

53
DP 215008

888
DP 235514

54
DP 215008

890
DP 235514

889
DP 235514
AREA 916.9m²
(DP 235514)



ABBREVIATIONS

- BL1 - BUILDING LINE LEVEL 1 (GROUND)
BL2 - BUILDING LINE LEVEL 2
BRW - BRICK RETAINING WALL
CO - CONCRETE
DR - DRAIN
FL - FLOOR LEVEL
GB - GARDEN BED
GFC - GLASS FENCE
GP - GRATED PIT
INV - INVERT
MBW - MASONRY BRICK WALL
MFC - METAL FENCE
N/A - NOT ACCESSIBLE
OUT - OUTLET
PAV - PAVERS
PP - POWER POLE
RI - ROOF RIDGE
RK - ROCK
RT - ROOF TOP
RRW - RENDERED RETAINING WALL
SLH - SEWER LAMP HOLE
SRW - STONE RETAINING WALL
SRWB - STONE RETAINING WALL BOTTOM
STR - STAIRS/STEP
SWP - STORM WATER PIT
TEL - TELECOMMUNICATION PIT
TF - TIMBER FENCE
TG - TOP OF GUTTER
TI - TILES
TK - TOP OF KERB
TRW - TIMBER RETAINING WALL
UC - UNCLASSIFIED SERVICE
WM - WATER METER
WTK - WATER TANK
WS1 - WINDOW SILL 1ST FLOOR
WT1 - WINDOW TOP 1ST FLOOR
WS2 - WINDOW SILL 2ND FLOOR
WT2 - WINDOW TOP 2ND FLOOR

W-B - WALL TO BOUNDARY

David McCulloch
Registered Surveyor
Surveyor ID: 125

GENERAL NOTES

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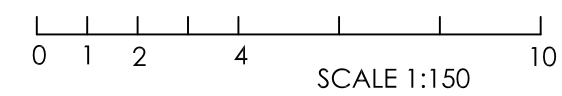
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THE RECORDS OF THE SERVICE AUTHORITIES HAVE NOT BEEN INVESTIGATED. ONLY THOSE SERVICES VISIBLE AT THE TIME OF SURVEY HAVE BEEN SHOWN.

DATUM: AUSTRALIAN HEIGHT DATUM (AHD)
ORIGIN: PM 8388 RL 94.231 AHD
SOURCE: NSW SPATIAL SERVICES (SCIMS)

- TR2 : TREE APPROX. 0.2Ø TRUNK 4 SPREAD & HEIGHT
TR3 : TREE APPROX. 0.3Ø TRUNK 6 SPREAD & HEIGHT
TR4 : TREE APPROX. 0.4Ø TRUNK 8 SPREAD & HEIGHT
TR5 : TREE APPROX. 0.5Ø TRUNK 10 SPREAD & HEIGHT
TR6 : TREE APPROX. 0.6Ø TRUNK 12 SPREAD & HEIGHT
TR10 : TREE APPROX. 1.0Ø TRUNK 20 SPREAD & HEIGHT



Boundary Identification +
Feature & Level Survey

LOT 889 IN DP 235514
53 LONDONDERRY DRIVE, KILLARNEY HEIGHTS, NSW

CLIENT: KATIE FINNEY	REF: 080422DF1
SCALE: 1:150 @ A2	DATE: 21-04-2022
DATUM: AHD	REVISION: -
ORIGIN OF LEVELS: PM 8388	SURVEY: DB LM
CONTOUR INTERVAL: N/A	DRAWN: LM
LOCALITY: KILLARNEY HEIGHTS	CHECKED: DM
LGA: NORTHERN BEACHES	SHEET No. 1 OF 1



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SYDNEY | BLUE MOUNTAINS | TWEED COAST