

|                                                                                                                                              |                              |
|----------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|
| <b>Contact Us</b>                                                                                                                            |                              |
| The General Manager, 725 Pittwater Road, Dee Why NSW 2099 or<br>Customer Service Centre, Northern Beaches Council DX9115 Dee Why             |                              |
| <b>Email</b>                                                                                                                                 | council@warringah.nsw.gov.au |
| <b>Fax</b>                                                                                                                                   | 9942 7606                    |
| If you need help lodging your application call Customer Service on<br>(02) 9942 2111 or come in and talk to us at the Civic Centre, Dee Why. |                              |

|                        |  |  |  |  |  |  |  |  |  |
|------------------------|--|--|--|--|--|--|--|--|--|
| <b>Office Use Only</b> |  |  |  |  |  |  |  |  |  |
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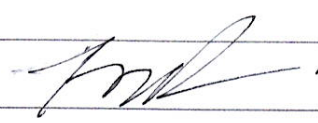
**Part 1: Declaration**

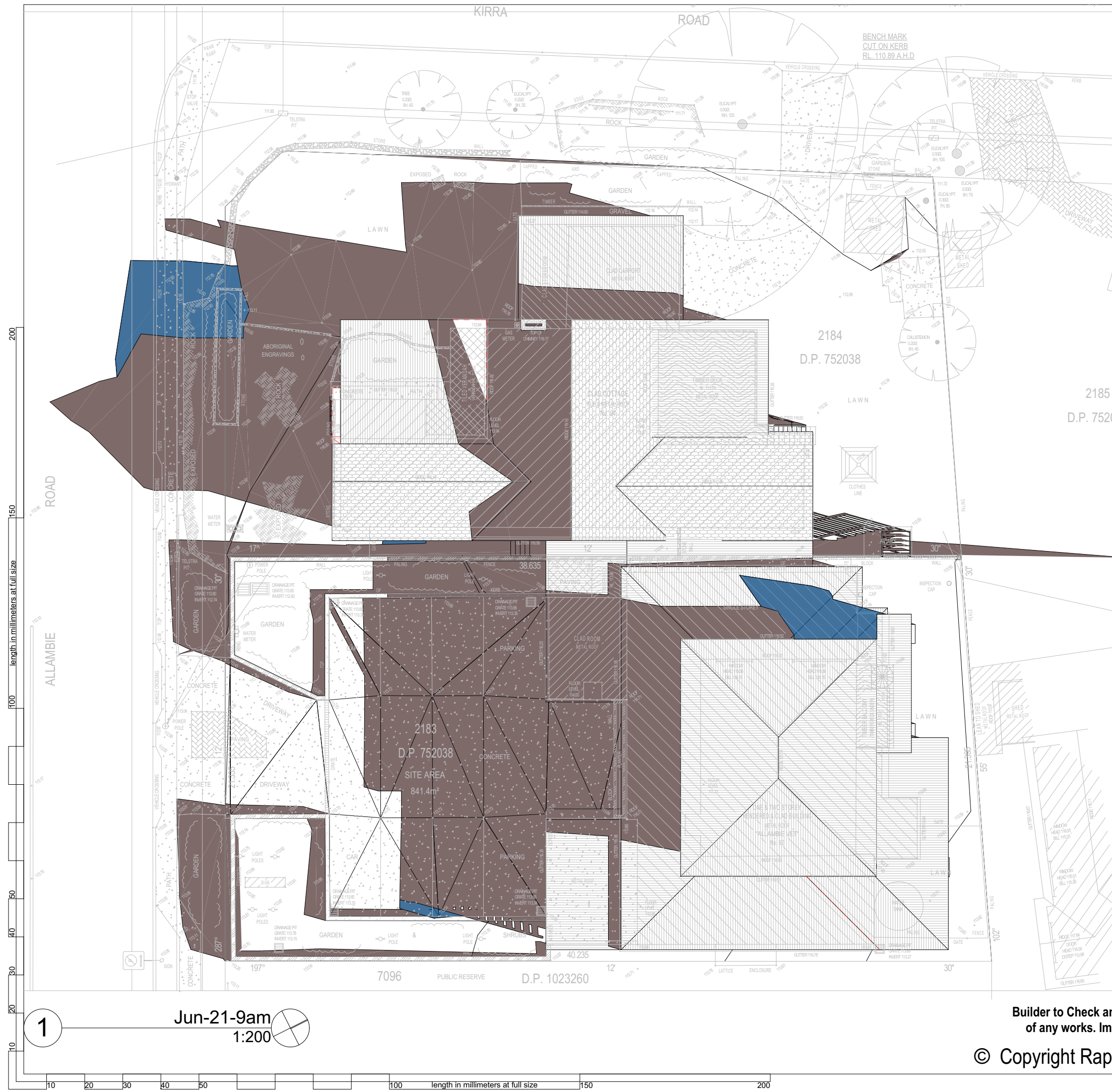
|                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                            |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>1. DECLARATION</b>                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                            |
| I hereby certify that the shadow diagrams submitted with the proposal at                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                            |
| Address:                                                                                                                                                                                                                                                                                                                                                                                           | 92 & 94 ALAMBIE ROAD<br>ALLAMBIE HEIGHTS                                                                                                                                                                                                                                   |
| For the erection of<br><i>Description of development</i>                                                                                                                                                                                                                                                                                                                                           | NO.92 - NEW FRONT & REAR ADDITIONS, NEW INTERNAL STAIRS, NEW LAUNDRY/<br>STORE WITH NEW RAMP TO ADJACENT BLDG, EX STORE CONVERSION TO WARD<br>NO.94 - NEW SW CORNER ADDITION, NEW FRONT ENTRY. CONSOLIDATION OF<br>BOTH LOTS, REFURBISHMENT OF INTERNAL AREAS ON BOTH LOTS |
| <ul style="list-style-type: none"> <li>In accordance with the survey (prepared by a registered surveyor) which is required to be submitted with the application</li> <li>Drawn to true north</li> <li>Indicate shadow cast by the proposal at 9am, noon, 3pm, 21 June</li> <li>To indicate the shadow cast by existing buildings and structures on the site and in the surrounding area</li> </ul> |                                                                                                                                                                                                                                                                            |

**Part 2: Certification**

|                                                                                |                                                                                                                                |           |  |
|--------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------|-----------|--|
| <b>2. CERTIFIER</b>                                                            |                                                                                                                                |           |  |
| Title                                                                          | <input checked="" type="checkbox"/> Mr <input type="checkbox"/> Mrs <input type="checkbox"/> Ms <input type="checkbox"/> Other |           |  |
| Full family name <i>(no initials for Companies)</i>                            | BARR-JONES                                                                                                                     |           |  |
| Full given names <i>(no initials for A.C.N.)</i>                               | GREGG                                                                                                                          |           |  |
| Phone                                                                          | 02 9905 5000                                                                                                                   | Alternate |  |
| Mobile                                                                         | 0414 945 024                                                                                                                   | Fax       |  |
| Qualification <i>(i.e. Architect, Engineer, Computer Technician, Surveyor)</i> | DIP ARCHTECH/ADVCERT BUILD - BUILD LIC #82661C / BDA #6305                                                                     |           |  |


**Part 3: Signature**

|                                  |                                                                                     |
|----------------------------------|-------------------------------------------------------------------------------------|
| <b>3. APPLICANT(S) SIGNATURE</b> |                                                                                     |
| Signature                        |  |
| Date                             | 31-8-2018                                                                           |




Denotes Proposed Shadow

Denotes Existing Shadow



Rapid Plans  
Building Design and Architectural Drafting

Rapid Plans www.rapidplans.com.au  
PO Box 6193 Frenchs Forest DC NSW 2086  
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Mobile : 0414-945-024  
Email : gregg@rapidplans.com.au



BUILDING  
DESIGNERS  
AUSTRALIA NSW


**NOTES**  
92 & 94 Allambie Road Allambie Heights is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue  
92 & 94 Allambie Road Allambie Heights is not considered a heritage item

**Construction**  
Timber Framed Floors, Masonry & Cladded Walls  
Roof Sheet Metal to have R1.74 Insulation  
Insulation to External Masonry & Cladded Walls R1.7  
Refer to Engineers drawings for structural details  
All work to Engineers Specification and BCA  
Timber framing to BCA and AS 1684  
Termite Management to BCA and AS 3660.1  
Glazing to BCA and AS01288-2047  
Waterproofing to BCA and AS 3740  
New Lighting to have minimum of 40% compact fluorescent lamps  
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

**Certifying**  
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

**Basic**  
Basic Certificate Number A325164  
All Plans to be read in conjunction with Basic Certificate  
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.  
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.  
Relevant overshadowing specifications must be satisfied for each window and glazed door.  
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.  
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



**DA APPLICATION ONLY**  
**NOT FOR CONSTRUCTION**

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client  
Brian Mills  
Project Name  
**Alterations & Additions**  
92 & 94 Allambie Road, Allambie Heights  
2100

Lot 2183 & Lot 2184 D.P.752038  
Drawing Title:  
**Sunstudy - June 21st Shadow - 9am**  
**Jun-21-9am**

|                                 |                              |
|---------------------------------|------------------------------|
| Scale: A3 as noted              | Date: 17-8-2018              |
| Status: DA                      | Checked By: GBJ              |
| Project No:<br><b>RP1217MIL</b> | Drawing No.<br><b>DA5003</b> |

| Site Information                     | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area                            | 1616.4m2 | Yes        |
| Housing Density (dwelling/m2)        | 1        | Yes        |
| Max Ceiling Height Above Natural GL  | 7.2m     | Yes        |
| Max Building Height Above Natural GL | 8.5m     | Yes        |
| Front Setback (Min.)                 | 6.5m     | Yes        |
| Rear Setback (Min.)                  | 6.0m     | N/A        |
| Minimum side boundary setback (Min.) | 0.9m     | Yes        |
| Building envelope                    | 4m@45°   | Yes        |
| % of landscape open space (40% min)  | 39%      | Maintained |
| Impervious area (m2)                 | 643.27m2 | Maintained |
| Maximum cut into ground (m)          | 0.8m     | Yes        |
| Maximum depth of fill (m)            | N/A      | Yes        |
| Number of car spaces provided        | 10       | Yes        |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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 BUILDING DESIGNERS AUSTRALIA NSW

**NOTES**  
92 & 94 Allambie Road Allambie Heights is zoned R2 - Low Density Residential  
All Plans to be read in conjunction with Basix Certificate  
New Works to be constructed shown in Shaded/Blue  
92 & 94 Allambie Road Allambie Heights is not considered a heritage item

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**Basix**  
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Project North



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Brian Mills  
Project Name  
**Alterations & Additions**  
92 & 94 Allambie Road, Allambie Heights  
2100

Lot 2183 & Lot 2184 D.P.752038  
Drawing Title:  
**Sunstudy - June 21st Shadow - 12pm**  
Jun-21-12pm

|                                 |                              |
|---------------------------------|------------------------------|
| Scale: A3 as noted              | Date: 17-8-2018              |
| Status: DA                      | Checked By: GBJ              |
| Project No:<br><b>RP1217MIL</b> | Drawing No.<br><b>DA5004</b> |

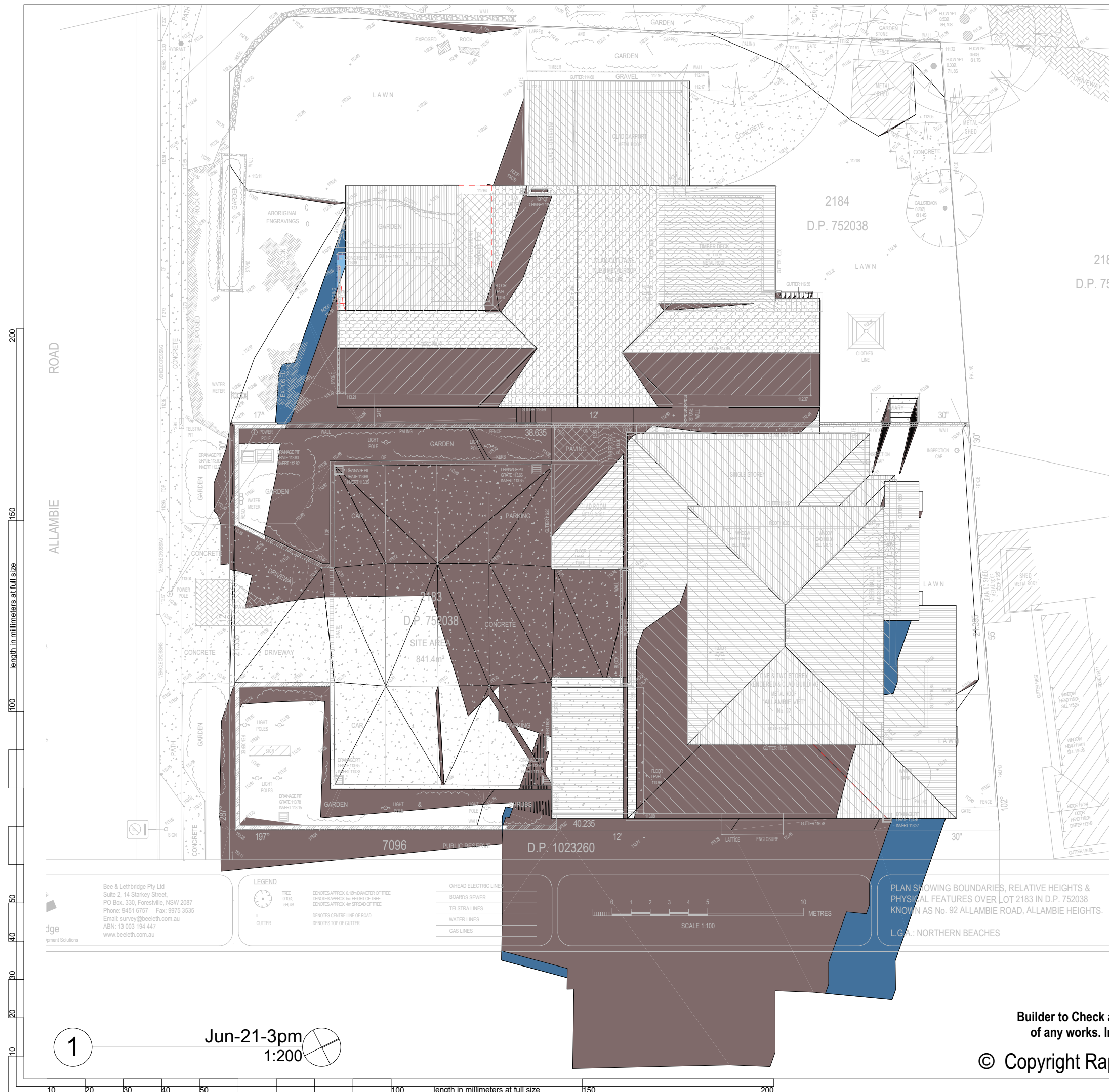
| Site Information                     | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area                            | 1616.4m2 | Yes        |
| Housing Density (dwelling/m2)        | 1        | Yes        |
| Max Ceiling Height Above Natural GL  | 7.2m     | Yes        |
| Max Building Height Above Natural GL | 8.5m     | Yes        |
| Front Setback (Min.)                 | 6.5m     | Yes        |
| Rear Setback (Min.)                  | 6.0m     | N/A        |
| Minimum side boundry setback (Min.)  | 0.9m     | Yes        |
| Building envelope                    | 4m@45°   | Yes        |
| % of landscape open space (40% min)  | 39%      | Maintained |
| Impervious area (m2)                 | 643.27m2 | Maintained |
| Maximum cut into ground (m)          | 0.8m     | Yes        |
| Maximum depth of fill (m)            | N/A      | Yes        |
| Number of car spaces provided        | 10       | Yes        |

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**bda** BUILDING DESIGNERS AUSTRALIA NSW

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Brian Mills  
Project Name  
**Alterations & Additions**  
92 & 94 Allambie Road, Allambie Heights  
2100

Lot 2183 & Lot 2184 D.P.752038  
Drawing Title:  
**Sunstudy - June 21st Shadow - 3pm**  
**Jun-21-3pm**

|                                 |                              |
|---------------------------------|------------------------------|
| Scale: A3 as noted              | Date: 17-8-2018              |
| Status: DA                      | Checked By: GBJ              |
| Project No:<br><b>RP1217MIL</b> | Drawing No.<br><b>DA5005</b> |

| Site Information                     | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area                            | 1616.4m2 | Yes        |
| Housing Density (dwelling/m2)        | 1        | Yes        |
| Max Ceiling Height Above Natural GL  | 7.2m     | Yes        |
| Max Building Height Above Natural GL | 8.5m     | Yes        |
| Front Setback (Min.)                 | 6.5m     | Yes        |
| Rear Setback (Min.)                  | 6.0m     | N/A        |
| Minimum side boundary setback (Min.) | 0.9m     | Yes        |
| Building envelope                    | 4m@45°   | Yes        |
| % of landscape open space (40% min)  | 39%      | Maintained |
| Impervious area (m2)                 | 643.27m2 | Maintained |
| Maximum cut into ground (m)          | 0.8m     | Yes        |
| Maximum depth of fill (m)            | N/A      | Yes        |
| Number of car spaces provided        | 10       | Yes        |

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length in millimeters at full size

1 Jun-21-3pm 1:200