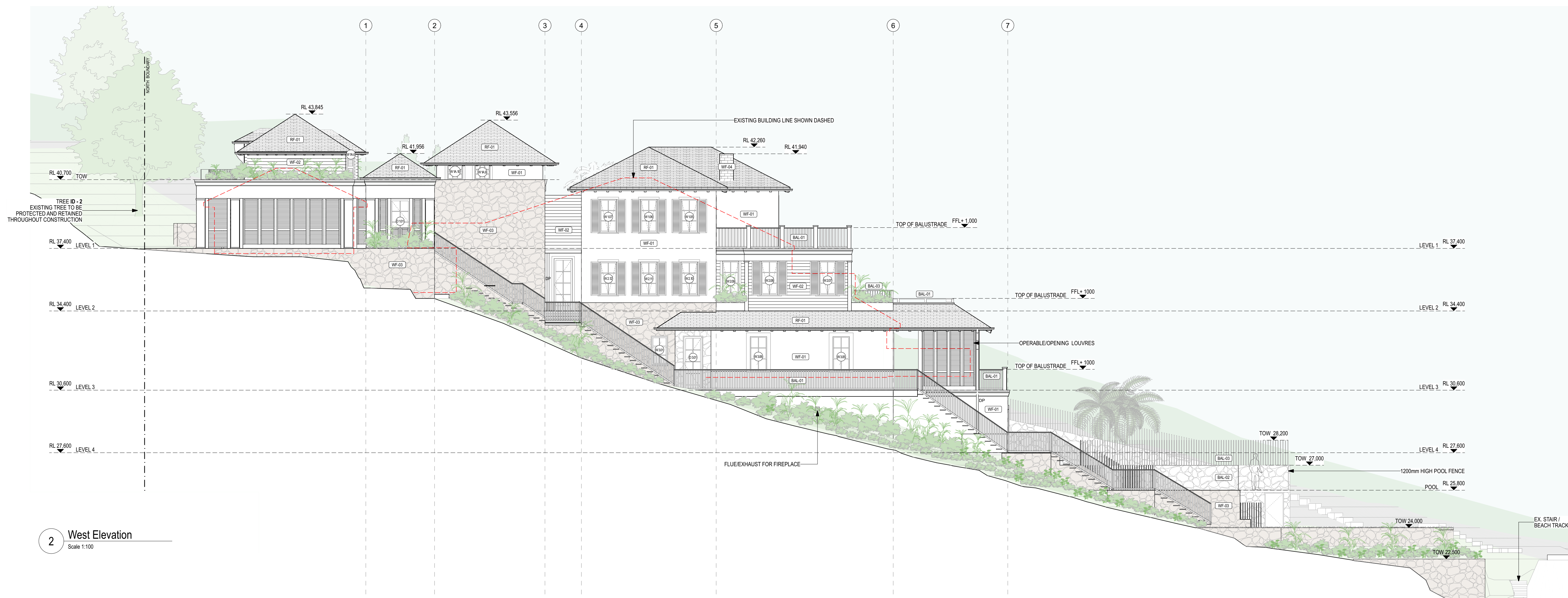




1 East Elevation  
Scale 1:100

**Certificate No. #HR-8Y43LZ-03**  
Scan QR code or follow website link for rating details.

**Assessor name** Daniela Russo  
**Accreditation No.** HERA 10270  
**Property Address** 287 Whale Beach Road, Whale Beach, NSW, 2107  
<http://www.hero-software.com.au/pdf/HR-8Y43LZ-03>



2 West Elevation  
Scale 1:100

Legend			
WF-01	Cement Render Walls	RF-01	Roof Finish 1
WF-02	Timber Cladding	RF-02	Metal Roof
WF-03	Stone Cladding	BAL-01	Timber Balustrade
WF-04	Chimney	BAL-02	Glass Balustrade
		BAL-03	Metal Balustrade
DP	Down Pipe	DP	Down Pipe
RH	Rain Head	RL	Reduced Level
TOW	Top Of Wall	TOW	Top Of Wall

Rev	Date	Issue
A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
**Address:** 287 Whale Beach Road, Palm Beach NSW 2107  
Lot 187 | DP 15376

**Drawing Title:** Elevations East & West  
**Stage:** Development Application  
**Scale:** 1:100 @A1  
**Drawn:** GC  
**Chkd:** NG

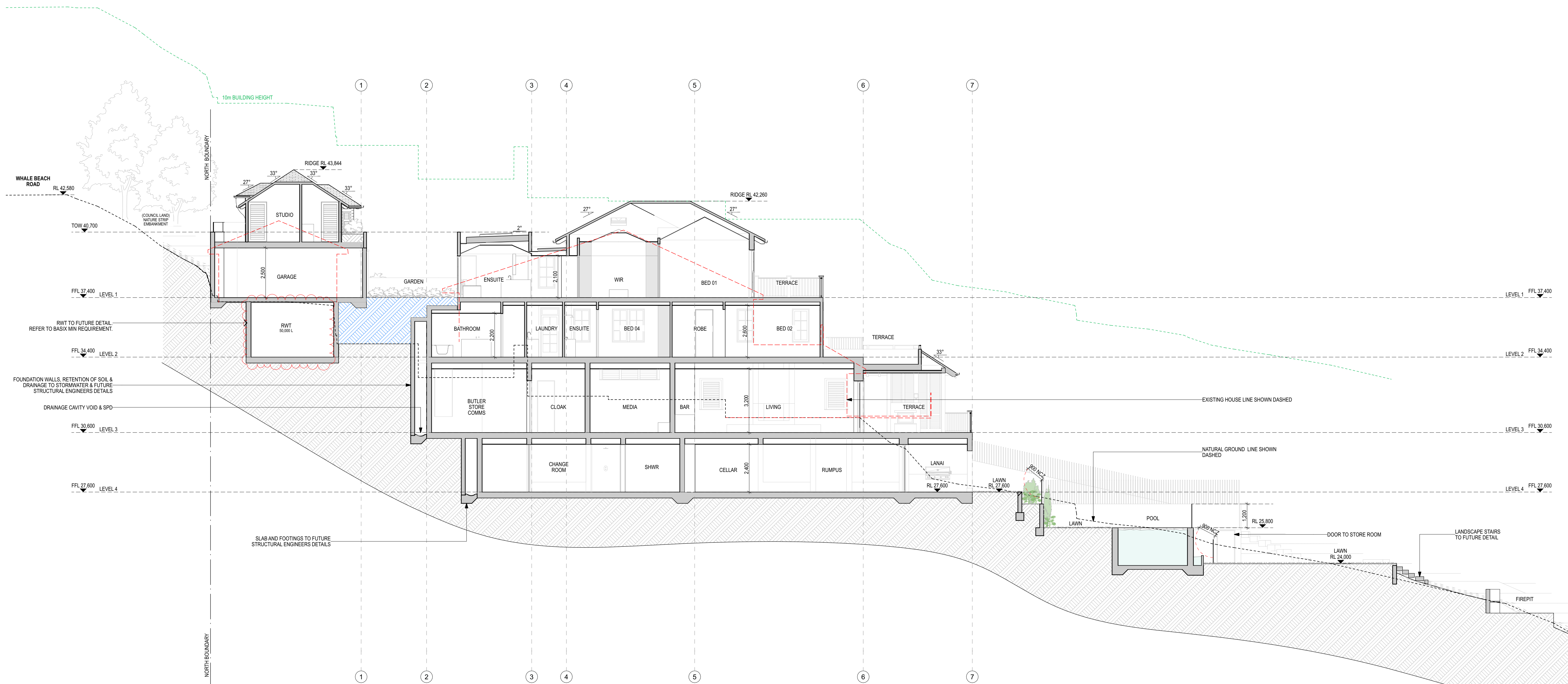
**Sheet No:** DA09

**Rev:** A  
**Scale:** 7: 287 Mona Vale Road  
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1 Section A  
Scale 1:100

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**Legend**

- Outline of Existing
- Area of non-compliance
- Proposed Area of Site Fill

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Rev	Date	Issue
A	2/12/2024	DA Submission

Project: New Residence, Pool & Associated External Works  
 Client: James & Anna Markham  
 Address: 287 Whale Beach Road, Palm Beach NSW 2107  
 Lot 187 | DP 15376

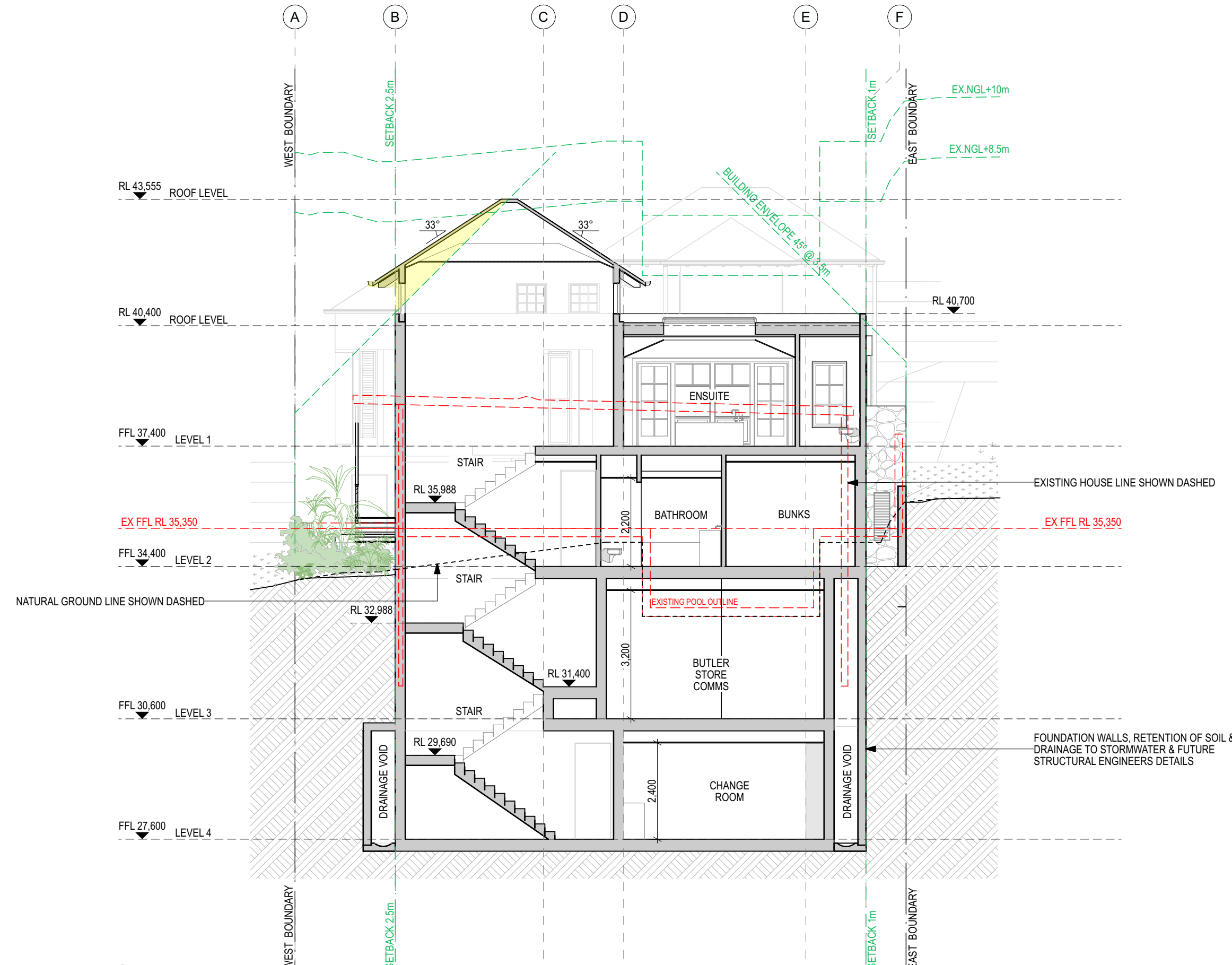
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 Stage: Development Application  
 Scale: 1:100 @A1  
 Drawn: GC  
 Chkd: NG

Sheet No: DA10  
 Rev: A

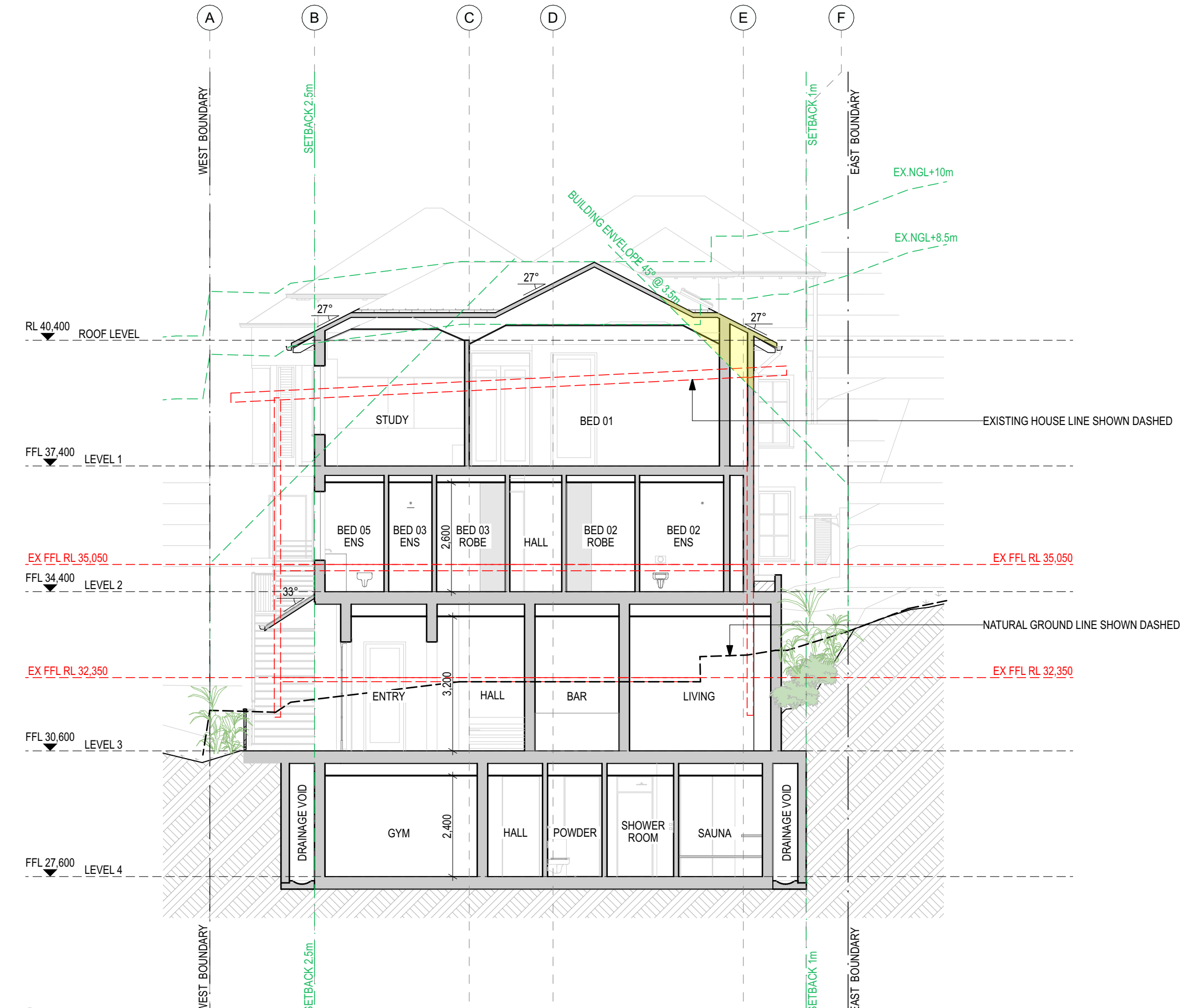
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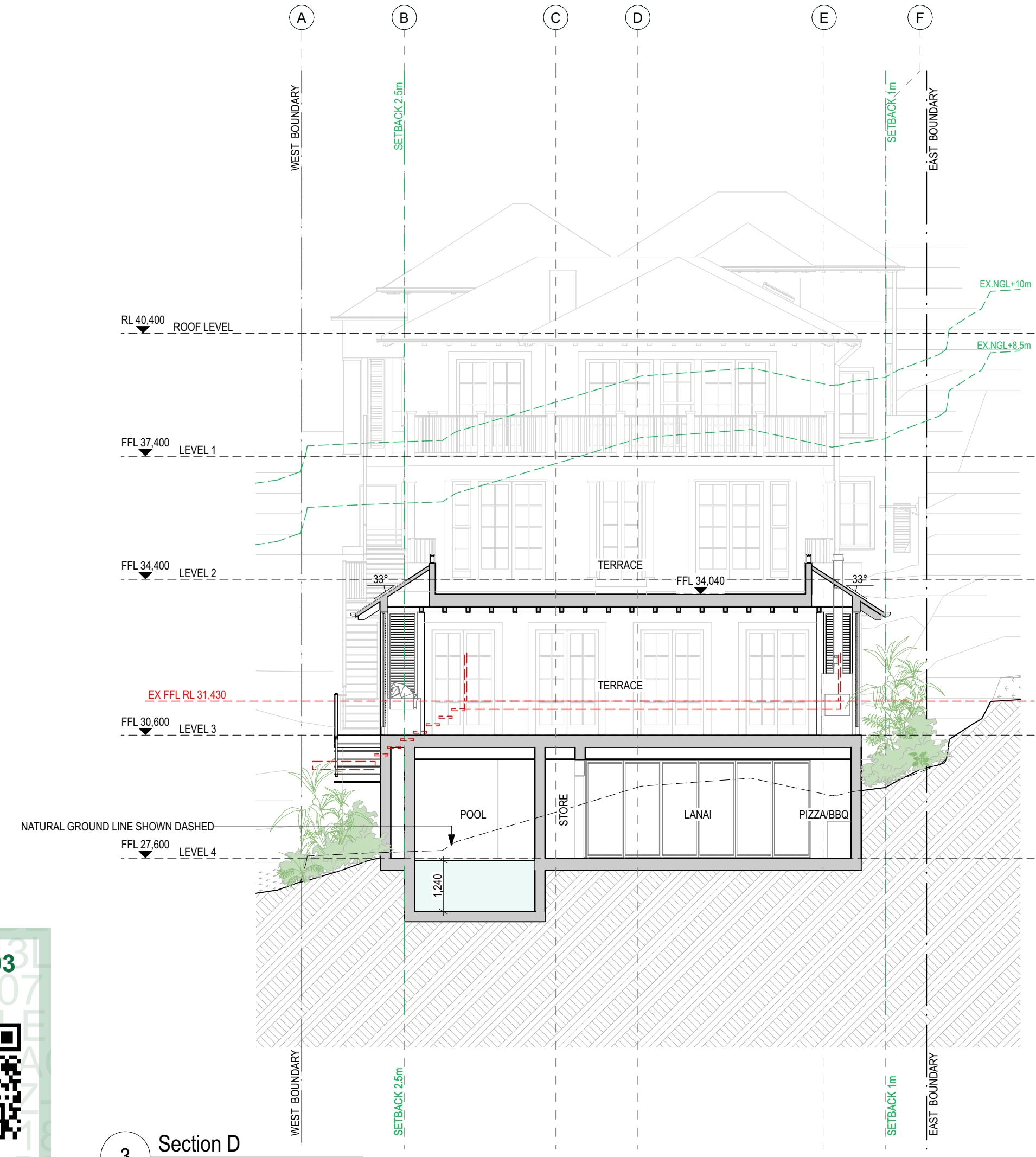




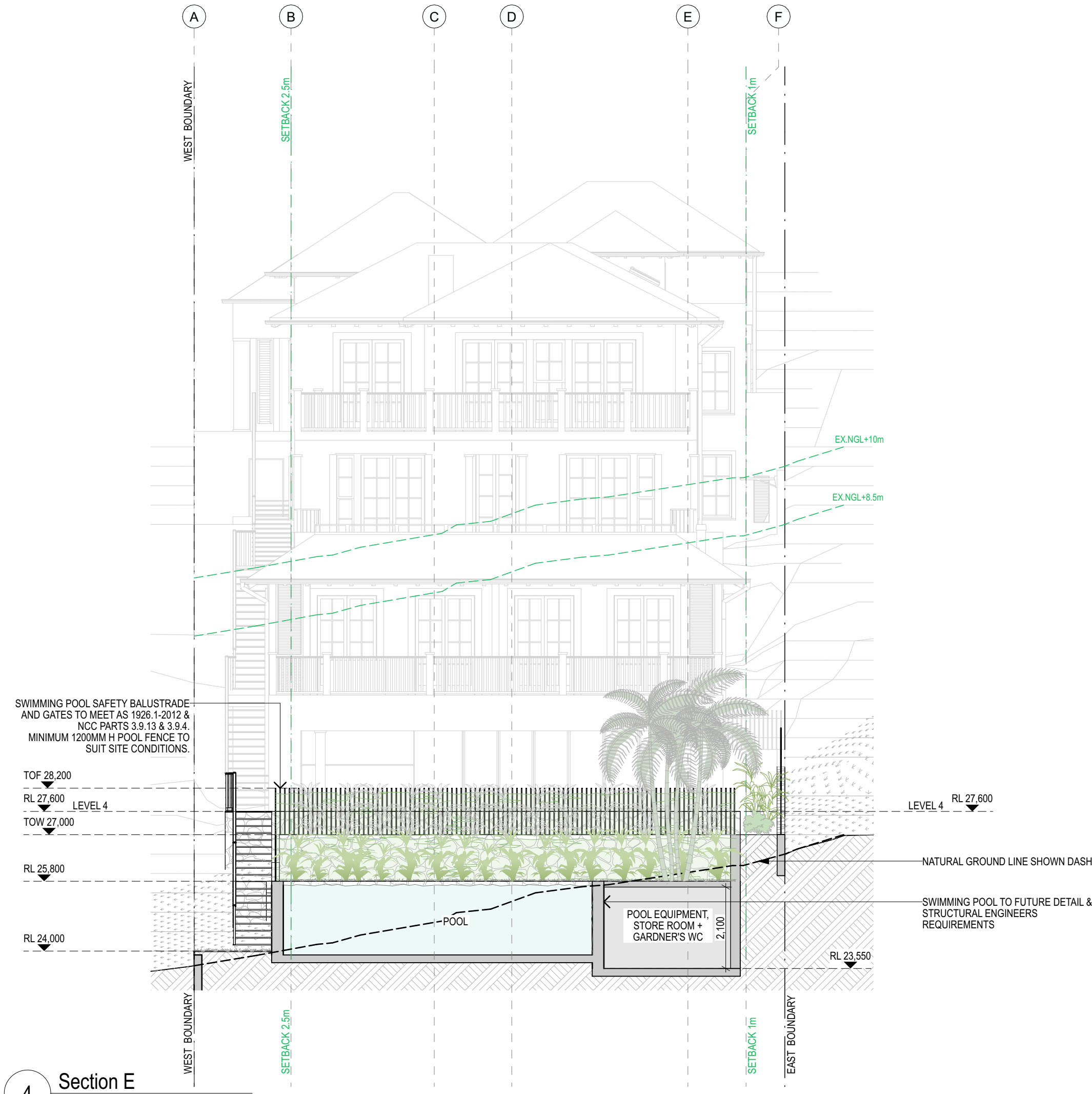
1 Section B  
Scale 1:100



2 Section C  
Scale 1:100



3 Section D  
Scale 1:100



4 Section E  
Scale 1:100

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- Legend
- Outline of Existing
  - Area of non-compliance
  - Proposed Area of Site Fill

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A	2/12/2024	DA Submission

Project: New Residence, Pool & Associated External Works  
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 Lot 187 | DP 15376

Drawing Title: Section B, C, D + E  
 Stage: Development Application  
 Scale: 1:100 @A1  
 Drawn: GC  
 Chkd: NG

Sheet No: DA11  
 Rev: A

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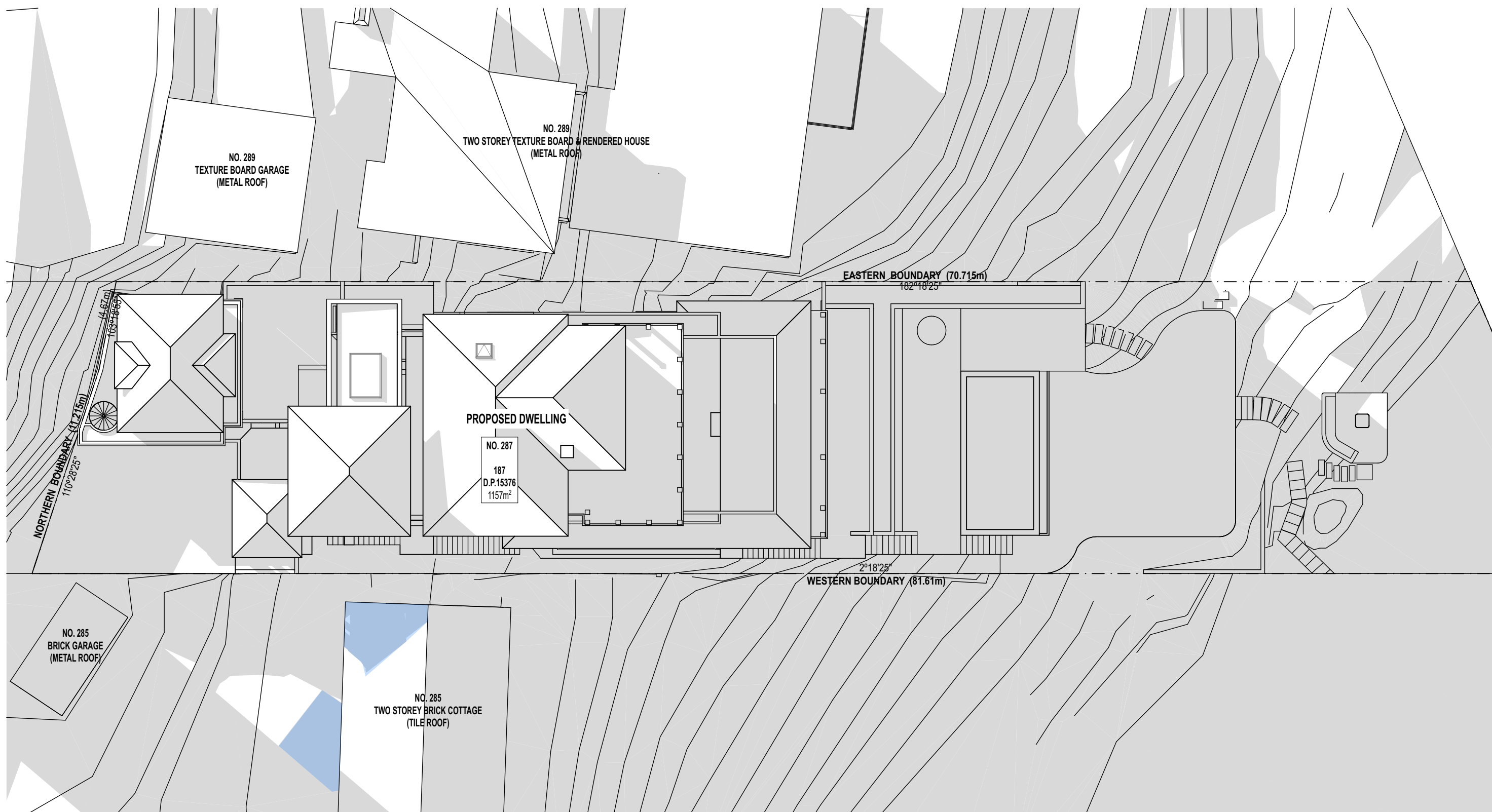




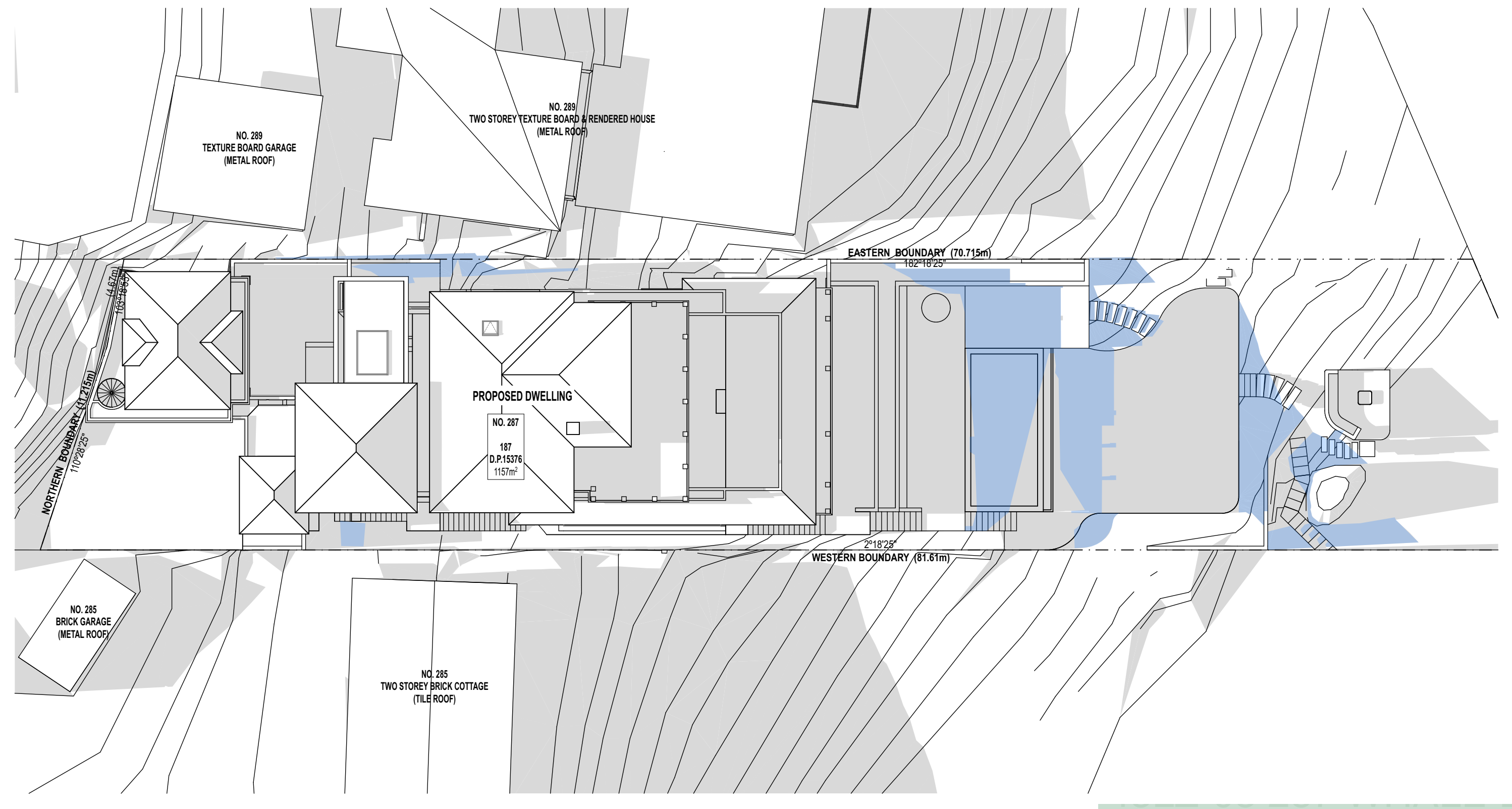
1 Shadow Diagram 9am - Existing  
Scale 1:200



3 Shadow Diagram 12pm - Existing  
Scale 1:200



2 Shadow Diagram 9am - Proposed  
Scale 1:200



4 Shadow Diagram 12pm - Proposed  
Scale 1:200

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Accreditation No.: HERA 10270  
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Legend	
DP	Down Pipe
RH	Rain Head
EG	Eaves Gutter
BG	Box Gutter
FP	Fireplace
RL	Reduced Level
TOW	Top of Wall
TOS	Top of Stair
	Proposed Tree
	Existing Tree
	Top of Rock
	Shadow
	Solar Loss

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Rev	Date	Issue
A	2/12/2024	DA Submission

Project: New Residence, Pool & Associated External Works  
Client: James & Anna Markham  
Address: 287 Whale Beach Road, Palm Beach NSW 2107  
Lot 187 | DP 15376

Drawing Title: Shadow Diagrams 1  
Stage: Development Application  
Scale: 1:200 @A1  
Drawn: GC  
Chkd: NG

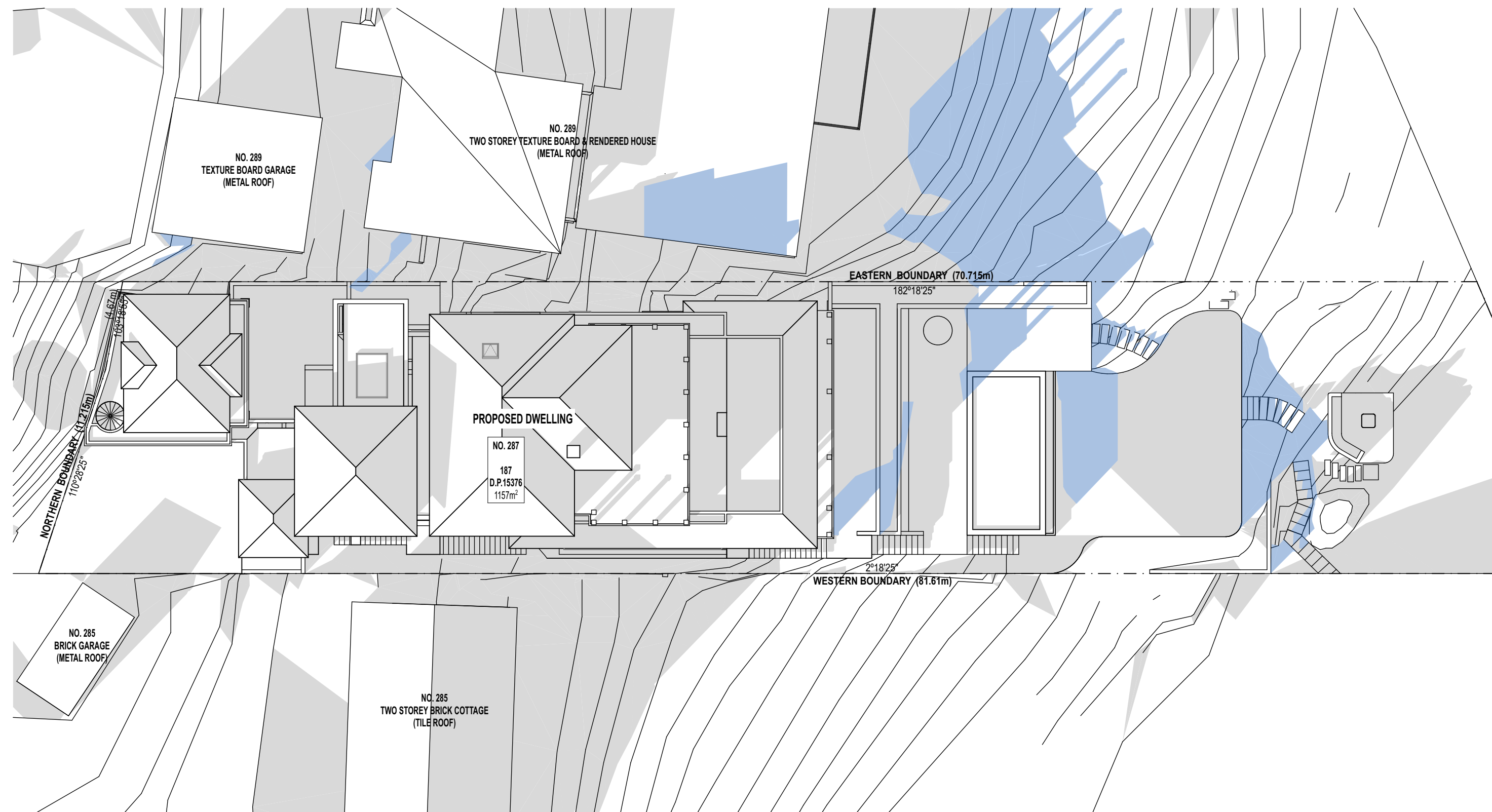
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1 Shadow Diagram 3pm - Existing  
Scale 1:200



2 Shadow Diagram 3pm - Proposed  
Scale 1:200

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Legend	Symbol	Description
DP	Down Pipe	Down Pipe
RH	Rain Head	Rain Head
EG	Eaves Gutter	Eaves Gutter
BG	Box Gutter	Box Gutter
FP	Fireplace	Fireplace
RL	Reduced Level	Reduced Level
TOW	Top of Wall	Top of Wall
TOS	Top of Stair	Top of Stair
Proposed Tree	Proposed Tree	Proposed Tree
Existing Tree	Existing Tree	Existing Tree
Top of Rock	Top of Rock	Top of Rock
Shadow	Shadow	Shadow
Solar Loss	Solar Loss	Solar Loss

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Rev	Date	Issue
A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
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Lot 187 | DP 15376

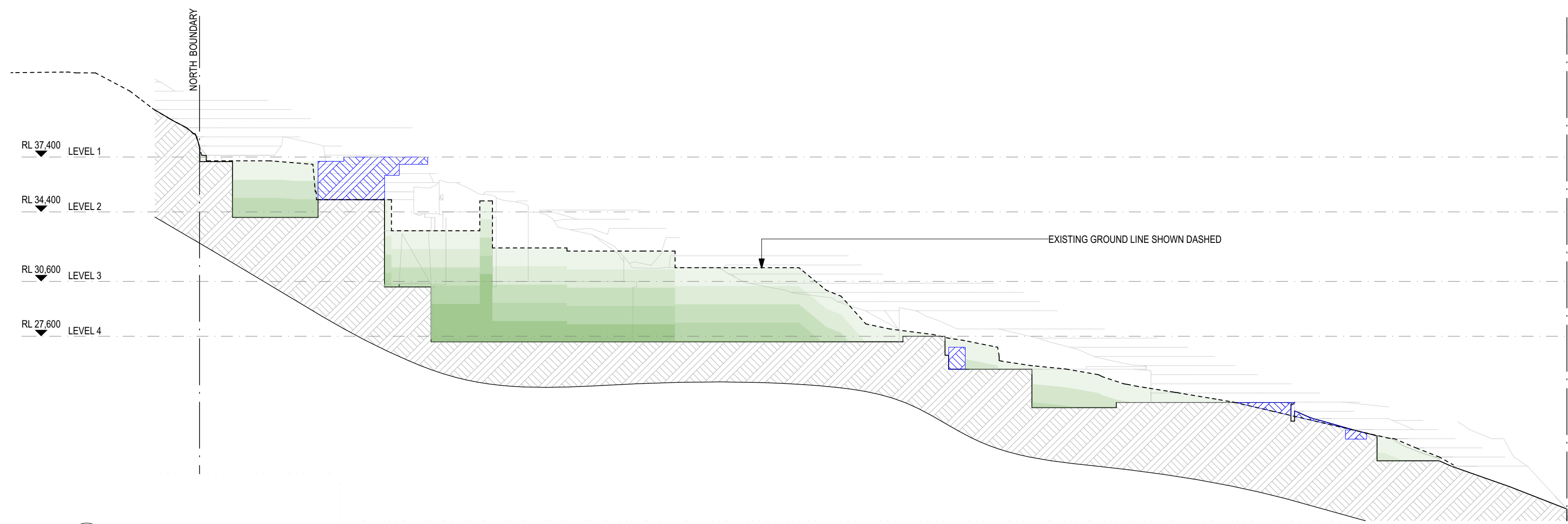
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**Stage:** Development Application  
**Scale:** 1:200 @A1  
**Drawn:** GC  
**Chkd:**

**Sheet No:** DA13  
**Rev:** A  
**Scale:** 1:200 @A1

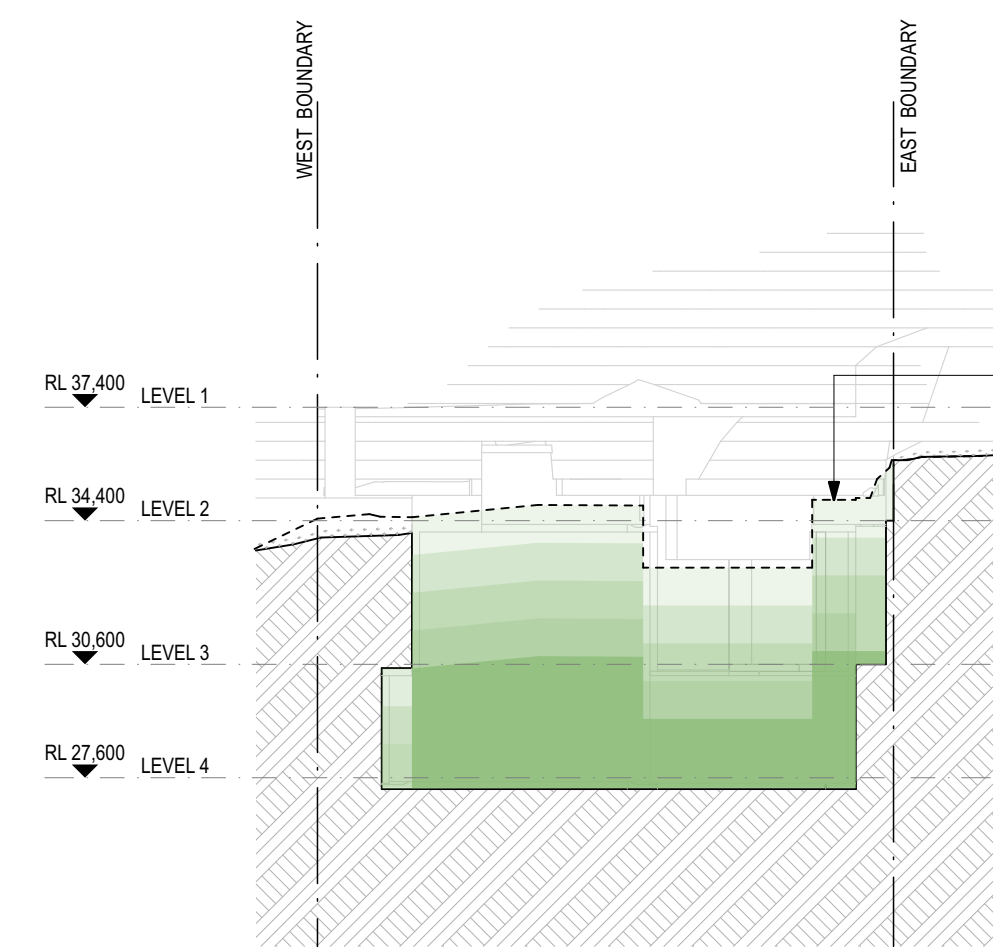
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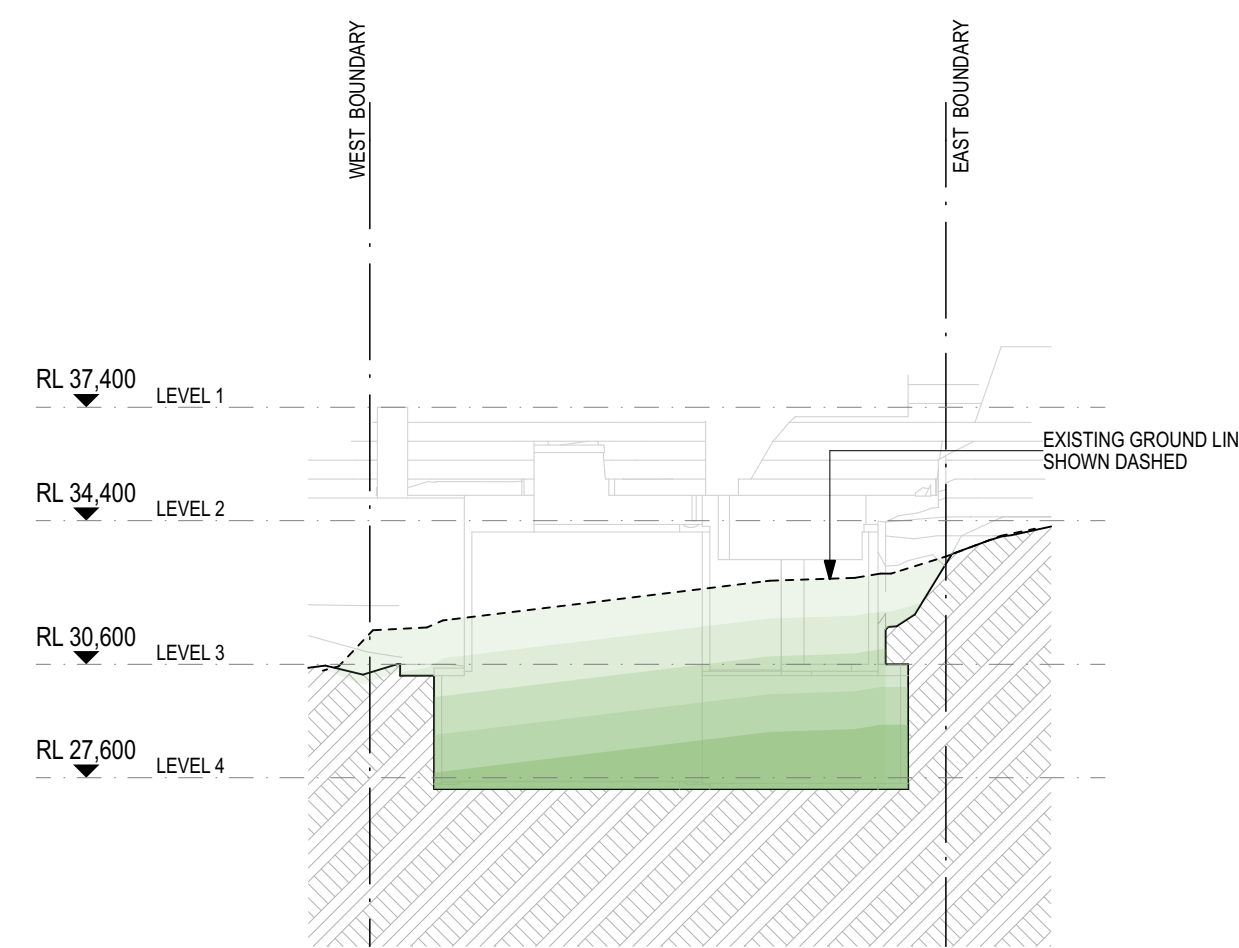




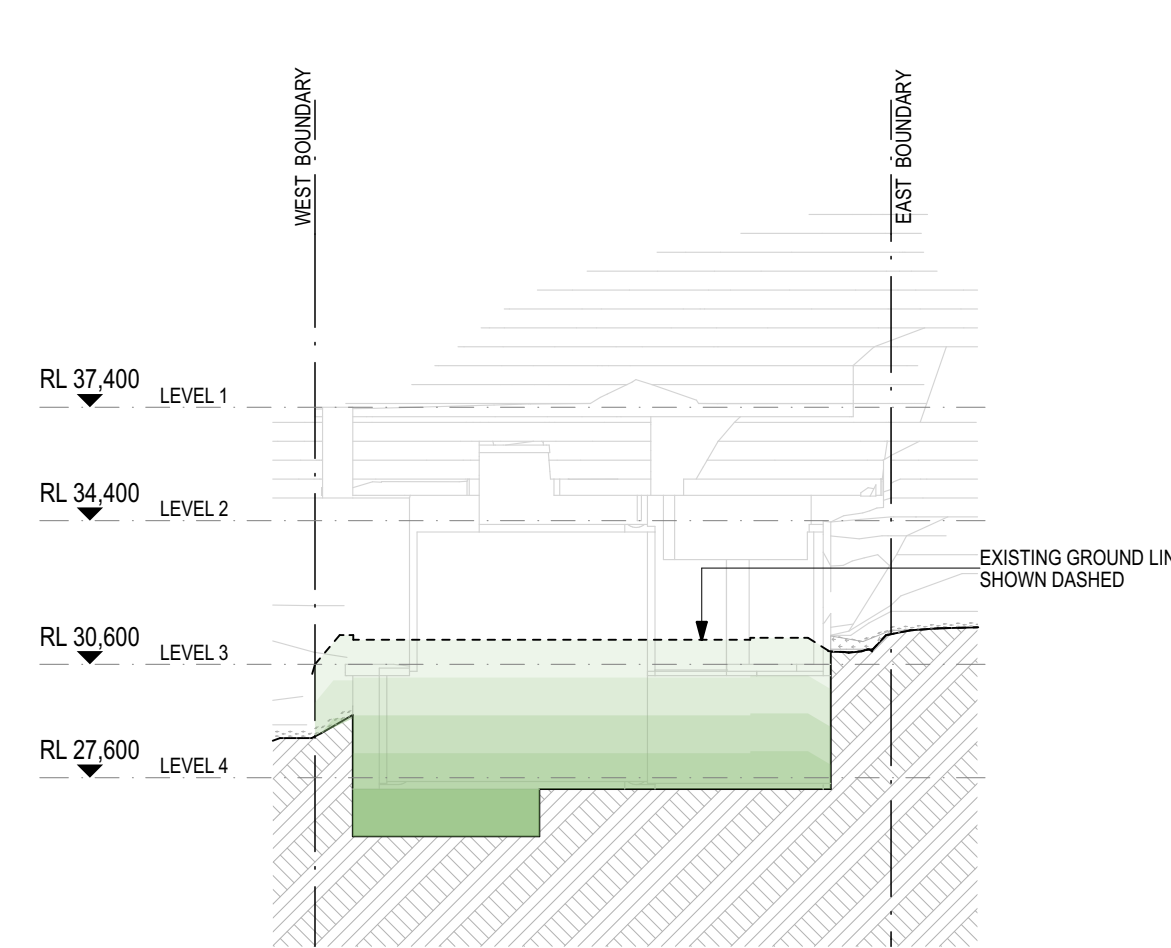
1 Excavation Section A  
1:200



2 Excavation Section B  
1:200



3 Excavation Section C  
1:200



4 Excavation Section D  
Scale 1:200

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<b>Legend</b>	DP Down Pipe	RL Reduced Level	Proposed Tree	Top of Rock	<b>Depth of Excavation:</b>	3 - 4m
	RH Rain Head	TOW Top of Wall	Existing Tree		1 - 2m	4+ m
	EG Eaves Gutter	TOS Top of Stair			2 - 3m	Fill
	BG Box Gutter					
	FP Fireplace					

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Rev	Date	Issue
A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
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Lot 187 | DP 15376

**Drawing Title:** Excavation and Fill Sections  
**Stage:** Development Application  
**Scale:** 1:200 @A1  
**Drawn:** GC  
**Chkd:** NG

**Sheet No:** DA14  
**Rev:** A

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1 Forecourt



3 Southern Elevation



2 Front Entry & West Elevation

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Legend	WF-01	WF-02	WF-03	WF-04	RF-01	RF-02	BAL-01	BAL-02	BAL-03	DP	RH	RL	TOW
Cement Render Walls	Timber Cladding	Stone Cladding	Chimney	Roof Finish 1	Metal Roof	Timber Balustrade	Glass Balustrade	Metal Balustrade	Down Pipe	Rain Head	Reduced Level	Top Of Wall	

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3D Perspectives Shown for Reference Only  
 Landscape is Conceptual Only.

Rev	Date	Issue
A	2/12/2024	DA Submission

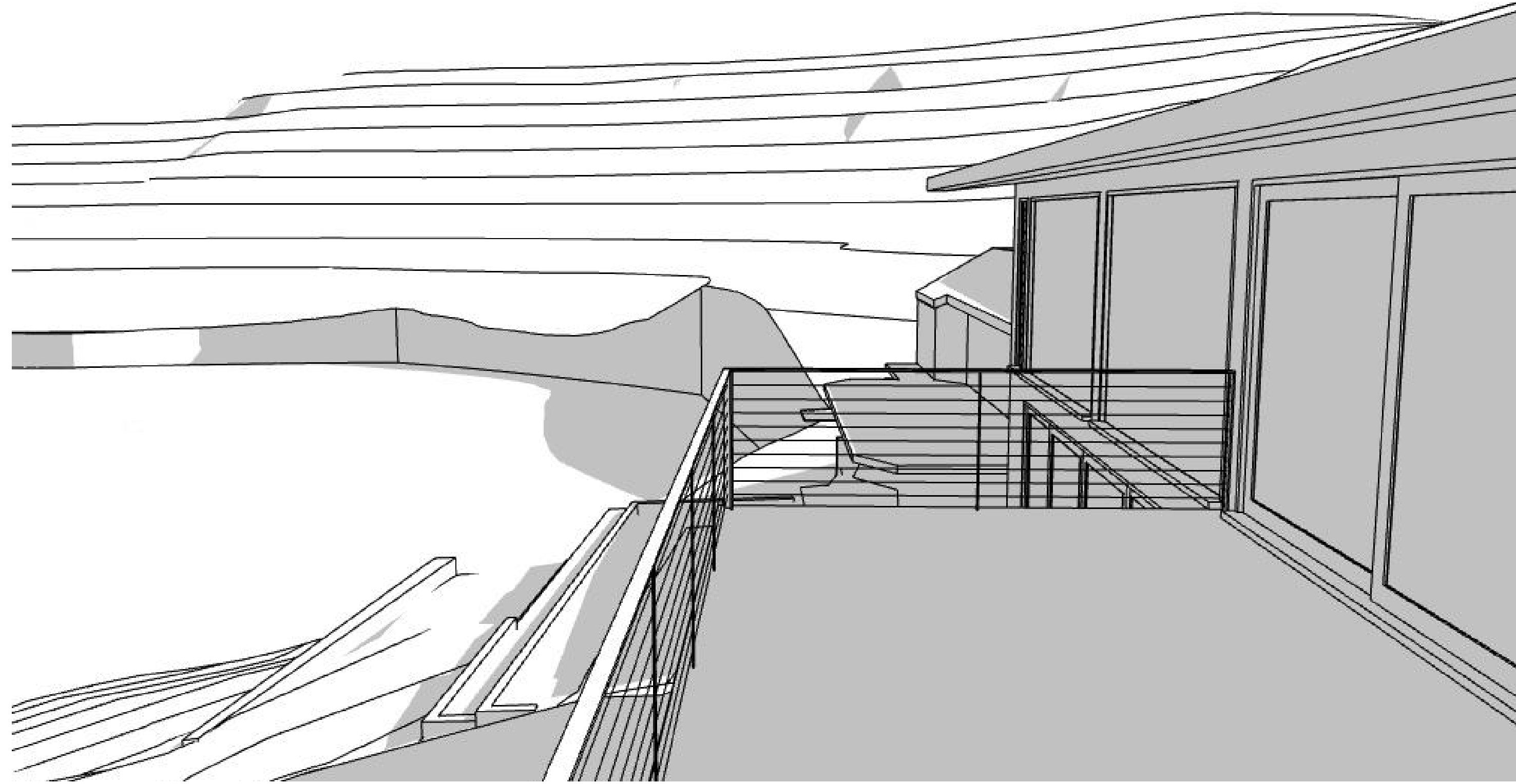
Project: New Residence, Pool & Associated External Works  
 Client: James & Anna Markham  
 Address: 287 Whale Beach Road, Palm Beach NSW 2107  
 Lot 187 | DP 15376

Drawing Title: 3D Perspectives  
 Stage: Development Application  
 Scale: 1:3.52 @A1  
 Drawn: GC  
 Chkd: NG

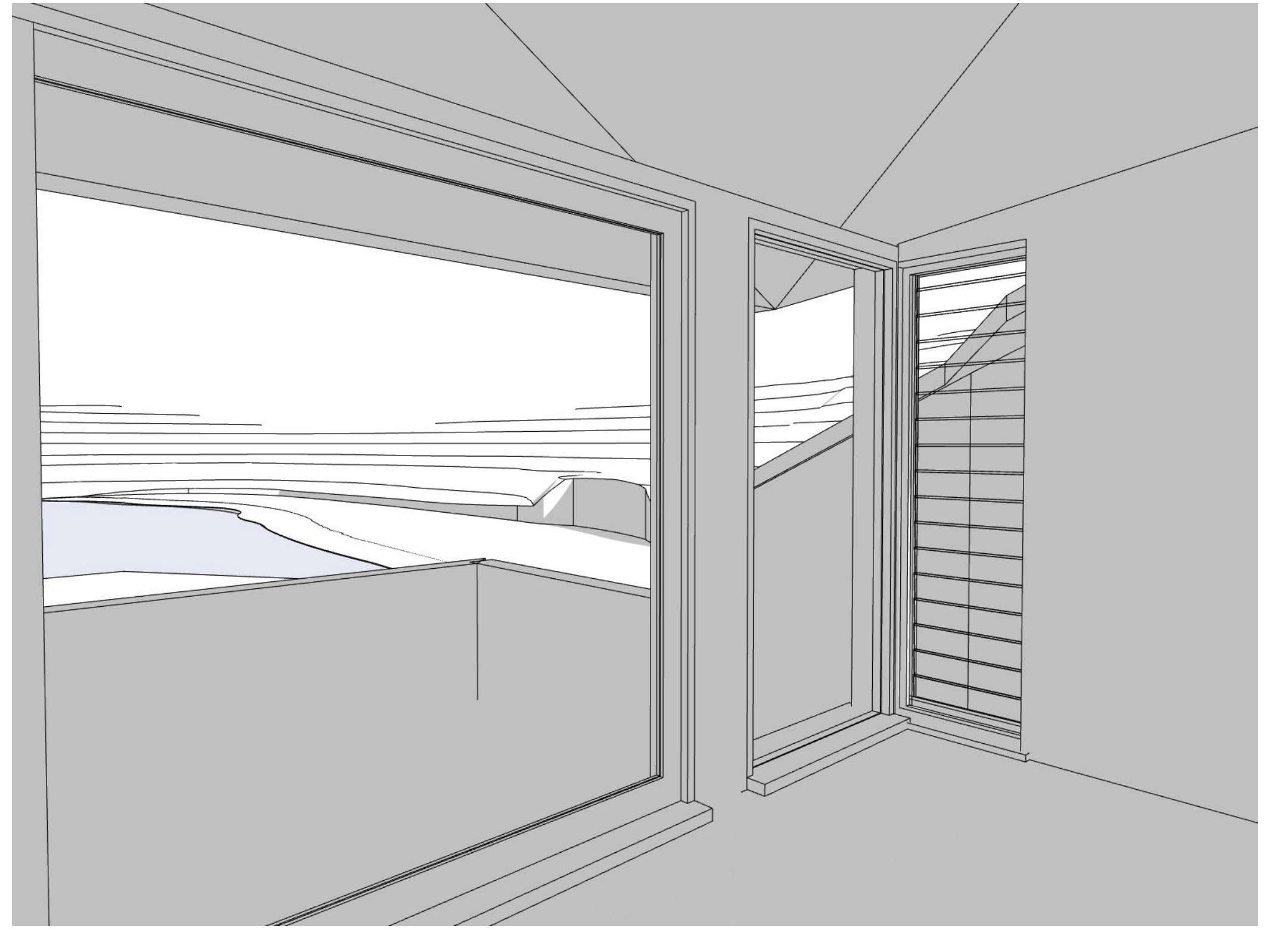
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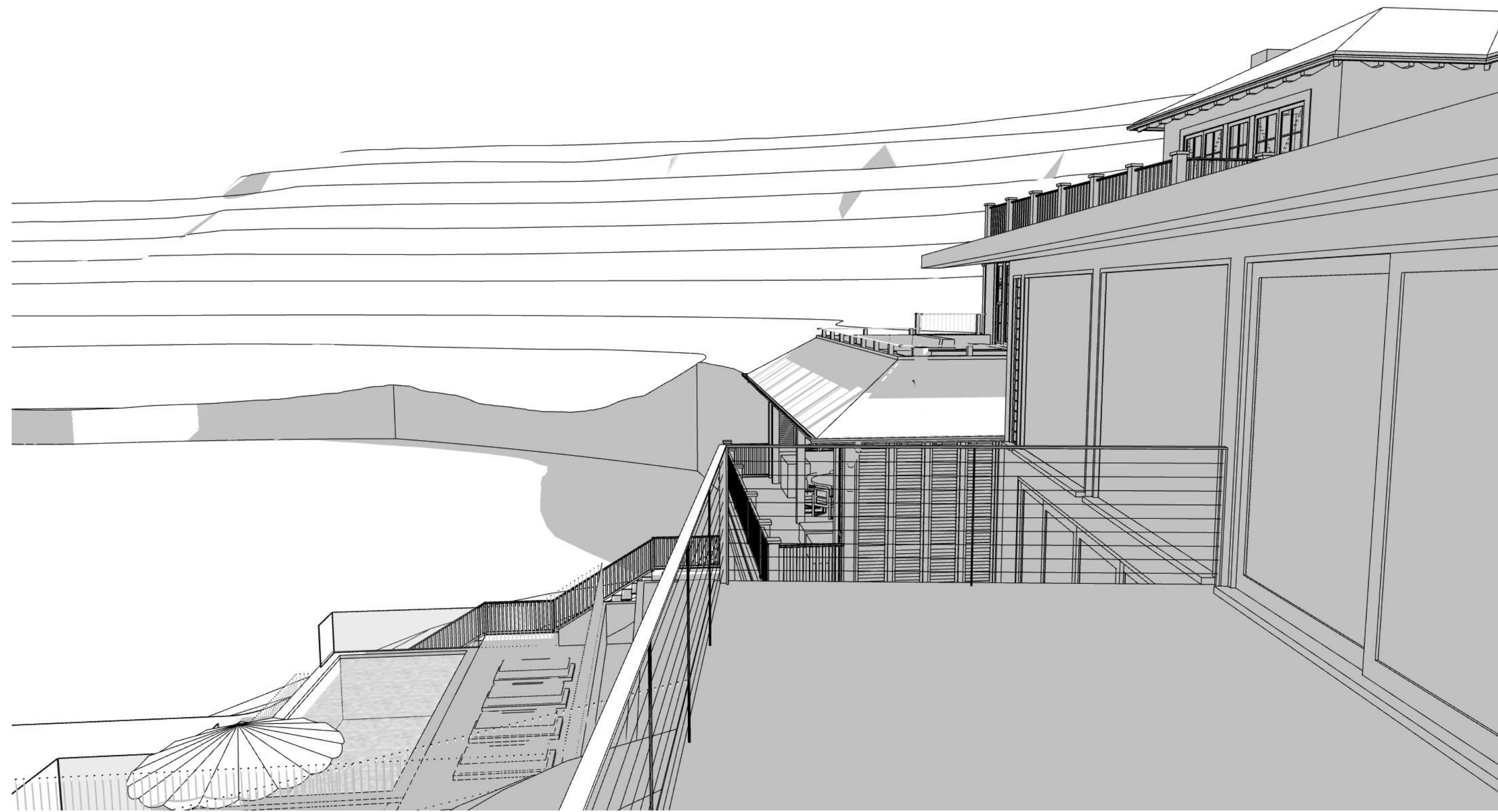




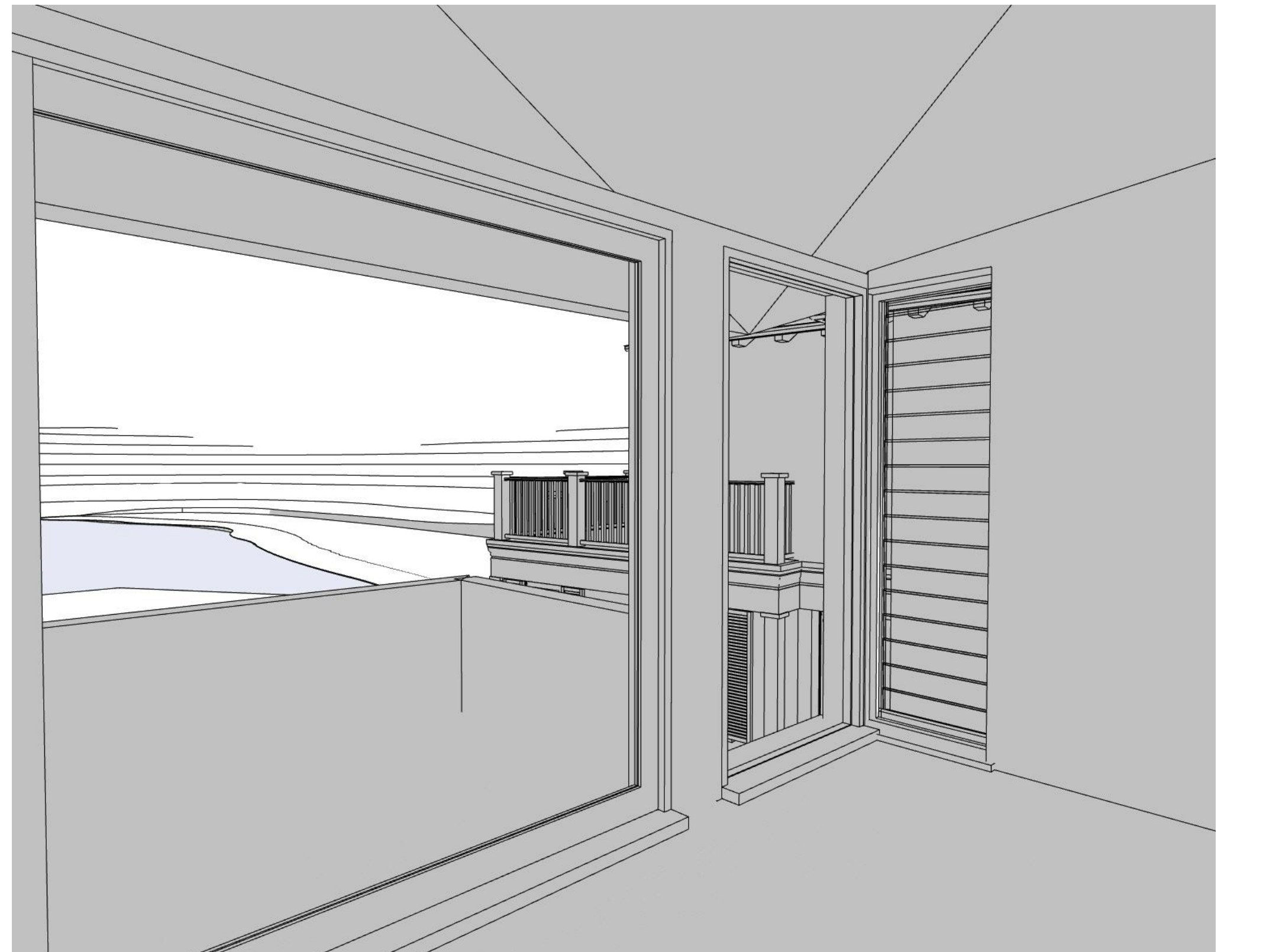
1 Existing No. 289 (21/06 - 12pm)



3 Existing No. 289 (21/06 - 12pm)



2 Proposed No. 289 (21/06 - 12pm)



4 Proposed No. 289 (21/06 - 12pm)

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Legend			
WF-01	Cement Render Walls	RF-01	Roof Finish 1
WF-02	Timber Cladding	RF-02	Metal Roof
WF-03	Stone Cladding	BAL-01	Timber Balustrade
WF-04	Chimney	BAL-02	Glass Balustrade
		BAL-03	Metal Balustrade
		DP	Down Pipe
		RH	Rain Head
		RL	Reduced Level
		TOW	Top Of Wall

3D Perspectives shown for reference only

Rev	Date	Issue
A	2/12/2024	DA Submission

Project:  
**New Residence, Pool & Associated External Works**  
 Client:  
**James & Anna Markham**  
 Address:  
**287 Whale Beach Road, Palm Beach NSW 2107**  
**Lot 187 | DP 15376**

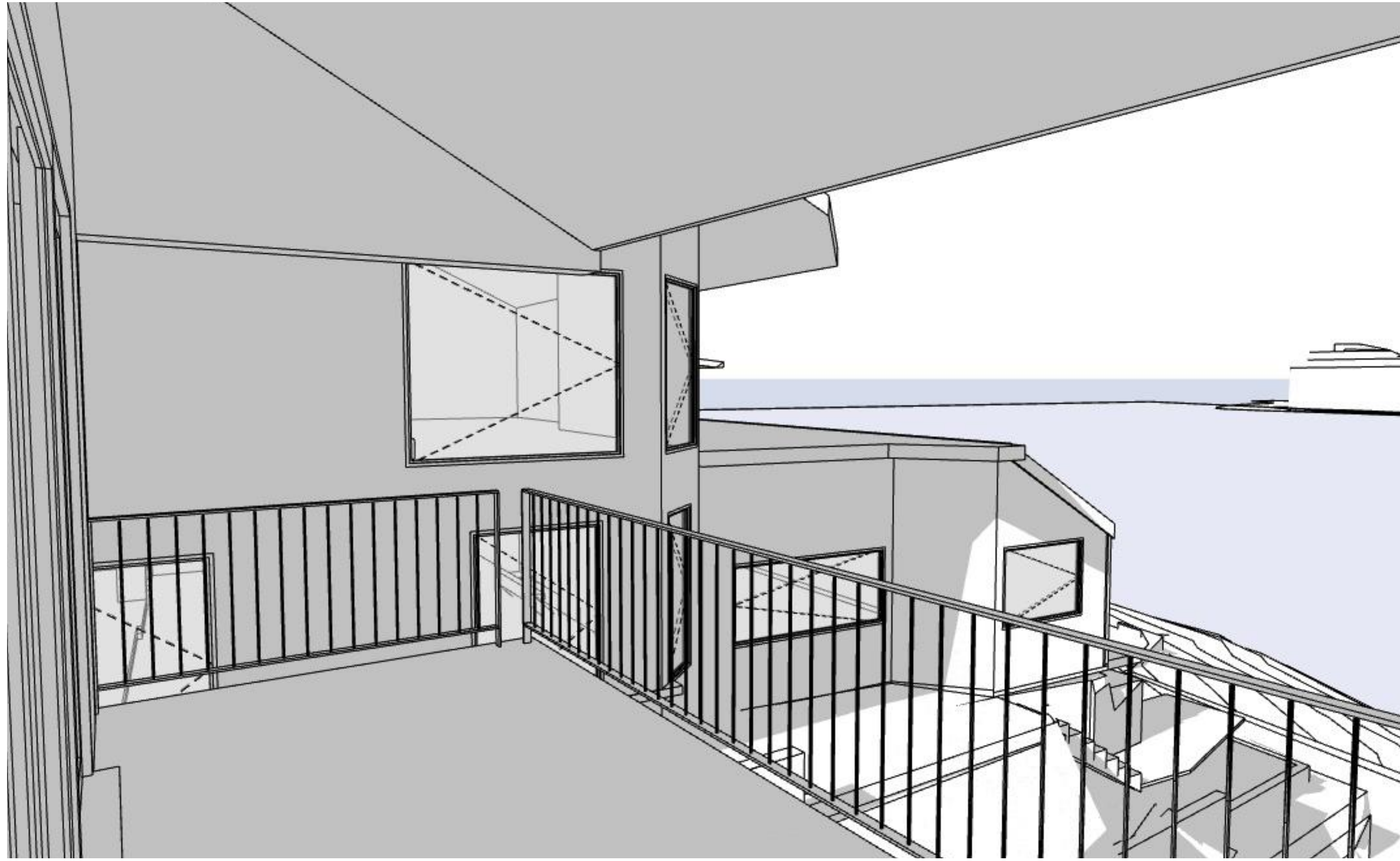
Drawing Title:  
**3D Neighbours Perspectives 1**  
 Stage:  
**Development Application**  
 Scale:  
**@A1**  
 Drawn: Chkd:  
**GC NG**

Sheet No: **DA16** Rev: **A**  
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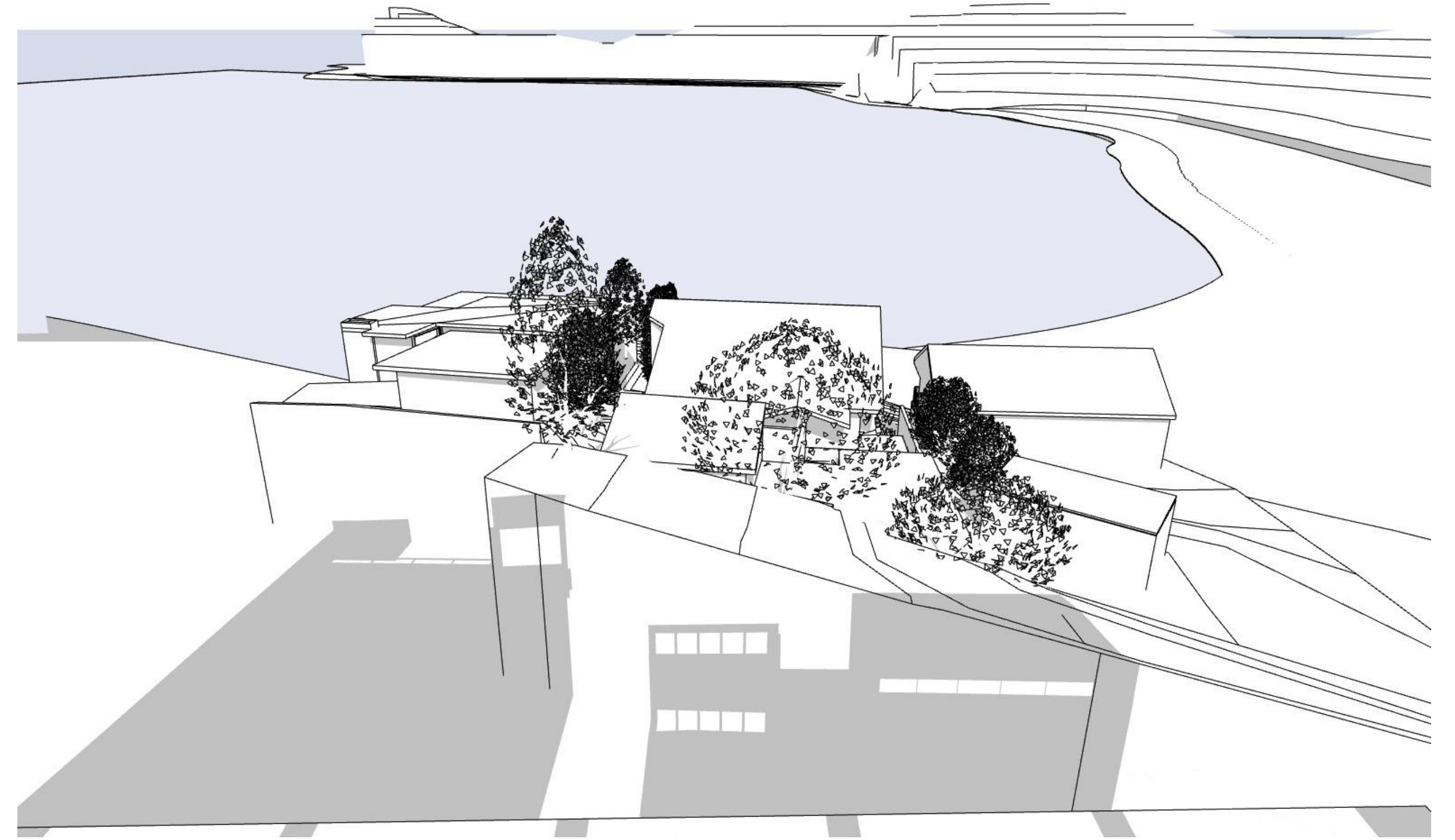


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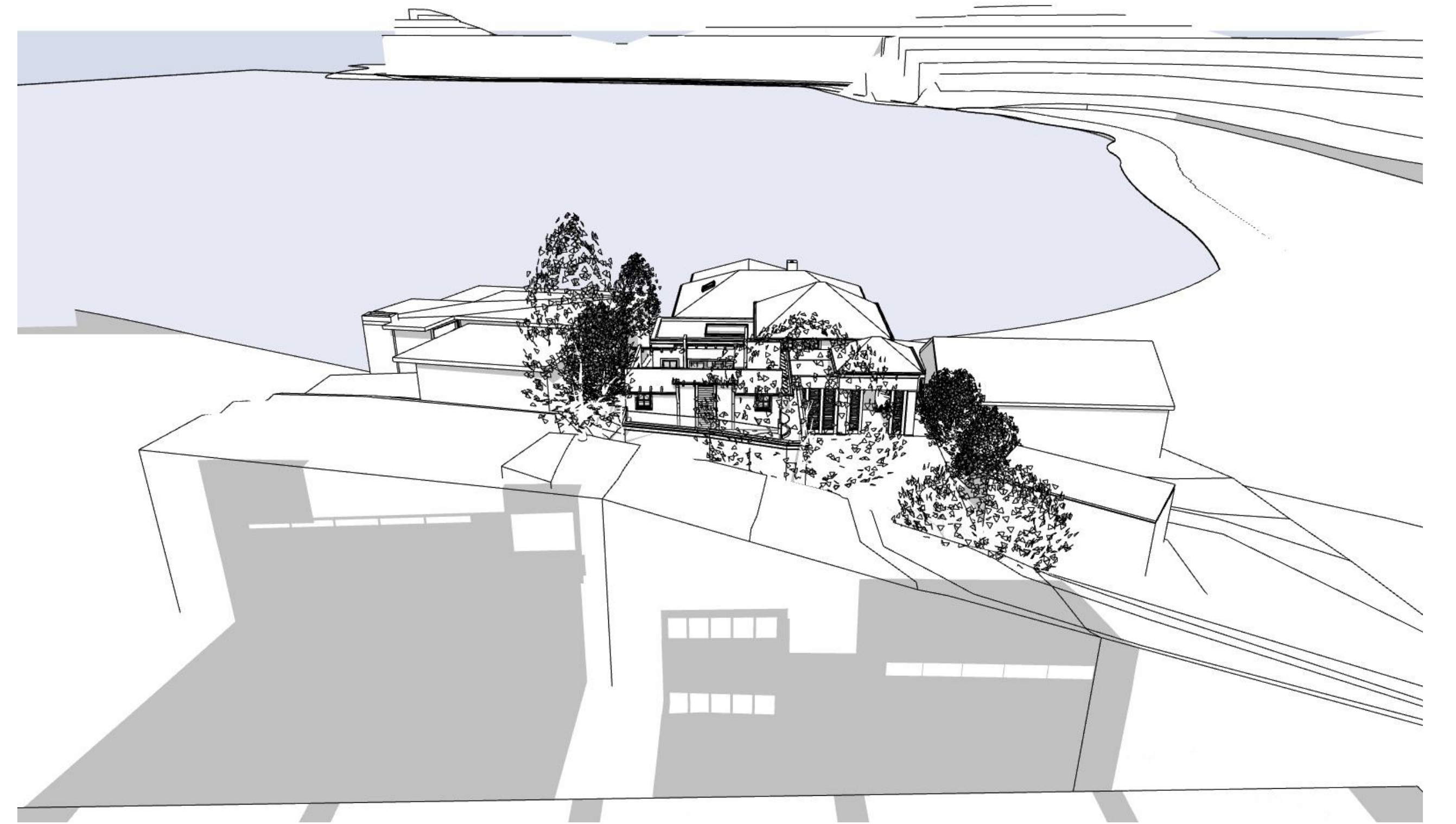
1 Existing No. 285 (21/06 - 12pm)



3 Existing No. 274 (21/06 - 12pm)



2 Proposed No. 285 (21/06 - 12pm)



4 Proposed No. 274 (21/06 - 12pm)



Legend			
WF-01	Cement Render Walls	RF-01	Roof Finish 1
WF-02	Timber Cladding	RF-02	Metal Roof
WF-03	Stone Cladding	BAL-01	Timber Balustrade
WF-04	Chimney	BAL-02	Glass Balustrade
		BAL-03	Metal Balustrade
		DP	Down Pipe
		RH	Rain Head
		RL	Reduced Level
		TOW	Top Of Wall

3D Perspectives shown for reference only

Rev	Date	Issue
A	2/12/2024	DA Submission

Project:  
New Residence, Pool & Associated External Works  
Client:  
James & Anna Markham  
Address:  
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Lot 187 | DP 15376

Drawing Title:  
3D Neighbours Perspectives 2  
Stage:  
Development Application  
Scale:  
@A1  
Drawn: GC  
Chkd: NG

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Window Schedule Studio above Garage												
View from Reveal Side												
ID	W 1A.1	W 1A.2	W 1A.3	W 1A.4	W 1A.5	W 1A.6	W 1A.7	W 1A.8	W 1A.9	W 1A.10	W 1A.11	W 1A.12
Unit Dimensions (WxH)	600x650	600x650	600x1,000	600x1,000	300x1,000	300x1,000	760x760	760x760	760x760	760x760	760x760	760x760
Sill/Header Value	950	950	900	900	900	900	3300 (from L1)	3300 (from L1)	3300 (from L1)	3300 (from L1)	3300 (from L1)	3300 (from L1)
Location	Caretaker's Studio, North Facing	Caretaker's Studio, North Facing	Caretaker's Studio, East Facing	Caretaker's Studio, East Facing	Caretaker's Studio, East Facing	Caretaker's Studio, West Facing	Above Entry Hall, East Facing	Above Entry Hall, East Facing	Above Entry Hall, West Facing	Above Entry Hall, West Facing	Above Entry Hall, North Facing	Above Entry Hall, North Facing
Story	Roof	Roof	Roof	Roof	Roof	Roof	Roof	Roof	Roof	Roof	Roof	Roof
Glazing/BASIX Performance	Double Glazed	Double Glazed	Timber Louver	Timber Louver	Timber Louver	Timber Louver	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed
Frame/Material/Finish	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame
Area of Glass + Frame	0.39	0.39	0.60	0.60	0.30	0.30	0.58	0.58	0.58	0.58	0.58	0.58
Type/Operation	Horizontal Pivot	Horizontal Pivot	Louver	Louver	Louver	Louver	Horizontal Pivot	Horizontal Pivot	Horizontal Pivot	Horizontal Pivot	Horizontal Pivot	Horizontal Pivot
Interior Window Treatment												
Additional Comments												
Hardware Detail												

Window Schedule																
View from Reveal Side																
ID	W 1.01	W 1.02	W 1.03	W 1.04	W 1.05	W 1.06	W 1.07	W 1.08	W 1.09	W 2.01	W 2.02	W 2.03	W 2.04	W 2.05	W 2.06	
Unit Dimensions (WxH)	2,700x2,300	860x1,640	860x1,640	860x1,640	860x1,640	860x1,640	860x1,640	1,995x2,300	565x2,300	860x1,680	860x1,680	1,633x1,680	860x1,680	860x1,680	860x1,680	
Sill/Header Value	0	2,100	2,100	2,100	2,100	2,100	2,100	0	0	750	750	750	750	750	750	
Location	Entry, East Facing	Bed 01 Ensuite, North Facing	Bed 01 Ensuite, South Facing	Bed 01 Ensuite, East Facing	Bed 01 Ensuite, West Facing	Study, West Facing	Study, West Facing	Study, West Facing	Entry, North Facing	Bunks, South Facing	Bed 04 Ensuite, East Facing	Bed 04 Ensuite, East Facing	Bed 02 Ensuite, East Facing	Bed 02, East Facing	Bed 02, East Facing	
Story	Level 1	Level 1	Level 1	Level 1	Level 1	Level 1	Level 1	Level 1	Level 1	Level 2	Level 2	Level 2	Level 2	Level 2	Level 2	
Glazing/BASIX Performance	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	
Frame/Material/Finish	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	
Area of Glass + Frame	6.21	1.41	1.41	1.41	1.41	1.41	1.41	4.59	1.30	1.44	1.44	2.74	1.44	1.44	1.44	
Type/Operation	Double Hung	Awning	Awning	Awning	Awning	Awning	Awning	Double Hung	Double Hung	Awning	Awning	Awning	Awning	Awning	Awning	
Interior Window Treatment																
Additional Comments																
Hardware Detail																

Window Schedule															
View from Reveal Side															
ID	W 2.07	W 2.08	W 2.09	W 2.10	W 2.11	W 2.12	W 3.01	W 3.02	W 3.03	W 3.04	W 3.05	W 3.06	W 4.01		
Unit Dimensions (WxH)	860x1,680	860x1,680	860x1,680	860x1,640	860x1,640	860x1,640	800x1,400	2,800x550	1,000x1,500	1,000x1,500	860x1,700	860x1,700	2,935x2,400		
Sill/Header Value	750	750	750	750	750	750	1,200	2,650	1,150	1,150	900	900	0		
Location	Bed 03, West Facing	Bed 03, West Facing	Bed 03 Ensuite, West Facing	Study, West Facing	Bed 05, West Facing	Bed 05, West Facing	Pantry, South Facing	Media, East Facing	Living, East Facing	Living, East Facing	Kitchen, East Facing	Kitchen, West Facing	Indoor Pool, South Facing		
Story	Level 2	Level 2	Level 2	Level 2	Level 2	Level 2	Level 3	Level 3	Level 3	Level 3	Level 3	Level 3	Level 4		
Glazing/BASIX Performance	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Timber Louver	Double Glazed	Double Glazed	Double Glazed	Double Glazed	Double Glazed		
Frame/Material/Finish	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Louver	Timber Frame	Timber Frame	Timber Frame	Timber Frame	Timber Frame		
Area of Glass + Frame	1.44	1.44	1.44	1.41	1.41	1.41	1.12	1.54	1.50	1.50	1.46	1.46	7.04		
Type/Operation	Awning	Awning	Awning	Awning	Awning	Awning	Double Hung	Louver	Awning	Awning	Double Hung	Double Hung	Double Hung		
Interior Window Treatment															
Additional Comments													Glazing to meet pool fence requirements.		
Hardware Detail															

Window Schedule - Skylights			
View from Reveal Side			
ID	SL 1.01	SL 1.02	SL 2.02
Opening W x H Size	2,290x1,800	800x800	8,250x888
Location	Above Bed 01 Ensuite	Above WIR	Above Gym level 4
Story	Level 1a Studio	Level 1a Studio	Level 3
Glazing/BASIX Performance			
Frame/Material/Finish			
Shell/Roof Opening Area	3.66	0.64	4.85
Type/Operation	(Operable)		
Interior Window Treatment			
Additional Comments			
Hardware Detail			

**Certificate No. #HR-8Y43LZ-03**  
 Scan QR code or follow website link for rating details.

Assessor name: Daniela Russo  
 Accreditation No.: HERA 10270  
 Property Address: 287 Whale Beach Road, Whale Beach, NSW, 2107

<http://www.hero-software.com.au/pdf/HR-8Y43LZ-03>

Legend			
WF-01	Cement Render Walls	RF-01	Roof Finish 1
WF-02	Timber Cladding	RF-02	Metal Roof
WF-03	Stone Cladding	BAL-01	Timber Balustrade
WF-04	Chimney	BAL-02	Glass Balustrade
		BAL-03	Metal Balustrade
DP	Down Pipe	RH	Rain Head
RL	Reduced Level	TOW	Top Of Wall

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Rev	Date	Issue
A	2/12/2024	DA Submission

Project: New Residence, Pool & Associated External Works  
 Client: James & Anna Markham  
 Address: 287 Whale Beach Road, Palm Beach NSW 2107  
 Lot 187 | DP 15376

Drawing Title: Window Schedule  
 Stage: Development Application  
 Scale: 1:1 @A1  
 Drawn: GC  
 Chkd: NG

Sheet No: DA18  
 Rev: A

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Exterior Door Schedule Level 1						
View from Reveal Side						
ID	D 1.01	D 1.02	D 1.03	D 1.04	D 1.05	D 1A.1
Unit Dimensions (WxH)	2,150x2,400	900x2,215	3,800x2,100	4,540x2,400	1,720x2,400	900x2,100
Location	Entry, West Facing	Garage, South Facing	Bed 01 Ensuite, North Facing	Bed 01, North Facing	Study, South Facing	Caretaker's Studio, North Facing
Story	Level 1	Level 1	Level 1	Level 1	Level 1	Roof
Glazing/BASIX Performance	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.	Timber Louver.
Frame/Material/Finish	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.
Area of Glass + Frame	5.16	1.99	7.98	10.90	4.13	1.89
Type/Operation	Double Hung, Hinged, Double Hung.	Hinged.	Hinged, Double Hung, Double Hung, Hinged.	Hinged, Double Hung, Hinged.	Hinged.	Louver.
Interior Window Treatment						
Additional Comments						
Hardware Detail						

Exterior Door Schedule Level 2					
View from Reveal Side					
ID	D 2.01	D 2.02	D 2.03	D 2.04	D 2.05
Unit Dimensions (WxH)	950x2,550	950x2,500	2,340x2,430	1,100x2,530	2,340x2,430
Location	Entry, West Facing	Laundry, East Facing	Bed 02, South Facing	Hall, South Facing	Bed 03, South Facing
Story	Level 2	Level 2	Level 2	Level 2	Level 2
Glazing/BASIX Performance	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.
Frame/Material/Finish	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.
Area of Glass + Frame	2.42	2.38	5.69	2.78	5.69
Type/Operation	Hinged.	Hinged.	Hinged, Double Hung.	Hinged.	Double Hung, Hinged.
Interior Window Treatment					
Additional Comments					
Hardware Detail					

Exterior Door Schedule Level 3					
View from Reveal Side					
ID	D 3.01	D 3.02	D 3.03	D 3.04	D 3.05
Unit Dimensions (WxH)	950x2,600	1,600x2,600	1,600x2,600	1,600x2,600	1,600x2,600
Location	Entry, West Facing	Living, South Facing	Living, South Facing	Dining, South Facing	Kitchen, South Facing
Story	Level 3	Level 3	Level 3	Level 3	Level 3
Glazing/BASIX Performance	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.	Double Glazed.
Frame/Material/Finish	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.	Timber Frame.
Area of Glass + Frame	2.47	4.16	4.16	4.16	4.16
Type/Operation	Hinged.	Sliding.	Sliding.	Sliding.	Sliding.
Interior Window Treatment					
Additional Comments					
Hardware Detail					

Exterior Door Schedule Level 4	
View from Reveal Side	
ID	D 4.01
Unit Dimensions (WxH)	5,500x2,400
Location	Rumpus, South Facing
Story	Level 4
Glazing/BASIX Performance	Double Glazed.
Frame/Material/Finish	TBC
Area of Glass + Frame	13.21
Type/Operation	Sliding
Interior Window Treatment	
Additional Comments	
Hardware Detail	

**Certificate No. #HR-8Y43LZ-03**  
 Scan QR code or follow website link for rating details.

**Assessor name:** Daniela Russo  
**Accreditation No.:** HERA 10270  
**Property Address:** 287 Whale Beach Road, Whale Beach, NSW, 2107  
<http://www.hero-software.com.au/pdf/HR-8Y43LZ-03>

Legend			
WF-01	Cement Render Walls	RF-01	Roof Finish 1
WF-02	Timber Cladding	RF-02	Metal Roof
WF-03	Stone Cladding	BAL-01	Timber Balustrade
WF-04	Chimney	BAL-02	Glass Balustrade
		BAL-03	Metal Balustrade
DP	Down Pipe	RH	Rain Head
RL	Reduced Level	TOW	Top Of Wall

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Rev	Date	Issue
A	2/12/2024	DA Submission

**Project:** New Residence, Pool & Associated External Works  
**Client:** James & Anna Markham  
**Address:** 287 Whale Beach Road, Palm Beach NSW 2107  
 Lot 187 | DP 15376

**Drawing Title:** Exterior Door Schedule  
**Stage:** Development Application  
**Scale:** 1:1 @A1  
**Drawn:** GC  
**Chkd:** NG

**Sheet No:** DA19  
**Rev:** A

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