# 32 BADCOE ROAD CROMER

#### DEVELOPMENT APPLICATION

## ALTERATIONS + ADDITIONS - LOT 41 IN D.P. 237862

Glazing requirements				Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows	and glazed	doors					,		
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.						Z <sup>i</sup>	¥	FØ	
The following requirements must also be satisfied in relation to each window and glazed door:							×		
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.							<b>₩</b>		
Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.								[ <b>*</b>	
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.							✓	V	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.							✓	V	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.							¥		
Windows and glazed doors glazing requirements									
-	door Orientati	Marie Control of the			Shading device	Frame and glass type			
W1	S	2.52	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W4	N	8.04	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W5	N	4.2	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			

Glazing requirements					Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check		
Window / door no.	Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	dowing Distance (m)	Shading device	Frame and glass type			
W6	E	7.8	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W7	N	4.95	0	o	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			
W8	N	2	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W9	N	1.76	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			
W10	N	2.7	0	0	eave/verandah/pergola/balcony >=600 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)			

#### NCC-BCA 2021 COMPLIANCE SPECIFICATIONS:

- site preparation part 3.1 of NCC
- earthworks part 3.1.1 of NCC
- earth retaining structures part 3.1.2 of NCC
- drainage part 3.1.3 of NCC
- termite risk management part 3.1.4 of NCC
- footings & slab part 3.2 of NCC and AS2870
- masonry construction part 3.3 of NCC and AS3700
- framing part 3.4 of NCC
- sub floor ventilation part 3.4.1 of NCC
- roof + wall cladding, gutters & downpipes part 3.5 of NCC
- glazing part 3.6 of NCC and AS1288
- fire safety part 3.7 of NCC - smoke alarms - part 3.7.5 of NCC

- health + amenity part 3.8 of NCC wet areas + external waterproofing part 3.8.1 of NCC
- minimum room heights part 3.8.2 of NCC
- facilities part 3.8.3 of NCC
- light: natural and artificial part 3.8.4 of NCC
- ventilation & location of toilets part 3.8.5 of NCC
- sound insulation part 3.8.6 of NCC
- stair + ramp construction part 3.9.1 of NCC
- barriers + handrails part 3.9.2 of NCC
- ancillary provisions + additional construction requirements part 3.10 of NCC
- fencing & other provisions regs & AS1926
- demolition works AS2601
- construction in bushfire-prone areas part 3.10.5 of NCC
- construction of buildings in bushfire-prone areas AS 3959: 2018 including amendment 1
- energy efficiency part 3.12 of NCC

All proposed works to comply with 'Planning for Bushfire Protection 2019' as required under Section 4.14 of the Environmental Planning and Assessment Act 1979.

All proposed works are to satisfy requirements of AS 3959:2018 - Construction of Buildings in Bush Fire Prone Areas and the National Construction Code -Building Code of Australia 2021 (NCC-BCA 2021)

Refer to details provided within the Bushfire Assessment & Complaince Report 79BA - 2132 provided as part of this development application.

#### **DRAWING SCHEDULE:**

DA 00	Coversheet + Notes
DA 01	Site Analysis Plan
DA 02	Site/Roof Plan
DA 03	Lower Ground Floor Plan
DA 04	Ground Floor Plan
DA 05	First Floor Plan
DA 06	North Elevation
DA 07	South Elevation + Section AA
DA 08	West Elevation
DA 09	East Elevation
DA 10	Section BB
DA 11	9am Shadow Diagram
	Existing + Proposed
DA 12	12noon Shadow Diagram
	Existing + Proposed
DA 13	3pm Shadow Diagram
	Existing + Proposed
DA 14	Sediment + Erosion
	Control Plan
DA 15	Waste Management Plan
DA 16	Stormwater Concept Plan
	·

DEVELOPMENT **APPLICATION** PURPOSES ONLY

A - Development Application 18.10.2021 REVISIONS

HARRIET WEIR

PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer

**DRAWING COVERSHEET + NOTES** 

DATE	DRAWN	SCALE	DRAWING NO.
01.06.2021	HW	NTS	DA.00

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH **REGULATORY AUTHORITIES** REQUIREMENTS, AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTION CODE/ BUILDING CODE OF AUSTRALIA.

APPLICATION PURPOSES ONLY NORTH-EAST SUMMER BREEZES NORTH-EAST SUMMER BREEZES Boundary 17.68m NORTH JOO9 21:68 LOCAL exist. lawn and landscaping winter sun path LOCAL NORTH-EAST LOCAL SUMMER BREEZES VIEWS .575m exist. balcony new ground floor roof HOT SUMMER SOUTH-EAST floor roof Existing Dwelling
No.32/Badcoe Road DT 71.88 Lgt 41, DP 237862 HOT SUMME SUN SOUTH-EAST exist. garage WINTER WINDS exist. driveway A - Development Application 18.10.2021 VIEWS LOCAL VIEWS HARRIET WEIR Boundary 17.68m PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer BADCOE ROAD DRAWING SITE ANALYSIS PLAN PEDESTRIAN + VEHICLE ACCESS

DEVELOPMENT

DRAWN SCALE HW 1:200@A3

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All works to be carried out in accordance with the Building Code of Australia and relevant Australian Standards.

SITE CALCULATIONS		
	EXSITING	PROPOSED
Total Site Area	646.5 m2	646.5 m2
Min. Lot Size 600m2	646.5 m2	646.5 m2
Landscape Open Space in Bushland Setting 40%of site	277.7 m2/ 42.95%	277.7 m2 / 42.95% No Change
Private Open Space 60m2 (Min. 5m)	86 m2 +	86 m2 + No Change



PLANNING CONTROLS - NORTHERN BEACHES COUNCIL PROPOSED Zone R2 Low Density Residential Max. Building Height 8.5 metres 7.56 metres Side Setbacks Minimum 0.9 metres 1.51m east, 2.42m west Front Setback Minimum 6.5 metres Existing - 7.6 metres Rear Setback Minimum 6 metres 14.48 metres

All proposed works to comply with 'Planning for Bushfire Protection 2019' as required under Section 4.14 of the Environmental Planning and Assessment Act 1979.

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Refer to details provided within the Bushfire Assessment & Complaince Report 79BA - 2132 provided as part of this development application.

ALL DIMENSIONS TO BE VARIFIED AND CHECK MEASURED ON-SITE PRIOR TO CONSTRUCTION

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exist. lawn and landscaping exist. deck - exist. ground floor setback -existing privacy new ground exist. balcony screen to be retained floor roof exist. exist. new first balcony floor roof **Existing Dwelling** first floor No.32 Badcoe Rd setback Cromer Lot 41, DP 237862 exist, ground + first floor setback exist. garage exist. driveway Boundary 17.68m

BADCOE ROAD

Boundary 17.68m

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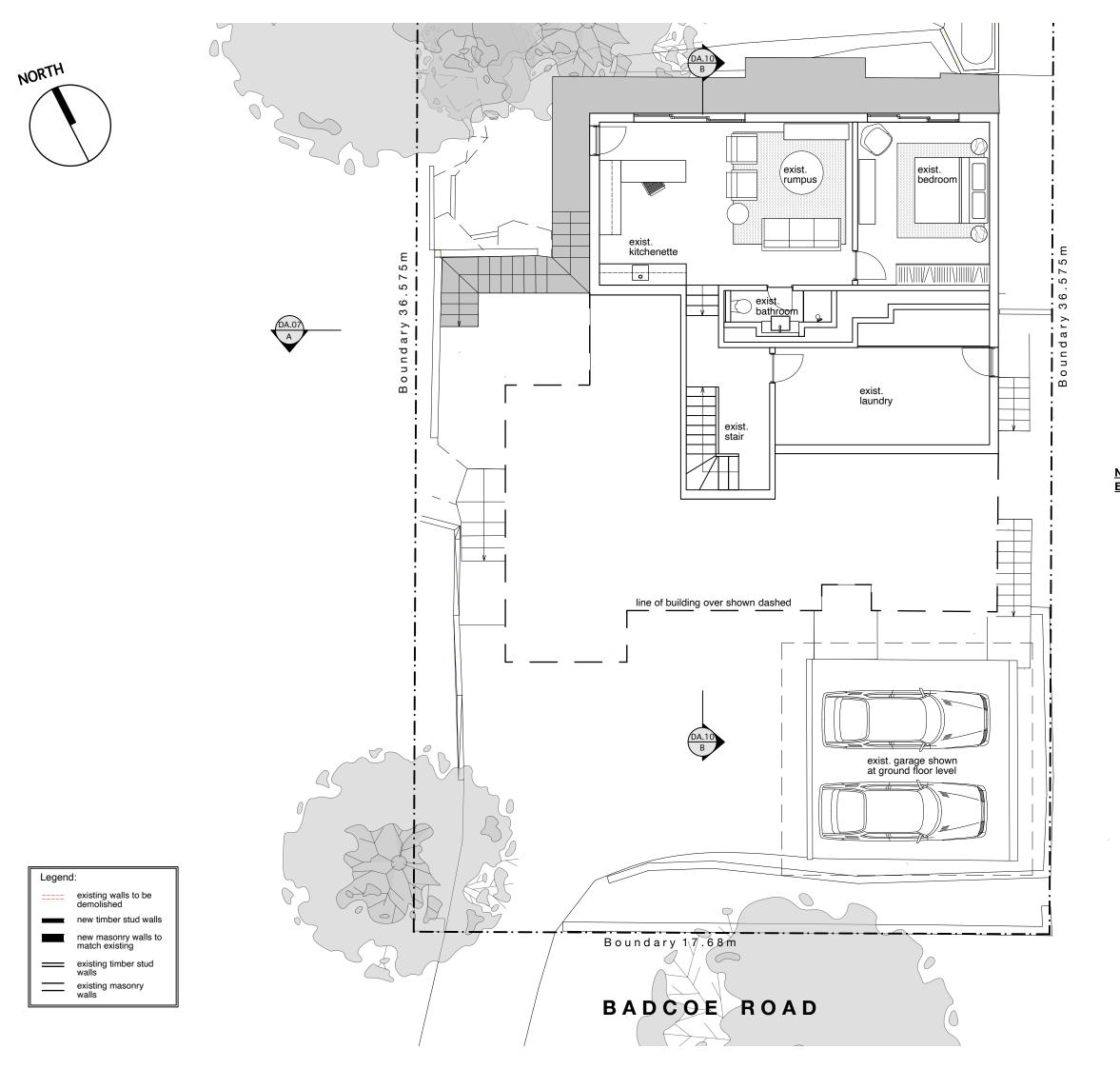
### HARRIET WEIR

PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Crome

DRAWING SITE/ ROOF PLAN

DRAWN SCALE HW 1:200@A3



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NOTE: NO CHANGE PROPOSED TO EXISTING LOWER GROUND FLOOR

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### HARRIET WEIR

PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454

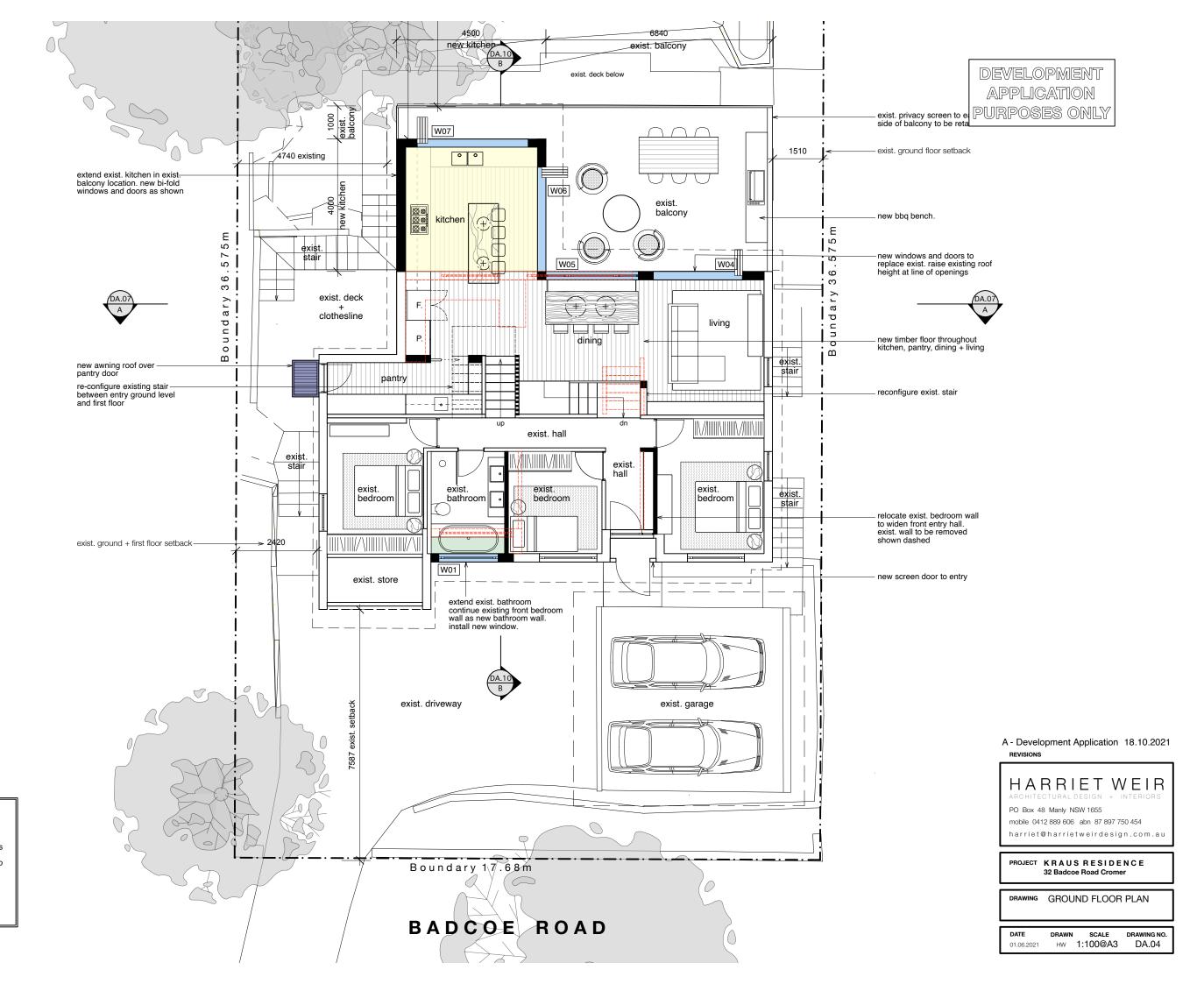
harriet@harrietweirdesign.com.au

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DRAWING LOWER GROUND FLOOR PLAN

**DRAWN SCALE DRAWING NO.**2021 HW 1:100@A3 DA.03





Legend:

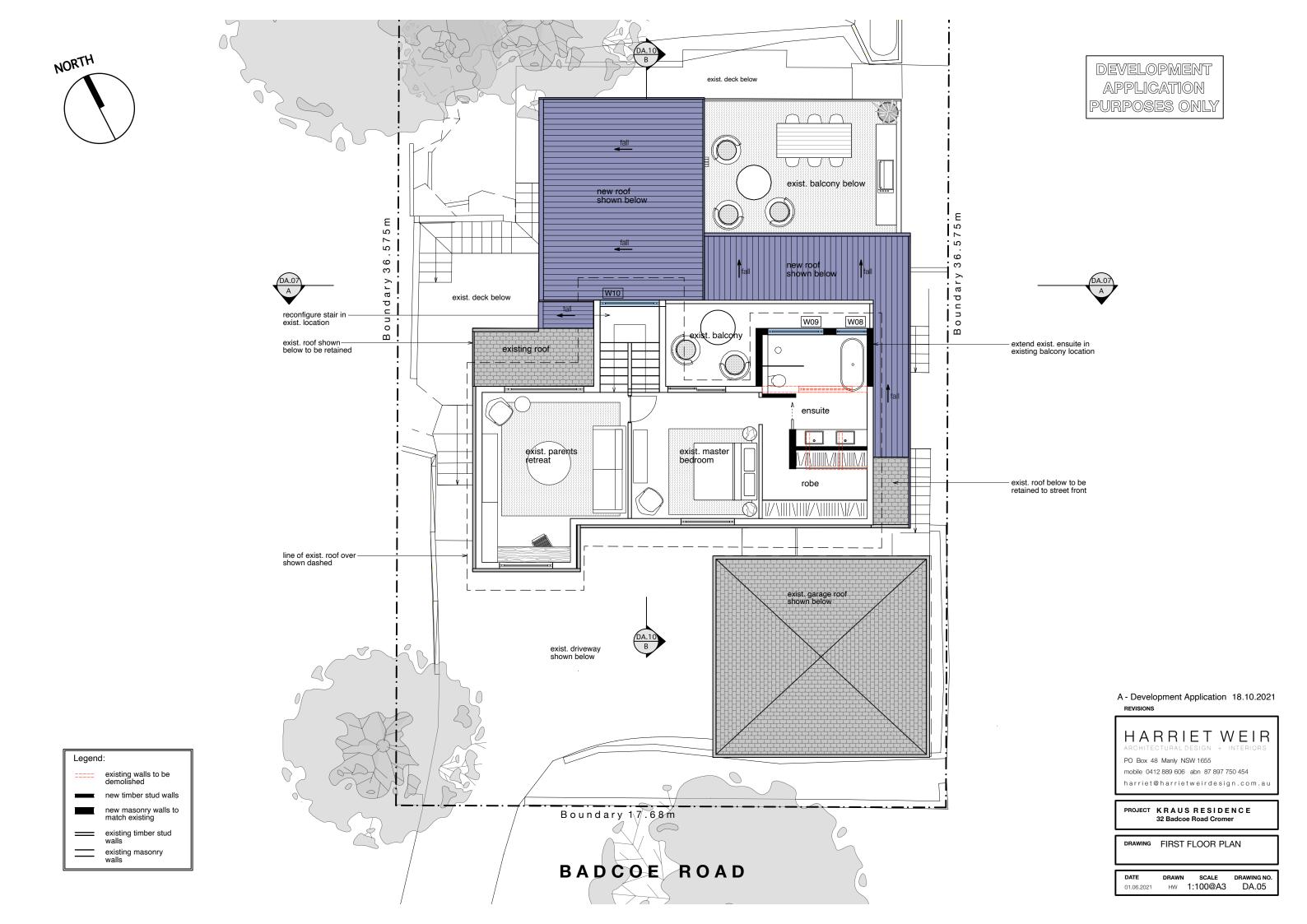
existing walls to be demolished

new timber stud walls

new masonry walls to match existing

existing timber stud walls

existing masonry



ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH **REGULATORY AUTHORITIES** REQUIREMENTS, AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTION CODE/ BUILDING

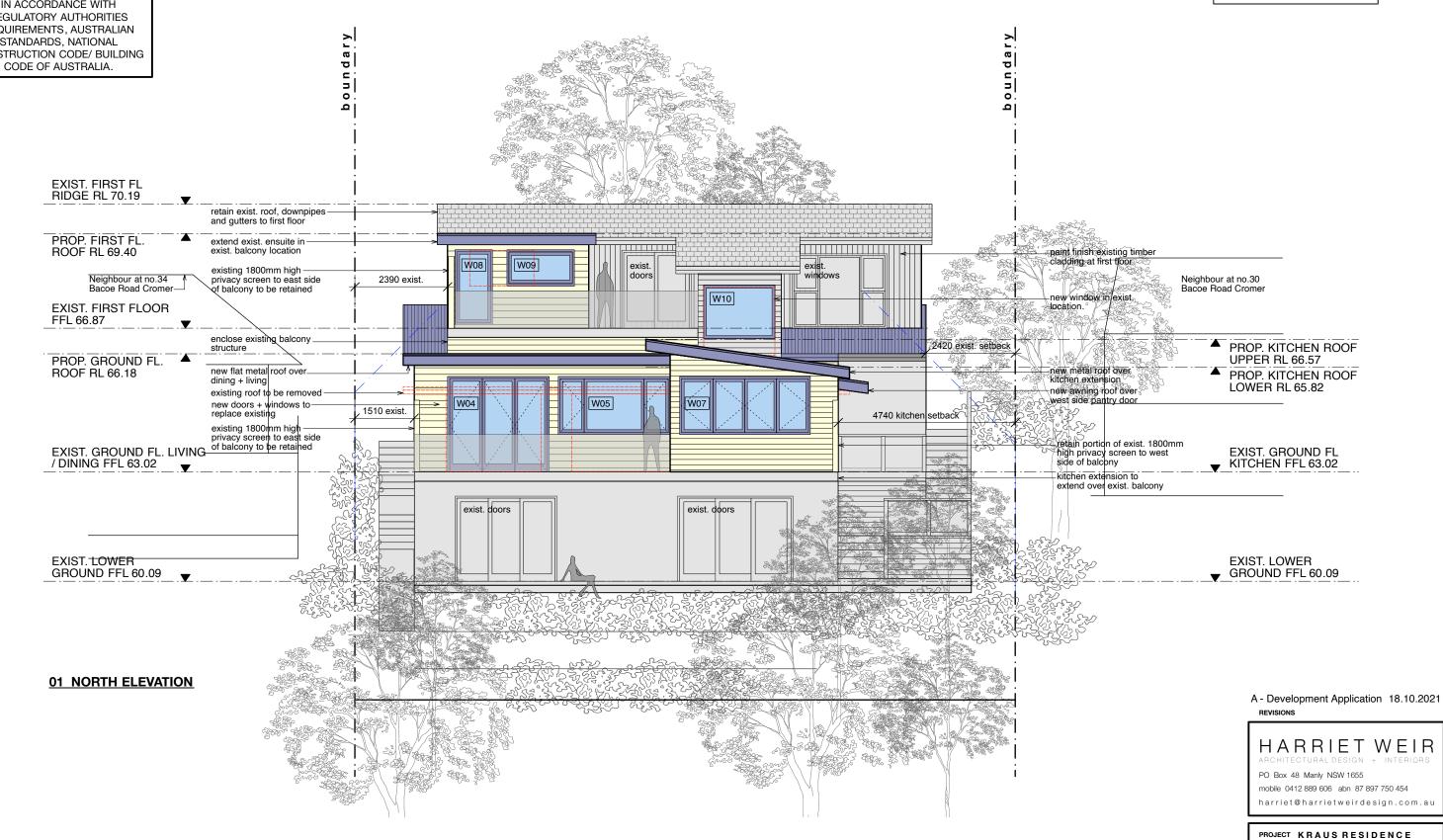
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32 Badcoe Road Cromer

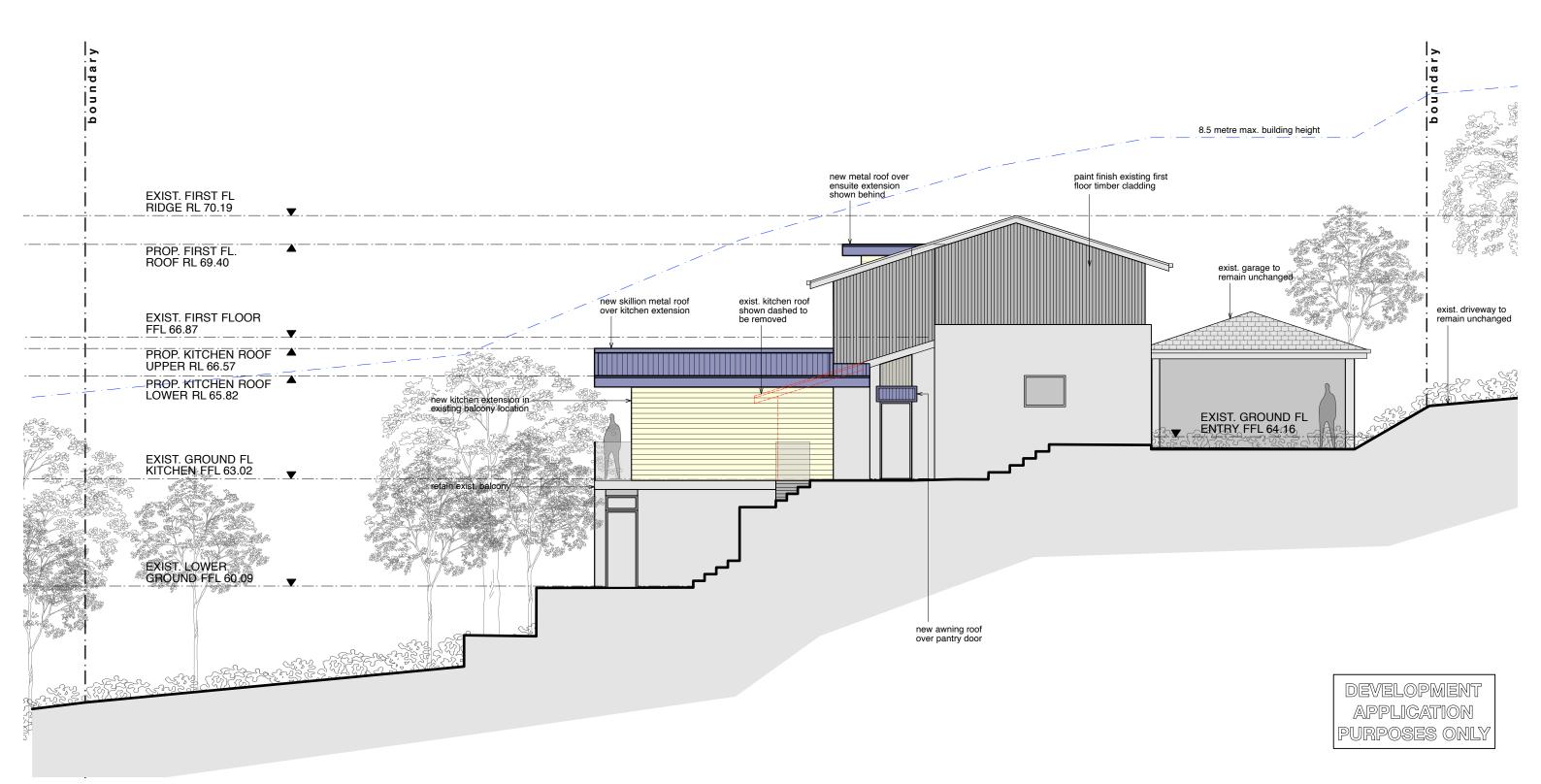
DRAWN SCALE HW 1:100@A3

DA.06

DRAWING NORTH ELEVATION







01 WEST ELEVATION

ALL DIMENSIONS TO BE VARIFIED AND CHECK MEASURED ON-SITE PRIOR TO CONSTRUCTION

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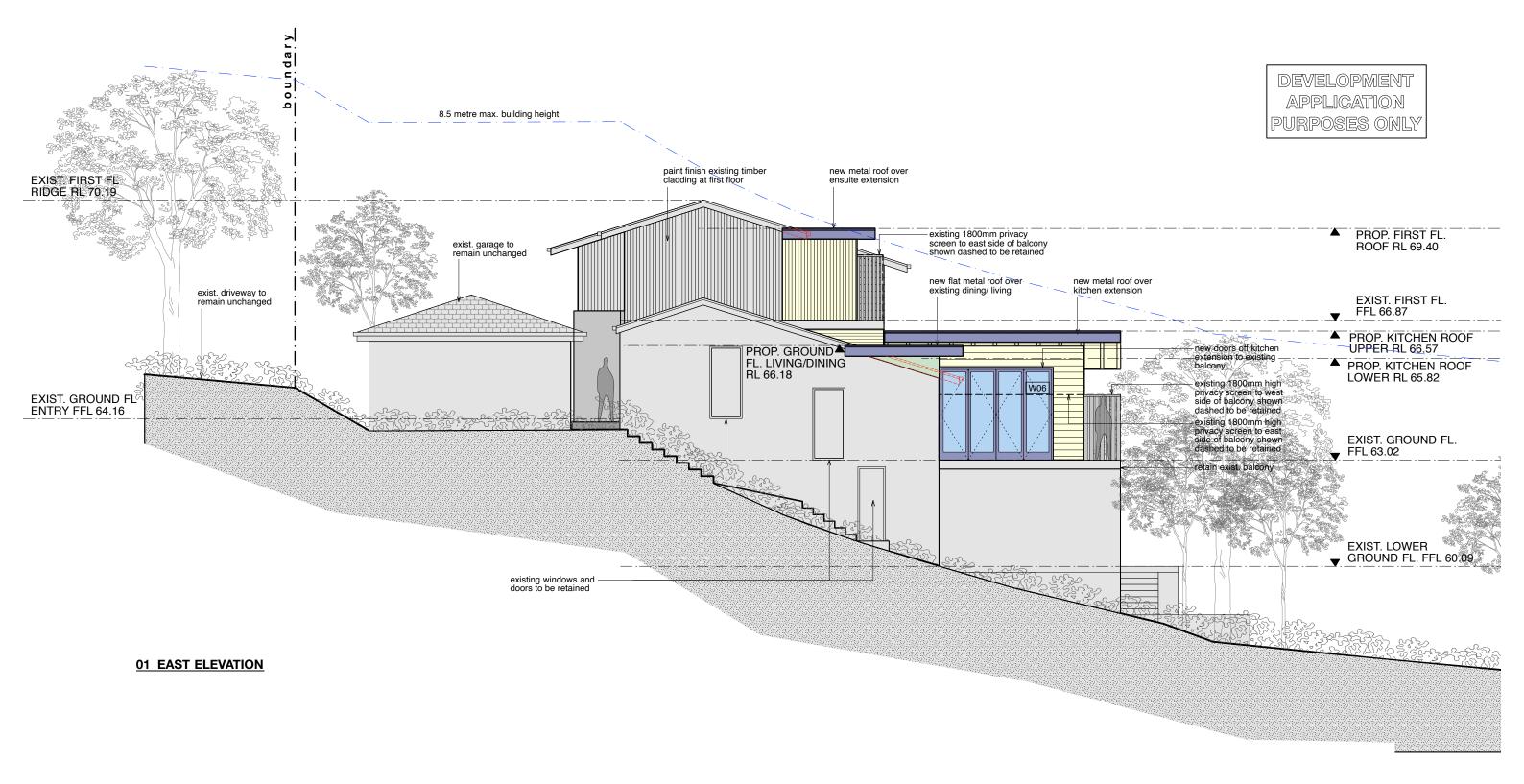
HARRIET WEIR

PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

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DRAWING WEST ELEVATION

DRAWN SCALE нw 1:100@A3 DA.08



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REQUIREMENTS, AUSTRALIAN
STANDARDS, NATIONAL
CONSTRUCTION CODE/ BUILDING
CODE OF AUSTRALIA.

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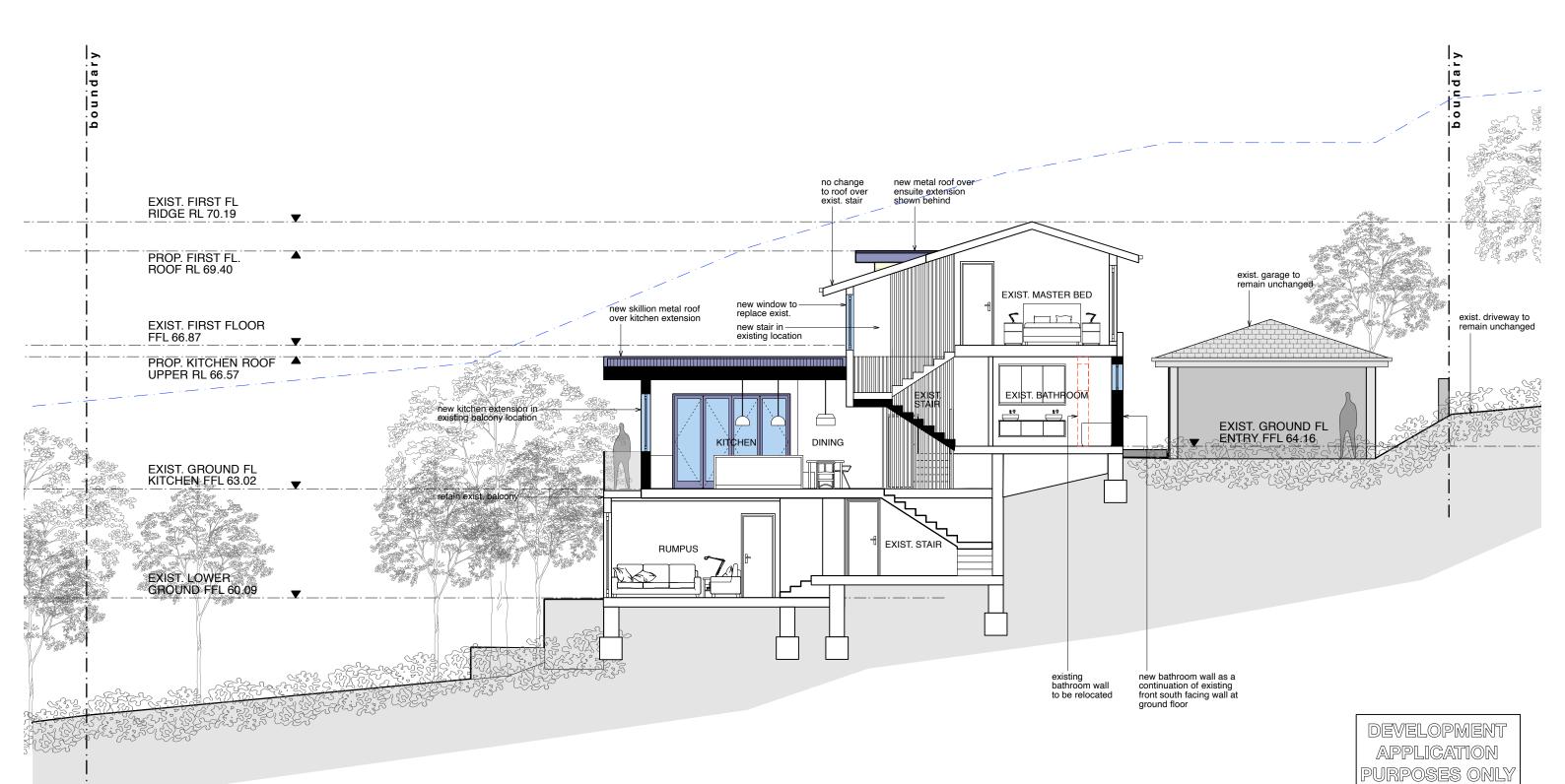
PO Box 48 Manly NSW 1655 mobile 0412 889 606 abn 87 897 750 454

harriet@harrietweirdesign.com.au

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DRAWING EAST ELEVATION

ATE DRAWN SCALE DRAWING NO 1.06.2021 HW 1:100@A3 DA.09



01 SECTION BB

ALL DIMENSIONS TO BE VARIFIED AND CHECK MEASURED ON-SITE PRIOR TO CONSTRUCTION

ALL WORKS TO BE CARRIED OUT
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REQUIREMENTS, AUSTRALIAN
STANDARDS, NATIONAL
CONSTRUCTION CODE/ BUILDING
CODE OF AUSTRALIA.

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ARCHITECTURAL DESIGN + INTERIOR PO Box 48 Manly NSW 1655

mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer

DRAWING SECTION BB

TE DRAWN SCALE DRAWING NO. 06.2021 HW 1:100@A3 DA.10

legend:

existing shadow

additional shadow

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Boundary 17.68m

BADCOE ROAD

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### HARRIET WEIR

PO Box 48 Manly NSW 1655

mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer

SHADOW DIAGRAMS 21ST JUNE - 9AM

 DATE
 DRAWN
 SCALE
 DRAWING NO.

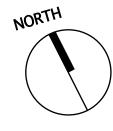
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 HW
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 DA.11

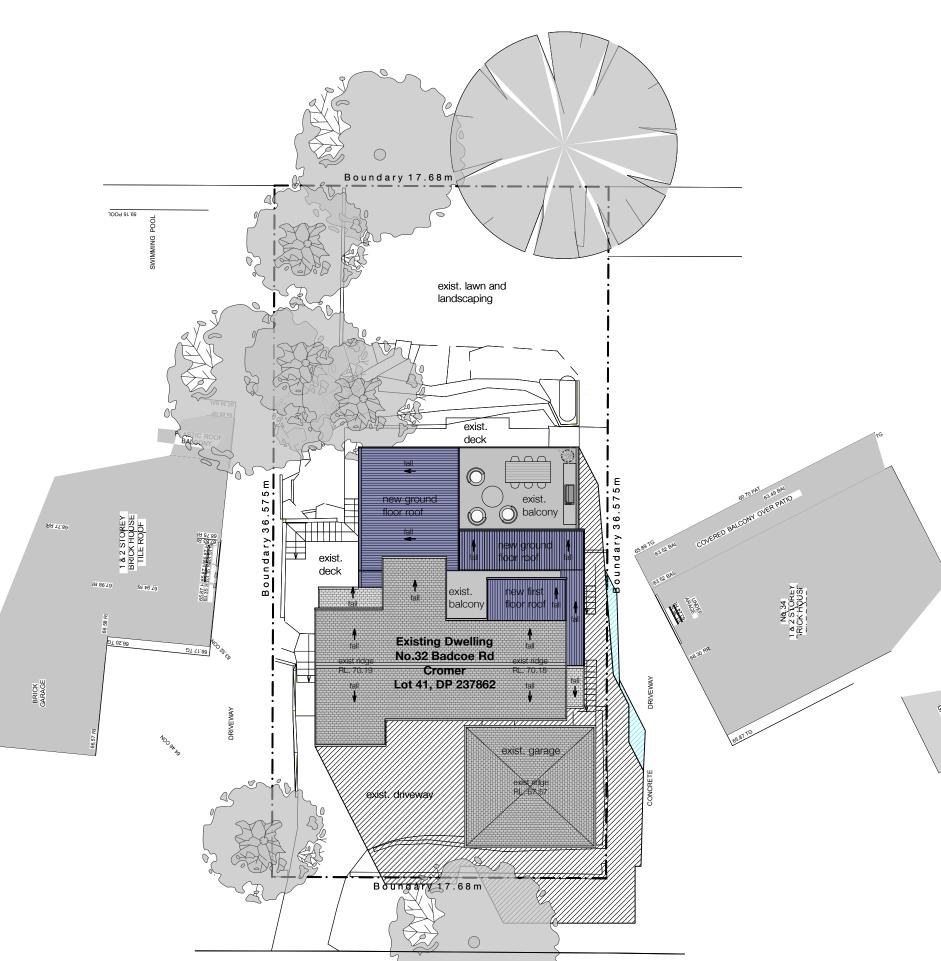
legend:

existing shadow

additional shadow

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BADCOE ROAD

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### HARRIET WEIR

ARCHITECTURAL DESIGN +
PO Box 48 Manly NSW 1655

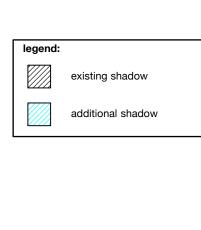
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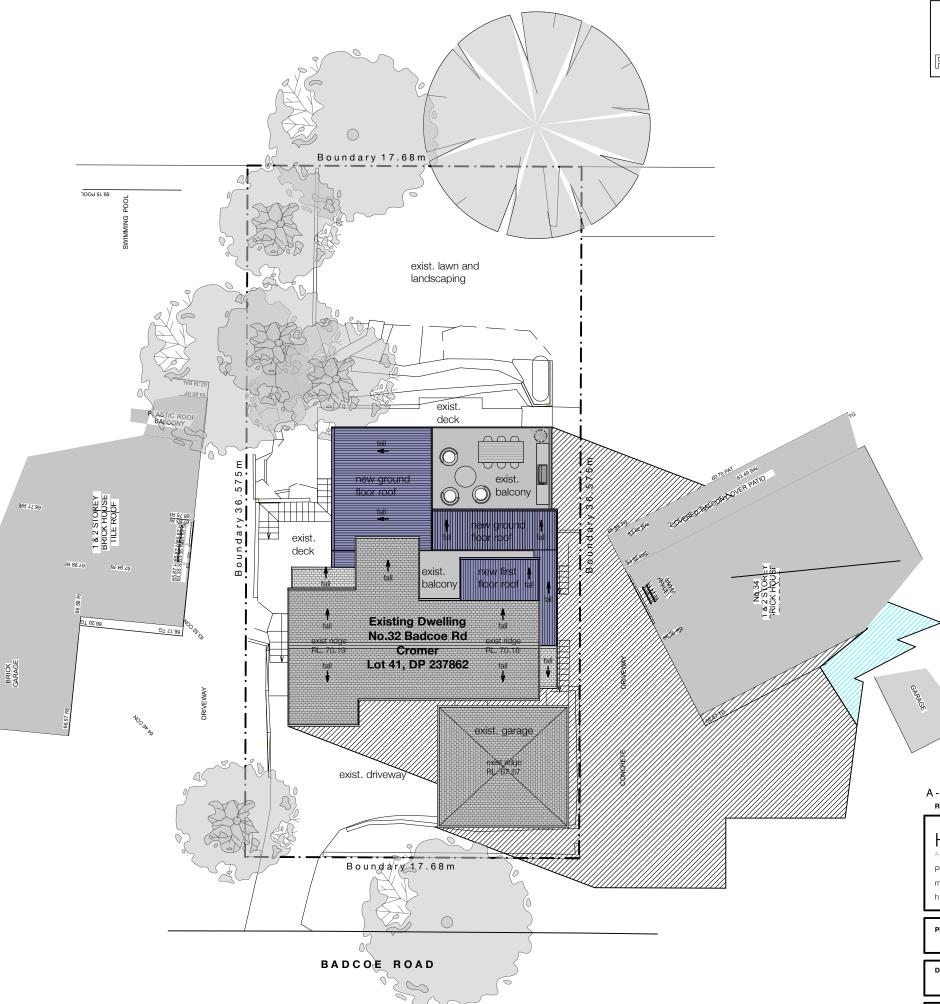
PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer

DRAWING SHADOW DIAGRAMS 21ST JUNE - 12noon

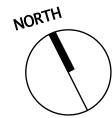
 DATE
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 SCALE
 DRAWING NO.

 01.06.2021
 HW
 1:200@A3
 DA.12





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### HARRIET WEIR

ARCHITECTURAL DESIGN + INTE PO Box 48 Manly NSW 1655

mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Cromer

DRAWING SHADOW DIAGRAMS 21ST JUNE - 3PM

 DATE
 DRAWN
 SCALE
 DRAWING NO.

 01.06.2021
 HW
 1:200@A3
 DA.13

#### **GENERAL NOTES**

- 1. Site works are not to commence until the sediment + control measures outline in this plan are installed and functional.
- 2. Topsoil from the work's area will be stripped and stockpiled for later use in landscaping the site.
- All material stockpiles are to be located within the sediment controlled area of the site and within the site boundaries unless otherwise arranged with council.
- 4. Material stockpiles will not be located on nature strips, footpaths, roadways, kerbs, access-ways or around or against trees or shrubs surrounding the site.
- Stormwater or other run-off leaving any work site shall satisfy the quality standards of the Protection of the Environment Operations Act 1997.
- Sediment control fences to be errected along boundaries where indicated for adequate containment during demolition + arrival + removal of all vegetation + building materials during construction
- 7. All disturbed areas shall be kept to a minimum and shall be stabilised prior to the removal of sediment controls + fences
- 8. All sediment and erosion control works should be checked at least once a week and after each rainfall event to ensure they are working effectively.
- Sediment, silt and erosion control measures may be modified and adjusted during demolition and prior to and during construction to suit varying site circumstances
- 10. All stockpiles to be clear from drains, gutters and footpaths to prevent waste run-off and contamination
- 11. Site preperation, maintenance and management will be the responsibility of the builder including all temporary and permanent site works. Works will be maintained to the highest building standards and to comply with all council, bca and other statuatory requirements
- 12. The sediment & erosion control shown is for development application purposes and the layout shown is to be regarded as the minimum level of site control measures required

**LEGEND** GENERAL FALL OF LAND SEDIMENT CONTROL FENCE **DIVERSION BARRIER** KERBSIDE INLET MATERIAL/ WASTE STOCKPILES Boundary 17.68m 29.15 POOL exist. lawn and landscaping exist. deck MATERIAL STOCKPILES new ground floor roof exist. deck new first exist. balcony floor roof **Existing Dwelling** DT 71.88 No.32 Badcoe Rd Cromer Lot 41, DP 237862 exist. garage SKIP BIN MATERIAL exist. driveway STOCKPILES CONSTRUCTION MATERIAL STORAGE WITHIN FXISTING GARAGE SPACE ANY KERBSIDE INLET LOCATED IN CLOSE Boundary 17.68m PROXIMITY TO THE SITE TO HAVE A DIVERSION BARRIER AS A PRECAUTIONARY WASTE TO BE SEPERATED SITE ENTRY. WASTE **MEASURE** COLLECTION INTO GENERAL OR INFORMATION HAZARDOUS BUILDING AND CONTACT STORAGE WASTE, RECYCLING AND DETAILS GREEN WASTE BADCOE ROAD

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### HARRIET WEIR

PO Box 48 Manly NSW 1655

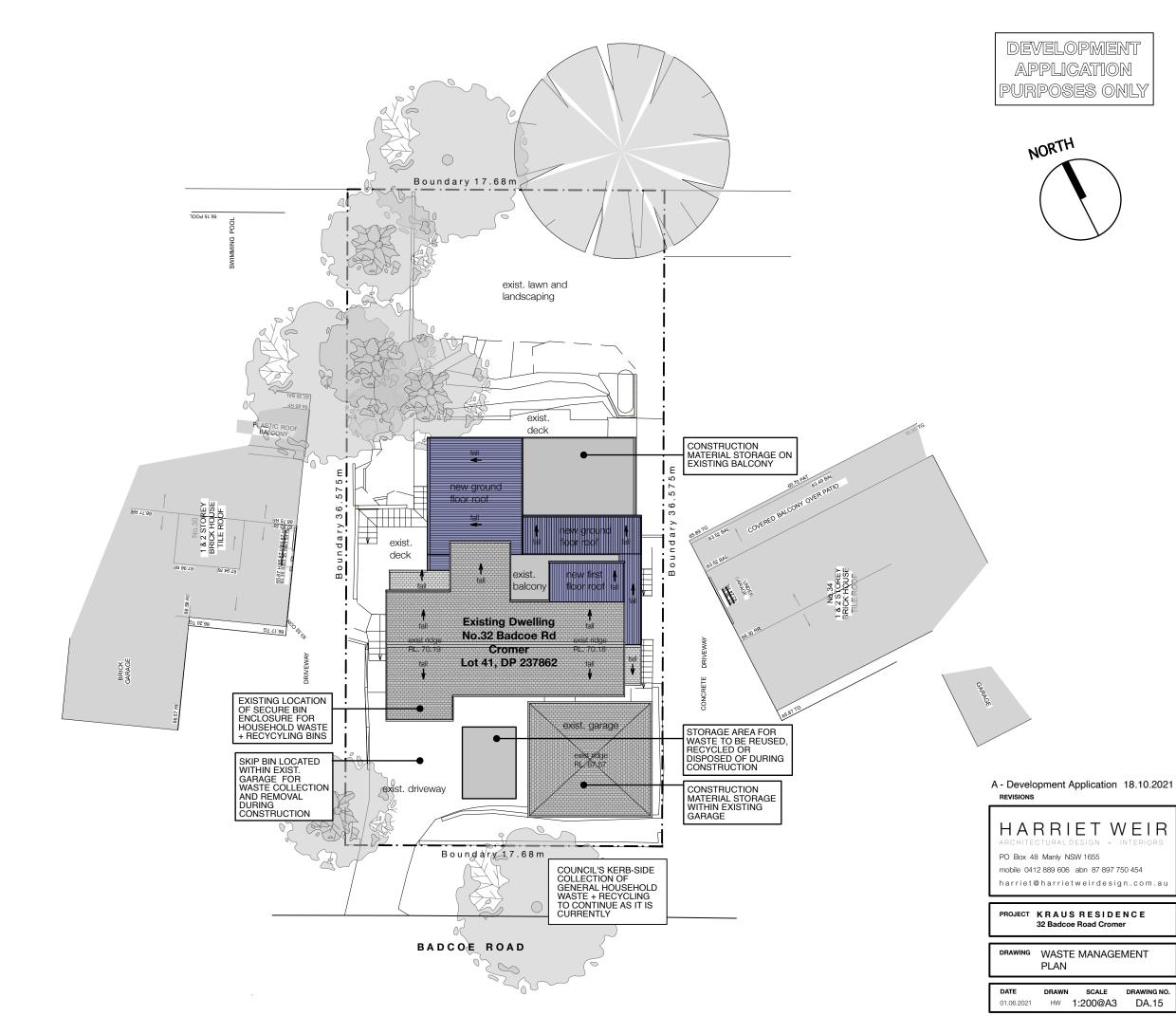
mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE
32 Badcoe Road Cromer

DRAWING SEDIMENT + EROSION CONTROL PLAN

TE DRAWN SCALE DRAWING NO. 06.2021 HW 1:200@A3 DA.14

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STORMWATER NOTES:

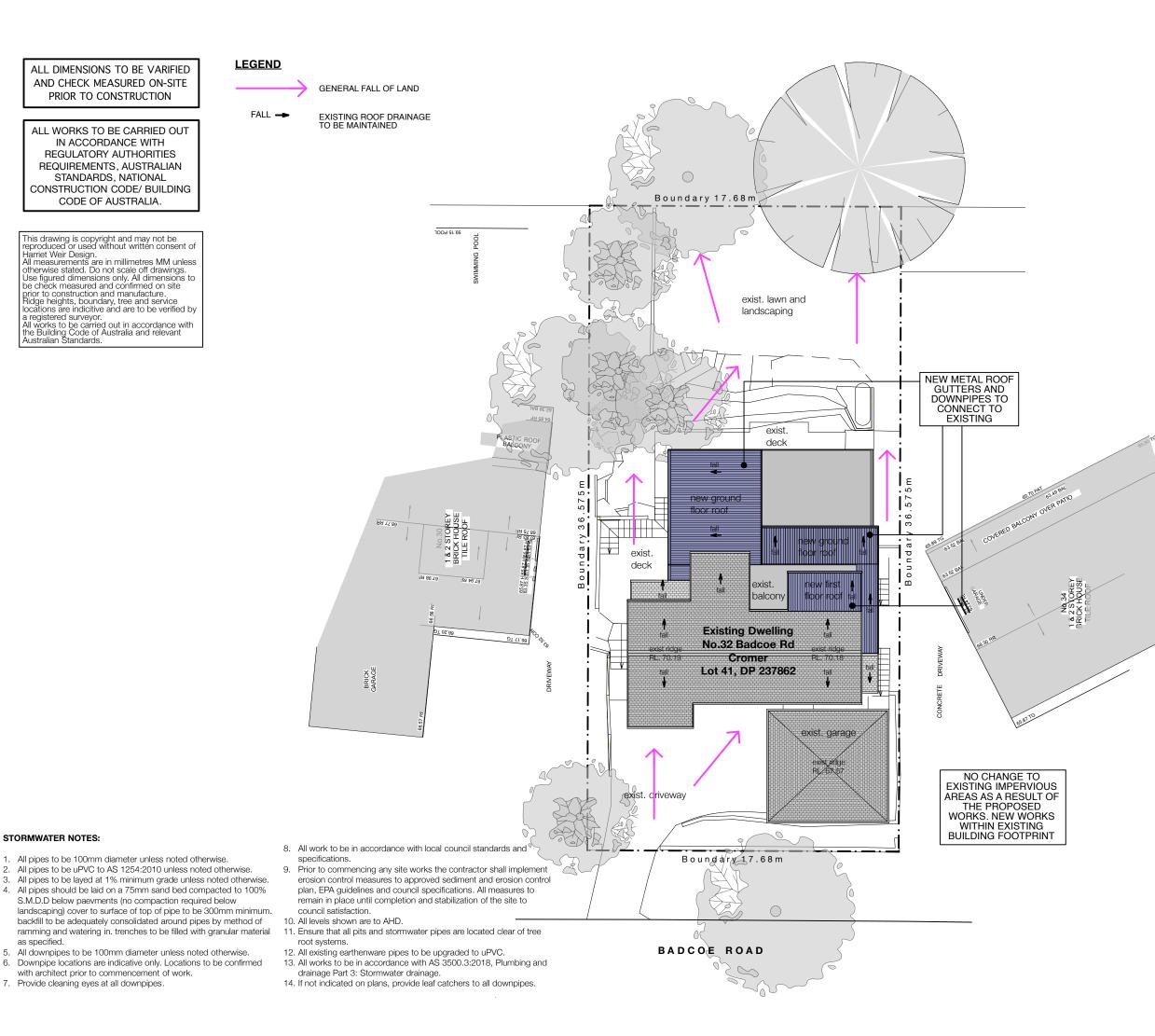
as specified.

All pipes to be 100mm diameter unless noted otherwise.

S.M.D.D below paevments (no compaction required below

with architect prior to commencement of work.

7. Provide cleaning eyes at all downpipes.



DEVELOPMENT



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### HARRIET WEIR

PO Box 48 Manly NSW 1655

mobile 0412 889 606 abn 87 897 750 454 harriet@harrietweirdesign.com.au

PROJECT KRAUS RESIDENCE 32 Badcoe Road Crome

DRAWING STORMWATER CONCEPT PLAN

> DRAWN SCALE DRAWING NO. HW 1:200@A3