

STATEMENT OF ENVIRONMENTAL EFFECTS

ALTERATIONS AND ADDITIONS TO EXISTING 2 STOREY HOUSE

53B AMOURIN STREET
NORTH MANLY, NSW 2100

MARCH 2021

CONTENTS

1.0	INTRODUCTION	Page 3
2.0	PROPERTY DESCRIPTION	Page 3
3.0	URBAN CONTEXT	Page 3
4.0	SITE & EXISTING BUILDING	Page 4
5.0	DESCRIPTION OF PROPOSED DEVELOPMENT	Page 4
6.0	PLANNING CONSIDERATIONS	Page 5
	6.1 SEPPs	Page 5
	6.2 LEP	Page 5
	6.3 DCP	Page 9
7.0	CONCLUSIONS	Page 22

1.0 INTRODUCTION

This Statement of Environmental Effects has been prepared in relation to the Development Application for the alterations and additions to an existing two-level residential building at 53b Amourin Street, North Manly. The proposal includes a new garage, entrance and storage on the ground floor and a new bedroom and ensuite on the first floor alongside increased landscaping and minor site works.

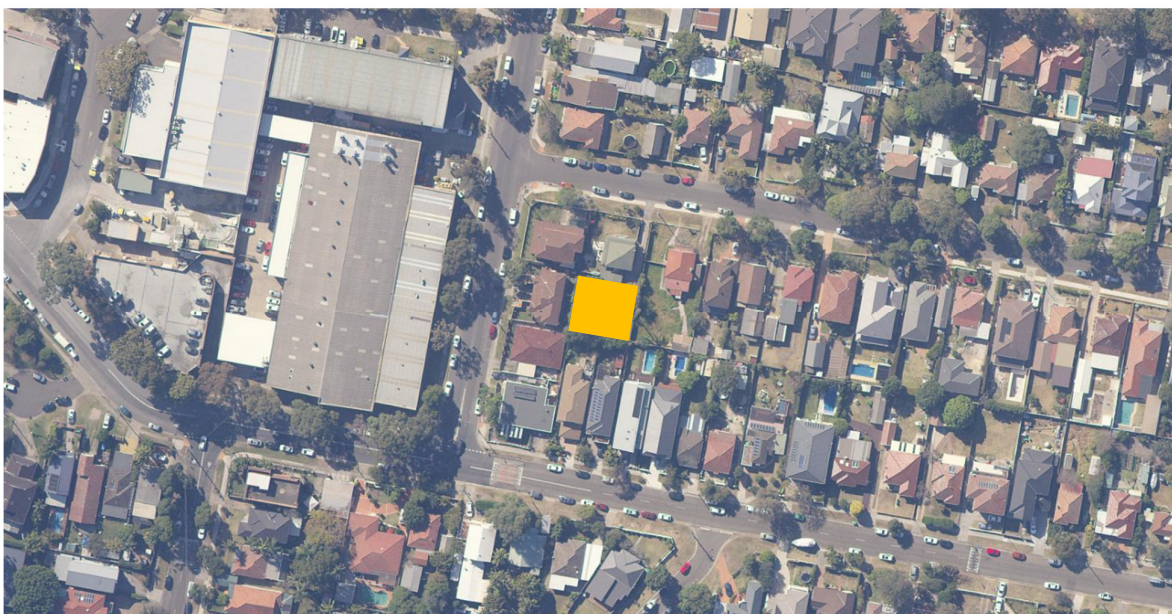
The objectives of this Statement of Environmental Effects are to identify the environmental effects and impacts of the proposal with respect to relevant planning instruments, neighbouring properties, the general locale as well as other planning and environmental considerations.

2.0 PROPERTY DESCRIPTION

53B Amourin Street, North Manly NSW 2100.
Lot 2
D.P.1046861
Land Area 368.2m²

3.0 URBAN CONTEXT:

The subject site is located off Amourin street on a rear battle axe lot. The residential dwelling has two storeys and is surrounded by other residential dwellings on all four sides. Amourin street stretches east to west and is predominantly characterised by one and two storey residential dwellings.



4.0 SITE & EXISTING BUILDING:

The site is located on the southern side of Amourin Street and is described as a battle axe lot with a shared right of way easement driveway. It is regular in shape with three side boundaries and a rear boundary. The site does not have a street boundary. The site has side boundaries of 18.27m and 18.35m, a rear boundary of 20.115 metres, and the survey indicates that the site has a slight fall of 0.3m from east to west.

The existing two storey residential building occupies the middle of the site and is constructed with timber framing and steel structure. The building is clad with brick and timber weatherboards. The ground floor has a cast concrete slab and the first floor constructed with timber floor framing. The dwelling has a timber roof structure with metal roof sheeting.



FIGURE 2 : VIEW FROM DRIVEWAY OF EXISTING BUILDING

5.0 DESCRIPTION OF PROPOSED DEVELOPMENT:

The proposed development entails the alteration of the existing one storey attached garage building structure on the site into a two-storey residential extension to the east side of the existing house. The alteration and new addition include a new entrance, garage and storage space on the ground floor level, a new bedroom and ensuite bathroom on the first storey with associated alterations to the existing first storey bathroom.

The proposal development is detailed in the architectural drawings prepared by Bewoner Studio and the associated consultants' reports. It responds to the specific micro and macro urban design considerations as identified in the Site Analysis Plan.



6.1 SEPPs

6.1.1 SEPP Building Sustainability Index: BASIX 2004.

6.1.2 SEPP No55 Remediation of Land.

There is no evidence to suggest that the land has been used for any other purposes nor is there any physical or documentary evidence to suggest that the land is or has been contaminated therefore no remedial action is considered a requirement.

6.2.1 The proposal falls within the requirements of the *Warringah Local Environmental Plan 2011*

The subject land is identified as zoned R2 Low Density Residential Land Zoning Map Sheet LZN_010A

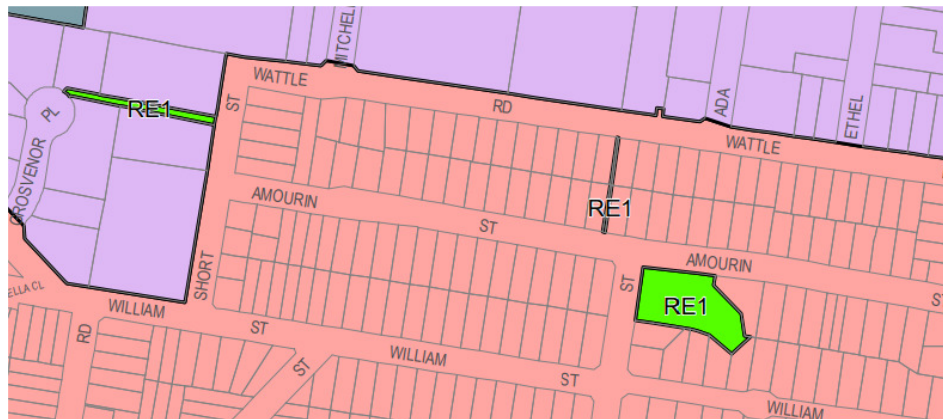


FIGURE 10 : EXTRACT FROM LAND ZONING MAP SHEET LZN_010A

The proposed development is permissible and consistent with the aims and objectives of the Warringah Local Environmental Plan 2011.

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents..
- To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah

6.2.2 CLAUSE 4.3 HEIGHT OF BUILDINGS

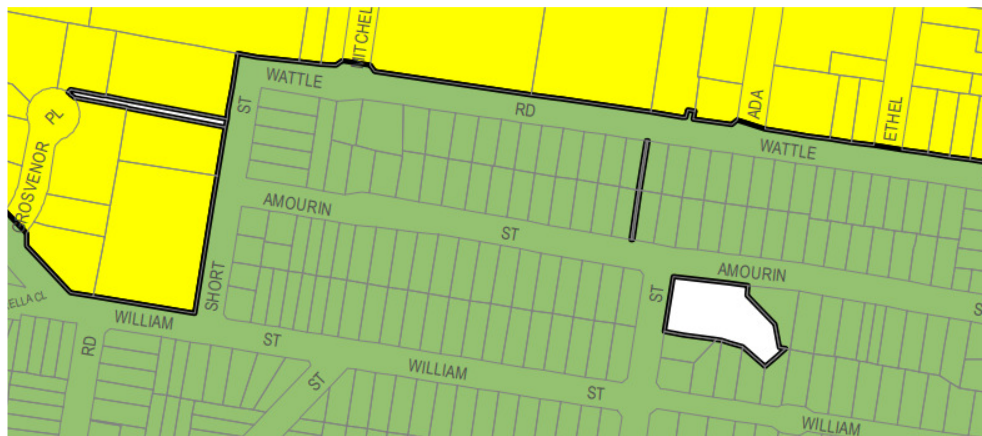


FIGURE 11 : EXTRACT FROM HEIGHT OF BUILDINGS MAP SHEET HOB 010A

The maximum permissible height of buildings on the site is identified as 8.5. metres in accordance with Height of Buildings Map Sheet HOB 010.

The proposal is therefore compliant with the numerical requirement of [clause 4.3 \(2 \)](#) Height of buildings and is consistent with the objectives of [clause 4.3 \(1\);](#)

- (a) *to ensure that buildings are compatible with the height and scale of surrounding and nearby development,*
- (b) *to minimise visual impact, disruption of views, loss of privacy and loss of solar access,*
- (c) *to minimise any adverse impact of development on the scenic quality of Warringah's coastal and bush environments,*
- (d) *to manage the visual impact of development when viewed from public places such as parks and reserves, roads and community facilities.*

6.2.3 CLAUSE 4.4 FLOOR SPACE RATIO

The site is not identified in the maximum floor space ratio map as having a maximum FSR in accordance with Warringah Local Environmental Plan 2011 Floor Space Ratio Map Sheet FSR 010A.

6.2.4 CLAUSE 6.1 ACID SULPHATE SOILS.

FIGURE 13 : EXTRACT FROM ACID SULPHATE SOILS MAP SHEET ASS 010A

The site is identified as not having acid sulphate soils in accordance with Warringah Local Environmental Plan 2011 Acid Sulphate Soils Map Sheet ASS 010A.

6.2.5 CLAUSE 6.2 EARTHWORKS

The development proposal minimises excavation of the site by limiting the excavation to the removal of part of the existing parking slab and construction of the new reinforced concrete foundations, ground floor slab and service trenching.

Clause 6.2 (3) requires the consent authority to consider the following matters prior to granting development consent for earthworks;

- (a) *the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality,*
- (b) *the effect of the proposed development on the likely future use or redevelopment of the land,*
- (c) *the quality of the fill or the soil to be excavated, or both,*
- (d) *the effect of the proposed development on the existing and likely amenity of adjoining properties,*

- (e) *the source of any fill material and the destination of any excavated material,*
- (f) *the likelihood of disturbing relics,*
- (g) *the proximity to and potential for adverse impacts on any watercourse, drinking water catchment or environmentally sensitive area,*
- (h) *any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.*

Given that the relatively minimal excavation volumes do not impact any potential acid sulphate soils the proposal will have no adverse environmental effects on drainage patterns, water catchment or stormwater. The proposal therefore meets the objectives of clause 6.2 (1) in relation to excavation and site works therefore the excavation and construction works that are carried out would not have a detrimental impact on environmental functions and processes, neighbouring use or features of the surrounding land.

6.2.6 CLAUSE 6.3 FLOOD PLANNING

The site is not identified as flood prone land in accordance with Warringah Local Environmental Plan 2011.

6.2.7 CLAUSE 6.4 LAND SLIP RISK

FIGURE 11 : EXTRACT FROM LAND SLIP RISK MAP SHEET LSR 010A

The site is identified as "Area A" having a slope of <5° in accordance with Warringah Local Environmental Plan 2011 Land Slip Risk Map Sheet LSR 010A. A preliminary Landslip risk assessment is not required.

6.2.8 LEP Compliance Table:

Standard	Existing	Proposed	Control	Complies
Maximum Building Height		6.895m	8.5m	YES
Land Slip Risk		NA		The site is identified Area A. A preliminary landslip risk assessment is not required

Minimum Allotment Size	368.2 m2	NA	450m ²	Undersized allotment.
Floor Space Ratio		NA	NA	NA

6.3 DCP

6.3.1 The proposed development falls within the requirements of the Warringah Development Control Plan 2011 (WDCP2011) and is consistent with the objectives of Section A.5

Objectives

- O1 To ensure development responds to the characteristics of the site and the qualities of the surrounding neighbourhood.*
- O2 To ensure new development is a good neighbour, creates a unified landscape, contributes to the street, reinforces the importance of pedestrian areas and creates an attractive design outcome.*
- O3 To inspire design innovation for residential, commercial and industrial development.*
- O4 To provide a high level of access to and within development.*
- O5 To protect environmentally sensitive areas from overdevelopment or visually intrusive development so that scenic qualities, as well as the biological and ecological values of those areas, are maintained.*
- O6 To achieve environmentally, economically and socially sustainable development for the community of Warringah.*

The proposed development is consistent with the above stated overriding objectives of the WDCP2011 to create and maintain a high level of environmental quality throughout Warringah. Development should result in an increased level of local amenity and environmental sustainability.

6.3.8 DCP Compliance Table:

Clause	Standard	Existing	Proposed	Control	Complies
B1	Wall Height		5.35m	7.2m	YES
B2	Number of Storeys	2	2	2	YES
B3	Side Boundary Envelope			45° from 5m above EGL	YES
B4	Site Coverage	N/A	N/A	N/A	N/A

B5	Side Boundary Setback	0.3m	0.9m	0.9	YES
B7	Front Boundary Setback	3.670m	5.67m & 3.545m	3.5m	YES
B9	Rear boundary setback	4.4m	4.4m & 0.9m	6m	NO

6.3.9 PART B BUILT FORM CONTROL

6.3.9.1 B1 WALL HEIGHTS

The proposal is consistent with the relevant objectives of clause *B1 Wall Heights* of WDCP2011;

Objectives

- O1 To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.*
- O2 To ensure development is generally beneath the existing tree canopy level.*
- O3 To provide a reasonable sharing of views to and from public and private properties.*
- O4 To minimise the impact of development on adjoining or nearby properties.*
- O5 To ensure that development responds to site topography and to discourage excavation of the natural landform.*
- O6 To provide sufficient scope for innovative roof pitch and variation in roof design.*

Requirements

- 1. Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).*

The proposal is compliant with the requirements of B1 Wall Heights with proposed wall heights of the new extension being under 7.2 metres. New proposed Wall height is 5.35m

6.3.9.2 B3 SIDE BOUNDARY ENVELOPE

Objectives

- O1 To ensure that development does not become visually dominant by virtue of its height and bulk.*
- O2 To ensure adequate light, solar access and privacy by providing spatial separation between buildings.*
- O3 To ensure that development responds to the topography of the site.*

Requirements

- 1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of 5 metres.*

The proposal is consistent with the objectives O1-O3 of B3 Side Boundary Envelope and the proposal is designed within the required 5m and 45 Degrees envelope.

6.3.9.4 B5 SIDE BOUNDARY SETBACK

Objectives

- O1 To provide opportunities for deep soil landscape areas.*
- O2 To ensure that development does not become visually dominant.*
- O3 To ensure that the scale and bulk of buildings is minimised.*
- O4 To provide adequate separation between buildings to ensure a reasonable level of privacy, amenity and solar access is maintained.*
- O5 To provide reasonable sharing of views to and from public and private properties.*

Requirements

- 1. Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries of 900mm*
- 2. Side boundary setback areas are to be landscaped and free of any above or below ground structures, car parking or site facilities other than driveways and fences.*

The proposal is consistent with the objectives O1-O5 and requirement of B5 Side Boundary Setbacks due to the setback of the proposal being of 900mm from the side boundaries on the east side of the site. The setbacks are proposed to be landscaped and free of structures, car parking and site facilities.

6.5.2.6 B9 FRONT BOUNDARY SETBACK

Due to the site being on the rear Battle Axe lot, the site does not have a front setback but rather three side setbacks and a rear setback. The side set back on the north of the site between 53A and the proposed additions on the ground floor is 3.545m for the new entrance and 5.67m for the new garage extension.

On the firsts floor the proposed building is set back 5.67m from the north side boundary with eaves protruding 0.43m for solar shading on the north façade.

The proposal is therefore compliant with the setback controls of battle axe lots of minimum 3.5m setback.

6.5.2.7 B9 REAR BOUNDARY SETBACK

The proposal is consistent with the objectives O1-O4 of B9 Rear Boundary setback of WDGP2011.

Objectives

- O1 To ensure opportunities for deep soil landscape areas are maintained.*
- O2 To create a sense of openness in rear yards.*
- O3 To preserve the amenity of adjacent land, particularly relating to privacy between buildings.*
- O4 To maintain the existing visual continuity and pattern of buildings, rear gardens and landscape elements.*
- O5 To provide opportunities to maintain privacy between dwellings.*

Requirements

1. *Development is to maintain a minimum setback to rear boundaries.*
2. *The rear setback area is to be landscaped and free of any above or below ground structures.*

Exceptions

On land zoned R2 Low Density Residential, and land zoned RU4 Rural Small Holdings that has frontage to "The Greenway", Duffy's Forest, where the minimum rear building setback is 6 metres, exempt development, swimming pools and outbuildings that, in total, do not exceed 50% of the rear setback area, provided that the objectives of this provision are met.

Where numerical non-compliance with the rear boundary setback occurs, variation to the numerical controls is minor. The proposed addition has the same setback as the existing house of 4.4m on the first floor. At ground level the setback of the storage area is increased by 0.9m from the existing garage setback. The area of the new storage room on ground floor in the rear set back area is less than 50% of the rear setback zone and storage area measures only 17% of the rear setback. The height of the new storage is under 2.85m and has no adverse or noticeable effects on the neighbouring properties. The proposal increases the setback of the existing garage building and has allowed screen planting opportunities in the rear setback zone.

Consequently the proposed development should be considered to be acceptable in respect to both the objectives and controls of B9 Rear Boundary Setback as provides better amenities for the subject site and neighbouring context.

6.5.3 PART C SITE FACTORS

6.5.3.1 C3 PARKING FACILITIES

The proposal is consistent with the objectives O1-O3 of C3 Parking Facilities of WDCP2011.

Objectives

- O1 *To provide adequate off street carparking.*
- O2 *To site and design parking facilities (including garages) to have minimal visual impact on the street frontage or other public place.*
- O3 *To ensure that parking facilities (including garages) are designed so as not to dominate the street frontage or other public spaces.*

Requirements

1. *The following design principles shall be met:*
 - a) *Garage doors and carports are to be integrated into the house design and to not dominate the façade. Parking is to be located within buildings or on site.;*
 - b) *Parking is to be located so that views of the street from front windows are not obscured; and*
 - c) *Where garages and carports face the street, ensure that the garage or carport opening does not exceed 6 metres or 50% of the building width, whichever is the lesser.*
2. *Off street parking is to be provided within the property demonstrating that the following matters have been taken into account:*

- a) *the land use;*
- b) *the hours of operation;*
- c) *the availability of public transport;*
- *the availability of alternative car parking; and*
- *the need for parking facilities for courier vehicles, delivery / service vehicles and bicycles.*

6.5.3.2 C4 STORMWATER

The proposal is consistent with the objectives O1-O7 of C4 Stormwater of WDCP2011.

Objectives

- O1 *Improve the quality of water discharged to our natural areas to protect and improve the ecological and recreational condition of our beaches, waterways, riparian areas and bushland;*
- O2 *To minimise the risk to public health and safety;*
- O3 *To reduce the risk to life and property from any flooding and groundwater damage;*
- O4 *Integrate Water Sensitive Urban Design measures in new developments to address stormwater and floodplain management issues, maximise liveability and reduce the impacts of climate change.*
- O5 *Mimic natural stormwater flows by minimising impervious areas, reusing rainwater and stormwater and providing treatment measures that replicate the natural water cycle*
- O6 *Reduce the consumption of potable water by encouraging water efficiency, the reuse of water and use of alternative water sources*
- O7 *To protect Council's stormwater drainage assets during development works and to ensure Council's drainage rights are not compromised by development activities.*

Requirements

- 1. *Stormwater runoff must not cause downstream flooding and must have minimal environmental impact on any receiving stormwater infrastructure, watercourse, stream, lagoon, lake and waterway or the like.*
- 2. *The stormwater drainage systems for all developments are to be designed, installed and maintained in accordance with Council's Water Management for Development Policy.*

The site area is less than 450m² so therefore the development is exempt from on-site detention requirements. Stormwater will be disposed of according to Council requirements and erosion and sedimentation will be appropriately controlled during construction. The proposal does not result in a net increase of more than 50m² of hard surface, therefore a stormwater management plan is not considered to be required.

6.5.3.3 C7 EXCAVATION & LANDFILL

The proposal is consistent with the objectives O1-O4 of C7 Excavation and Landfill WDCP2011.

Objectives

- O1 To ensure any land excavation or fill work will not have an adverse effect upon the visual and natural environment or adjoining and adjacent properties.*
- O2 To require that excavation and landfill does not create airborne pollution.*
- O3 To preserve the integrity of the physical environment.*
- O4 To maintain and enhance visual and scenic quality.*

Requirements

- 1. All landfill must be clean and not contain any materials that are contaminated and must comply with the relevant legislation.*
- 2. Excavation and landfill works must not result in any adverse impact on adjoining land.*
- 3. Excavated and landfill areas shall be constructed to ensure the geological stability of the work.*
- 4. Excavation and landfill shall not create siltation or pollution of waterways and drainage lines, or degrade or destroy the natural environment.*
- 5. Rehabilitation and revegetation techniques shall be applied to the fill.*
- 6. Where landfill is necessary, it is to be minimal and shall have no adverse effect on the visual and natural environment or adjoining and surrounding properties.*

This construction methodology removes the need for any site excavation below 0.3 metres from natural ground level, and will not result in.

- ground settlement or movement,
- changes to ground water level,
- adverse vibration,
- risk of damage to neighbouring properties or infrastructure,
- excavation below 1.0 metres.

Consequently, the proposal is seen to meet the requirement 1- 6 above.

6.5.3.4 C8 DEMOLITION & CONSTRUCTION

The proposal is consistent with the objectives O1-O4 of C8 Demolition and Construction of the WDCP2011;

Objectives

- O1 To manage demolition and construction sites so that there is no unreasonable impact on the surrounding amenity, pedestrian or road safety, or the natural environment.*
- O2 To promote improved project management by minimising demolition and construction waste and encouraging source separation, reuse and recycling of materials.*
- O3 To assist industry, commercial operators and site managers in planning their necessary waste management procedures through the preparation and lodgement of a Waste Management Plan*
- O4 To discourage illegal dumping.*

Requirements

1. *All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan .*

The proposed development entails the alteration of the existing one storey attached garage building structure on the site into a two-storey residential extension to the east side of the existing house. The alteration and new addition include a new entrance, garage and storage space on the ground floor level, a new bedroom and ensuite bathroom on the first storey with associated alterations to the existing first storey bathroom.

Proposed construction methodology includes a reinforced concrete slab over which will be constructed timber framed walls with brick veneer on ground floor. The first floor will be weather board cladding on timber frame with a lightweight timber framed roof structure with metal roof sheeting.

Demolition and construction will comply with appropriate sections of the Waste management Guidelines as stated in the waste management plan.

6.5.3.5 C9 WASTE MANAGEMENT

The proposal is consistent with the objectives O1-O7 of C9 Waste Management of the WDCP2011;

Objectives

- O1 *To facilitate sustainable waste management in a manner consistent with the principles of Ecologically Sustainable Development (ESD).*
- O2 *To achieve waste avoidance, source separation and recycling of household and industrial/commercial waste.*
- O3 *To design and locate waste storage and collection facilities which are convenient and easily accessible; safe; hygienic; of an adequate size, and with minimal adverse impacts on residents, surrounding neighbours, and pedestrian and vehicle movements.*
- O4 *To ensure waste storage and collection facilities complement waste collection and management services, offered by Council and the private service providers and support on-going control for such standards and services.*
- O5 *To minimise risks to health and safety associated with handling and disposal of waste and recycled material, and ensure optimum hygiene.*
- O6 *To minimise any adverse environmental impacts associated with the storage and collection of waste.*
- O7 *To discourage illegal dumping.*

Requirements

1. *All development that is, or includes, demolition and/or construction, must comply with the appropriate sections of the Waste Management Guidelines and all relevant Development Applications must be accompanied by a Waste Management Plan.*

The waste management of the demolition, construction and Ongoing operation of the Dwelling is considered to meet the Waste management guidelines of the norther

beaches. This is outlined in more detail in the Waste Management plan in accordance with Council's waste management guidelines

The development proposal is therefore considered compliant both with the objectives and requirements of clause C9 Waste Management of the WDCP2011

6.5.4 PART D DESIGN

6.5.4.1 D1 LANDSCAPED OPEN SPACE AND BUSHLAND SETTING

The proposal is consistent with the objectives of O1-O7 of D1 Landscaped Open Space of the WDCP2011;.

Objectives

- O1 To enable planting to maintain and enhance the streetscape.*
- O2 To conserve and enhance indigenous vegetation, topographical features and habitat for wildlife.*
- O3 To provide for landscaped open space with dimensions that are sufficient to enable the establishment of low lying shrubs, medium high shrubs and canopy trees of a size and density to mitigate the height, bulk and scale of the building.*
- O4 To enhance privacy between buildings.*
- O5 To accommodate appropriate outdoor recreational opportunities that meet the needs of the occupants.*
- O6 To provide space for service functions, including clothes drying.*
- O7 To facilitate water management, including on-site detention and infiltration of stormwater.*

Requirements

- 1. The required minimum area of landscaped open space is shown as 40% on the DCP Map Landscaped Open Space and Bushland Setting.*
- 2. The rear setback area is to be landscaped and free of any above or below ground structures.*

The proposal improves privacy, and increases landscaping from what is existing on the site. The proposed architectural plan shows opportunity for new landscape planting along the eastern boundary in a new garden bed along with a new garden bed at the proposed new entrance to the house. The proposed new set back on the east and south boundary allow for a 0.9m landscaping zone which currently does not exist on the site.

Details of landscaping and planting more particularly identified in the Proposed and Existing Landscape Plan drawing and arboriculture assessment report prepared by Elke Haege (AQF Level 5:), a suitably qualified arborist and landscape architect and concludes the following:

- a) The exempt trees proposed for removal theoretically could be removed without approval. With this in consideration, the proposal only really needs to consider the proposal of the removal of four Lilly Pilly shrubs which also are under the height definition of a tree.*

- b) *Notwithstanding, three replacement plants with new garden bed are proposed. The overall outcome in my opinion is that of neutral (net zero gain/loss).*
- c) *Overall, the proposal has little general and overall impact on the landscape generally with very minimal visual change as viewed from the street.*

Where numerical non-compliance with DCP Landscaping area, variation to the numerical controls is minor and the area of 20m² of landscaping is proposed to be added to the existing landscaping of the site.

Due to the site being under the minimum allotment size, minor numerical non-compliance is considered to be acceptable. Consequently, the proposed development should be seen as acceptable in respect to both the objectives and controls of D1 Landscaped open space and bushland setting.

6.5.3.2 D2 Private Open Space

The proposal is compliant with the relevant objectives of clause *D2 Private open space* of WDCP2011;

Objectives

- O1 To ensure that all residential development is provided with functional, well located areas of private open space.
- O2 To ensure that private open space is integrated with, and directly accessible from, the living area of dwellings.
- O3 To minimise any adverse impact of private open space on adjoining buildings and their associated private open spaces.
- O4 To ensure that private open space receives sufficient solar access and privacy.

Requirements

- 1. Residential development is to include private open space for each dwelling.
- 2. The minimum area and dimensions of private open space are as follows:

The proposed development has an existing generous west facing exterior deck area, with existing additional north and west facing balcony servicing the bedrooms on the first floor.

The new addition has no impact on the Private open space of the neighbouring properties.

6.5.3.4 D6 ACCESS TO SUNLIGHT

The proposal is considered to be consistent with the relevant objectives of *D6 access to sunlight* of WDCP2011;

Objectives

- O1 *To ensure that reasonable access to sunlight is maintained.*
- O2 *To encourage innovative design solutions to improve the urban environment and public open space.*
- O3 *To promote passive solar design and the use of solar energy.*

Requirements

1. *Development should avoid unreasonable overshadowing any public open space.*
2. *At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.*

The new addition as no impact on the Private open space of the neighbouring properties access to sunlight. The development application includes a Solar Access and Shadow Diagram study which confirm compliance with the objectives and specific requirements of 1 and 2.

6.5.3.5 D7 Views

The proposal is considered to be consistent with the relevant objectives of *D7 Views* of WDCP2011;

Objectives

- O1 *To allow for the reasonable sharing of views.*
- O2 *To encourage innovative design solutions to improve the urban environment.*
- O3 *To ensure existing canopy trees have priority over views.*

Requirements

1. *Development shall provide for the reasonable sharing of views.*

The new addition as no impact on views of the neighbouring properties and therefore is considered to be consistent with the objectives and requirements of D7.

6.5.3.6 D8 Privacy

Objectives

- O1 *To ensure the siting and design of buildings provides a high level of visual and acoustic privacy for occupants and neighbours.*
- O2 *To encourage innovative design solutions to improve the urban environment.*
- O3 *To provide personal and property security for occupants and visitors.*

Requirements

1. *Building layout should be designed to optimise privacy for occupants of the development and occupants of adjoining properties.*
2. *Orientate living areas, habitable rooms and windows to private open space areas or to the street to limit overlooking.*
3. *The effective location of doors, windows and balconies to avoid overlooking is preferred to the use of screening devices, high sills or obscured glass.*
4. *The windows of one dwelling are to be located so they do not provide direct or close views (ie from less than 9 metres away) into the windows of other dwellings.*
5. *Planter boxes, louvre screens, pergolas, balcony design and the like are to be used to screen a minimum of 50% of the principal private open space of a lower apartment from overlooking from an upper apartment.*

It is considered that the proposed addition will not unreasonably impact on the privacy of neighbouring properties. Views from side facing storage area at the ground floor level will be screened by side boundary fences.

The current window of the existing staircase currently overlooks No. 51 Amourin Street Private open Space. The Proposed new addition improves the Privacy of No. 51 Amourin St as there are no proposed windows on the east façade of the new addition.

Visual privacy is achieved to and from adjoining development by a variety of design responses, including the proposed new screening shrubs on the east boundary of the driveway area, separation distances, height of the new bedroom window sill, together with vertical privacy screens to the north façade of the new bedroom on the first floor.

Consequently, the proposed development is considered to be acceptable in respect to both the objectives and requirements of D8 Privacy.

6.5.3.7 D9 Building Bulk

Objectives

- O1 To encourage good design and innovative architecture to improve the urban environment.*
- O2 To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.*

Requirements

- 1. Side and rear setbacks are to be progressively increased as wall height increases.*
- 2. Large areas of continuous wall planes are to be avoided by varying building setbacks and using appropriate techniques to provide visual relief.*
- 3. On sloping land, the height and bulk of development (particularly on the downhill side) is to be minimised, and the need for cut and fill reduced by designs which minimise the building footprint and allow the building mass to step down the slope. In particular:*
 - The amount of fill is not to exceed one metre in depth.*
 - Fill is not to spread beyond the footprint of the building.*
 - Excavation of the landform is to be minimised.*
- 4. Building height and scale needs to relate to topography and site conditions.*
- 5. Orientate development to address the street.*
- 6. Use colour, materials and surface treatment to reduce building bulk.*
- 7. Landscape plantings are to be provided to reduce the visual bulk of new building and works.*
- 8. Articulate walls to reduce building mass.*

The proposed building height is well below the height restrictions and the building form facing the driveway is well articulated to reduce building mass. The proposal is consistent in building bulk, scale, setbacks and articulation of the adjacent developments. The proposal is respectful of the existing house and neighbouring context with different finishes on ground and first floor used to reduce bulk and scale. To the rear, the building setbacks are increasing with wall height, minimising adverse impacts to neighbouring properties. The proposal is consistent with both the objectives and the requirements of D9 Bulk and Scale.

Consequently, it is considered that building Bulk is acceptable.

6.5.3.8 D10 Building Colours and Materials

Objectives

- O1 *To ensure the colours and materials of new or altered buildings and structures are sympathetic to the surrounding natural and built environment.*

Requirements

1. *In highly visible areas, the visual impact of new development (including any structures required to retain land) is to be minimized through the use of appropriate colours and materials and landscaping.*
2. *The colours and materials of development on sites adjoining, or in close proximity to, bushland areas, waterways or the beach must blend in to the natural landscape.*
3. *The colours and materials used for alterations and additions to an existing structure shall complement the existing external building façade.*
4. *The holiday/fisherman shack character of the waterfront of Cottage Point is to be enhanced by the use of building materials which are sympathetic to the small timber and fibro cottages currently in existence on the waterfront. All buildings visible from the water are to utilise materials such as weatherboard, fibre cement, corrugated steel and timber. The use of masonry is discouraged.*

The proposed materials and finishes are chosen to match the existing house and to be considerate to the neighbouring properties. The colours and materials are detailed in the Materials and finishes schedule. The proposal is considered to meet the objectives and requirements of D10 Building Colours and Materials.

6.5.3.9 D11 Roofs

The proposal is compliant with the relevant objectives of clause *Roofs* of WDCP2011;

Objectives

- O1 *To encourage innovative design solutions to improve the urban environment.*
 O2 *Roofs are to be designed to complement the local skyline.*
 O3 *Roofs are to be designed to conceal plant and equipment.*

Requirements

1. *Lift overruns, plant and other mechanical equipment are not to detract from the appearance of roofs.*
2. *Roofs should complement the roof pitch and forms of the existing buildings in the streetscape.*
3. *Articulate the roof with elements such as dormers, gables, balconies, verandas and pergolas.*
4. *Roofs shall incorporate eaves for shading.*
5. *Roofing materials should not cause excessive glare and reflection.*
6. *Service equipment, lift overruns, plant and other mechanical equipment on the roof shall be minimised by integrating as many services, etc as possible into the building.*

The proposal is consistent with the relevant objectives O1-O3, providing a roof that complements the skyline, the existing house and context. The shape of the roof provides for minimal solar overshadowing to the neighbouring private open space to the east.

The proposal makes use of generous eaves on north of the proposal protecting the north glazed façade from mid-day sun. However, the eaves have been reduced on the east façade to reduce the impact of over shadowing to No. 51 Amourin.

Consequently, it is considered that the proposal is consistent with both the objectives and requirements of D11 Roofs.

6.5.3.10 D12 GLARE AND REFLECTION

The proposal is considered to be consistent with the relevant objectives of D12 *Glare and Reflection* of WDCP2011;

Objectives

- O1 *To ensure that development will not result in overspill or glare from artificial illumination or sun reflection.*
- O2 *To maintain and improve the amenity of public and private land.*
- O3 *To encourage innovative design solutions to improve the urban environment.*

Requirements

1. *The overspill from artificial illumination or sun reflection is to be minimised by utilising one or more of the following: Selecting an appropriate lighting height that is practical and responds to the building and its neighbours;*
 - a. *Minimising the lit area of signage;*
 - b. *Locating the light source away from adjoining properties or boundaries; and*
 - c. *Directing light spill within the site.*
2. *Any glare from artificial illumination is to be minimised by utilising one or more of the following:*
 - a. *Indirect lighting;*
 - b. *Controlling the level of illumination; and*
 - c. *Directing the light source away from view lines.*
3. *Sunlight reflectivity that may impact on surrounding properties is to be minimised by utilising one or more of the following:*
 - a. *Selecting materials for roofing, wall claddings and glazing that have less reflection e.g. medium to dark roof tones;*
 - b. *Orienting reflective materials away from properties that may be impacted;*
 - c. *Recessing glass into the façade;*
 - d. *Utilising shading devices;*
 - e. *Limiting the use of glazing on walls and glazed balustrades and avoiding the use of highly reflective glass; and*
 - f. *Selecting windows and openings that have a vertical emphasis and are significantly less in proportion to solid massing in walls.*

The proposed materials and colours have been chosen in order to minimize reflection and glare to neighbouring properties and provide a considerate response to the neighbouring context. Glass window on the north faced had been recessed as to reduce the potential for glare. The proposal is considered acceptable with regards to D12 Glare and Reflection.

6.5.3.10 D22 CONSERVATION OF ENERGY AND WATER

Objectives

- O1 *To encourage innovative design solutions to improve the urban environment.*
- O2 *To ensure energy and water use is minimised.*

Requirements

1. *The orientation, layout and landscaping of sites is to make the best use of natural ventilation, daylight and solar energy.*
2. *Site layout and structures are to allow for reasonable solar access for the purposes of water heating and electricity generation and maintain reasonable solar access to adjoining properties.*
3. *Buildings are to be designed to minimize energy and water consumption.*
4. *Landscape design is to assist in the conservation of energy and water.*
5. *Reuse of stormwater for on-site irrigation and domestic use is to be encouraged, subject to consideration of public health risks.*
6. *All development must comply with Council's Water Management Policy.*

The proposal is orientated to make best use of north light and natural cross ventilation where possible. All new glazing is proposed to be LowE glazing reducing the energy loads on the house in both winter and summer and improving the thermal quality.

7. CONCLUSION

The proposal is a considered response to the context and constraints of the site, existing development, the applicant's requirements and neighbouring properties.

The proposal meets the aims and objectives of the Warringah Local Environmental Plan 2011 and is consistent with the objectives and key strategies of the Warringah Development Control Plan 2011.

The proposal provides a high-quality architectural design which is consistent with the development objectives of the area, has minimal impact on the amenity of neighbouring properties and provides a high level of amenity to future occupants through socially responsible design.

Where non-compliance with the numerical requirements of the WDCP2011 occur, these are as a direct result of site context and site constraints and do not result in unreasonable adverse impact on neighbours or environment.

It is therefore considered that the development proposal will have a positive environmental impact and should be supported for conditional approval by Council as the consent authority.

David Dally

Director
B(Arch), M(Arch),
BEWONER STUDIO