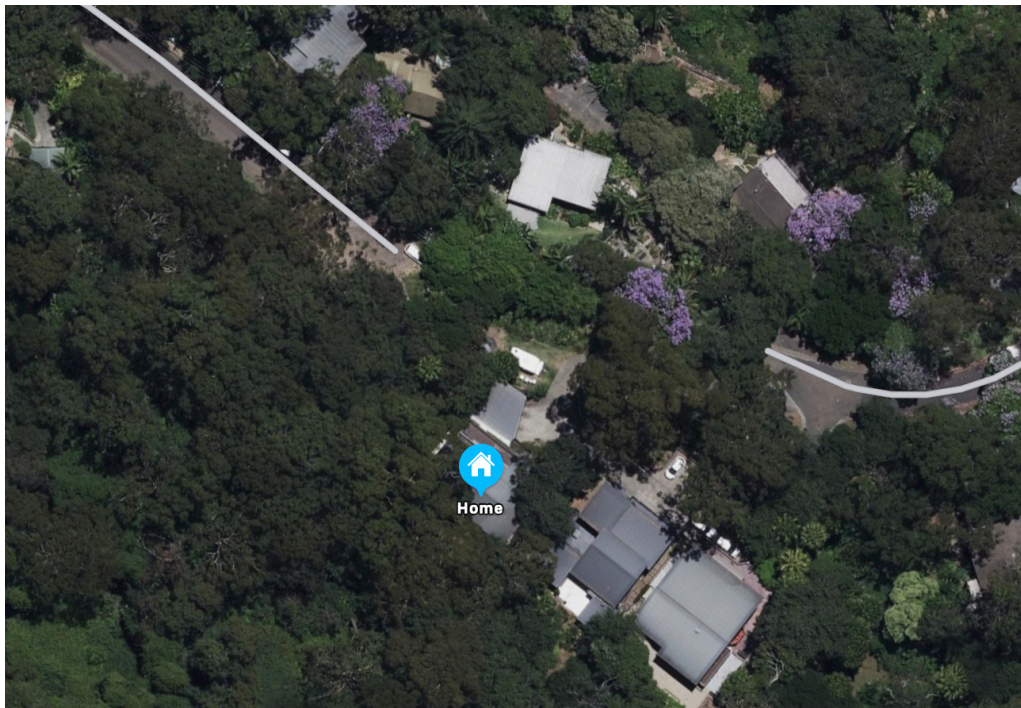


Statement of Environmental Effects

Proposed Alterations at 24 Cannes Drive Avalon



Prepared by

Lionel Curtin

Planning Controls

Northern Beaches Council - PLEP 2014

Northern Beaches Council - Pittwater 21 DCP 2014

Northern Beaches Council - Maps

Relevant Site Information

LGA Northern Beaches Council

Land area 1440m²

Minimum lot size 700 m²

Land Zoning Map R2 Low Rise Residential

Height of Buildings Maximum 8.5m

Acid Sulphate Soil Class 5

Geotechnical Hazard H1

Bushfire Prone Land Map

- Vegetation buffer around the existing footprint
- Vegetation Category 1 at the rear and southwest of the property.

Hazards

Geotechnical and Bushfire reports are required. These have been provided.

Reference Plans by Lionel Curtin dated March 2022, Ref NBC1122

Perspective Drawings Page 1

Site Plan Page 2

Floor Plans Page 3

Elevations Pages 4 & 5

Sections Page 6

Detailed survey dated 27th January 2022.

The Site

The site area is 1440m².

It is at the end of Cannes Drive in the cul-de-sac and is accessed via a common driveway.

It is a relatively steep site with the land falling along the western boundary from RL58000 at the tress behind the existing house to the corner RL44900. This is a fall of 13.1m over a length of 41 metres (1:3.13).

The site has a north easterly aspect with views over Pittwater towards Lion Island.

The Proposal

The proposal includes minor alterations to the existing house:

- Extending a roof over the existing northern deck.
- Adding a skillion roof to the southern side of the house to provide a covered area for entertainment and BBQ area.

Site Calculation

Site area 1440m²

Existing areas

Built upon area 484m² (includes driveways, garage, paths, steps and house)

Landscaped area 956m²

Increase in area

There is no increase in the built upon area

Building envelope

The proposal lies within the existing building envelope

Setbacks

Existing setbacks are unchanged

Shadow diagrams

Shadow diagrams have not been included as these minor works present negligible impact to adjoining property.

Privacy, views and overshadowing

There is no change to the privacy, views or overshadowing of neighbouring properties by the proposal.

Summary Pittwater 21 DCP 2014 and LEP 2014

The proposal consists of minor alterations to the house.

It is in keeping with the desired objectives of the DCP in that visual privacy of surrounding properties is maintained and unchanged. The same is true in terms of streetscape.

The effect of extending the existing roofline to the northern deck and adding a skillion roof to the southern side of the house has no impact on shadowing as it is completely negated by distance and existing foliage.

Likewise, no view sharing is impacted by any of the surrounding properties. Private open space will also remain though enhanced by the provision of covered area.

Zone objectives and the Land Use Table of LEP 2014 states that such a development be undertaken with consent.

As well, the proposed development should be consistent with the desired character of the locality.

It is believed that this project satisfies these requirements.

The minor nature of the project ensures that the existing character of the locality is maintained while improving the amenities of the owners.

Further considerations

Stormwater will dispersed into the existing street system.

Tank storage provided.

Sewer

The proposal does not need a new connection to Sydney Water.

Erosion and sediment

This is not applicable to the project as all construction is upon the existing fabric of the building.

Waste

Any waste will be taken to a recognised facility such as Kimbriki.

Use of Materials

Materials used are in keeping with the existing residence. Attention has also been paid to thermal efficiency through the use of materials, ventilation and cross breezes.

The use of natural light has been factored into the proposal.

Flora and Fauna

Flora and fauna are unaffected by the proposal.

Landscaping Plan

Please note that a Landscaping Plan has not been included as there are no changes to the existing.

Schedule of Finishes

All colours will be in keeping with the existing colour scheme of the house.



Please refer to the photo gallery on the following page.

Photo Gallery



Above:

View from public footpath

Right:

Existing Northern deck.
Roof to be extended.



Photo Gallery



Above:

Extend roof over existing deck.

Right:

Proposed location of skillion roof for undercover entertainment area.

