

Aspect Development and Survey Pty Ltd

CONSULTING REGISTERED SURVEYORS

ABN: 60 078 649 000

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9 May 2024

IMSU

PO Box 190
KEMPS CREEK NSW 2171

Our Ref: 21/1066309/392340
Your Ref: 8032

SURVEY REPORT

Dear Sirs

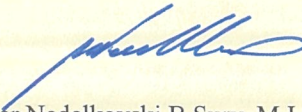
Acting in accordance with your instructions, I have surveyed for identification purposes only the land in Certificate of Title Folio Identifier 18/A/11373, being Lot 18 of Section A in Deposited Plan Number 11373, situated with a frontage to Fishbourne Road at Allambie Heights, in the Local Government Area of Northern Beaches, Parish of Manly Cove, County of Cumberland and report as follows:

1. The subject land is shown on the attached sketch - 21/1066309/392340.
2. The survey undertaken is based on Title details dated 11 September 2023, obtained from New South Wales Land Registry Services.
3. The boundaries of the subject land have been identified by a field survey and the relationship of the improvements surveyed to the boundaries are as shown on the attached sketch.
4. The property is known as number 25 Fishbourne Road, Allambie Heights.
5. The subject land is affected by:
Covenant B583418

With regards to the improvements and subject land, I note that no investigation has been carried out by this office to verify any compliance with the above restriction(s) or covenant(s).

6. During the course of the survey no investigation has been undertaken to determine the existence of any possible subterranean services, structures or encroachments.
7. If further improvements are proposed the boundaries of the subject land should be marked.

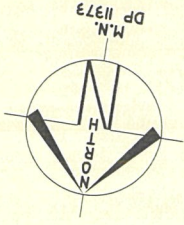
Yours Sincerely



Peter Nedelkovski B.Surv. M.I.S.N.S.W.
Surveyor Registered under the Surveying
and Spatial Information Act, 2002.

Newcastle Office: Kenrick Street, The Junction
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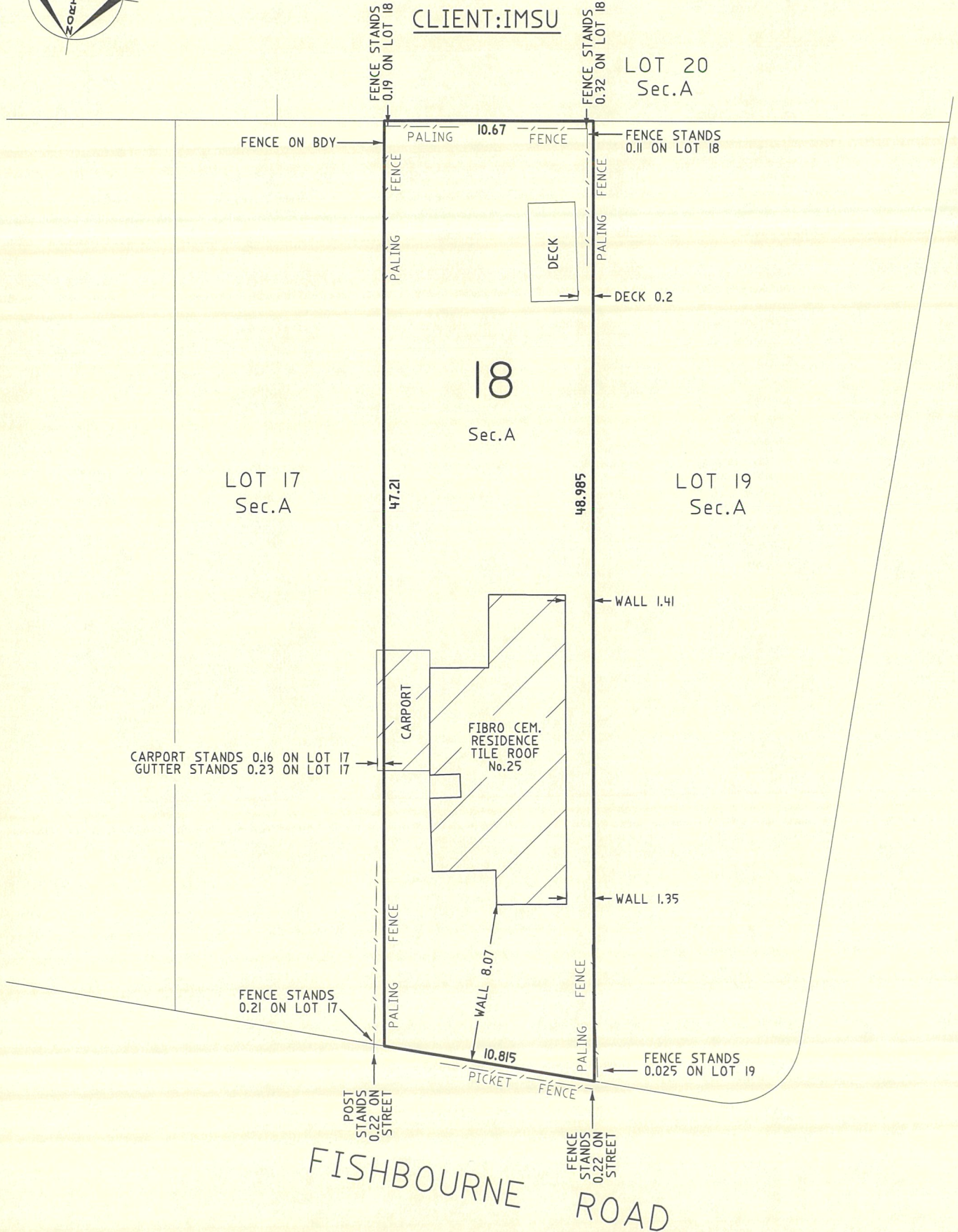
NORTH



SKETCH

CLIENT: IMSU

LOT 20
Sec.A



ASPECT DEVELOPMENT & SURVEY PTY LTD A.C.N. 078 649 000
CONSULTING REGISTERED SURVEYORS

OUR REF: 21/1066309/392340
YOUR REF: 8032
LOT 18 SEC. A DP 11373
SUBURB: ALLAMBIE HEIGHTS

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