

Job No 2005/307

Wednesday, 2 April 2008

Pittwater Council,
PO Box 882,
Mona Vale, NSW 1660

Attention General Manager

**RE Construction Certificate No 05/307/04
6-14 Macpherson Street, Warriewood**

Please find attached a copy of Construction Certificate 05/307/04 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(b) and 81A(2) of the Environmental Planning and Assessment Act 1979

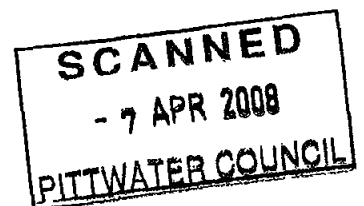
Please find attached a cheque in the amount of \$30 00 payable for the registration of the Construction Certificate

Can you please forward SWP a receipt for the acknowledgment of the lodgement cheque

If you have any queries please do not hesitate to contact me on (02) 9283 6555

Regards,


Michael Hatzinikolis
Steve Watson & Partners





STEVE WATSON
& PARTNERS

CONSTRUCTION CERTIFICATE

LEVEL 5 432 KENT STREET SYDNEY NSW 2000
TEL +61 2 9283 6555 FAX +61 2 9283 8500
sydney@swpartners.com.au
www.swpartners.com.au
ABN 48 102 366 576

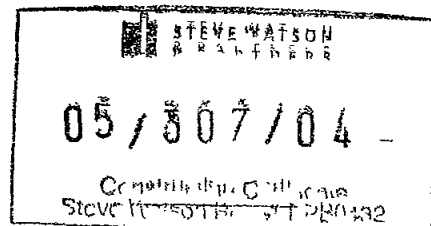
Construction Certificate No. 05/307/04

I, Steve Watson, certify that work completed in accordance with documentation accompanying the application for this certificate (with such modifications verified by me as may be shown on that documentation) will comply with the requirements of this Regulation as are referred to in section 81A (5) of the Environmental Planning and Assessment Act 1979

Applicant	Name Anglican Retirement Villages, Diocese of Sydney Address PO Box 284 Suburb Castle Hill State NSW Postcode 1765
Location of the Property	Address 6-14 Macpherson Street Suburb Warnewood State NSW Postcode 2102 Real Property Description Lot B DP400488, Lot 22 DP5464, Lot B DP358765, Lot B DP345528, PT Lot 1 DP208149, PT Lot 3 DP579309, PT Lot 3 DP942319, PT Lot 4 DP579309
Building description	Residential Aged Care Facility, basement carpark and 2 storey age care accommodation
Building Code of Australia Classification	Class 7a & 9c
Date of Receipt	Date Received 31st March 2008
Determination	Approved Date of Determination 2nd April 2008
Development Consent	Development Consent Number 0102/05 & S96 modifications Council Pittwater Date of Determination 6th April 2006 & 24th October 2007, 22nd December 2006, 8th January 2007 & 24th October 2007 and 8th February 2008

Attachments

- 1 Plans and specifications endorsed by this certificate
- 2 Fire safety schedule



Steve Watson

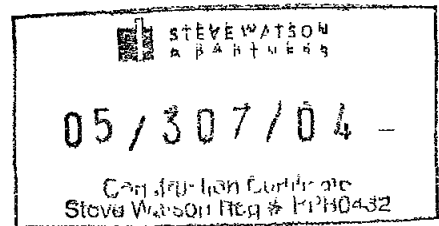
Accreditation Body **BPB**

Accreditation no **BPB0432**

Date of Endorsement **Wednesday, 2 April 2008**

Design documentation approved for Construction Certificate 05/307/04 for Residential Aged Care Facility, 6-14 Macpherson Street, Warneewood

Drawing No	Drawing Title	Revision	Date	Drawn by
A201	Basement Floor Plan	A	13 09 07	Merrin and Cranston
A202	Ground Floor Plan	A	13 09 07	Merrin and Cranston
A203	First Floor Plan	A	13 09 07	Merrin and Cranston
A501	Elevations	A	13 09 07	Merrin and Cranston
A502	Sections	A	13 09 07	Merrin and Cranston
A503	Sections	A	13 09 07	Merrin and Cranston





STEVE WATSON
& PARTNERS

APPLICATION FOR CONSTRUCTION CERTIFICATE

LE PL 400 KE PL 116-11 5/1 46/ N 1 2010
TE +61 2 2073 5051 FAX +61 2 92 85 1
SYDNEY NSW 1588
C/S 2008-2009 JJ
APR 45 1 37 75

PART 1 Application and Site Details

Applicant

It is important that we are able to contact you if we need more information

Please give us as much detail as possible

Mr Mrs Miss Ms Other COMPANY

Surname (or Company) ANGELICAN RETIREMENT VILLAGES, DIOCESE OF SYDNEY
Given names (or ABN) 39 922 848 563

Address 60 MICHAEL LOCKWOOD - PROJECT MANAGER - PO BOX 284
CASTLE HILL State NSW Post Code 1765

Phone (02) 9421 5333 Fax (02) 9421 2217

Mobile 0409 072 664 E mail michael_lockwood@arv.org.au

Please ensure you sign the declaration in Part 3 of this application

Owner's Consent

Every owner of the land must sign this form

If the owner is a company an authorised director must sign the form

Where the works are being carried out in a strata titled building the consent of the Body Corporate must be provided

Surname (or Company) ANGELICAN RETIREMENT VILLAGES, DIOCESE OF SYDNEY

Given names (or ABN) 39 922 848 563

Address PO BOX 284 CASTLE HILL
State NSW Post Code 1765

Phone (02) 9421 5333 Fax (02) 9421 2217

Mobile _____ E mail michael_lockwood@arv.org.au

As owner of the land to which this application relates I consent to this application I also consent for SWP staff to enter the land to carry out inspections relating to this application

Signature(s) Date 28 / 3 / 08

Without the owner's consent we will not accept the application This is a very strict requirement for all applications. If you are signing on the owner's behalf as the owner's legal representative you must state the nature of your legal authority and attach documentary evidence (eg Power of attorney executor trustee company director etc)

Location of the Property

We need this to correctly identify the land

Address 6-14 MATHERSON STREET WARRIEWOOD NSW
Post Code 2102

Real Property Description LOT B DP 400488, LOT A DP 400488, LOT 22 DP 5464
(eg Lot/DP/Section etc) LOT B DP 358765, LOT A DP 358765, PT LOT B

DP 345528, PT LOT 1 DP 208149, PT LOT 3 DP 579309, PT LOT 3

The real property description is mandatory these details are shown on your rate notices property deeds etc DP 942319,
PT LOT 4 DP 579309



PART 2 Work Description

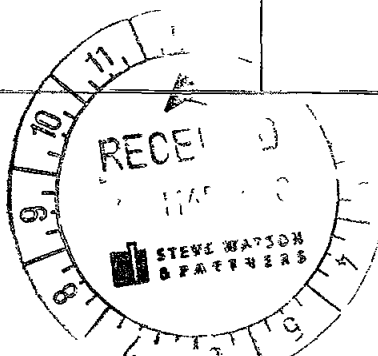
<p>Description of Work</p> <p><i>Please describe briefly everything that you want approved</i></p>	<p>Building Work</p> <p>119 BED RESIDENTIAL AGED CARE FACILITY, (BACF), BASEMENT CARPARK & AUXILIARY FACILITIES WITHIN BASEMENT, GROUND FLOOR ADMINISTRATION, PORCH COCHERE & ASSOCIATED EXTERNAL WORKS INCLUDING ROAD WORKS</p>
<p>Estimated Cost of Work (inclusive of GST)</p>	<p>\$ 25,100,000.00</p>
<p>Development Consent</p>	<p>Development Consent No _____</p> <p>Date of Determination _____</p>
<p>Building Code of Australia Classification</p>	<p>BCA Classification <u>5, 7a & 9c</u></p>
<p>Principal Contractors Details</p> <p><i>Required for all projects</i></p>	<p>Name <u>ST HILLIERS</u></p> <p>Address <u>GPO BOX 5370 SYDNEY NSW 2001</u></p> <p>Contact Number <u>(02) 9259 5200</u></p>

PART 3 Declaration

ALL THE DETAILS SOUGHT IN THE CHECKLIST IN PART 5 MUST BE PROVIDED

THE COMPLETED CHECKLIST MUST BE SUBMITTED WITH THIS APPLICATION. FAILURE TO PROVIDE THE REQUIRED DOCUMENTATION OF AN ACCEPTABLE STANDARD WILL RESULT IN YOUR APPLICATION BEING RETURNED

<p>Declaration</p> <p><i>If the applicant is a company or strata title body corporate a director or authorised delegate must sign this declaration</i></p>	<p>I apply for approval to carry out the development or works described in this application. I declare that all the information in the application and checklist is to the best of my knowledge true and correct.</p> <p>I also understand that if the information is incomplete the application may be delayed or rejected or more information may be requested. I acknowledge that if the information provided is misleading any approval granted may be void.</p> <p>Signature <u>[Signature]</u> Date <u>28, 03, 08</u></p>
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PART 4 Schedule to Application for a Construction Certificate

Please complete this schedule. The information will be sent to the Australian Bureau of Statistics.

All new buildings

Please complete the following:

- Number of storeys (including underground floors)
- Gross floor area of new building (m²)
- Gross site area (m²)

3 + ROOFTOP PLANT
9820
-

Residential buildings only

Please complete the following details on residential structures:

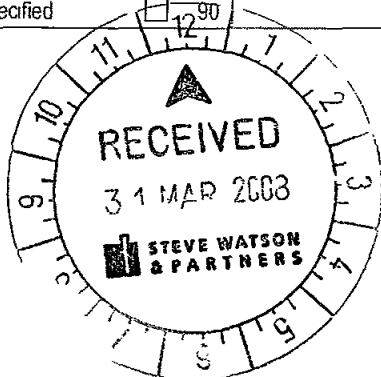
- Number of dwellings to be constructed
- Number of pre-existing dwellings on site
- Number of dwellings to be demolished
- Will the new dwelling(s) be attached to other new buildings?
- Will the new building(s) be attached to existing buildings?
- Does the site contain a dual occupancy?
(NB dual occupancy = two dwellings on the same site)

Yes <input type="checkbox"/> No <input type="checkbox"/>	
Yes <input type="checkbox"/> No <input type="checkbox"/>	
Yes <input type="checkbox"/> No <input type="checkbox"/>	

Materials – residential buildings

Please indicate the materials to be used in the construction of the new building(s):

Walls	Code	Roof	Code	Floor	Code	Frame	Code
Brick (double)	<input type="checkbox"/> 11	Tiles	<input type="checkbox"/> 10	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40
Brick (vener)	<input type="checkbox"/> 12	Concrete or slate	<input type="checkbox"/> 20	Timber	<input type="checkbox"/> 40	Steel	<input type="checkbox"/> 60
Concrete or stone	<input type="checkbox"/> 20	Fibre cement	<input type="checkbox"/> 30	Other	<input type="checkbox"/> 80	Aluminium	<input type="checkbox"/> 70
Fibre cement	<input type="checkbox"/> 30	Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90	Other	<input type="checkbox"/> 80
Timber	<input type="checkbox"/> 40	Aluminium	<input type="checkbox"/> 70			Not specified	<input type="checkbox"/> 90
Curtain glass	<input type="checkbox"/> 50	Other	<input type="checkbox"/> 80				
Steel	<input type="checkbox"/> 60	Not specified	<input type="checkbox"/> 90				
Aluminium	<input type="checkbox"/> 70						
Other	<input type="checkbox"/> 80						
Not specified	<input type="checkbox"/> 90						



PART 5 Checklist

Where relevant have you provided/completed the following

	Yes	Not Relevant
• 4 copies of plans elevations and sections	<input type="checkbox"/>	<input type="checkbox"/>
• 4 copies of specifications	<input type="checkbox"/>	<input type="checkbox"/>
• List of any existing and proposed fire safety measures (Refer to the Fire Safety Schedule)	<input type="checkbox"/>	<input type="checkbox"/>
• Evidence of Home Building Act requirements satisfied	<input type="checkbox"/>	<input type="checkbox"/>
• Evidence that Long Service Levy has been paid	<input type="checkbox"/>	<input type="checkbox"/>
• Schedule to application for a construction certificate is completed	<input type="checkbox"/>	
• Owners consent	<input type="checkbox"/>	
• Applicants signature	<input type="checkbox"/>	

PART 6 Notes for Completing Application for a Construction Certificate

The following information must accompany applications for a Construction Certificate for Building Work

- 1 The ABS schedule is required to be completed for the purposes of providing information to the Australian Bureau of Statistics
- 2 Copies of compliance certificates relied upon
- 3 Four (4) copies of all plans and specifications must be submitted with your application. Plans for the building must be drawn to a suitable scale and consist of a general plan and a clock plan. The general plan of the building is to
 - a) Show a plan of each floor section
 - b) Show a plan of each elevation
 - c) Show the levels of the lowest floor and of any yard or unbuilt on area belonging to that floor and the levels of the adjacent ground
 - d) Indicate the height, design, construction and provisions for fire safety and fire resistance
- 4 Where proposed building work involves any alteration or addition to or rebuilding of an existing building the plan is to be coloured or otherwise marked to distinguish the proposed work to be approved
- 5 Where the proposed building work involves a modification to previously approved plans and specifications the general plans must be coloured or marked up to adequately distinguish the modifications
- 6 The specification is
 - a) To describe the construction and materials of which the building is to be built and the method of drainage, sewerage and water supply
 - b) State whether the materials proposed to be used are new or second hand and give particulars of any second hand materials used
- 7 Where the application involves an alternative solution to meet the Performance Requirements of the BCA, the application must also be accompanied by
 - a) Details of the Performance Requirements that the alternative solution is intended to meet and
 Details of the assessment methods used to establish compliance with those Performance Requirements
- 8 Evidence of any accredited component process or design sought to be relied upon
- 9 Except in the case of any application for or in the respect of a class 1a or class 10 building
 - a) A list of any fire safety measures that are proposed to be implemented in the building or on the land on which the building is situated
 - b) If the application relates to a proposal to carry out any alteration or rebuilding of or addition to an existing building a separate list of such of those measures as are currently implemented in the building or on the land on which the building is situated
 The list must describe the extent, capability and basis of design of each of the measures concerned
- 10 The Development Consent conditions together with stamped approved DA drawings are to be provided for our assessment of the development and record purposes
- 11 Under section 109F(1)(b) of the *Environmental Planning and Assessment Act 1979* a Construction Certificate cannot be issued until any long service levy payable under section 34 of the *Building and Construction Industry Long Service Payments Act 1986* for where such a levy is payable by instalments, the first instalment of the levy) has been paid. The local council may be authorised to accept payment
- 12 In the case of an application for a Construction Certificate for residential building work (within the meaning of the Home Building Act 1989) attach the following
 - a) In the case of work performed by a licensee under that Act
 - i) A statement detailing the licensee's name and contract licence number and
 - ii) documentary evidence that the licensee has complied with the applicable requirements of that Act* or
 - b) in the case of work done by any other person
 - i) a statement detailing the person's name and owner-builder permit number or
 - ii) a declaration signed by the owner of the land to the effect that the reasonable market cost of the labour and materials involved in the work is less than the amount prescribed for the purposes of the definition of owner-builder work in section 29 of that Act. (If the building work is less than \$12 000 provide a statement that states the proposed work is less than \$12 000)

A certificate purporting to be issued by an approved insurer under Part 6 of the Home Building Act 1989 to the effect that a person is the holder of an insurance contract issued for the purposes of that Part is sufficient evidence that the person has complied with the requirements of that Part

FIRE SAFETY SCHEDULE



STEVE WATSON
& PARTNERS

RACF, 6-14 Macpherson Street, Warrawood

CC No 05/307/04

Existing Fire Safety Schedule

Nil

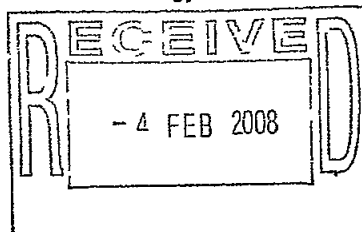
Proposed Fire Safety Schedule

Measure	Standard of Performance
Access panels doors and hoppers to fire resisting shafts	BCA2007 Clause C3 13 and tested prototypes (AS 1530 4 – 2005)
Automatic fail safe devices	Scheduled devices release upon trip of smoke detection, fire detection or sprinkler activation in accordance with BCA2007 Clause D2 21
Automatic fire detection and alarm system (<i>smoke detection system</i>)	BCA2007 Specification E2 2a and AS 1670 1 – 2004 (<i>note Class 9c requires manual call points and mimic panels</i>) (<i>System monitoring in accordance with AS1670 3 2004</i>)
Automatic fire suppression systems (<i>Residential sprnkler system</i>)	BCA2007 Specification E1 5 and AS2118 4 – 1995
Emergency lighting	BCA2007 Clause E4 2, E4 4 and AS 2293 1 – 2005
Exit signs	BCA2007 Clause E4 5, NSW E4 6, E4 8 and AS 2293 1 – 2005
Fire dampers	BCA2007 Clause C3 15 and AS/NZS 1668 1 – 1998 (AS 1682 1-1990 and AS 1682 2-1990)
Fire doors	BCA2007 Specification C3 4 and AS 1905 1 – 2005
Fire hydrants systems	BCA2007 Clause E1 3 and AS 2419 1 – 2005
Fire seals protecting opening in fire resisting components of the building	BCA2007 Clause C3 15, Specification C3 15 and AS 1530 4 – 2005 and AS 4072 1 – 2005 and installed in accordance with the tested prototype
Fire Shutters	BCA 2007 Specification C3 4 and AS 1905 2 – 2005
Hose reel system	BCA2007 Clause E1 4 and AS 2441 – 2005
Lightweight construction	BCA2007 Specifications C1 8, Clause A2 3 and AS 1530 4-2005
Mechanical air handling system (<i>automatic shut down of air-handling system</i>)	BCA2007 Clause E2 2 and AS/NZ 1668 1-1998
Portable fire extinguishers	BCA2007 Clause E1 6 and AS 2444 – 2001
Smoke dampers	AS/NZS 1668 1 – 1998 (AS 1682 1-1990 and AS 1682 2-1990)
Smoke detectors and heat detectors (<i>detectors for the automatic closing operation of fire doors and fire shutters in fire walls</i>)	BCA2007 Clause C3 5 and AS 1670 1 – 2004
Smoke detectors and heat detectors (<i>detectors for the automatic closing operation of horizontal exits</i>)	BCA2007 Clause C3 7 and AS 1670 1 – 2004
Smoke detectors and heat detectors (<i>detectors for the automatic closing operation of smoke doors</i>)	BCA2007 Specification C3 4 and AS 1670 1 – 2004

Smoke doors	BCA2007 Specifications C2 5 and C3 4 and AS 1288 – 2006
Solid core doors	BCA2007 Clause C3 11 and NSW C3 11(d)
Stand-by power systems	BCA2007 Clause 6 of Specification G3 8
Wall wetting sprinkler and drencher systems	BCA2007 Clause C3 4, and AS 2118 2 – 1995
Warning and operational signs	BCA2007 Clauses D1 17, , D2 23, E1 4, E3 3,



Department of Water and Energy



Contact Nikki Allwood
Phone (02) 9895 62501
Fax (02) 9895 7501
Email nikki.allwood@dnr.nsw.gov.au

Anglican Retirement Villages
PO Box 284
CASTLE HILL NSW 1765

Our Ref ERM05/5922
File Ref PAR9012985
DA No 102/05

Attention Michael Lockwood

Dear Sir

30 January 2008

RE New Part 3A Permit – issue date 30 January 2007 – Stages 4 5 Construction of a SEPP Seniors Living development - to undertake works and rehabilitation in and near Narrabeen Creek, Lot A & B, DP 400488, Sec C, DP 5464 and Lot A & B, DP 358765, No 6 14 Macpherson Street, Warriewood, NSW

I refer to your application dated 4 October 2007, for a permit issued under Part 3A of the Rivers and Foreshores Improvement Act 1948 for the subject works

Receipt is acknowledged of the Permit Fee of \$3230

Receipt is also acknowledged of bond/s in the form of bank guarantees. The bond/s will be held until such time as the works, rehabilitation and any specified maintenance period related to this Part 3A permit are complete

- **Bond \$105,000.00** for 100% of the cost (including GST) for the establishment, maintenance and reporting components of the VMP
- **Bond \$20,000** for 50% of the cost (including GST) for works where the risk of failure is small for works within bed and bank areas

The attached Part 3A permit has been issued for a period of **three years**, subject to conditions, and expires on **30 January 2011**

It is important that you carefully read the Part 3A permit conditions and request clarification from the Department of any condition that is not fully understood. Please sign the attached 'Acknowledgment' form and return to the above address.

Please note that it is a requirement for you to give a copy of the permit and annotated documentation to your certifier and to all contractors who will be implementing the works, including any VMP so that they will be aware of these permit conditions.

Please note that this Part 3A permit must be kept current until all works, rehabilitation and maintenance conditioned by the Part 3A permit have been completed. To ensure timely renewal, you should make your application in writing to the Department at least one month before the expiry date.

When establishment and maintenance completion of any bonded works has occurred, please arrange an

inspection for the purpose of Departmental certification of practical completion of those parts. The permit fee includes an inspection for each stage. If extra inspections are required due to the works not being satisfactory, then further fees may be applied at the current hourly rate.

If you require amendments to this permit, extra charges will occur. Contact the Department before hand for advice on the renewal fee and charges.

Could you please direct any questions or correspondence to Nikki Allwood, if you would like to go over any of the above requirements.

Yours sincerely,



Nikki Allwood
Natural Resource Project Officer
Compliance and Licensing Division Parramatta

Attached

Part 3A Permit, annotated plans and VMP



Part 3A Permit Acknowledgment Advice

File PAR9012985

New Part 3A Permit – issue date 30 January 2008 – Stages 4-5 - Construction of a SEPP Seniors Living development to undertake works and rehabilitation in and near Narrabeen Creek, - Lot A & B, DP 400488, Sec C, DP 5464 and Lot A & B, DP 358765, No 6-14 Macpherson Street, Warneewood, NSW

I/We have read understand accept and acknowledge the subject Part 3A permit and the conditions attached to the Part 3A permit

Part 3A permit holder(s)

Owner(s)

Signed

Signed

Dated

Dated

Owner(s)

Signed

Dated

Return to
Nikki Allwood
Natural Resource Project Officer
Compliance and Licensing Division, Parramatta
At the below address



Department of Water and Energy

PART 3A PERMIT
Issued under the
RIVERS AND FORESHORES IMPROVEMENT ACT 1948

Pittwater Council

Parramatta Departmental

DA 102/05

Reference

Parramatta File No

ERM05/5922

PAR9012985

To	Anglican Retirement Village
	PO Box 284
	CASTLE HILL NSW 1765

To undertake temporary and permanent works and rehabilitation being

Works approved for Stage 4 5 including

- Buildings B & C
- Sewer line
- Site Rehabilitation Vegetation
- Sediment and Erosion Control Works
- Decommissioning of temporary works

Works for Stage 1 approved by 3A Permit dated 26 September 2007

At the location described as Lot A & B, DP 400488, Sec C, DP 5464 and Lot A & B, DP 358765, No 6 14 Macpherson Street, Warnewood, NSW

For any works or activities not on or within this description, but are shown in any of the below documents/plans are all hereinafter referred to as "the Site On in or under Protected Land (land generally within 40m of top of bank) in, under or near Protected Waters known as Narrabeen Creek, being a tributary of Narrabeen Lakes

Permit Expires 30 January 2011

This permit is granted under Part 3A of the Rivers and Foreshores Improvement Act 1948 (R&FI Act) as amended and is subject to the following conditions

Abbreviations and terms

- Part 3A Permit is the permit
- Protected Land (as defined in section 22A of the RFI Act)
- Protected Waters (as defined in section 22A of the RFI Act)
- VMP is a Vegetation Management Plan

Level 11 10 Valentine Avenue Parramatta NSW 2150
P O Box 3720 Parramatta NSW 2124

- WP is a Works Plan
- A "person" means a person, persons or organisation authorised by the Part 3A permit holder, or their agent, to undertake any of the requirements of these conditions

Conditions

Area and Extent of Works and Activities

- 1 The location and nature of the proposal are as shown on the following plans/documents, which have been annotated and approved by the Department
 - *Construction Staging Warneewood Development Application Staging Plan, Stages 2 to 7 Plan (ANNOTATED)* by Event Project Management, Boffa Robertson Group and Merrin and Cranston Pty Ltd, dated October 2005
 - *Anglican Retirement Village, Report for Warneewood, Soil and Water Management Plan*, by GHD, dated May 2007, Revision 2
 - *Warneewood valley Anglican Retirement Village Narrabeen Creek Riparian Restoration, Vegetation Management Plan*, by Pittendugh Shinkfield Bruce Pty Ltd, dated October 2005
 - *Warneewood Brook, McPherson Street Warneewood Vegetation Management Plan*, by Taylor Brammer Landscape Architects Pty Ltd, dated 26 April 2007

These plans/documents inclusive of the specialist requirements of the Department, (which must be read in conjunction with the above documents and plans) shall not be altered without written approval by the Department. One copy of the permit and endorsed/annotated plans/documents has been issued to you and a copy retained by the Department.

- 2 Operations at the Site shall be in accordance with the endorsed/annotated plans and documentation listed in **Condition 1 and all other conditions in this permit**. These conditions take priority over any endorsed/annotated plans and documentation.
- 3 Works not included in these endorsed/annotated plans and documentation cannot be constructed without a further permit being issued for those works.
- 4 Works (permanent or temporary) must not adversely impact upon flow, unless specifically endorsed by Council and the Department.
- 5 No piping for the placement of bulk earthworks (including roads), of any watercourse is allowed.
- 6 Wire mesh structures (mattresses and baskets), concrete, spray concrete, concrete grouting and concrete grouting between rocks comprising rip-rap, scour protection crib walling, masonry, car tyres and the like are not permitted.
- 7 Only those requirements for bushfire asset protection zones, including fuel reduced areas and fire trails in accordance with the endorsed/annotated plans and documentation listed in **Condition 1** are allowed. No further compromise in any way to the extent, form or function of the riparian zones is to occur.
- 8 All works within Protected Waters must be consistent with the requirements of NSW Fisheries.

Any Inconsistencies

- 9 In the event that there is an inconsistency between the drawings, other documentation and the conditions herein, the interpretation that will result in the best outcome for the stabilisation of the Site and the subsequent rehabilitation and maintenance of the Site and Protected Land and Protected Waters, is to prevail. Such interpretation is to be applied in consultation with and with the approval of the Department.

Administration Responsibilities

- 10 A copy of the permit and the endorsed/annotated plans and documentation listed in Condition 1 must be given to any and all contractors and others who are implementing the work and obligations, for all stages of these works and obligations, relating to (or will impact upon) the implementation of this permit
- 11 A copy of the permit must be displayed at the Site office at all times or alternatively made available on site to the Department officers on request
- 12 The permit is not transferable to any other person or company without written approval from the Department and does not allow operations at any other site
- 13 The permit holder shall notify the Department in writing within 7 calendar days of any change in
 - site management
 - land ownership
 - land occupation
- 14 The permit holder shall ensure the transfer of the Permit to the new owner or occupier of the land to be to the satisfaction of the Department including any changes to bonds
- 15 The permit is only valid for works and operations on freehold land
- 16 The permit is only valid where all Owners Consents have been provided to the Department and included in documentation for this permit
- 17 The permit is to be kept current by payment of the appropriate fee until such time as the Site has been fully stabilised and rehabilitated and any required maintenance satisfactorily completed and reported on in accordance with these conditions
- 18 Any application for renewal of the permit is to be lodged at least one month prior to the expiry date of the permit
- 19 If, for any reason, works or rehabilitation the subject of this permit have not commenced within a period of three years from the date of issue of the permit supplementary bonds equal to the cost of inflation on the bond amounts provided must be provided
- 20 Certification of Practical Completion and Maintenance Practical Completion to current best management practice is to be provided by persons suitably experienced and qualified in such certification for all stages, for works/operations relating to the permit are to be provided
- 21 Practical Completion and Maintenance Practical Completion are to be the same for the permit and any contractor documentation for works relating to the permit
- 22 Certification of Compliance for any engineering works such as stormwater outlets, spillways, scour protection and stream works crossing works utilities retaining/sea walls and any maintenance requirements, (including prior to the release of any flows into diverted/realigned/reconstructed sections) to current best management practice, is to be provided by persons suitably experienced and qualified in such certification for all stages including certification, are to be provided The Certification of Compliance must also relate to the annotated plans and documentation in Condition 1

Operational Responsibilities

- 23 The permit holder and the owner or occupier of the land are responsible for construction of works or any excavation or removal of material or rehabilitation undertaken by any other person or company at the Site
- 24 The permit holder must ensure that all works and activities at the Site do not compromise the implementation of any VMP in any way
- 25 The permit does not give the holder the right to occupy any land without the consent from the owner(s) nor does it relieve the permit holder of any obligation which may exist to also obtain permission from local

government and other authorities who may have some form of control over the Site of the work and/or the activities proposed to be undertaken

- 26 A permanent benchmark must be established on the Site and outside the area of operations for any extractive industry operations large earthmoving projects or Stream Work projects
- 27 The Department must receive an appropriate survey/s by a registered surveyor of the location of any stream works following the practical completion of any physical works associated with any watercourse at the Site. The survey must clearly show on a plan supplied to the Department the location and extent of the physical works, to demonstrate that the works are in the correct location and dimensions consistent with the WP
- 28 There is to be no permanent or temporary excavation of or placement of material on Protected Land or anything done that may detrimentally affect the flow of Protected Waters and are not to be placed in any area that has existing native riparian vegetation that is identified as part of any riparian zone in any VMP other than as shown on the presented plans and associated documentation to the Department
- 29 The Applicant must ensure that the amount of dirty water and sediment from the Site that enters Protected Waters or that is exposed to the flow of Protected Waters or that is likely to detrimentally affect water quality riparian vegetation or habitat or the environment, is minimised in a manner acceptable to the Department and be best management practice
- 30 Erosion and sediment control measures are to be implemented prior to any works commencing at the site and must be maintained for as long as necessary after the completion of works to prevent sediment and dirty water entering the watercourse/foreshore environment. These control measures are to be in accordance with the requirements of Council and best to follow relevant management practices as outlined in the Landcom manual *Managing Urban Stormwater Soils and Construction – Volume 1 (4th Ed, 2004) the Blue Book* or other suitable control measures to mitigate erosion where conventional measures are not adequate (such as within bed and banks of a watercourse). For high flow areas designed controls appropriate for flash flood scenarios must be implemented
- 31 All erosion and sediment control measures at the Site are to be inspected and maintained as required on a weekly basis and immediately following any rainfall events to ensure the efficient operation of these devices. This obligation remains until the Site has been fully stabilised
- 32 Decommissioning of all sediment and erosion controls and water diversion structures are to be in accordance with the requirements of Council, and best to follow relevant management practices as outlined in the Landcom manual *Managing Urban Stormwater Soils and Construction – Volume 1 (4th Ed, 2004) the 'Blue Book'*, or other suitable control measures to mitigate erosion where conventional measures are not adequate (such as within bed and banks of a watercourse). Decommissioning of sediment and erosion controls is not to detrimentally affect the implementation of the VMP
- 33 A licence under the Water Act (1912) or the Water Management Act (2000) may also be required from the Department if it is intended to
 - Install a pump for extraction of water from a surface and/or ground water source. The temporary extraction of water for establishment of vegetation in a VMP does not require a licence
 - Construct a dam
 - Construct a levee
 - Divert any part of Protected Waters
 - Irrigate from any of the above
- 34 Operations shall not damage or interfere in any way with
 - Vegetation and habitat on Protected Land on the Site outside the area approved
 - The stability of adjacent or nearby bed or banks of Protected Waters
 - The stability of Protected Waters and their associated environments
 - The flow of Protected Waters
 - The quality of Protected Waters
 - Any pumps or structures in the vicinity (that are licensed under the Water Act 1912 or the Water Management Act 2000)

Cessation of Works and Rectification

- 35 If, in the opinion of a Departmental officer any work is being carried out in such a manner that it may damage or detrimentally affect Protected Waters or Protected Land, or damage or interfere in any way with any work such work shall cease immediately upon oral or written direction of such officer
- 36 Should any of the conditions of the permit not be complied with, the Department may issue a Stop Order on Part 3A permit related operations at the Site until the conditions have been complied with
- 37 If requested by the Department work as executed survey plans of a professional standard, and including information required by the Department shall be provided to the Department within 14 calendar days of such request (NOTE Apart from extractive industry operations, large earthmoving projects or Stream Work projects the Department usually only invokes this condition in matters of contention)
- 38 The permit holder shall carry out any instructions given by the Department with a view to preventing damage to the environment of protected waters or protected land
- 39 If any condition of the permit is breached or any operation/direction given in the Condition above has occurred, the permit holder shall follow the Department directions to address the breach, and/or damage/interference, and shall rehabilitate the Site as directed by, and to the satisfaction of, the Department
- 40 If any breach of the permit conditions or any operation/direction in has occurred and requires a special site inspection by the Department, then the permit holder shall pay a supplementary permit fee (at the current hourly rate) for this inspection and for each and every subsequent inspection and associated administration due to the breach, until the breach has been rectified

Works and Activities

- 41 Any works within bed or banks of any watercourse (natural or artificial) are NOT to be constructed without the written approval of the Department
- 42 No crossing structure (bridge, culvert, etc) is to be constructed over Protected Waters or within a riparian zone without the written approval of the Department
- 43 Any accessway proposed to be located within any riparian zone or protected waters is not to be constructed without consultation with, and prior approval of the Department
- 44 Any sewer service other utility or communication lines proposed to be located within any riparian zone or protected waters are not to be constructed without consultation with and prior approval of the Department
- 45 A permanent physical barrier, (such as a fence/path/bollards etc), to prevent inadvertent damage to riparian zones, is to be placed at their landward extent in all locations The barrier needs to be appropriate to the site and be designed to
 - Be suitable for any flooding issues
 - Not impede the function of the vegetation as a corridor linkage
 - Allow for small fauna passage underneath the barrier and must be of an open (eg mesh or bar type) structure to allow light and air flow and to provide continuity with adjacent (buffer or non riparian) vegetation
 - Be suitable as a maintenance edge for any open space management such as mowing/slashing etc
 - Be fire proof if it is the boundary of an Asset Protection Zone
 - Be stock/vermin proof in those areas where stock/vermin may have access
- 46 Any property boundary fence should generally be located beyond the riparian zones
 - Is not to be placed where the location, access and maintenance of the fence will cause bed and bank instability or have adverse impacts upon flow
 - There is to be no cleared maintenance area along the fence
- 47 Erosion control matting used within the riparian zones is to consist of biodegradable materials No plastic netting is to be used for any purpose in on or under Protected Land, unless such netting is of a rapidly biodegradable variety

- 48 **Topsoil/soil and Mulch requirements** Topsoil must be under all areas of mulching. Mulch is to be sterile weed and contaminant free, material is not to be freshly mulched. Unsuitable mulch will be required to be removed
- Areas that are identified to be within any minimum 1.5 year flow event must be protected by top soil and jute mesh or similar functioning product/s (not loose mulch) until the vegetation is established
 - Topsoil must cover over all disturbed areas prior to planting and before the end of the establishment period. Areas not adequately topsoiled will result in any plantings to be removed to place the topsoil
 - If importation of soil into the riparian zone is unavoidable, such soil must be tested and certified by a NATA registered soils laboratory to be similar to the naturally occurring local riparian zone soil. It is to be also certified weed free and contaminant free. This is because imported soil may contain weed seeds and viable vegetative matter and other contaminants which could impact adversely on the vegetation, soil, water quality or ecology of the Site. Discuss with the Department to ascertain if this certification required. Unsuitable soil will be required to be removed
- 49 **Riparian zones at the Site must be rehabilitated** where they are affected by or located adjacent to or located within 10m of, any works on Protected Land that require a Part 3A permit
- 50 **Local botanical provenance planting is essential** Any planting not acceptable must be replaced for sites that are likely to be future seed source areas, due to their size or location
- 51 **Plant species diversity** The required mix of species relates to the actual vegetation community to be emulated and the size of the area/s to be rehabilitated. The most representative species should be used in the first instance for the species mix
- For areas between 500 to 7500m² plant a minimum of 50% of the trees, 50% of the shrubs and 50% of the groundcovers of the community to be emulated
 - For any wetland plantings (natural or constructed) the number of species should reflect the plant species diversity of local natural wetlands
 - No permanent exotic plant species are to be planted within or adjacent of, any riparian zones on the Site that will remain open space unless there is a clear separation such as a path, solid fence etc
 - Establishment of exotic species for the purposes of temporary soil stabilisation is permitted provided they are
 - Non invasive and not an environmental weed
 - Easy to eradicate when permanent vegetation is established
 - Preferably sterile
- 52 **Planting locations** plantings are to emulate the ecotone of the riparian area of the watercourse
- 53 **Planting densities**
- Planting densities for minimal or no resilience sites are to be
 - For areas less than 10,000 m² must not be less than 1 tree or 1 shrub per m², alternately planted in approximately equal numbers, and in addition, groundcover plants at 4 per m²
 - Planting densities may be variable, due to the method employed but final densities (both original and assisted) need to average or be greater than the densities for minimal or no resilience sites by the end of the maintenance period
 - For riparian areas greater than 20m wide, planting densities beyond 20m wide of top of bank, trees are to be planted in groups or clusters to maximise the diversity of habitat to benefit both flora and fauna and enhance visual and aesthetic amenity
- 54 **If rock (rip rap) is necessary for scour protection**
- Generally only allowed for outside bend toe protection, bed control/riffles, energy dissipaters and bank protectors for stormwater outlets and crossing structures
 - Generally armouring of more than 10% of the bed and bank of the reconstructed length is regarded as excessive and will not be supported
 - Generally not be higher than 1m (or the height of 1.2 year flow event) where required as bank protection for bends and be the minimum length
 - Any rock used is to resist predicted scour velocities and be angular, durable run of quarry rock, blocky and not flat (to resist negative hydraulic pressure)
 - The rock is carefully placed to "lock" together and form a rough surface. It is laid over a bed of coarse gravel/cobbles mixed with soil over geotextile and all voids are filled with soil (don't leave air spaces) and

planted out with local sedges and rushes to form a tightly root bound matrix with capillary connection to the substrate

- All finished rip rap surfaces are to be rough and evenly aligned with the adjoining bed bank and floodplain profile
 - Not be mortared or otherwise hard treated
- 55 Design of any stormwater outlets (including from roads, buildings, constructed basin/wetlands, swales or other drainage) and their spillways must be designed to
- Be constructed from rock rip rap
 - The scour apron must be designed to contain the discharge of the outlet
 - Calculate tractive stresses generated from outlet discharges and from bank full stream discharges to determine rock size requirements for the structure
 - Not to cause (or enhance current) bed and bank instability
 - Address any bed and bank instability issues at the location of these works
 - Scour apron to be rip rap and a cut off provided flanks to be rip rap and keyed in
 - Scour protect the bed of the stream near the outlet if not bedrock and if scour is likely
 - Scour protect the opposite bank as required (consider bank material and "jet" effect)
 - Be graded to the bed level of the stream or just below any permanent water created by any stable feature of the location in the watercourse
 - Be constructed to minimise any erosion or scour of riparian zones or the bed or banks
 - Ensure that disturbance to soil and vegetation in these areas is kept to an absolute minimum
 - Outlet structure outlet not to protrude beyond the stream bank and to align evenly with the bank
 - Outlet structure outlet to point downstream
 - Avoid use of concrete headwalls pipes/culverts to rest on, and be packed in by rip rap

Maintenance of Works or Activities General

- 56 Maintenance periods are required for any works and activities where there is a VMP or WP. Certificates of practical completion/compliance are required for commencement and completion of any maintenance period. Maintenance is complete when a naturalised stable watercourse system is functioning by the end of the maintenance period including achieving successful vegetation establishment.

Maintenance requirements for any VMP

- Achieve a minimum 80% survival rate for all planted individual species
- Achieve a maximum 5% weed cover for the total riparian and treated area of the site
- Achieve the specified planting densities by the end of the maintenance period
- Losses greater than 20% or having unacceptable weed issues will have the maintenance period extended until survival rates and weed control achieved
- Any maintenance replanting of more than 20% of the planted vegetation (or 20% of the riparian area for other regeneration methods) must be established at least 12 months, and for more than 40% of the planted vegetation must be established at least 24 months, before departmental endorsed maintenance completion will be given and any bond returned
- Maintenance replanting is to replace plants by the same species or where that species is not available, with the same growth form (i.e. a tree with a tree etc) and must not decrease species diversity. Any new species must still be from the community being emulated and local provenance.

Maintenance is to be a minimum (2) two years

- For all riparian zones (and all areas and activities described in the VMP after final planting (or where other revegetation methods are used two years after plants are at least of tubestock size) and are at the densities specified and with species richness as described in the VMP. Losses greater than 20% or having unacceptable weed issues will have the maintenance period extended until survival rates and weed control are achieved
- Any constructed basin/wetlands/flood compensatory area and their associated disturbed areas
- Crossings structures including utility crossings and associated works
- Any accessways (being roads tracks cycleways, pedestrian pathways or other form of accessway)

Reporting Requirements General

-
- 57 Reports are required if there is any an endorsed/annotated plans/documents for a VMP or WP
- 58 Implementation of the VMP and WP is incomplete without the Department sign off of the final report at the end of the establishment and maintenance periods
- 59 Any report must be a joint report if there is any vegetation establishment/restoration, associated with any stream works Reporting must include
- Time period of report and climatic conditions during that time
 - Qualifications and experience of contractors Required in the first report only, unless there are changes after the first report
 - Soil certification by a NATA registered soils laboratory (if required) for imported soil for similarity, weed free and contaminant free status
 - Provide Certification of Completion and/or Compliance for all works and operations in the VMP and WP (both at practical completion and maintenance) by independent persons suitably experienced and qualified in such certification
 - Document proof of topsoiling under all areas of disturbance, including under any mulch
 - Mulch to be certified that it is weed and contaminant free
 - Other issues such as vandalism theft changes of ownership etc
 - Photographic record of the works/vegetations progress during the reporting period

Reporting Requirements for any Vegetation Management Plan

The following are items specific to VMP reporting if not specified in the VMP

- Seed certification and local provenance certificate (including any replacement plantings)
- Identify the person/organisation that does the propagation
- Document initial and any replacement plantings and propagation materials Dates of planting of each species
- Document any agreed changes to plantings species etc during the reporting period
- Document densities planted and the location
- Document survival rates of plantings and weed cover percentage
- Document any problems that impacted upon the survival rates for that reporting period (such as vandalism flooding etc)
- Document location plan of any staged activities and weeding of any 10m buffer
- Document demonstration of progress of fulfilling the relevant GTA or other 3A Permit conditions

Reporting Requirements for any Works Plan

- Provide a method of performance evaluation after any significant flow events (Significant relative to the current stability of the site)
- Document the assessing and need for any repairs after flow events, addressing deficiencies of the initial design
- Document replacement of any works/areas damaged/destroyed by flows and flooding
- Immediately after every storm event advise approval bodies if any serious problems and document in that periods' report

Bonds

- 60 The Department must receive the appropriate certifications prior to the release of any bond associated with the permit
- 61 The Department must receive an appropriate survey/s by a registered surveyor of the location of any works prior to the release of any bond associated with the permit
- 62 Bonds will be held until such time as the works and activities the subject of the bonds have been satisfactorily completed in accordance with the conditions of the permit
- 63 Any work (non vegetative) will be bonded at 50% of the total cost (including maintenance) The Department must receive the appropriate certifications prior to the release of any bond associated with any of these structures at the Site

- 64 Any Site rehabilitation – vegetation, will be bonded at 100% of the total cost (including maintenance) The Department must receive a satisfactory final report prior to the release of any bond associated with any of this at the Site
- 65 The following cash or bank guarantee bonds have been provided as a pre-condition to the granting of this Part 3A permit, for the amounts of
- **Bond \$105,000 00** for 100% of the cost (including GST) for the establishment maintenance and reporting components of the VMP
 - **Bond \$20,000** for 50% of the cost (including GST) for works where the risk of failure is small for works within bed and bank areas
- 66 The bond sum held may be reduced on application to the Department subject to the satisfactory completion of stages of works or activities required by the Part 3A permit
- 67 the Department may at any time, and more than once and without notice to the Part 3A permit holder utilise any cash provided or demand all or part of the moneys available under a bank guarantee, if in its opinion, the Part 3A permit holder has failed at any time to satisfactorily complete the works or activities in accordance with the requirements of the Part 3A permit

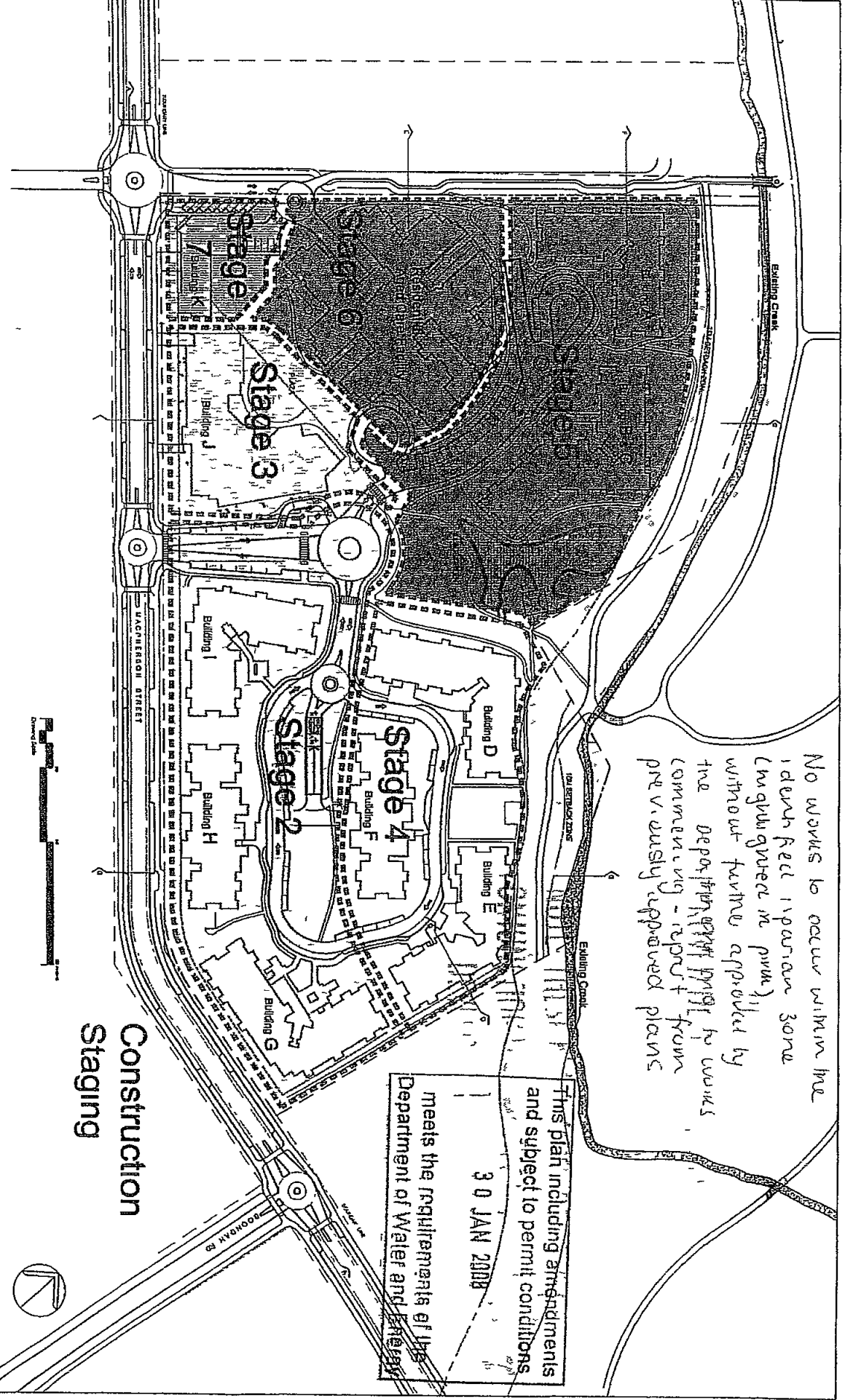
End of Conditions



Nikki Allwood
Natural Resource Project Officer
Compliance and Licensing Division,
Parramatta

Address all correspondence to
Nikki Allwood
Natural Resource Project Officer
Department of Water and Energy
PO Box 3720
PARRAMATTA NSW 2124

 <p>ANCIENT VILLAGES RETIREMENT VILLAGES</p>	<p>event THE AUSTRALIAN OPEN</p>	<p>Debra Robertson OUP 10/1/09 10:13 AM 10/1/09 10:13 AM</p>		<p>ANCIENT VILLAGES WARRIWOOD RETIREMENT VILLAGES</p>	<p>WARRIWOOD RETIREMENT VILLAGES STAGING PLAN DATE: 10/1/09 DRAWN BY: [Signature] D:\39\DA18</p>
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No works to occur within the 10m buffer (parade zone) (unsubstantiated) without further approval by the Department of Water and Energy - report from previously approved plans

This plan including amendments and subject to permit conditions
30 JAN 2009
meets the requirements of the Department of Water and Energy



**Warriewood
Council**

ABN 50 92 787 Telephone (02) 9970 1111 Facsimile (02) 9970 7150
Postal Address P O Box 882 Mona Vale NSW 1508

http://www.warriewood.nsw.gov.au

Business Hours
8:00am to 5:00pm Monday to Thursday
8:00am to 5:00pm Friday

DA No N0102/05

15 January 2007

Anglican Retirement Village
C/ Connell Village
PO Box 538
Neutral Bay
NSW 2089

Dear Sir/Madam

Deferred Commencement Consent for Demolition of existing structures and construction of a SEPP Seniors Living development including 260 self contained dwellings in nine (9) separate buildings, 119 bed Residential Aged Care Facility ancillary facilities including administration offices, chapel/hall, community centre, cafe and store health/fitness centre, child care centre, construction of associated roadwork, carparking and support facilities

At

Lot B DP 400488, Lot A DP 400488, Lot 22 DP 5464, Lot B DP 358765, Lot A DP 358765, Pt Lot B DP 345528, Pt Lot 1 DP 208149, Pt Lot 3 DP 579309, Pt Lot 3 DP 942319 and Pt Lot 4 DP 579309
6, 8, 10, 12 and 14 MACPHERSON STREET, WARRIEWOOD and 53C, 53B, 53 and 61 WARRIEWOOD RD, WARRIEWOOD NSW 2102

Please be advised that pursuant to Regulation 95(5) of the Environmental Planning and Assessment Regulation 2000 Council considers the details provided in accordance with deferred commencement Conditions 1 2 3 and 4 contained in Part 1 of the conditions of Development Consent are satisfactory. The following documentation therefore forms part of the consent documentation:

- Warriewood Retirement Village Water Management Report (Version 4) Prepared by GHD Dated December 2006
- GHD Addenda letter to Planning Council dated 5 January 2007 (ref 21/13577/74773) RE Response to Queries from Cardno Lawson Treloar dated 4 January 2007
- Level 3 Odour Assessment Warriewood STP Prepared by Pacific Air & Environment Dated 20 September 2006
- Developer Contribution Agreement - Warriewood Sewage Treatment Plant Prepared by Clayton Utz (ref Legal/102784045 4) Dated 9 January 2007

In this regard the Consent becomes operative from the date of this letter subject to the conditions listed in Part 2 of the Consent

Yours faithfully


Lindsay Dyce
MANAGER - PLANNING AND ASSESSMENT

Mona Vale Customer Service Centre Village Park 1 Park Street Mona Vale
Valon Customer Service Centre 594 Old Barrenjoey Road Avalon
Support Services Units 11 12 13 14/5 Vulo Place Warriewood

11th December 2007

Richard Abbott
Morgan & Moore
Level 4 140 Arthur Street
Morth Sydney NSW 2060

Dear Richard

RE WARRIWOOD BROOK STAGE 1 - ACCESSIBILITY ISSUES

Please find issues report with regards to the Warriewood Brook Stage 1 building A (The Ferneries) and building B&C (The Lakeland s) development located at 8 Macpherson Street Warriewood

The following recommendations are made in accordance with SEPP Seniors Living and consent condition 7 which refer to full compliance with BCA and AS1428.1 Where possible the following report has also made advisory recommendations in accordance with the DDA Premises Standards

The recommendations have been made with regards to the drawing numbers G/AG01 A02 to A05 A09, A10 LL/A03 to A07 A12 and A13

General (Both Buildings)

- (i) If fully glazed ensure the lift lobby entry sliding door capable of being mistaken for doorway, is clearly marked with a minimum 30% continuous contrasting line on the face of each door. The line 50mm to 75mm in width shall be placed between 900mm – 1100mm above the FFL
- (ii) The use of any intercom or night door release shall be placed between 900mm – 1250mm FFL. The communications device shall be no less than 500mm from any internal/external corner compliant with AS1428.1
- (iii) Ensure the door matt is finished level with the surrounding flooring compliant with AS1428.1
- (iv) The lift car to comply with AS1735.12
- (v) Ensure the slip resistance of flooring system used is traversable by wheelchair or walking frame in accordance with HB197.1999
- (vi) Should carpet be the preferred choice of flooring ensure the pile height is no greater than 6mm compliant with AS1428.1
- (vii) Lakeside door DBCG-15 to have 470mm latch side clearance
- (viii) Ensure common terrace area of Lakeside are wheelchair accessible (1:8 max gradient ramp based on difference in threshold being no more than 56mm at doorway)

Accessible Toilets - Lakelands

- (i) There is an accessible WC located within the ground floor meeting room. The WC has an internal dimension 2400mm x 1900mm which satisfy compliance with AS1428.1. Ensure the fixtures are designed and installed as follows:
- Relocate the pan so that it has a distance of 450mm from the centreline of toilet to the side wall
 - Ensure there is an 800mm +/- 10mm clearance between the front face of the toilet pan to the rear wall
 - Handrail provision on wall of the toilet at a height of 800mm
 - The height of the basin should be 800mm (max) with lever action taps and insulation of water pipes
 - The mirror shall start 100mm above the wash basin
 - Toilet roll holder to be placed at a height of 600 mm on the wall adjacent the front edge of the toilet pan. The toilet roll holder shall be simple in design
 - Provision of soap dispenser, hand drier or paper towel dispenser at a dispensing height, between 900mm - 1100mm. Ensure these fixtures are within arms reach when directly in front of the wash basin
 - Door operation to be lightweight, with large D shaped handles
 - Floor surface to be non-slip design
 - International signage for the disabled to be located beside the latch side of the door at a height not greater than 1200-1600mm
 - Clothes hook to be installed at a height of 1200mm on the back of the door
 - Ensure there is a fixed shelf conveniently placed within the accessible WC. The shelf shall be positioned between 900mm – 1100mm above the finish floor level
 - Provide a toilet door that can be removed in an emergency situation

Unit Design within Lakeside & Ferneries

The following recommendations refer to all unit types (1.1, 1.2, 2.1, 2.1A, 2.1B, 2.6A, 3.2, 3.3, 3.4, 3.5, 3.13, 3.14, 3.15), due to their similar layouts and design.

Doors

- (i) Ensure all doors have a D shaped lever action handle with return to assist people with dexterity impairment
- (ii) The handle shall be placed between 900mm – 1100mm above the FFL

Living Areas

- (iii) The living room shall make provision of a telephone adjacent to a general power outlet
- (iv) The living room and dining room are to have wiring to allow a potential illumination level of at least 300 lux

Kitchen

- (v) The cook top shall have front or side controls

Main Bedroom

- (vi) Provide 2 double power outlets on the wall where the bed head is likely to be
- (vii) Provide at least 1 double power outlet opposite the wall where the bed head is likely to be
- (viii) Provide a telephone outlet and a general power outlet either side adjacent the bed head (closest to the door)
- (ix) The bedroom shall have wiring to allow a potential illumination level of at least 300 lux

Bathroom

- (x) Ensure the ensuite bathroom is designed as follows the area is to comply with AS1428.1
 - The pan is to be fixed 450mm from the side wall compliant with AS1428.1 (currently 600mm)
 - The basin to be fitted with capstan taps or lever action handles
 - The shower to be fitted with capstan taps or lever action handles
 - Ensure design of the shower screen shall be such that it can be easily removed when needed
 - The shower walls shall be reinforced to accommodate the future needs of a folding shower seat and grabrails
 - The walls surrounding the pan shall be reinforced to accommodate the future need for grab rails around the toilet pan compliant with AS1428.1
 - The provisions of a wall cabinet that is illuminated compliant with AS4299
 - The bathroom shall make provision for a mirror
 - A double power outlet shall be fitted besides the mirror

Laundry

- (xi) The laundry shall make provision of the use of clothes dryer (free standing preferred)

- (xii) The laundry shall make provisions of a minimum 1300mm circulation space in front of all laundry appliances

Miscellaneous

- (xiii) All light switches shall be between 900mm to 1100mm above the FFL
- (xiv) General power outlets shall be at least 600mm above the FFL
- (xv) Provide a means of wheelchair access onto all unit type terrace areas (1:8 max gradient ramp can be used based on difference in threshold being no more than 56mm at doorway)
- (xvi) All units shall make provision of a linen cupboard. The cupboard shall be minimum 600mm in width with adjustable shelving

DDA Issues

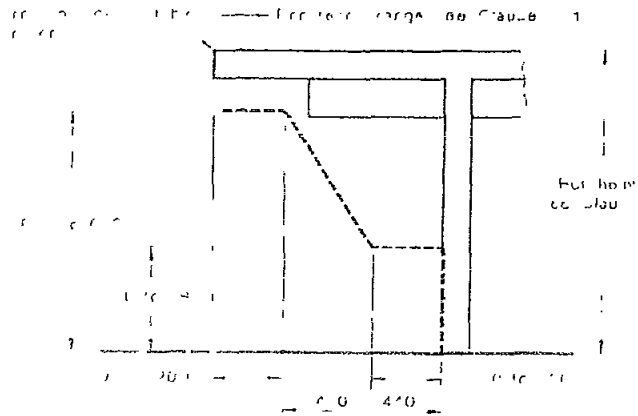
The following comments relate to the Draft DDA Premises Standards with regards to the principles of equality, independence and dignity. Although the following issues are not mandatory, these recommendations will mitigate any possible DDA complaints.

- (i) Lakeside accessible toilet to be accessed from corridor rather than meeting room
- (ii) Consideration shall be given with the provisions of 850mm clear widths to all fire doors (currently 800mm). This will allow some level of fire safety protection for a person in a wheelchair (best practice)
- (iii) Ensure all passenger lift cars have a minimum 1400mm x 1700mm internal dimension, compliant with AS1428.2
- (iv) The seating near all lift lobbies shall have a firm back and side arm rests to assist the elderly
- (v) The ground floor accessible WC within the Lakeland building shall have a 2700mm x 1900mm internal dimension compliant with AS1428.2. These internal dimensions will assist people with larger wheelchairs (i.e. scooters)
- (vi) The ground floor kitchen found within the Lakeland building shall be designed as follows
 - Ensure the taps are no greater than 300mm away from the front edge of the bench
 - Provide a power point 300mm from the front of the bench
 - If applicable, ensure the operative part of the hot water boiler unit is no greater than 1100mm above the FFL. The unit shall also be no more than 300mm away from the front edge of the kitchen bench
 - Ensure the area underneath the sink is designed to allow easy access for a person in a wheelchair. The sink shall provide toe (290mm) and knee (650mm) clearances when required in the future (see diagram below)



MGAC

morrisgoding accessibility consulting inc



EG:ND
 --- Obstruction to be removed or replaced with a wheelchair ramp piece

Yours faithfully,

David Goding
Morris-Goding Accessibility Consulting

FORM NO. 001 0

OFFICIAL RECEIPT

15/05/2017 Receipt to 2017

To the account of retirement savings

Bill McPherson 442222
FRANCISDALE NSW 2102

Supplier	Reference	Amount
CL Re	BUEF-591 1, 00102/05	\$33 277 51
CL Re	SWCF-592 1, 00102/05	\$706 492 58
CL Re	SWCL-594 1, 00102/05	\$105 120 97
CL Re	SWCW-574 1, 00102/05	\$744 192 29
CL Re	SWLS-594 1, 00102/05	\$125 812 22
EL Re	SWFC-594 1, 00102/05	\$654,277 90
CL Re	SWFM-595 1, 00102/05	\$233 417 15
EL Re	SWFC-594 1, 00102/05	\$1,519,570 50
EL Re	SUTT-594 1, 00102/05	\$475,703 22

Total \$4 616 996 25

Amounts Tendered

Cash	\$0 00
Cheque	\$4 615 996 25
DE/C Card	\$0 00
Money Order	\$0 00
Agency Rec	\$0 00
Total	\$4 615 996 25
Outstanding	\$0 00
Change	\$0 00
Nett	\$4 616 996 25

Printed 15/05, 2017 1 77 42

Cashier: Cullin

Section 94 Contribution Breakdown (Warriewood Valley)

NOTE PLEASE ENSURE THAT PAYMENT IS SUBMITTED TO CASHIER WITH THIS FORM

DA Consent No

NO102/05

(For Receipt Description)

Consent Date

DA Consent Description

SEPP SENIORS LIVING DEVELOPMENT

Property Address

6-14 MACPHERSON STREET, WARRIEWOOD (For Receipt Description)

S94 Subset	Contribution Amount	Cashier Code	Account No	Responsible Business Unit
Traffic and Transport	\$ 475,703.22	SWTT	91310C1210000	Urban Infrastructure
Creekline corridor (works)	\$ 744,182.29	SWCW	91317C1210000	Urban Infrastructure
Creekline corridor (land)	\$ 105,169.97	SWCL	91303C1210000	Urban Infrastructure
Community Facilities	\$ 705,499.58	SWCF	91316C1210000	Community & Library Services
Public Recreation	\$ 1,509,579.60	SWPR	91312C1210000	Reserves & Recreation
Pedestrian Cycleway	\$ 664,371.90	SWPC	91311C1210000	Reserves & Recreation
Bushfire	\$ 33,277.91	SWBF	91314C1210000	Natural Resources
Library Services	\$ 145,802.63	SWLS	91315C1210000	Community & Library Services
Ponderosa Parade	\$	SWVP	91250C1210000	Urban Infrastructure
Plan Management	\$ 233,409.15	SWPM	91318C2210000	
Total Payment	<u>\$4,616,996.25</u>			

To be completed by Cashier

Date Paid

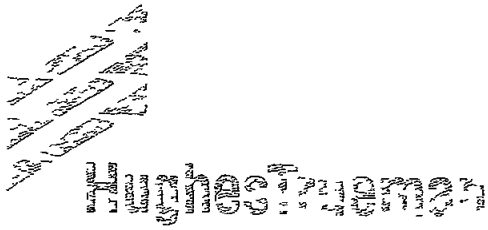
15/5/07

Receipt Number

215330

NOTE TO CASHIER

PLEASE SEND COMPLETED FORM AND A COPY OF THE RECEIPT TO PROJECT LEADER WARRIEWOOD INFRASTRUCTURE



1. UGd S fPUc 2nd 17 TD	1. 2 P3 C6d17000 11/
AST-USTE 0P-71 1 1 2L 7 UC	PG B 1 1
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18th December 2007


Andrew Rys
 Senior Building Regulation Consultant
 Steve Watson & Partners Pty L'd
 Level 5 432 Kent Street Sydney NSW 2000
 Ph (02) 9283 6555
 Fax (02) 9283 8500

Dear Sir

RE CURRENT STATUS OF STRUCTURAL DRAWINGS
 8 MACPHERSON STREET WARRIEWOOD - STAGE 1 WARRIEWOOD BROOK

The structural engineering components of this project as shown on the current structural drawings marked as issued for pricing were designed by a practising structural engineer in accordance with the relevant Australian Standards, Building Code of Australia and accepted engineering practice and principles. It should be noted that the current structural drawings are concept drawings only and are not to be used for construction.

In carrying out the design we exercised the degree of skill, care and diligence normally exercised by Consulting Engineers in similar circumstances.

Yours sincerely


HUGHES TRUEMAN
 JOHN WILLIAMS
 Director



Dear Sir

RE CURRENT STATUS OF STRUCTURAL DRAWINGS
8 MACPHERSON STREET WARRIEWOOD - STAGE 1 WARRIEWOOD BROOK

The structural engineering components of this project as shown on the current structural drawings marked as issued for pricing were designed by a practising structural engineer in accordance with the relevant Australian Standards, Building Code of Australia and accepted engineering practice and principles. It should be noted that the current structural drawings are concept drawings only and are not to be used for construction.

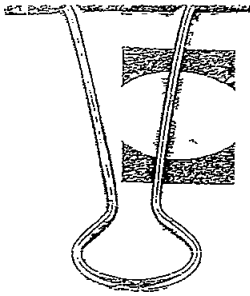
In carrying out the design we exercised the degree of skill, care and diligence normally exercised by Consulting Engineers in similar circumstances.

Yours sincerely



HUGHES TRUEMAN
JOHN WILLIAMS
Director



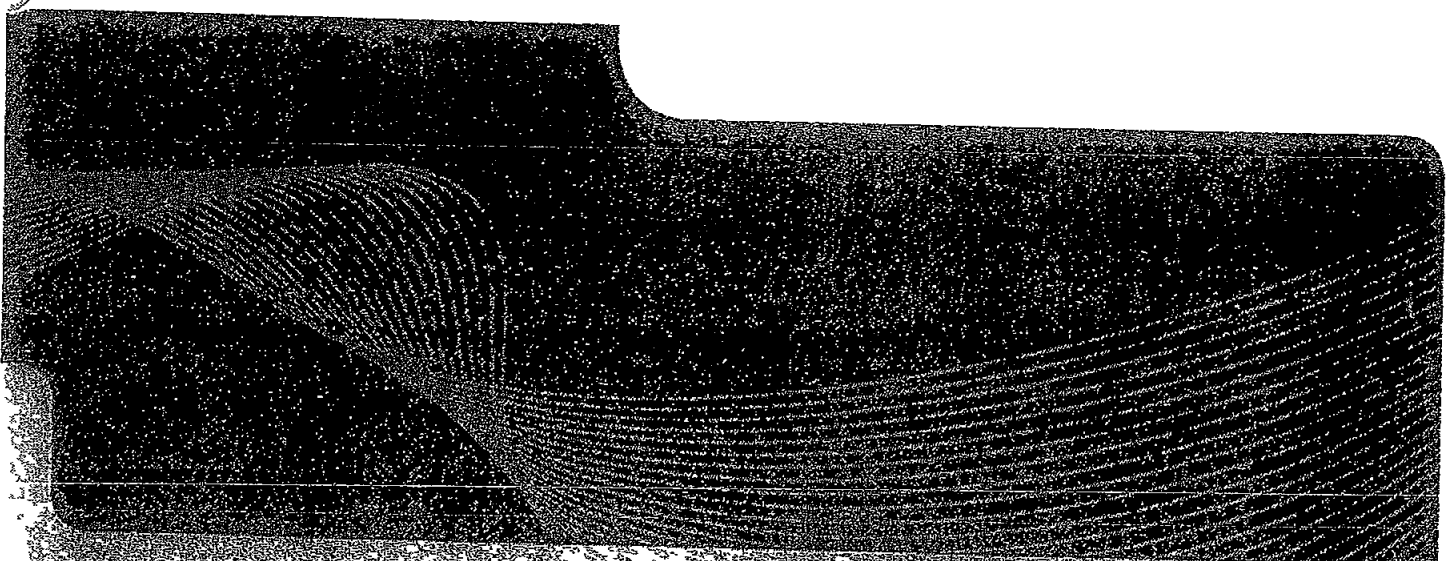
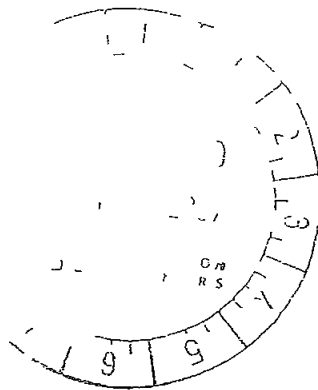


DEPARTMENT OF INFRASTRUCTURE, MINING & INDUSTRY
DEFENCE, PROPERTY & BUILDINGS, ENVIRONMENT

Anglican Retirement Villages

Warriewood Retirement Village

Water Management Report



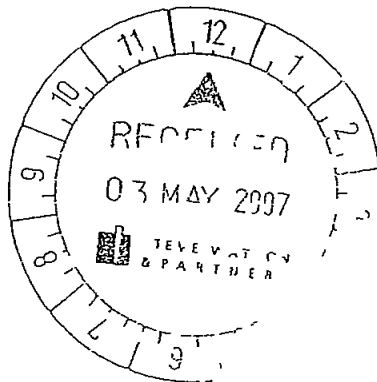
FULL COPY OF REPORT
SENT WITH ORIGINAL
CC 05/307/01

December 2006

Event Project Management

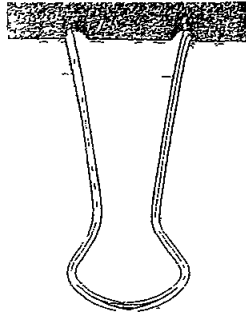
Warriewood Retirement Village
6-14 Macpherson Street
Warriewood

Acid Sulphate Soils Management Plan



FULL COPY OF REPORT
SENT WITH ORIGINAL
CC 05/307/01

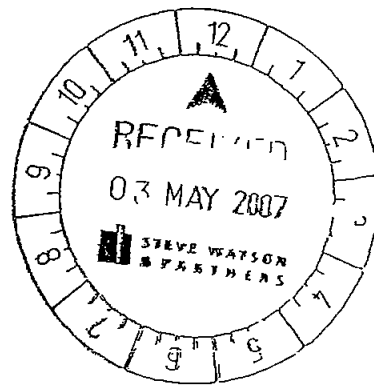
September 2005



Anglican Retirement Villages

8-14 Macpherson Street,
Warriewood, NSW

"Upfront" Asbestos Validation Report



FULL COPY OF REPORT
SENT WITH ORIGINAL
CC 05/307/01



13 December 2007

Morgan Moore Associates
Level 5 140 Arthur Street
North Sydney NSW 2060

Our ref 21/13577/137019
Your ref

Attn Richard Abbott
Mr

Dear Richard

**Warnewood Anglican Retirement Villages
Road & Drainage Design Works**

This letter certifies that the design and plans for road and drainage works has been carried out in accordance with and complies with Conditions C20 & C21 of DA No 102/05

Yours faithfully
GHD Pty Ltd

Alan Liddle
Principal Professional Engineer
02 9239 7283



Case Number 108073

5 September 2007

Anglican Retirement Villages
c/ Bowdens Group Australia

NOTICE OF REQUIREMENTS
for
SECTION 73 SUBDIVIDER/DEVELOPER COMPLIANCE CERTIFICATE
(Sydney Water Act 1994, Part 6, Division 9)

Developer	Anglican Retirement Villages
Your reference	71777/Mach6
Development	6 to 14 MacPherson Street Warriewood
Development Description	Demolition of existing structures and construction of a SEPP Seniors Living development including 260 self contained dwellings in nine (9) separate buildings, 119 bed Residential Aged Care Facility, ancillary facilities including administration offices, chapel/hall, community centre, cafe and centre, health and fitness, child centre
Council Consent No	NO102/05 by Pittwater Council of 6 April 2006 (modified 22/12/2006 & 08/01/2007)
Your application date	17 July 2007

Dear Applicant

Sydney Water has assessed your application for a Section 73 Compliance Certificate (the Certificate) for the development shown above. Before your Water Servicing Coordinator (Coordinator) can issue the Certificate to you, you must meet all the requirements set out in the following document called *What You Must Do To Get A Section 73 Certificate*.

You have until 5 September 2008 to meet those requirements and receive the Certificate. If you have not received the Certificate by then you will have to reapply (and pay another application fee) and Sydney Water will issue you with a new notice. We may have extra requirements and charges may change in that notice.

The Coordinator will be your point of contact with Sydney Water. They can answer most questions you might have on our developer process and developer charges.

You can also find out about this process by visiting www.sydneywater.com.au > Building Developing and Plumbing > Developing Your Land

What You Must Do To Get A Section 73 Certificate

Summary

This is a summary of Sydney Water's requirements. The detailed list begins on the next page.

You must do all of the following things:

1. Pay a total of \$1,259,972 in charges.

Please note:

- You have to pay these charges directly to Sydney Water and you must have an invoice. Your Coordinator can arrange the invoice.
- **Payment is by cash or bank cheque only** and you can pay at a Sydney Water Customer Service Centre or by post with your invoice, and
- You must tell your Coordinator when you have made that payment.

2. Complete any special requirements from Section 2.

Other things you need to do

At the end of this Notice are some other things that you need to do. They are NOT a requirement to be met before the Certificate can issue but may well be a requirement of Sydney Water in the future because of the impact of your development on our assets. You must read them before you go any further.

DETAILED REQUIREMENTS

1 Developer Charges

Development Servicing Plan (DSP)	Basis of Calculation	Charge (\$) for Applicable period (05/09/07-30/06/08)	Charge (\$) for Applicable period (01/07/08-04/09/08) (CPI adjusted)
Warringah Water DSP Area <i>See Note Below</i>	Residential Development Density > 180 dwellings per ha band 260 dwellings @ \$494 = \$128 440 <i>plus #Other Developer Charge Flow Your WSC has provided a projected water usage figure of 29 kl/s</i> 29 kl/d @ \$2 032 per ET = \$56 999 <i>less Credit of \$10 160 for previous use (5 x residential dwellings)</i>	\$ 175 279	\$TBA
Warriewood Sewer DSP Area <i>See Note Below</i>	Residential Development Density > 180 dwellings per ha band 260 dwellings @ \$2 961 = \$769 86 <i>plus Other Developer Charge Flow Discharge rate of 79% provided by your WSC.</i> \$6,437 per ET = \$ 314 833 <i>less Credit of \$0 for previous payment/ use (No previous connection to sewer or sewer availability charges paid)</i>	\$1 084 693	\$TBA
Reticulation Recovery	See Note below	\$NIL See Note below	\$TBA See Note below
DEVELOPER CHARGES TOTAL <i>[OFFICE USE – Invoice Charges total – Developer \$1 259 972]</i>		\$1,259,972	\$TBA

The projected water usage of 29 kl/s covers the Residential Care (21 kl/d) and Administration Offices, Child Care, Chapel/Hall, Community Centre, Cafe/Store and Health/Fitness Centre (8 kl/d)

Note

- If payment is made after 1 July 2008 then the charges in column 3 will first need to be adjusted by the CPI figure. This will be done when you get the invoice from your Coordinator and you will need to pay the adjusted amount. (The CPI figure is based on the weighted average of the capital cities CPI for the 12 months to the end of the previous March.)

Payment of charges

- **You must pay your DSP charge before you will be given permission to connect your development to Sydney Water's water/sewer systems**

You have to pay these charges directly to Sydney Water and you must have an invoice. Your Coordinator can arrange the invoice. **Payment is by cash or bank cheque only and you can pay at a Sydney Water Customer Service Centre or by post with your invoice.** You must tell your Coordinator when you have made that payment.

Also

- **DSP charges** are a contribution towards the cost of systems (e.g. pipelines and treatment plants) which serve your development. Sydney Water has no power to change these costs because they are decided by IPART. If you want more information visit the IPART website www.IPART.nsw.gov.au. If there is a dispute the cost of arbitration will be shared equally by you and Sydney Water (see *IPART Act 1992 Section 31*).

The DSP charges (for Other Developer Charge) in the table are based on your development needing an average day water demand of 29 kl.

If the development generates a greater demand, you may have to pay more in charges. If you are going to sell the development you have to explain the situation to prospective buyers as part of the requirements of Vendor Disclosure.

- **Reticulation Recovery Charges** recover part of the cost of works that have been paid for by Sydney Water or other developers and that benefit your development. This charge is calculated before your points of connection have been determined. If your completed designs show that your development will be connected to other main/s the Reticulation Recovery charge may be changed and/or you may need to construct other works.

2 Special Requirements

- **Provision of sewer facilities**

The provision of sewer facilities to this development is dependent upon the satisfactory completion of works known as the Narrabeen Creek Sewer Carrier. This proposed 300mm diameter sewer will be laid along the southern bank of Narrabeen Creek which is the north-eastern boundary of the proposed development. A connection point will be made available inside the property boundary. The estimated completion of these works is 2009.

- **Complete conditions of the Developer Contribution Agreement Warriewood Sewage Treatment Plant**

Your organisation signed a Commercial Agreement with Sydney Water to pay its share of contributions towards odour mitigation works to be carried out at our Warriewood STP. The conditions and works in this Agreement and Notice letter will need to satisfactorily completed before the Section 73 Certificate can issue.

OTHER THINGS YOU NEED TO DO

Shown below are other things you need to do that are NOT a requirement for the Certificate. They may well be a requirement of Sydney Water in the future because of the impact of your development on our assets. You must read them before you go any further.

(1) Stamping and approval of your building plans

Please note that your building plans must be stamped and approved. This can be done at either a

- Quick Check agency (for an agency list visit www.sydneywater.com.au > Building Developing and Plumbing > Quick Check or call 13 20 92) or
- Sydney Water Customer Service Centre

This is not a requirement for the Certificate but the approval is needed because construction/building works may impact on existing Sydney Water assets (e.g. water and sewer mains). **In any case, these works MUST NOT commence until Sydney Water has granted approval.**

Your Coordinator can tell you about the approval process including

- Possible requirements
- Costs and
- Timeframes

Note You must obtain our written approval before you do any work on Sydney Water's systems. Sydney Water will take action to have work stopped on the site if you do not have that approval. We will apply Section 44 of the Sydney Water Act 1994.

(2) Water and sewer information

(a) Water

Your development must have a frontage to a water main that is the right size and can be used for connection.

Sydney Water has assessed your application and found that

- The existing 200mm DI/CL water main in MacPherson Street (opposite side of road) will serve your development and must have its own connection to that water main.

Large water Service Connection

The size of your development means that you will need a connection larger than the standard domestic 20 mm size.

To get approval for your connection, you will need to lodge an application with a Quick Check Agent or at a Sydney Water Customer Centre. You, or your hydraulic consultant, may need to supply the following:

- A plan of the hydraulic layout

- A list of all the fixtures/fittings within the property
- A copy of the fireflow pressure inquiry issued by Sydney Water
- A pump application form (if a pump is required)
- All pump details (if a pump is required)

You will have to pay an application fee

Sydney Water does not consider whether a water main is adequate for fire fighting purposes for your development. We cannot guarantee that this water supply will meet your Council's fire fighting requirements. The Council and your hydraulic consultant can help.

Private Water Services Connection and Metering

To provide domestic water to the total development you will need to connect to the Sydney Water main. This connection must comply with the *National Plumbing and Drainage Code AS 3500* and *NSW Code of Practice for Plumbing and Drainage*. You may have to include isolation valves on either side of the connection(s) to the Sydney Water main.

For example a single meter on

- each vertical block of residential units** whether subdivided or unsubdivided (e.g. if your development has tower buildings you must provide a meter for each building off one or more connections to the main),
- each mixed development use type** whether subdivided or unsubdivided (e.g. if your mixed development has both a residential and a commercial area you must provide a meter for each area usually off one connection to the main. Note that if there is more than one commercial area you must provide a separate meter for each commercial area off that connection) and
- each non-residential Strata, Stratum or Torrens (within a Community) Title** subdivided lot with a demand for water. You will need a separate private water service for each lot.

Note

Where a number of non-residential units are not subdivided, separate services and metering to each unit is not required as Sydney Water will look to the owner for payment of all rates and charges. For example a shopping centre where all shops remain in one ownership.

To meet the preceding guidelines either

- a single connection to the Sydney Water main may be branched, or
- if you would rather separate connections for each use type/area you can apply to us for that.

A vertical building may be plumbed with a common riser with either

- a ring main on each floor with tee off-takes at each unit, or
- individual metered services to each unit that will allow housing of individually tagged meters in the one location.

The location of the meter servicing a residential vertical building generally must be in the commercial area after all commercial off-takes.

Sydney water will supply enough meters to meet the above guidelines but we will not provide any check meters. All meters **must** be placed in an accessible area that should be either

- no more than one metre inside the property boundary, or
- in a location acceptable to Sydney Water e.g. in the commercial area after all commercial off takes

(b) Sewer

Your development must have a sewer main that is the right size and can be used for connection. That sewer must also have a connection point within your development's boundaries.

Sydney Water has assessed your application and found that

- The provision of sewer facilities to this development is dependent upon the satisfactory completion of works known as the Narrabeen Creek Carrier. This proposed 300mm diameter sewer will be laid along the southern bank of Narrabeen Creek which is the north eastern boundary of the proposed development. A connection point will be made available inside the property boundary. The estimated completion of these works is 2009.

(3) Soffit Requirements

Please be aware that floor levels must meet Sydney Water's soffit requirements for property connection and drainage.

(4) Asset adjustments

After Sydney Water issues this Notice, we may find that the water main/sewer main/stormwater located in the footway/your property needs to be adjusted/deviated. If this happens you will need to complete this work at your cost and to Sydney Water standards **before we can issue the Certificate**. (This is also talked about in the section in this Notice about building plan stamping.)

You must engage your current or another authorised Coordinator to make another application for approval (and pay an application fee) and manage the design and construction of the works. Coordinators will give you a quote or information about costs for services/works including Sydney Water costs.

For a list of authorised Coordinators, either visit www.sydneywater.com.au > Building Developing and Plumbing > Developing Your Land or call 13 20 92.

You will need to sign a Major Works Agreement before you can construct the works. Sydney Water will need to see the completed designs for the work before construction and we will require you to lodge a security. The security will be refunded once the work is completed.

(5) Trade Waste Information

Should this development generate trade wastewater, this notice of requirements does not guarantee the applicant that Sydney Water will accept the trade wastewater to its sewerage system. For further information please visit the Sydney Water website at, <http://www.sydneywater.com.au/OurSystemsAndOperations/Tradewaste/>

or contact a Trade waste Customer Service Representative on (02) 9622 2244.

Prospective Purchasers should be made aware of the above situation under the requirements of vendor disclosure.

(6) Backflow Prevention Information

In accordance with Sydney Water's Backflow Prevention Policy, you may be required to install a backflow prevention containment device immediately downstream of each water meter serving the property. The device must be installed as a condition of continued use of the water supply. Failure to install and maintain the device may result in disconnection of the water service. A copy of Sydney Water's Backflow Prevention Policy is available on the Sydney Water Website at <http://www.sydneywater.com.au/BuildingDevelopingandPlumbing/BackflowPrevention>

(7) Other fees and requirements

The requirements in this Notice relate to your Certificate application only. Sydney Water may be involved with other aspects of your development and there may be other fees or requirements. These include:

- plumbing and drainage inspection costs
- the installation of backflow prevention devices,
- trade waste requirements,
- large water connections and
- council fire fighting requirements. (It will help you to know what the fire fighting requirements are for your development as soon as possible. Your hydraulic consultant can help you here.)

END OF NOTICE

Waste Management Plan

Demolition, Construction and Use of Premises

Completing this table will assist you in identifying the type of waste that will be generated and in advising Council how you intend to re-use, recycling or dispose of the waste

If space is insufficient in the table please provide attachments

Outline of Proposal

Site Address 6 - 14 MacPHERSON STREET, MACPHERSON

Applicant's Name and Address Morgan Moore & Associate, on behalf of Anglican Retirement Villages
Level 5, 140 Arthur Street North Sydney NSW 2060

Phone No 9957-3048 Fax No 9957-6188

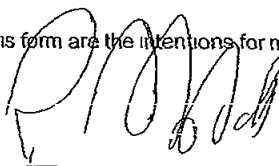
Building and other structures currently on the site N /, Cleared site

Brief description of proposal

Construction of 64 Independent Living Units (ILUs) and associated landscaping & civil works

The details provided on this form are the intentions for managing waste relating to this project

Signature of Applicant



Date

13/12/07

Waste Management Plan

SECTION ONE DEMOLITION STAGE

Materials On-Site	Re-use and Recycling		Destination		Disposal
	On Site Specify On-Site Re-use or Recycle Materials	Off Site Specify contractor and recycling Realty	On Site Specify On-Site Re-use or Recycle Materials	Off Site Specify contractor and recycling Realty	
Excavation material	7000m ³	-	-	-	Southern Cross (mrt) → Enviroguard
Green waste	3000m ³	-	-	-	" " →
Bricks	-	-	-	-	-
Concrete	-	-	-	-	-
Timber (please specify)	-	-	-	-	-
Plaster board	-	-	-	-	-
Metals (please specify)	-	-	-	-	-
Other (please specify)	-	-	-	-	-

Waste Management Plan

SECTION TWO CONSTRUCTION STAGE

Materials On-Site		Re-use and Recycling		Disposal	
Type of Waste Materials	Estimated Volume (m ³)	On Site Specify proposed location Store in drums, bags	Off Site Specify contractor/recycling facility	Specify contractor and location	Site
Excavation material	300 m ³	Backfill Material			
Green waste	200 m ³				
Bricks	50 m ³		Southern Cross Const → Brick PT		Southern Cross Const → Envirogravol
Concrete	-				
Timber (please specify)	100 m ³			Southern Cross Const → STTA	
Plaster board	100 m ³			Southern Cross Const → STTA	
Metals (please specify)	100 m ³				
Other (please specify)					

Waste Management Plan

SECTION THREE USE OF PREMISES

Type of Waste to be Generated	Expected Volume per week	Proposed on-site storage and treatment facilities	Destination
Plastic, Styrofoam, Etc. Xmas tree Glass, paper, food waste, etc.	40 m ³	On-site storage and recycling on-site composting separation equipment	Recycling disposal supply store etc
General household rubbish	40 m ³		General Waste & recycling bins & 6-11 Richards chipmunk

Waste Management Plan

SECTION FOUR ON-GOING MANAGEMENT

Describe how you intend to ensure on-going management of waste on-site (eg lease conditions, caretaker/manager on-site)

On site Management Staff will maintain garbage facilities & ensure rubbish going to consistent



13th December 2007

MORGAN AND MOORE ASSOCIATES
Lvl 5 140 Arthur Street
North Sydney
NSW 2060

Attention *Richard Abbott*

Dear *Richard*

JOB TITLE *Stage 1 – Warriewood Brook*
OUR REF JOB NO *05-149s*

CERTIFICATE OF COMPLIANCE – LANDSCAPE DOCUMENTATION

SUBJECT PREMISES **STAGE 1 WARRIEWOOD BROOK RETIREMENT VILLAGE 8 MCPHERSON STREET WARRIEWOOD**
CONSENT DA NUMBER No 102/05

We hereby certify that the above design and documentation is in accordance with accepted Landscape Architectural practice and relevant conditions of Development Consent. In particular condition C1 pertaining to the landscape plans being prepared in accordance with the landscape master plan and liaison with council.

We are an appropriately qualified company in this area and as such certify that the design and performance of the design systems comply with the above and which are detailed on the following drawings:

LM01	B1	Landscape Cover Sheet
LF01	B1	Landscape Finishes
LF02	B1	Landscape Finishes
LF03	B1	Landscape Finishes
LF04	B1	Landscape Finishes
LP01	B1	Landscape Planting
LP02	B1	Landscape Planting
LP03	B1	Landscape Planting
LP04	B1	Landscape Planting
LP05	B1	Landscape Planting
LD01	B1	Details
LD02	B1	Details
LD03	B1	Details

taylor brammer landscape architects

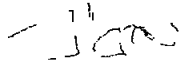
Sydney
218 Oxford Street Woollahra NSW 2025 Australia
t +61 2 9387 8855 f +61 2 9387 8155
e sydney@taylorbrammer.com.au

South Coast
26 Moore Street PO Box 64 Austinmer NSW 2515 Australia
t +612 4267 5088 f +612 4267 4826
e southcoast@taylorbrammer.com.au

The firm possesses Professional Indemnity Insurance to the value of \$ 5 000 000 as required

Full Name of Designer Taylor Brammer Landscape Architects Pty Ltd
Address of Designer 218 Oxford Street Woollahra NSW 2025
Business Telephone 02 9387 8855 Facsimile No 02 9387 8155

Yours faithfully



James Heron BLArch (Hons1) DipHort
Landscape Architect



Job No 2005/307

Wednesday, 2 April 2008

Pittwater Council,
PO Box 882,
Mona Vale, NSW 1660

Attention General Manager

**RE Construction Certificate No 05/307/04
6-14 Macpherson Street, Warriewood**

Please find attached a copy of Construction Certificate 05/307/04 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(b) and 81A(2) of the Environmental Planning and Assessment Act 1979

Please find attached a cheque in the amount of \$30 00 payable for the registration of the Construction Certificate

Can you please forward SWP a receipt for the acknowledgment of the lodgement cheque

If you have any queries please do not hesitate to contact me on (02) 9283 6555

Regards,

Michael Hatzinikolis
Steve Watson & Partners



Job No 2005/307

Wednesday, 2 April 2008

Anglican Retirement Villages, Diocese of Sydney,
C/- Michael Lockwood
PO Box 284,
Castle Hill, NSW 1765

Attention Michael Lockwood

**RE Construction Certificate No 05/307/04
6-14 Macpherson Street, Warriewood**

Please find attached a copy of Construction Certificate 05/307/04 and required attachments issued by Steve Watson & Partners for the above mentioned development in accordance with Section 109C(1)(b) and 81A(2) of the Environmental Planning and Assessment Act 1979

If you have any queries please do not hesitate to contact me on (02) 9283 6555

Regards,

Michael Hatzinikolis
Steve Watson & Partners

ANGLICAN RETIREMENT VILLAGES

WARRIEWOOD VALLEY

RESIDENTIAL AGED CARE FACILITY

ARCHITECTURAL DRAWING SET

GENERAL

A000 DRAWING SCHEDULE

SITE PLANS

A101 SITE STAGING PLAN
 A102 SITE PLAN
 A103 FIRE AND SMOKE COMPARTMENTATION PLANS

FLOORS PLANS

A201 BASEMENT FLOOR PLAN
 A201.1 BASEMENT SLAB DIAGRAM
 A201.2 BASEMENT PARTITION PLAN
 A202 GROUND FLOOR PLAN
 A202.1 GROUND FLOOR SLAB DIAGRAM
 A202.2.1 GROUND FLOOR PARTITION PLAN NORTH
 A202.2.2 GROUND FLOOR PARTITION PLAN SOUTH
 A203 FIRST FLOOR PLAN
 A203.1 FIRST FLOOR SLAB DIAGRAM
 A203.2.1 FIRST FLOOR PARTITION PLAN NORTH
 A203.2.2 FIRST FLOOR PARTITION PLAN SOUTH
 A204.1 ROOF PLAN
 A204.2 ROOF/PLANT PLATFORM PARTITION PLAN

REFLECTED CEILING PLANS

A301 BASEMENT FLOOR REFLECTED CEILING PLAN
 A302 GROUND FLOOR REFLECTED CEILING PLAN
 A303 FIRST FLOOR REFLECTED CEILING PLAN

ELEVATIONS AND SECTIONS

A501 ELEVATIONS
 A502 SECTIONS
 A503 SECTIONS

ROOM DETAILS

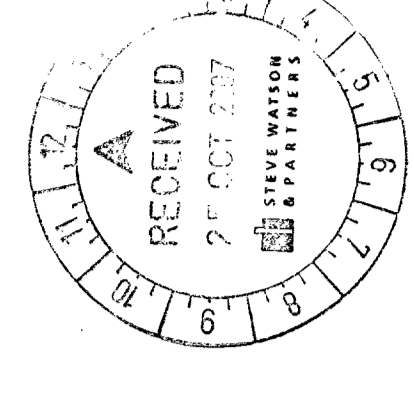
A600 SERIES - REFER SEPARATE A3 DRAWING SET

CONSTRUCTION DETAILS

A701 STAIR PLANS & SECTIONS
 A702 STAIR & LIFT PLANS & SECTIONS
 A703 WALL SECTIONS 1-4
 A704 WALL SECTIONS 5-8
 A705 WALL SECTIONS 9-11
 A706 PORT COCHERE SECTIONS;
 PORT COCHERE DETAILS
 A707 SUNSHADE; BATTEN SCREEN;
 ROOF & PLANTER DETAILS
 A708 EXTERNAL CLADDING DETAILS; MISC. DETAILS
 A709 DOOR & WINDOW DETAILS; TERRACE SETDOWN
 DETAILS; MISCELLANEOUS DETAILS
 A710 BALUSTRADE & HANDRAIL DETAILS; MISC. DETAILS
 A711 INTERIOR FINISHING DETAILS; RISER DETAILS;
 MISCELLANEOUS DETAILS

SCHEDULES

A801 GLAZING SCHEDULE



Merrin & Cranston
 Architects
 10/111 Sturt Street
 Warriewood NSW 1584
 Tel: (02) 9346 5504
 Fax: (02) 9346 5504
 Email: merrin@mmcc.com.au
 Website: www.mmcc.com.au

TENDER
 PROJECT: ANGLICAN RETIREMENT VILLAGES
 DRAWING SCHEDULE
 DATE: 07 APR 2020
 SCALE: 1:1000
 DRAWING NO: A191_A000

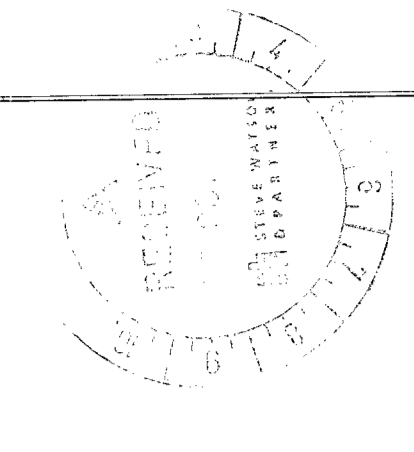
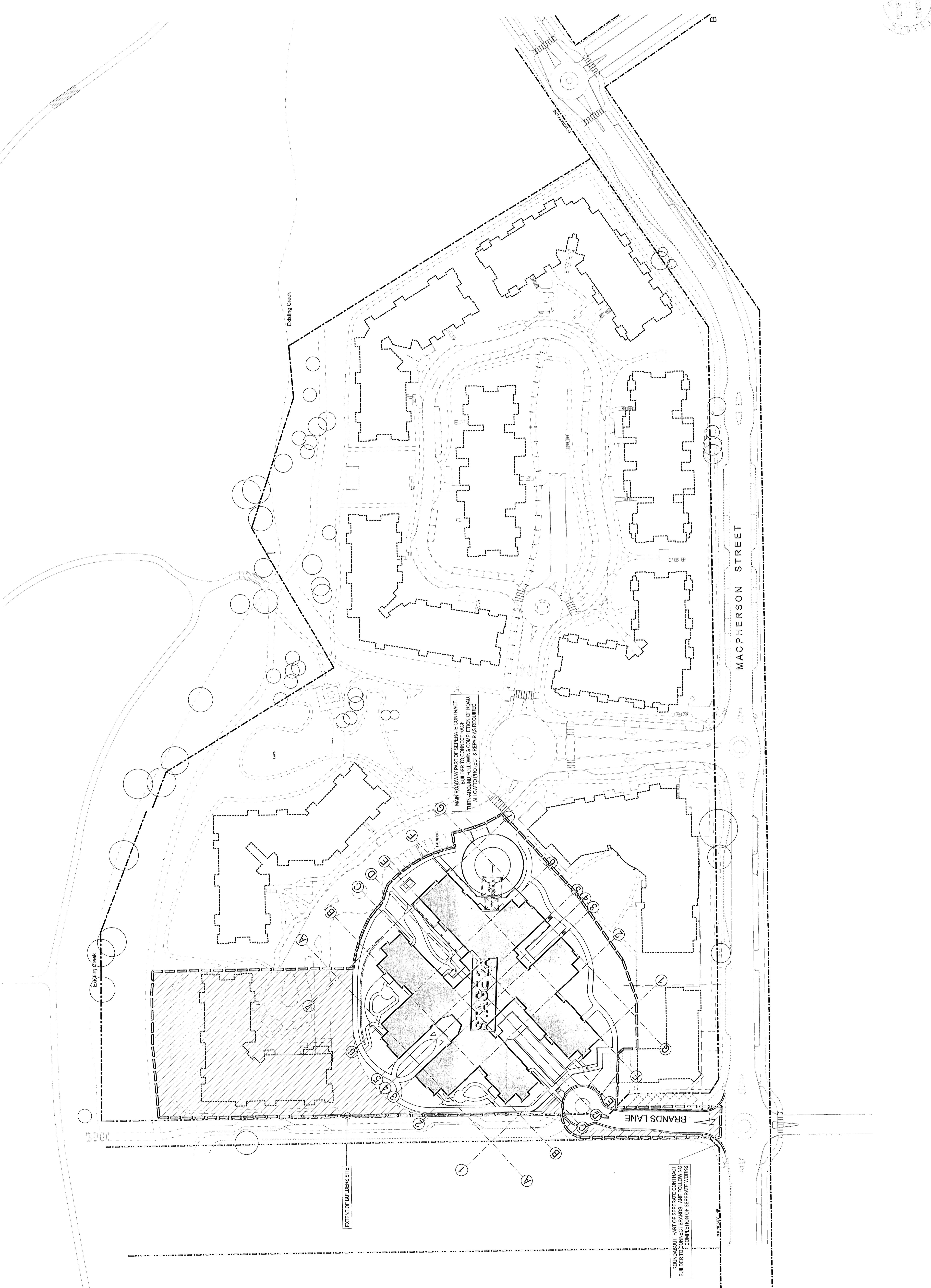
NOTES:
 1. THIS PLAN IS A PRELIMINARY DESIGN AND SHALL BE USED FOR INFORMATION ONLY.
 2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

LEGEND - Site Staging Plan

- EXTENT OF BUILDERS SITE
- EXTENT OF BUILDERS SITE
- EXTENT OF BUILDERS SITE
- PROPOSED SITE WORKING BY OTHERS (NOT PART OF THIS CONTRACT)
- PROPOSED SITE WORKING BY OTHERS (NOT PART OF THIS CONTRACT)
- PROPOSED SITE WORKING BY OTHERS (NOT PART OF THIS CONTRACT)
- REMAINING VEGETATION
- EXTENT OF BUILDERS SITE FENCING
- PROP. SITE ENTRANCES

NOTES - Site Staging Plan

1. MAXIMUM EXTENT OF BUILDERS SITE TO REMAIN WITHIN INDICATED ZONE.
2. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
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9. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
10. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.



TENDER
 PROJECT CONTRACTOR: GRANT CAMERON
 PROJECT: ANGLICAN RETIREMENT VILLAGES
 CLIENT: WARRENWOOD VALLEY 118 BED RACF (STAGE 2A)
 ARCHITECT: Merrin & Cranston Pty Ltd Architects
 PO Box 3447 South Bank QLD 4104
 Tel: (07) 3844 6104 Fax: (07) 3846 3304
 Email: reception@merrinandcranston.com.au
 Queensland Council of Professional Engineers (QCPENG) No. 1309807

SITE STAGING PLAN
 SCALE: 1:1,500
 DATE: 07 APR 2008
 SHEET NO: A101 A

NOTES:
 1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED IN THIS PLAN.
 2. REFER TO ALL DIMENSIONS FOR TEMPORARY CONSTRUCTION WORKS.
 3. REFER TO THE APPROVED CONSTRUCTION ACCESS MANAGEMENT PLAN FOR REQUIRED STAGING.
 4. ALL DIMENSIONS TO THE EXISTING SURFACE UNLESS OTHERWISE SPECIFIED.
 5. UP AND DOWN STEEPNESS OF PAVEMENT.

LEGEND - Site Plan

- EXISTING TREES
- TOP OF RETAINING WALL
- RETAINING WALL
- BUILDINGS TO BE CONSTRUCTED AS PART OF SEPARATE WORKS (NOT PART OF THIS CONTRACT)
- WORKS TO BE CONSTRUCTED AS PART OF SEPARATE WORKS (NOT PART OF THIS CONTRACT)
- SEPARATE WORKS (NOT PART OF THIS CONTRACT)

NOTES - Site Plan

- REFER TO ALL DIMENSIONS FOR TEMPORARY CONSTRUCTION WORKS.
- REFER TO THE APPROVED CONSTRUCTION ACCESS MANAGEMENT PLAN FOR REQUIRED STAGING.
- ALL DIMENSIONS TO THE EXISTING SURFACE UNLESS OTHERWISE SPECIFIED.
- UP AND DOWN STEEPNESS OF PAVEMENT.

PROJECT INFORMATION

PROJECT: **TENDER**
 PROJECT LOCATION: **GRANT CAMERON**
 PROJECT: **ANGELICAN RETIREMENT VILLAGES**
 PROJECT: **WARRIWOOD VALLEY 119 BED RACF (STAGE 2A)**

CLIENT
 Merrin & Cranston Pty Ltd
 ARCHITECT

CONTACT
 PO Box 3447
 4810 WARRIWOOD VALLEY
 QLD 4810
 merrin@tender.com.au
 07 4810 3447

DATE
 07 APR 2023

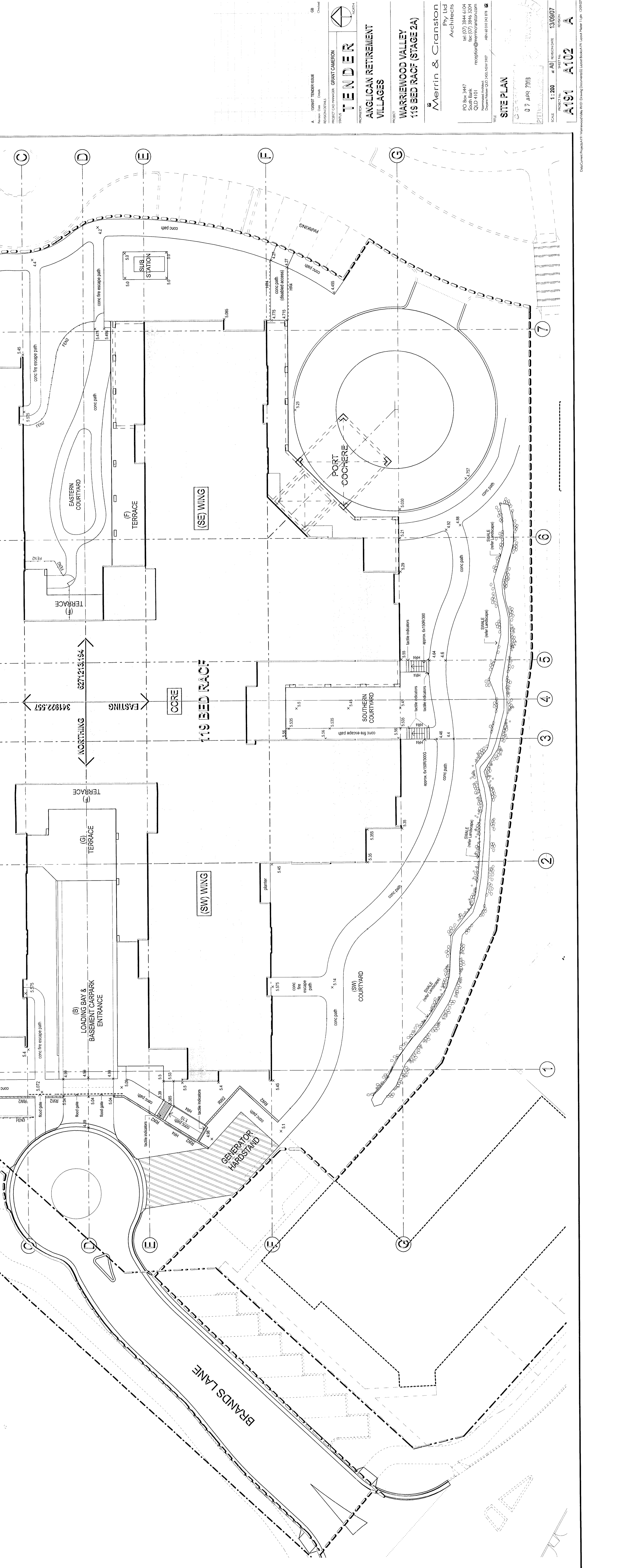
SCALE
 1:200

PROJECT NUMBER
 1308007

REVISION
 A191 A102 A

SITE PLAN

DATE: 07 APR 2023
 SCALE: 1:200
 PROJECT NUMBER: 1308007
 REVISION: A191 A102 A



NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. REFER TO ALL RELEVANT DRAWINGS FOR COMPLETE INFORMATION.
 3. CONSULT WITH CONTRACTOR FOR ANY CHANGES.

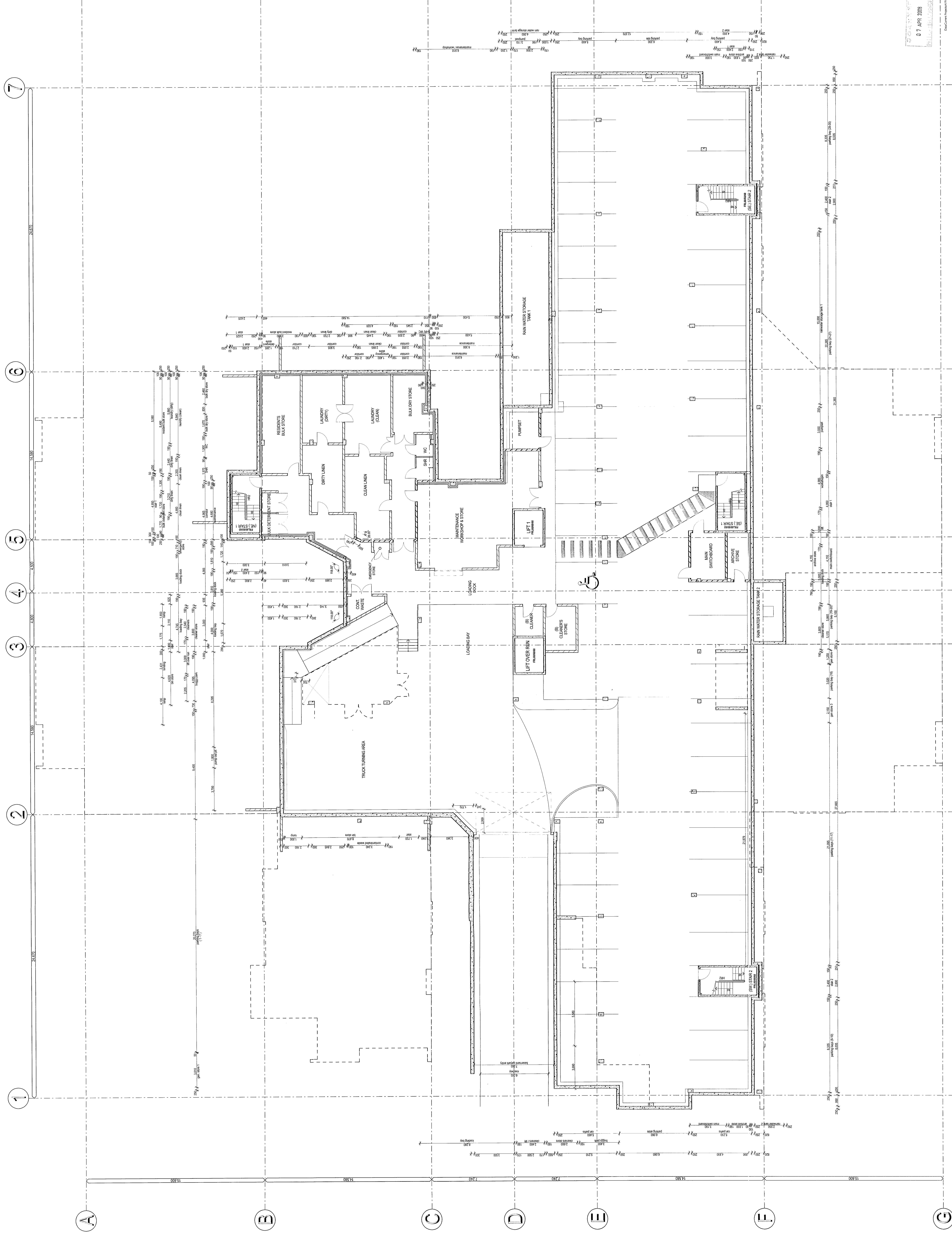
TENDER
 ARCHITECTS
 100 St. Paul Street
 South Brisbane
 QLD 4101
 Tel: (07) 3444 104
 Fax: (07) 3444 3304
 Email: info@tenderarchitects.com.au
 Website: www.tenderarchitects.com.au

ANGELICAN RETIREMENT VILLAGES
WARREWOOD VALLEY 119 BED RACF (STAGE 2A)

Merrin & Cranston Pty Ltd
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 Website: www.merrincranston.com.au

BASEMENT PARTITION SETOUT PLAN
 (RL 1.4 (LOADING BAY & TRUCK TURN AROUND) & RL 2.32 (GENERAL))

SCALE: 1:100
 PROJECT NO: 1309007
 SHEET NO: A191_A201.2
 DATE: 07 APR 2008
 DRAWN BY: [Signature]



07 APR 2008
 [Signature]

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NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

LEGEND - Slab Setout Plan

- ▭ SLAB CONCRETE
- ▭ SLAB REINFORCEMENT
- ▭ SLAB REINFORCEMENT DETAIL
- ▭ CONCRETE COLUMN
- ▭ SLAB BEARING FOR BRICK, BLOCK SUPPORT

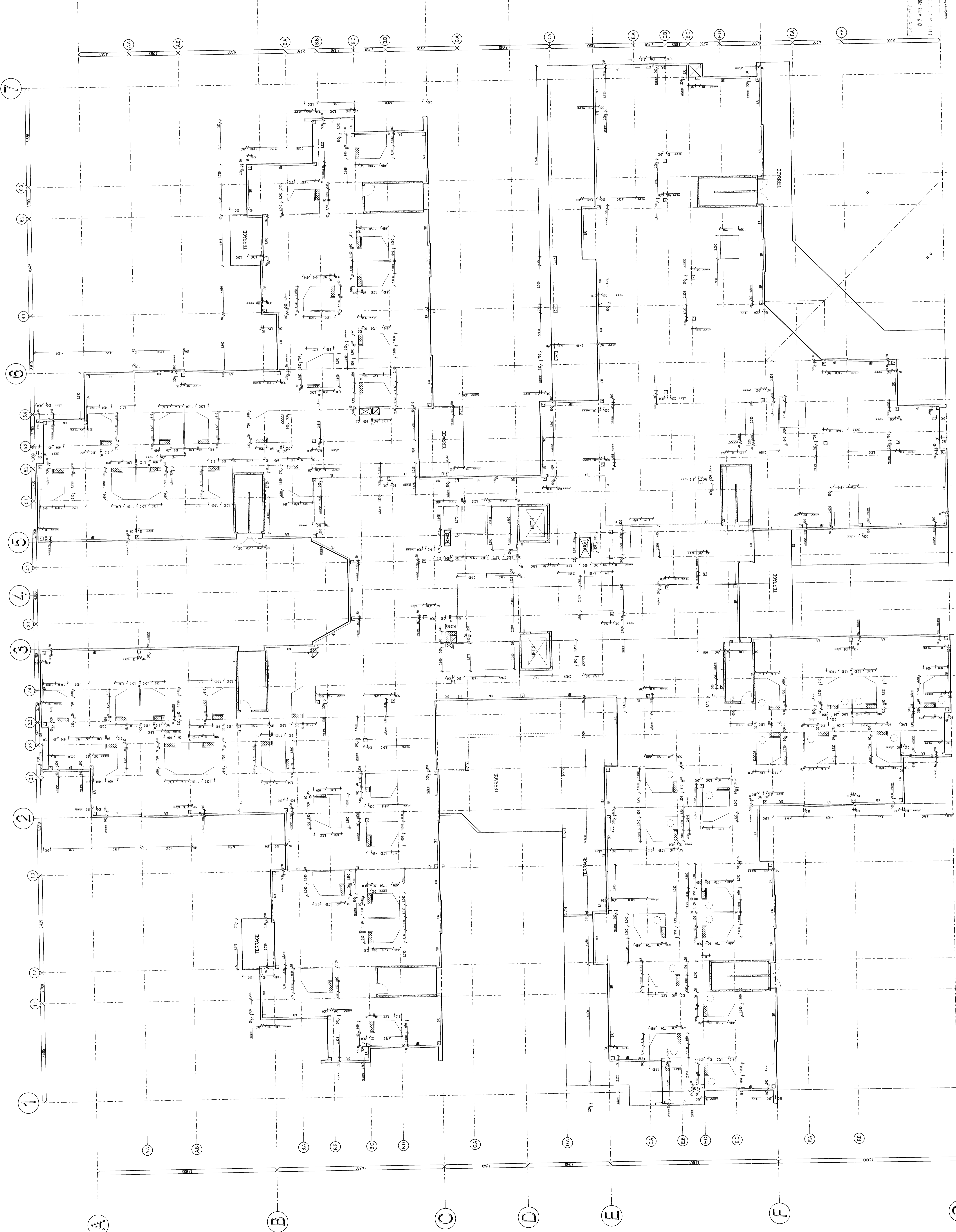
NOTES - Slab Setout Plan

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
4. REFER TO ARCHITECTURAL DETAILS FOR ROOM AND WINDOW SCHEDULES, REINFORCEMENT AND BRICK WALL REQUIREMENTS.
5. REFER TO STRUCTURAL PLAN FOR BRICK WALLS, TERRACE WALLS AND REINFORCEMENT.
6. REFER TO STRUCTURAL PLAN FOR ALL BRICKWORKING.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

PROJECT: **TENDER**
 ANGLICAN RETIREMENT VILLAGES
 WARREWOOD VALLEY
 115 BED RAC (STAGE 2A)

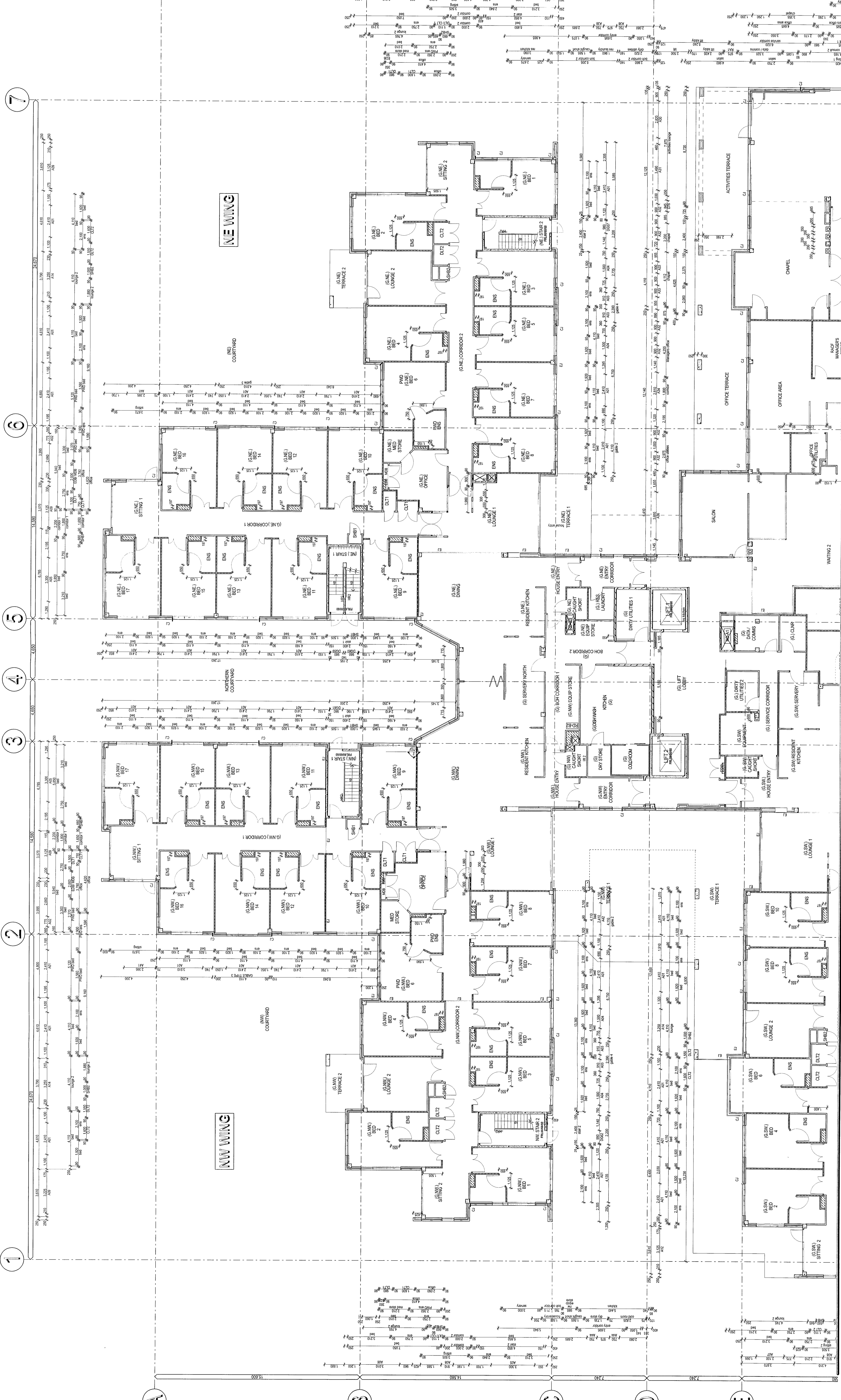
ARCHITECTS: **Merrin & Cranston Pty Ltd**
 PO Box 347
 181 071844 0104
 QLD 4101
 merrin@tender.com.au
 07 5522 2222

DATE: 07 APR 2021
 SCALE: 1:100
 DRAWING NO: A191 A202.1



DATE: 07 APR 2021
 SCALE: 1:100
 DRAWING NO: A191 A202.1

DATE: 07 APR 2021
 SCALE: 1:100
 DRAWING NO: A191 A202.1



TENDER
 PROJECT: ANGLICAN RETIREMENT VILLAGES
 ARCHITECT: Merrin & Cranston Architects
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 Fax: (08) 846 3204
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 www.merrinandcranston.com.au

**WARRENWOOD VALLEY
 1:9 BED RAFC (STAGE 2A)**

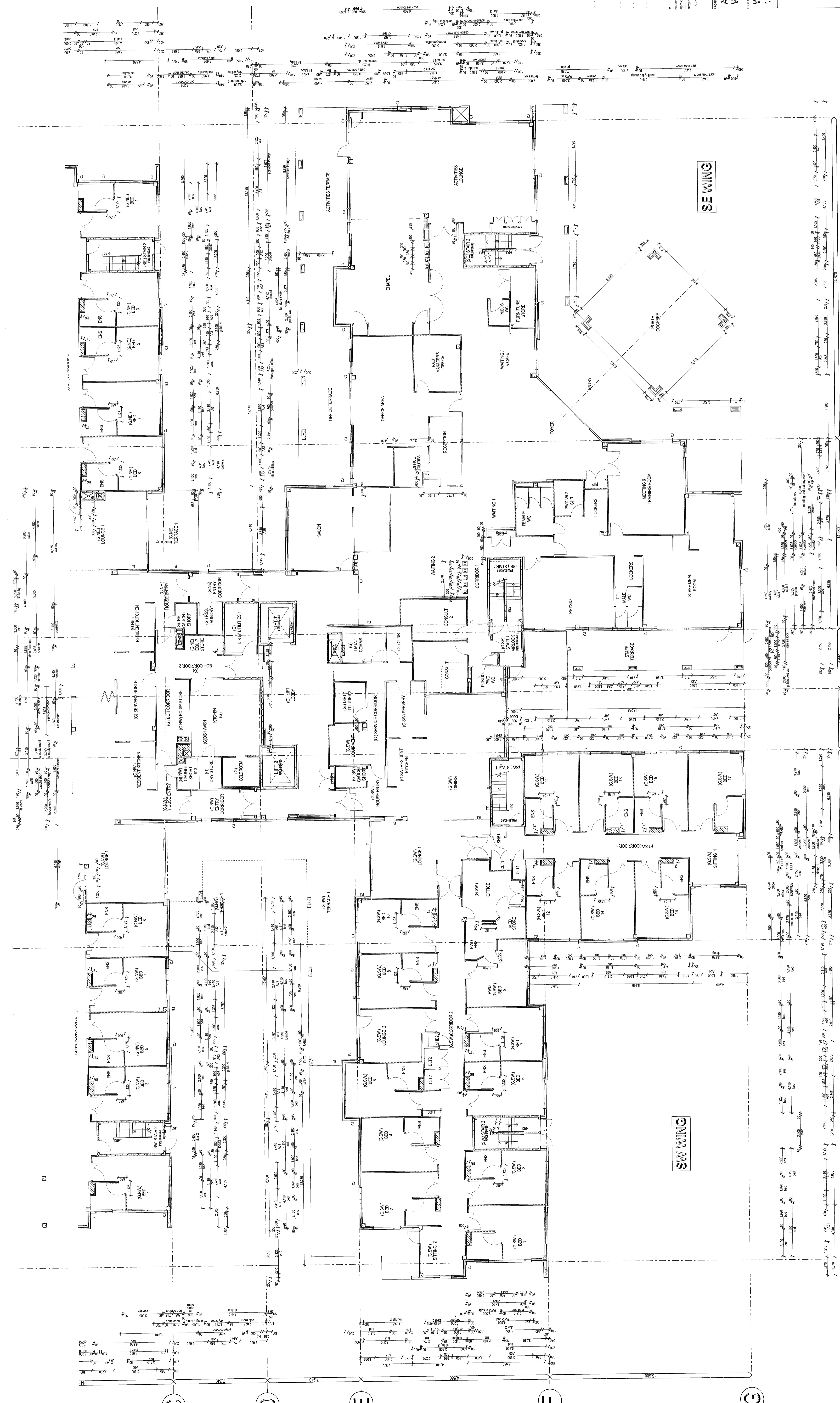
**GROUND FLOOR PARTITION
 SETOUT PLAN NORTH**
 (RL 58 UNO)

SCALE: 1:100
 DATE: 07 APR 2023
 DRAWING NO: A191 A202.2.1
 REVISION: A

JOINS DRAWING NUMBER A202.2.2

NOTES:
 1. FURNISHING AND EQUIPMENT TO BE PROVIDED BY CLIENT.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. REFER TO ALL DRAWINGS FOR MATERIALS AND FINISHES.

JOINS DRAWING NUMBER A202.2.1



SE WING

SW WING

TENDER
 ANGLICAN RETIREMENT VILLAGES

WARREWOOD VALLEY
 115 BED RACF (STAGE 2A)

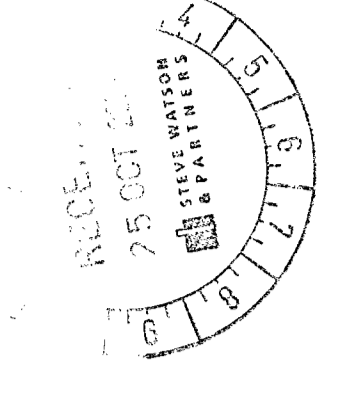
Merrin & Cranston
 Architects

PO Box 3447
 161 07 844 604
 GED 101
 reception@merrincranston.com
 161 07 844 604

GROUND FLOOR PARTITION
 SOUTH PLAN SOUTH
 [R.56 UNO]

SCALE: 1:100
 DATE: 07 APR 2022

A191 A202.2.2 A



DATE: 07 APR 2022
 SCALE: 1:100
 PROJECT: ANGLICAN RETIREMENT VILLAGES
 DRAWING: GROUND FLOOR PARTITION SOUTH PLAN SOUTH
 SHEET: A191 A202.2.2 A

NOTES:
 1. ALL WALLS UNLESS SPECIFIED OTHERWISE TO BE CONCRETE BLOCK.
 2. ALL FLOOR FINISHES TO BE AS SPECIFIED IN THE SCHEDULES.
 3. ALL CEILING FINISHES TO BE AS SPECIFIED IN THE SCHEDULES.

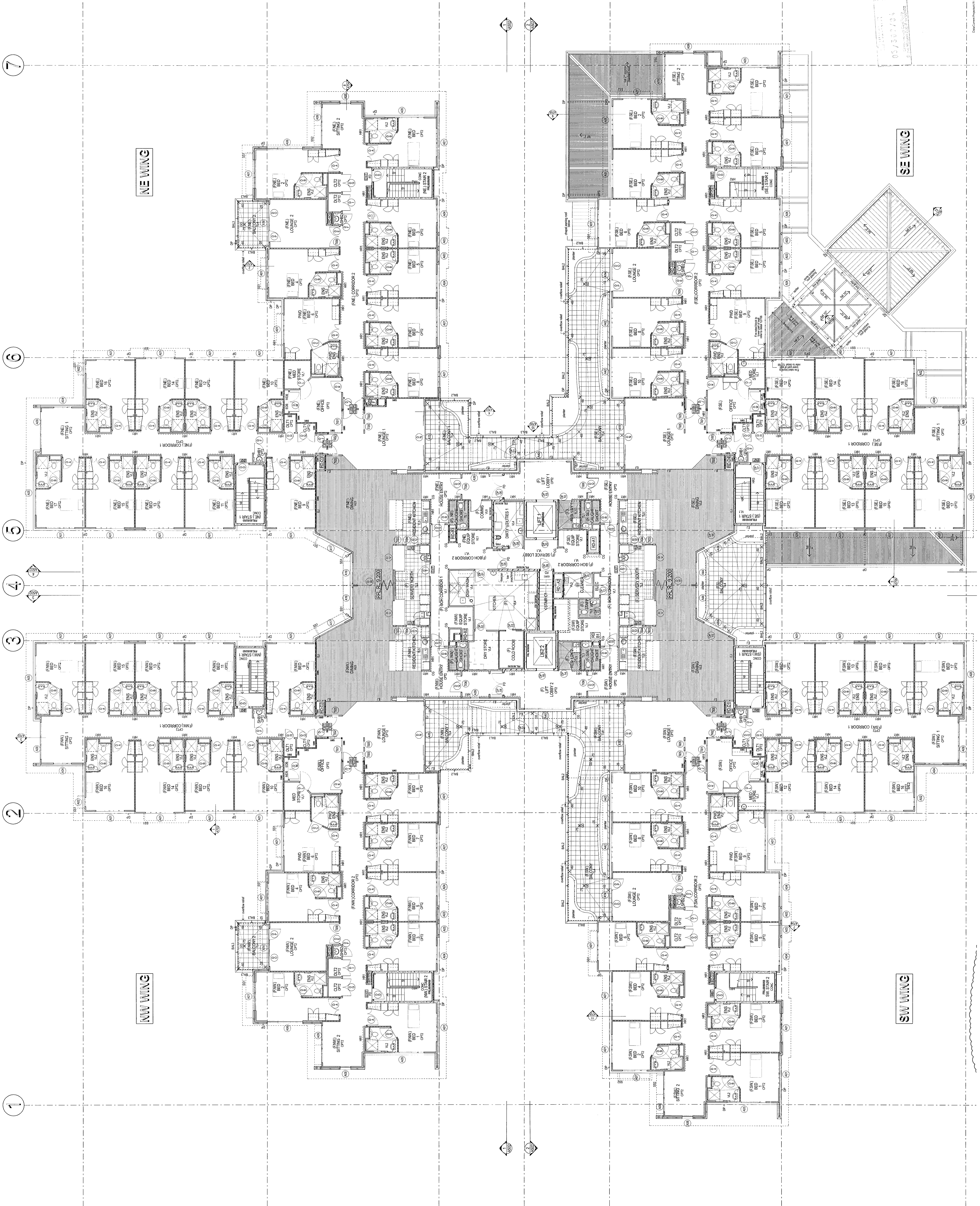
LEGEND - Floor Plan

- AF1 ABOVE FLOOR LEVEL
- AP ACCESS PANEL (Type 1-1)
- AP1 ACCESS PANEL (Type 1-1)
- AP2 ACCESS PANEL (Type 1-2)
- BS BASKET
- BT BASKET TRAP
- CC CONCRETE
- CC1 CONCRETE - COMMON COLUMN PROTECTION
- CC2 CONCRETE - COMMON WALL
- CC3 CONCRETE - COMMON THROUGH BRICK RING
- CC4 CONCRETE - COMMON THROUGH BRICK RING
- CC5 CONCRETE - COMMON THROUGH BRICK RING
- CC6 CONCRETE - COMMON THROUGH BRICK RING
- CC7 CONCRETE - COMMON THROUGH BRICK RING
- CC8 CONCRETE - COMMON THROUGH BRICK RING
- CC9 CONCRETE - COMMON THROUGH BRICK RING
- CC10 CONCRETE - COMMON THROUGH BRICK RING
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- CC98 CONCRETE - COMMON THROUGH BRICK RING
- CC99 CONCRETE - COMMON THROUGH BRICK RING
- CC100 CONCRETE - COMMON THROUGH BRICK RING

LEGEND - Wall Types

- W1 CONCRETE BLOCK
- W2 CONCRETE BLOCK
- W3 CONCRETE BLOCK
- W4 CONCRETE BLOCK
- W5 CONCRETE BLOCK
- W6 CONCRETE BLOCK
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- W99 CONCRETE BLOCK
- W100 CONCRETE BLOCK

PROJECT: ANGLICAN RETIREMENT VILLAGES
 WARREWOOD VALLEY
 119 BED RACF (STAGE 2A)
 ARCHITECT: Merrin & Cranston Pty Ltd
 15/155 South Bank QLD 4101
 PHONE: (07) 3845 1304
 EMAIL: info@merrinandcranston.com.au
 DATE: 07 APR 2023
 SCALE: 1:100
 SHEET NO: A191 A203
 PROJECT NO: JR92UN01
 DRAWING NO: 13/09/07



NW WING

SW WING

SE WING

7

6

5

4

3

2

1

A

B

C

D

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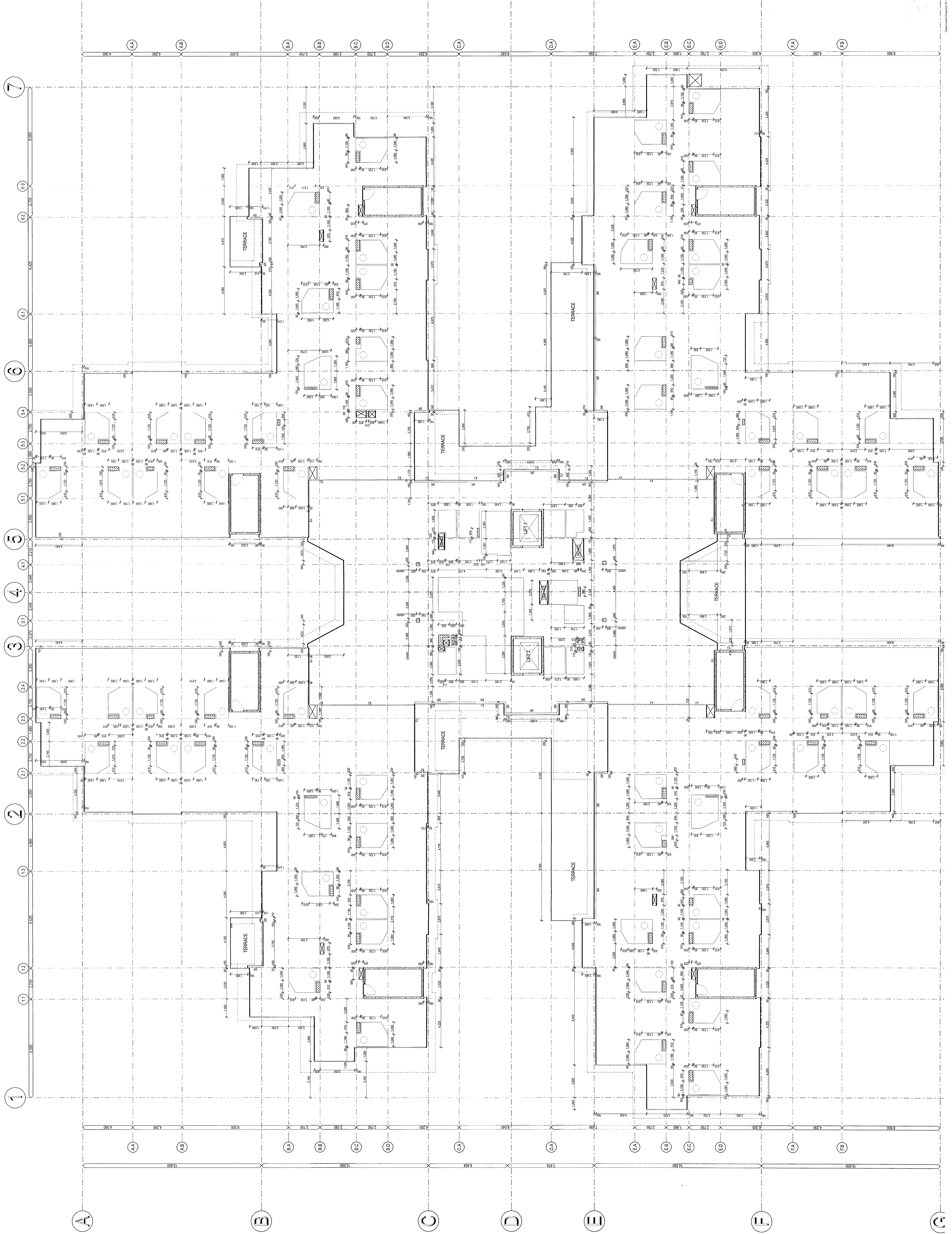
G

LEGEND - Slab Setout Plan

- REACTIVE EXPANSION JOINT
- ▣ SLAB PENETRATION BOSS OUT
- ▤ HYDRANT SERVICES PENETRATION ZONE
- ▥ CONCRETE COLUMN
- ▧ SLAB BEARING FOR BRICK BLOCK SUPPORT

NOTES - Slab Setout Plan

1. ALL DIMENSIONS ARE DIMENSIONED TO FACE UNLESS OTHERWISE SPECIFIED.
2. ALL DIMENSIONS ARE DIMENSIONED TO FACE UNLESS OTHERWISE SPECIFIED.
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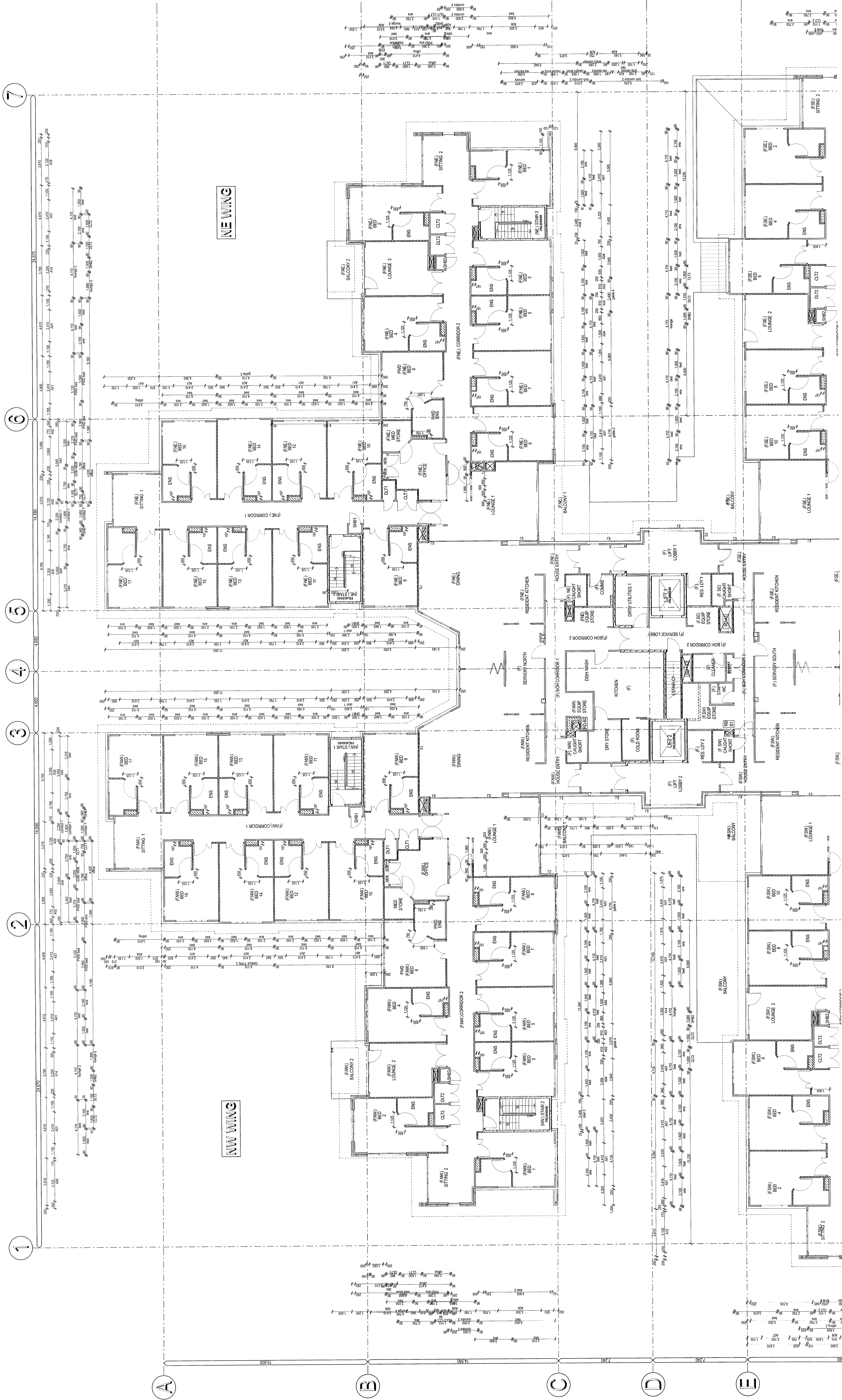
PROJECT: **WARWOOD VALLEY 119 BED RACS (STAGE 2A)**
 ARCHITECT: **TENDER VILLAGES**
 ARCHITECTS: **Merrin & Cranston Architects**
 PROJECT MANAGER: **GRANT CAMERON**
 DATE: **07 APR 2025**
 DRAWING NO: **A191 A203.1**
 SCALE: **1:100**
 SHEET NO: **13/09/07**
 PROJECT NO: **13/09/07**
 DRAWING NO: **A191 A203.1**
 SHEET NO: **A**

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS.
 2. CONSULT WITH THE ARCHITECT FOR ANY CHANGES.

PROJECT: TENDER
 PROJECT LOCATION: GRANT CAMERON
 ARCHITECTS: Merrin & Cranston
 PO Box 447
 100 St Johns St
 QLD 4101
 Phone: (07) 3845 3304
 Email: merrin@merincranston.com.au
 Website: www.merincranston.com.au

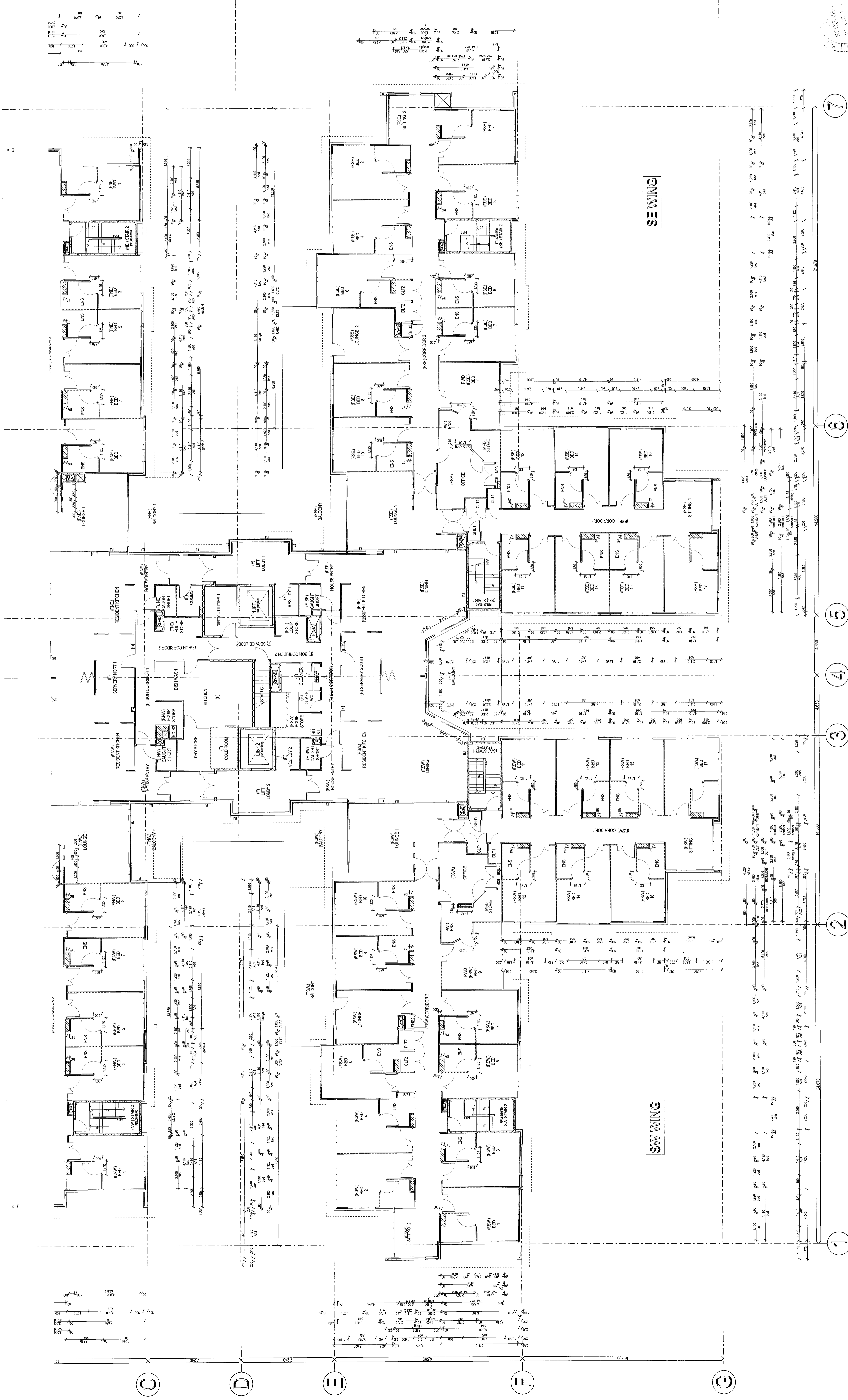
PROJECT: ANGLICAN RETIREMENT VILLAGES
 WARRIEWOOD VALLEY
 119 BED RACE (STAGE 2A)
 TITLE: FIRST FLOOR PARTITION SETOUT PLAN SOUTH (R.92.00.0)

DATE: 07 APR 2023
 SCALE: 1:100
 DRAWING NUMBER: A191 A203.2.1 A



JOINS DRAWING NUMBER A203.2.2

JOINS DRAWING NUMBER A203.2.1



SE WING

SW WING

TENDER

ANGELICAN RETIREMENT VILLAGES

WARRENWOOD VALLEY 119 BED RACF (STAGE 2A)

Merrin & Cranston Architects

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 Australia
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 Fax: (07) 3846 2044
 Email: info@merrin.com.au
 Website: www.merrin.com.au

PROJECT: ANGELICAN RETIREMENT VILLAGES
 DRAWING: FIRST FLOOR PARTITION SETOUT PLAN SOUTH
 DATE: 07/12/2020

Scale: 1:100
 Project No: A191 A203.2.1
 Drawing No: 13/09/07

Author: [Name]
 Designer: [Name]
 Checker: [Name]
 Approver: [Name]

DATE: 13/09/07
 PROJECT: A191 A203.2.1
 DRAWING: 13/09/07

DATE: 13/09/07
 PROJECT: A191 A203.2.1
 DRAWING: 13/09/07

NOTES:
 1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

LEGEND - Roof Plan

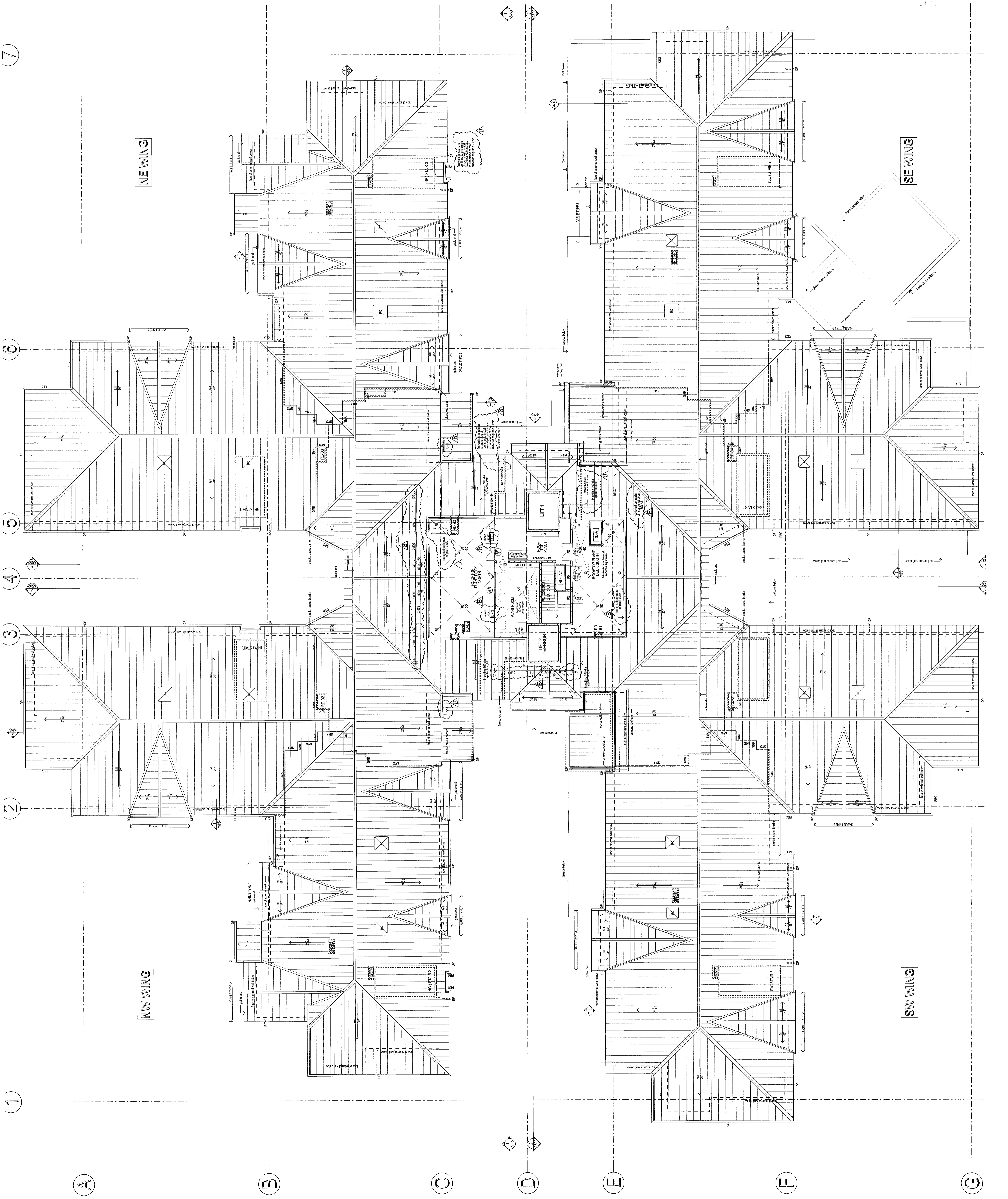
- CP DOWNPIPE
- CS DOWNPIPE WITH SPREADER AT BASE
- CD SPATED DRAIN
- MS MECHANICAL DISTRIBUTION BOARD
- RC ROOF SOON
- RES MANHOLE COVER
- RFS ROOF FINISHING
- RS STRUCTURAL BEAM/LEVEL
- RSR STRUCTURAL BEAM/LEVEL
- RSR NUMBER: REFERS TO SPECIFICATION/SCHEDULE

LEGEND - Wall Types

- RE WALL TO INTERIOR OF ROOF SHEETING
- RE WALL TO EXTERIOR OF ROOF SHEETING
- RE WALL TO INTERIOR OF ROOF SHEETING
- RE WALL TO EXTERIOR OF ROOF SHEETING
- RE WALL TO INTERIOR OF ROOF SHEETING
- RE WALL TO EXTERIOR OF ROOF SHEETING
- RE WALL TO INTERIOR OF ROOF SHEETING
- RE WALL TO EXTERIOR OF ROOF SHEETING

NOTES - Roof Plan

- 1. ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.



PROJECT: **ANGLIAN RETIREMENT VILLAGES**
 WARRENWOOD VALLEY
 119 BED RACF (STAGE 2A)

ARCHITECT: **Merrin & Cranston Pty Ltd**
 Architects
 PO Box 3447
 South Bank
 Queensland 4101
 Phone: (07) 3844 6104
 Fax: (07) 3846 3204
 Email: info@merrin.com.au

DESIGNER: **TENDER**
 PROJECT MANAGER: **GRANT CAMERON**

SCALE: 1:100
 DATE: 15/10/07
 DRAWING NO: **A191 A204 B**



NOTES

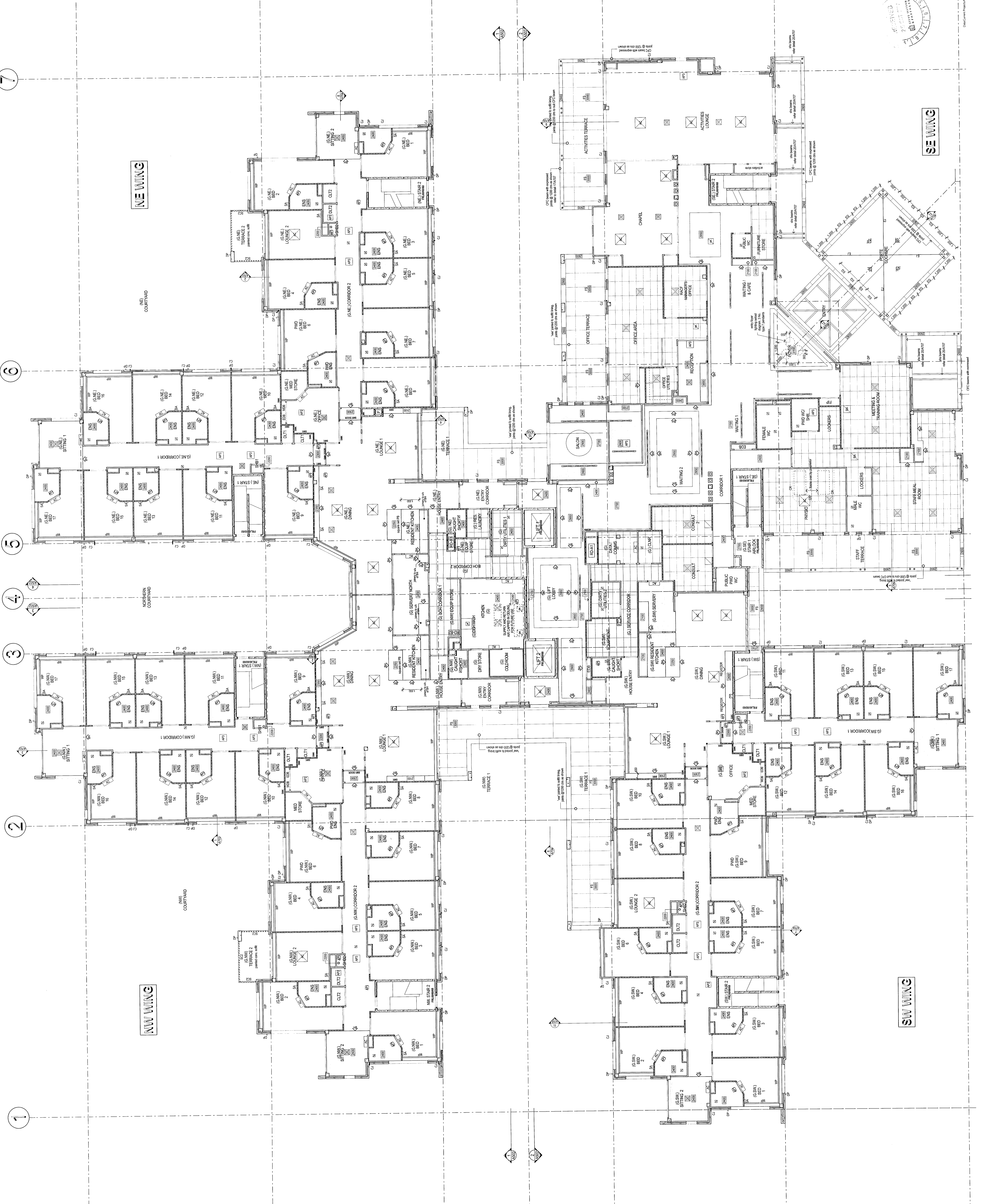
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2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL MATERIALS AND FINISHES TO BE SUPPLIED BY THE CONTRACTOR.
4. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

LEGEND - Reflected Ceiling Plan

- AL ALUMINIUM CLADDING
- BL BALCONY
- CL CLEAN LINED BRICK
- CC CONCRETE
- CS CLEAN SPAN CONCRETE
- CT CLEAN LINED TILE
- CU CLEAN UNPAVED CONCRETE
- DC DRY CONCRETE
- DP DOWNPIPE
- ER ELECTRICAL
- FI FLOORING
- GC GRANITE
- GL GLASS
- GR GRANITE
- HT HOT WATER HEATER
- IR IRON
- IS INSULATION
- LC LIGHTNING CONDUCTOR
- MD MECHANICAL DOWNPIPE
- MT METAL
- ND NICKEL
- NS NICKEL
- PL POLYURETHANE
- PO POLYURETHANE
- PR PLYWOOD
- RS RAIN
- SH SQUARE HOLLOW SECTION
- US UNDERSOLE
- WP WOOD PANEL

NOTES - Reflected Ceiling Plan

1. REFER TO INTERNAL FINISHES SCHEDULE FOR CEILING FINISHES.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL MATERIALS AND FINISHES TO BE SUPPLIED BY THE CONTRACTOR.
4. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
5. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
7. ALL WORK TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



TENDER

ANGELIAN RETIREMENT VILLAGES

WARWICKWOOD VALLEY 118 BED RACP (STAGE 2A)

Merrin & Cranston
Architects
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Melbourne VIC 3048
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www.merrinarchitects.com.au

GROUND FLOOR RCP

REVISED
07 APR 2008

PROJECT NO: 130807
SCALE: 1:100
SHEET NO: A191

SE WING

NW WING

NE WING







SW WING

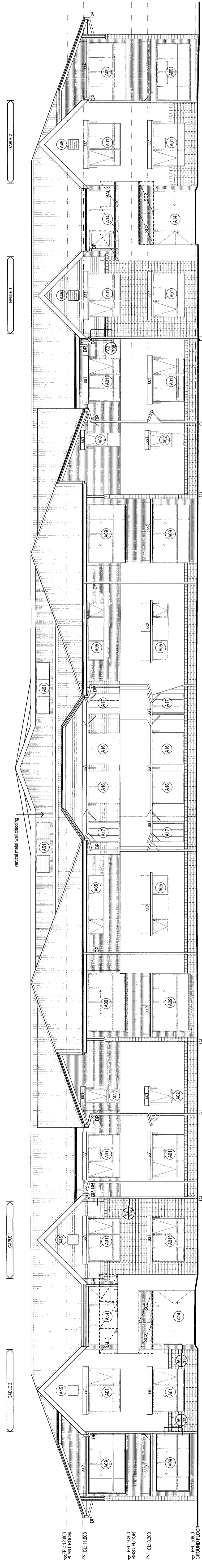
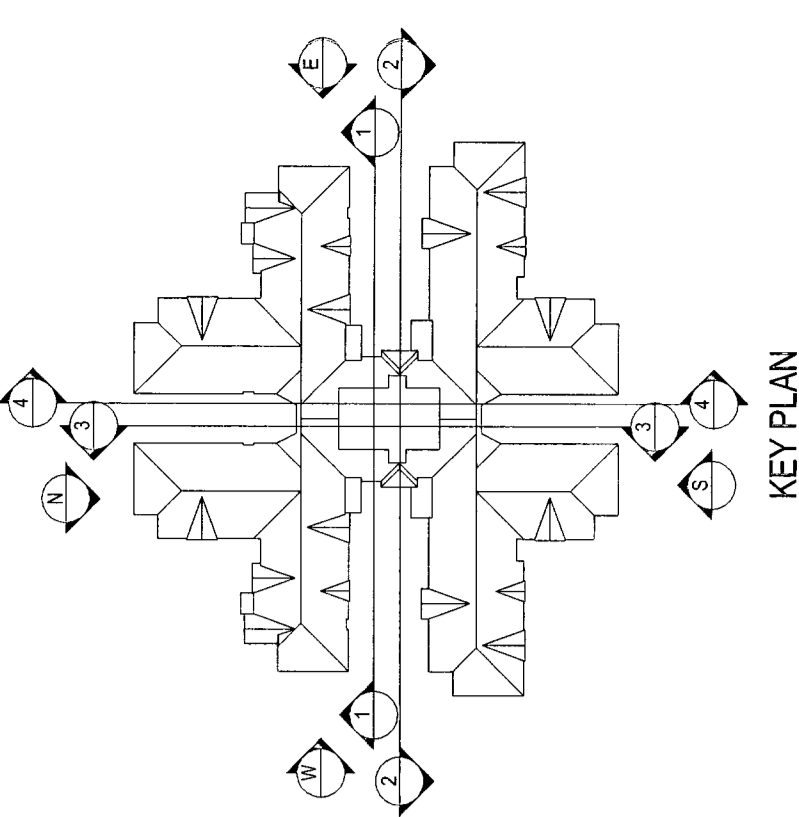
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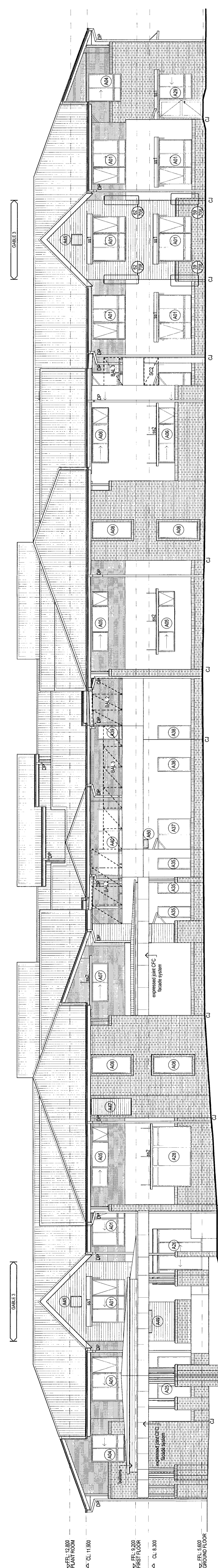
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LEGEND - Elevations/Sections

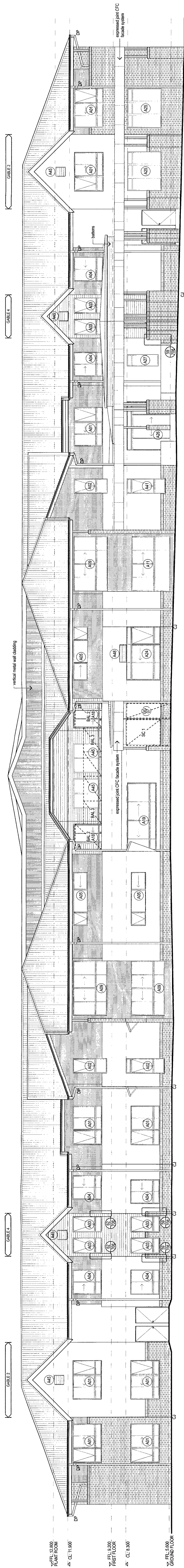
-  BRICKWORK
-  RENDERED FINISH
-  FACE BRICKWORK
-  WEATHERBOARD CLADDING
-  CLOUDBREAK METAL CLADDING
-  CLOUDBREAK ROOF SHEETING



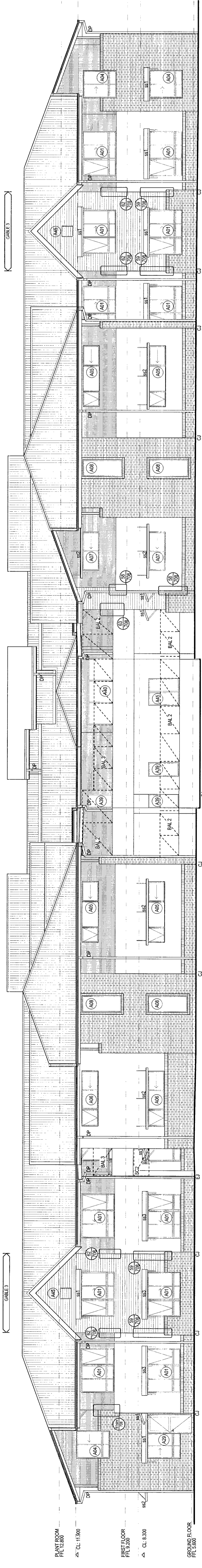
NORTH ELEVATION
1:100



EAST ELEVATION
1:100



SOUTH ELEVATION
1:100



WEST ELEVATION
1:100

TENDER

ANGELICAN RETIREMENT VILLAGES

WARRIEWOOD VALLEY 119 BED RAISE (STAGE 2A)

Merrin & Cranston Pty Ltd Architects
 PO Box 3487
 WARRIEWOOD NSW 2120
 Tel: (07) 3844 6104
 Fax: (07) 3844 6105
 merrin@mcra.com.au
 www.merrin.com.au

PROJECT: ANGELICAN RETIREMENT VILLAGES
CLIENT: GRANT CARBON
DATE: 07 APR 2023
SCALE: 1:100
NO: A191 A501

05/07/23

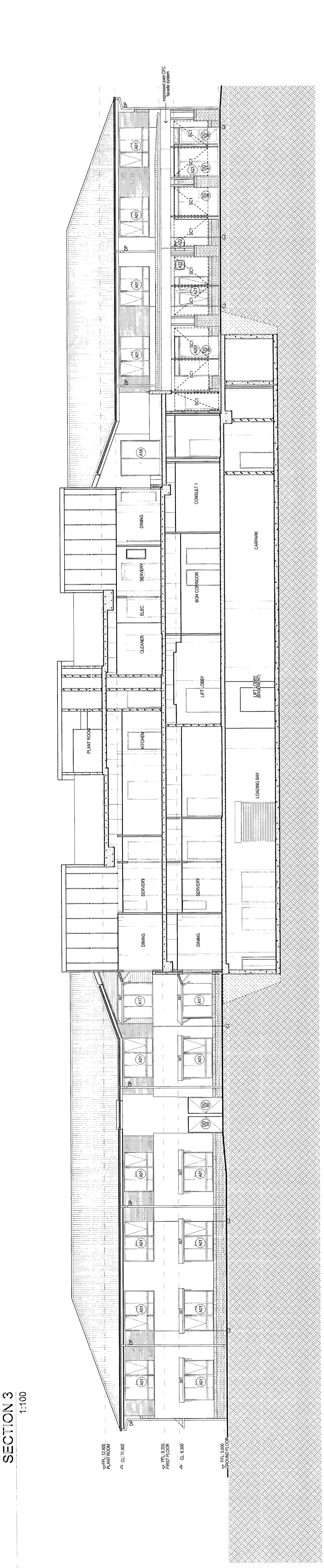
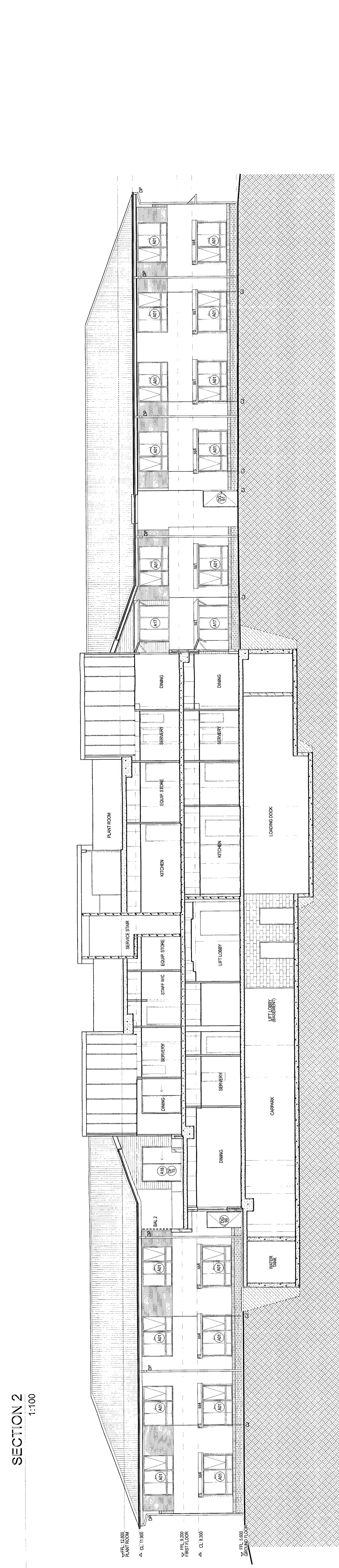
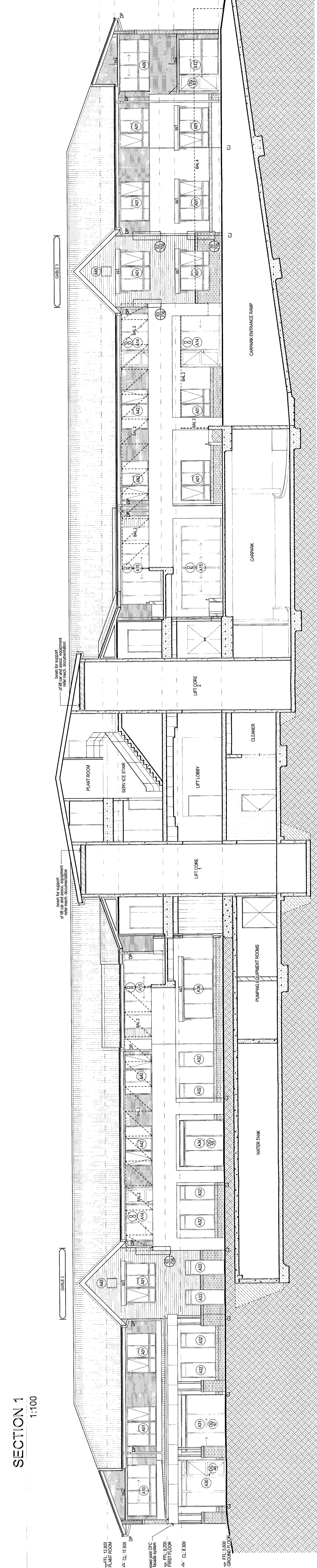
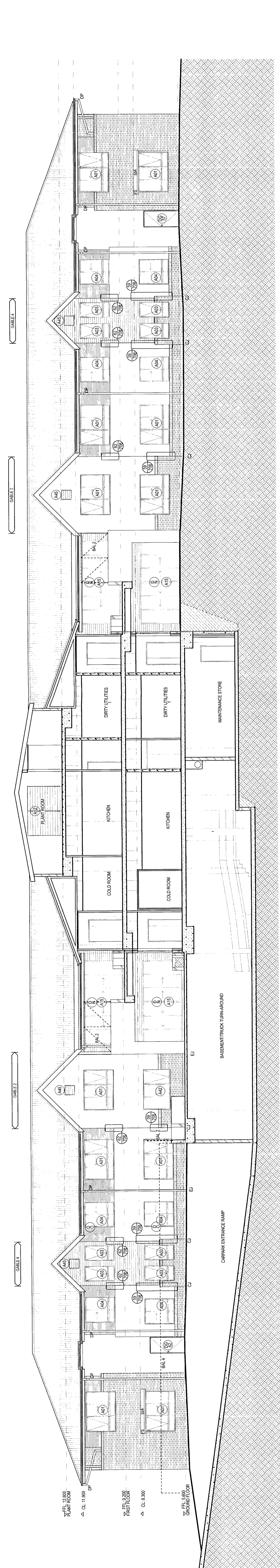
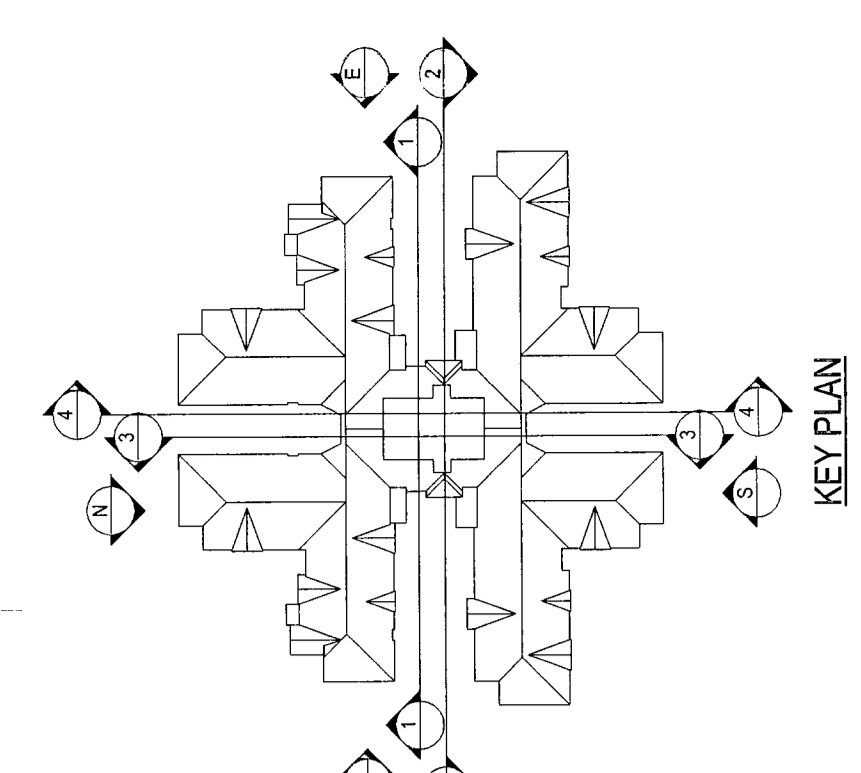
ELEVATIONS

07 APR 2023

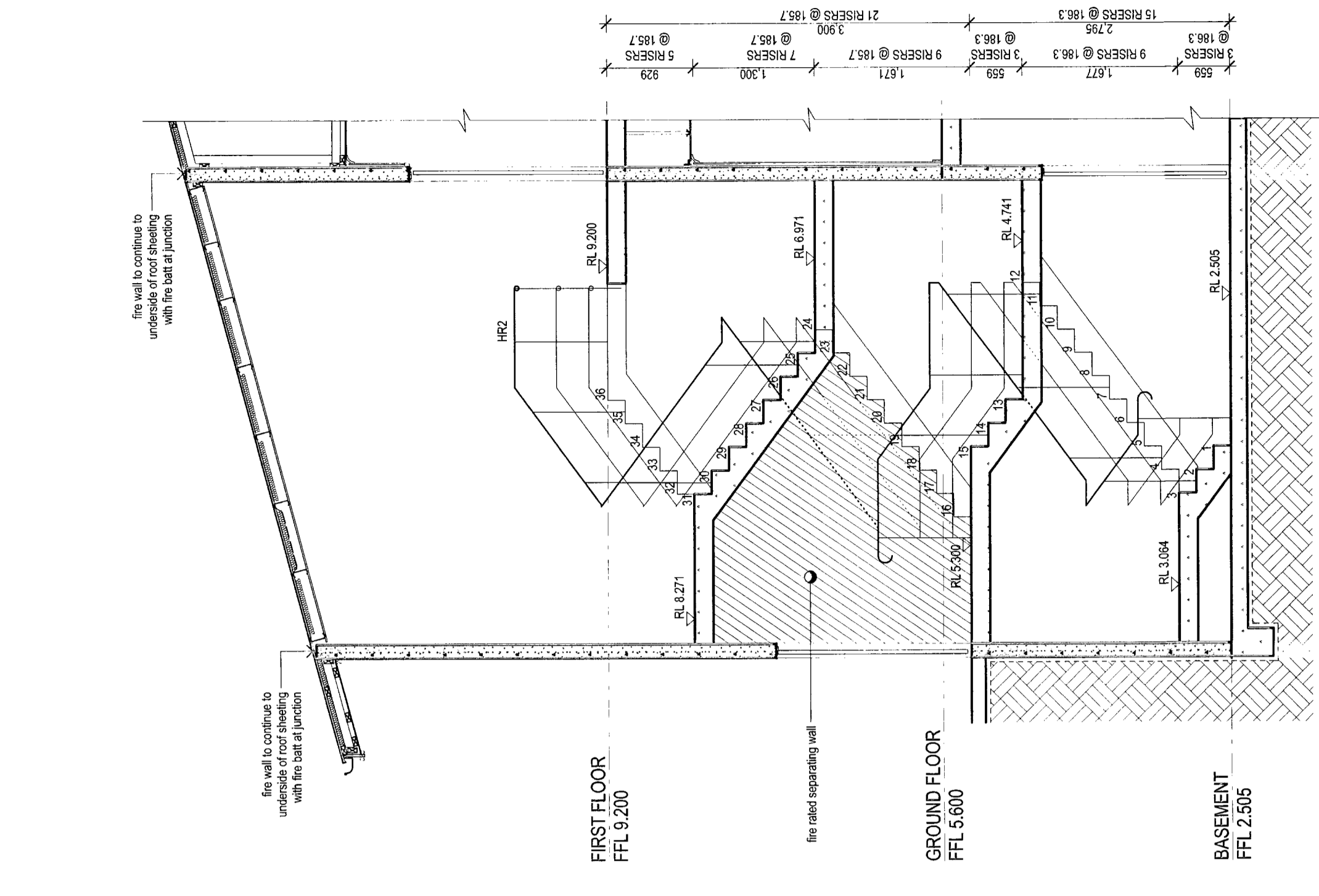
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A191 A501

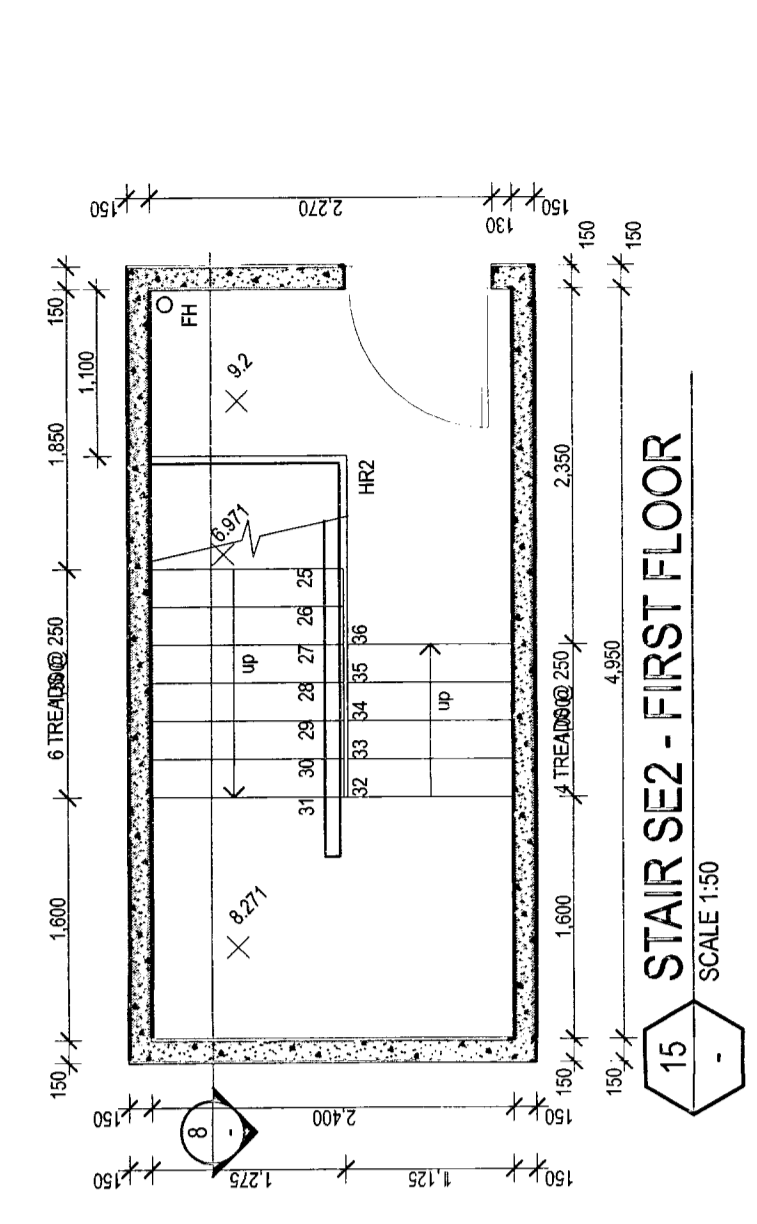
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 1. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
 2. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
 3. FINISHES AND MATERIALS TO BE DETERMINED BY THE ARCHITECT.
- LEGEND - Elevations/Sections**
- BASED BRICKWORK
 - RENDERED FINISH
 - FAIR BRICKWORK
 - WEATHERING CLADDING
 - COLORADO METAL CLADDING
 - COLORADO ROOF SHEETING



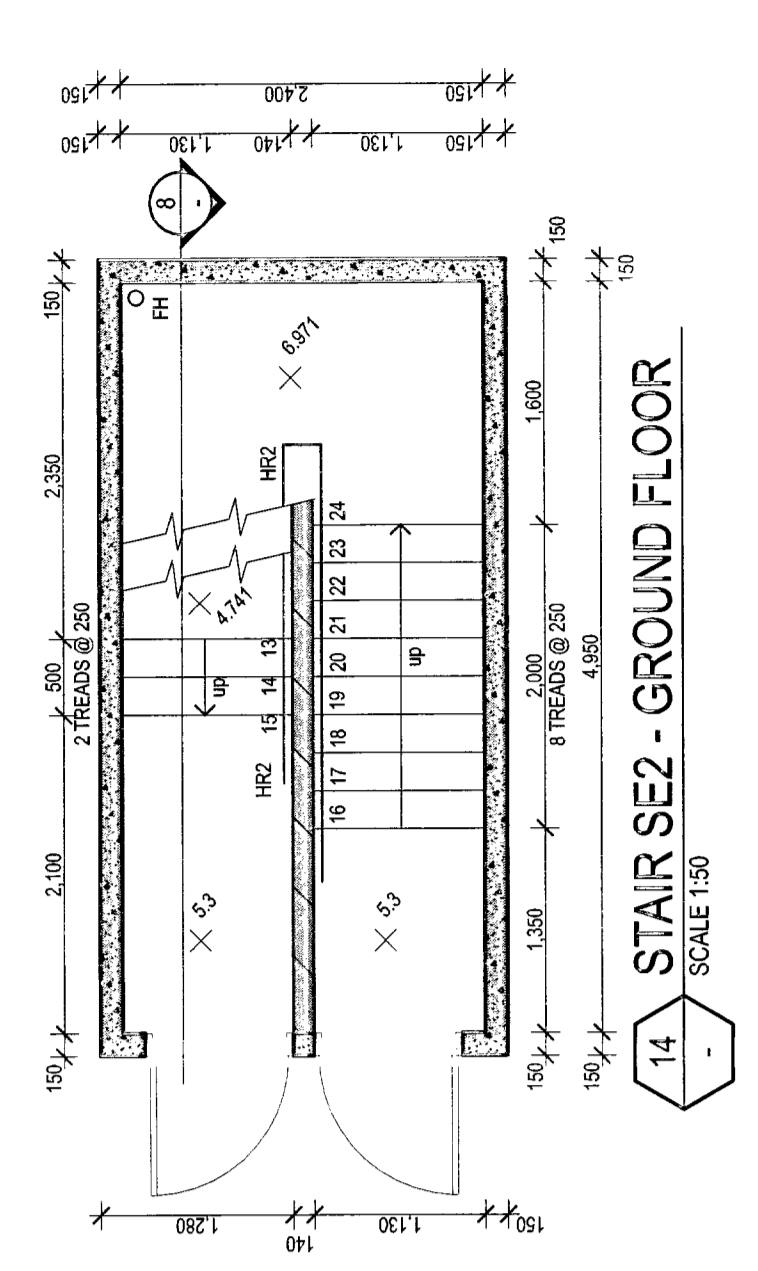
TENDER
 ARCHITECTS
 PROJECT ARCHITECT: GRANT CALVERTON
 PROJECT: ANGLICAN RETIREMENT VILLAGES
 WARREWOOD VALLEY
 119 BED RACE (STAGE 2A)
 Merrin & Cranston Pty Ltd Architects
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 08 934 4101
 merrin@mercrans.com.au
 www.merrin.com.au
 A191 A502 A
 07 APR 2020
 1309007
 A191 A502 A
 1309007



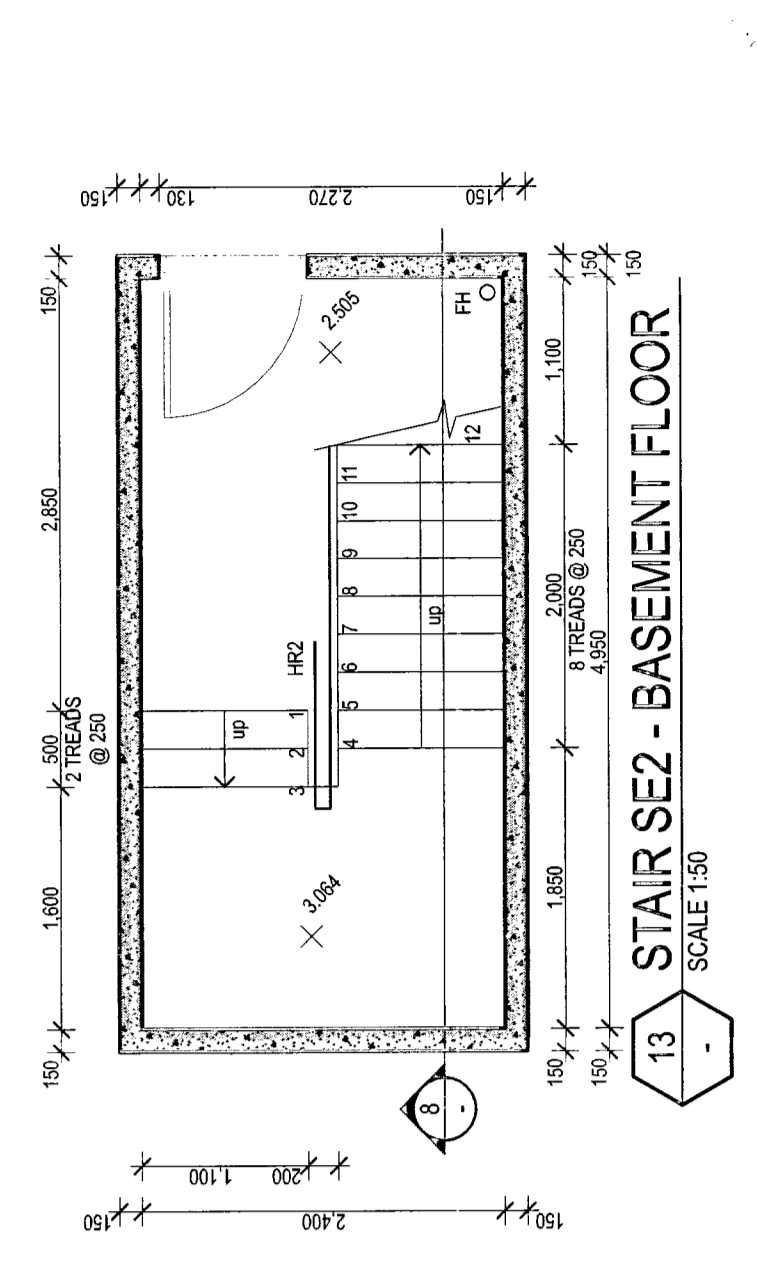
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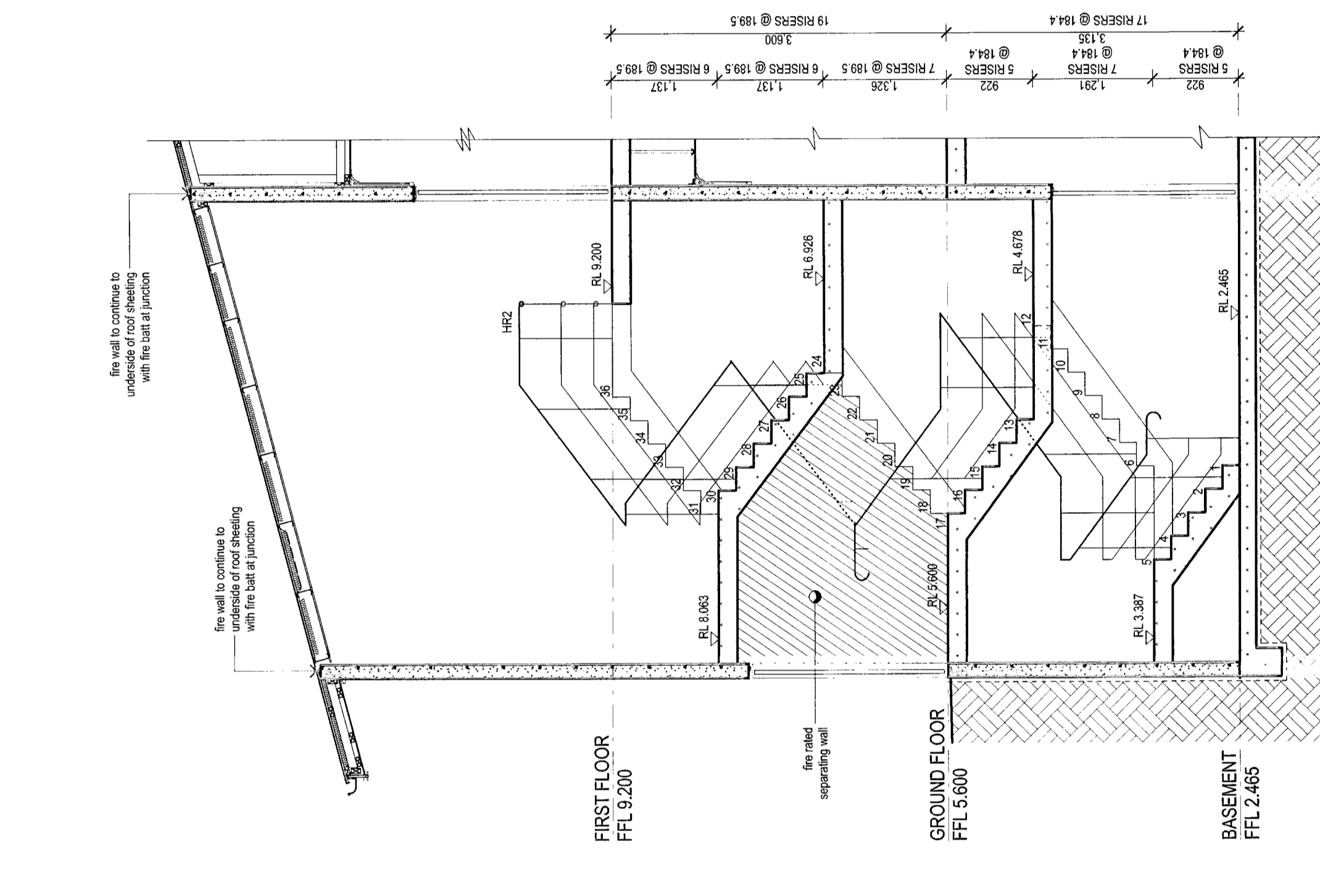
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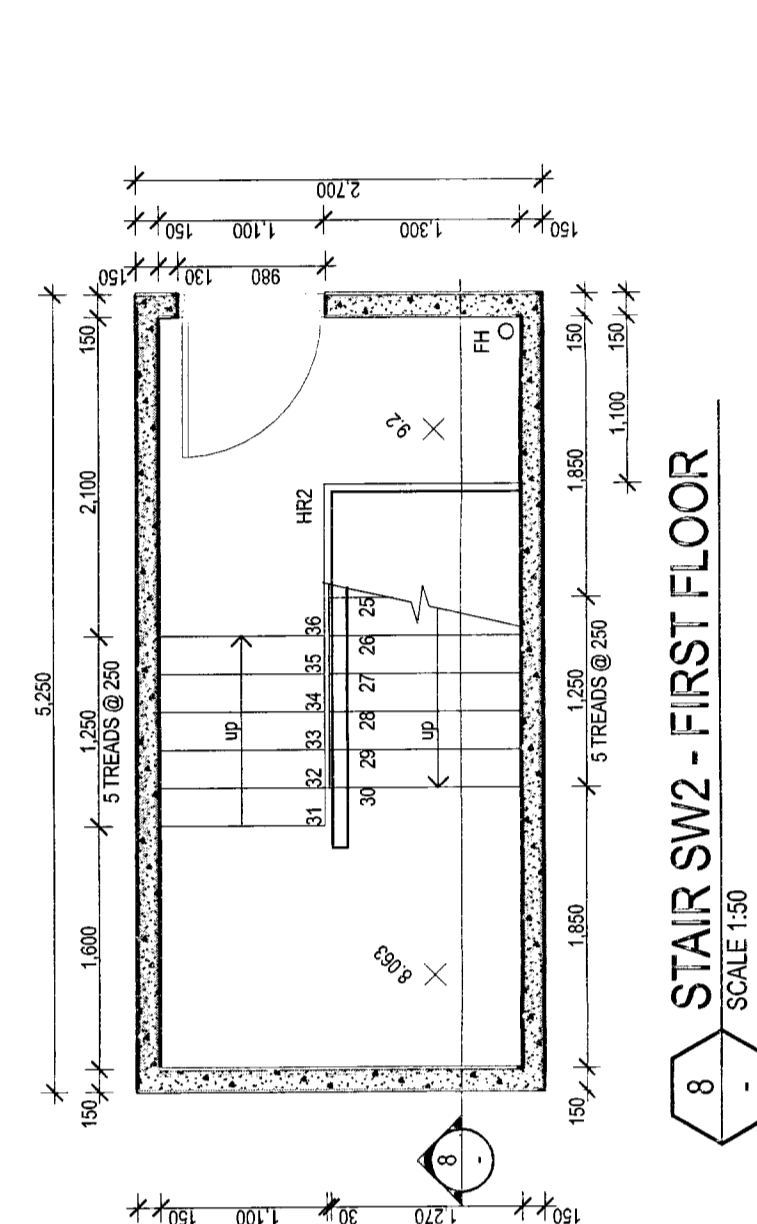
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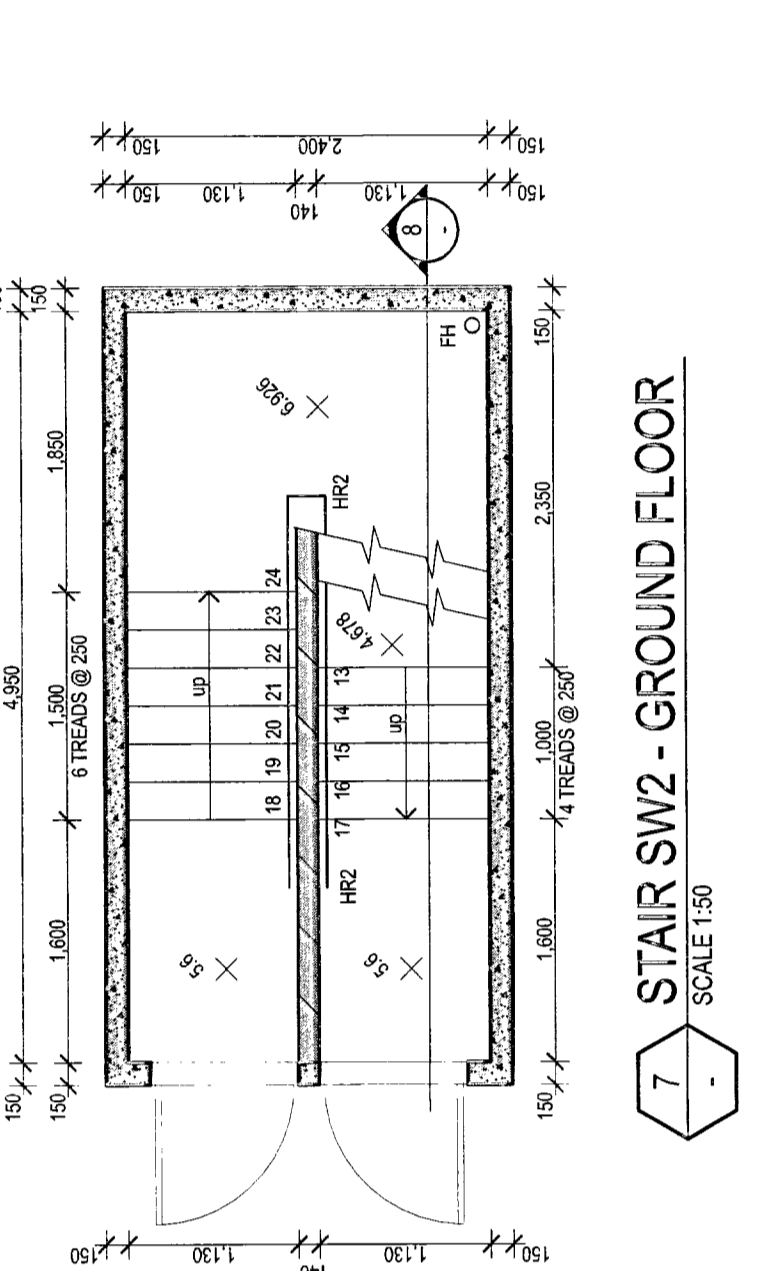
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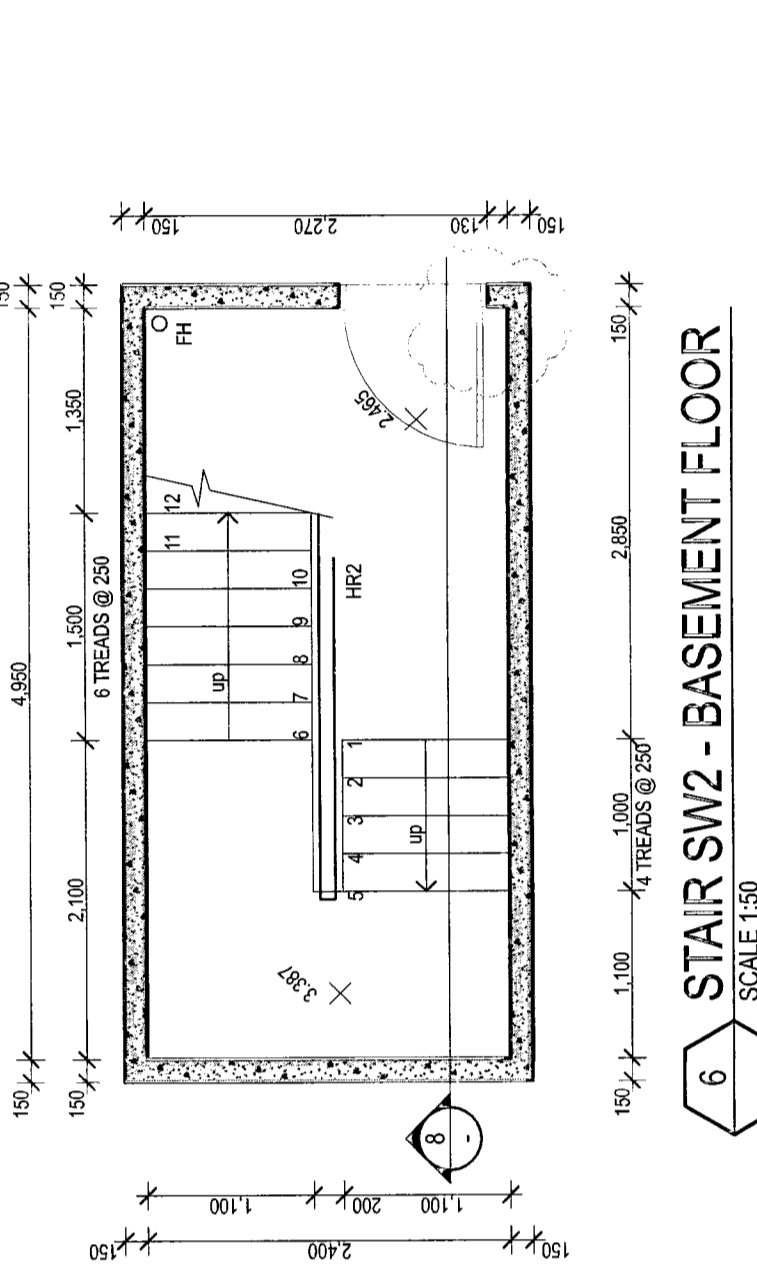
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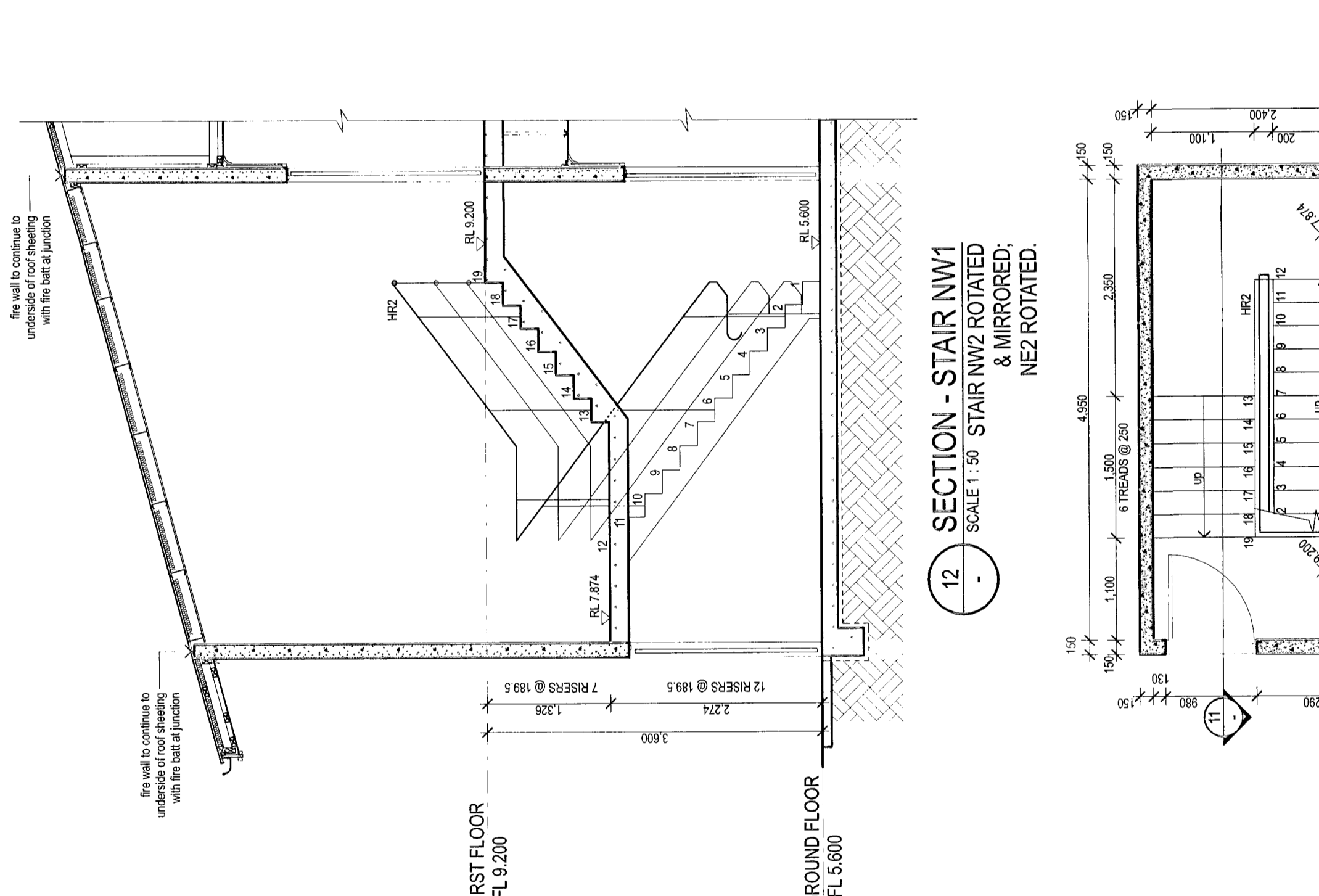
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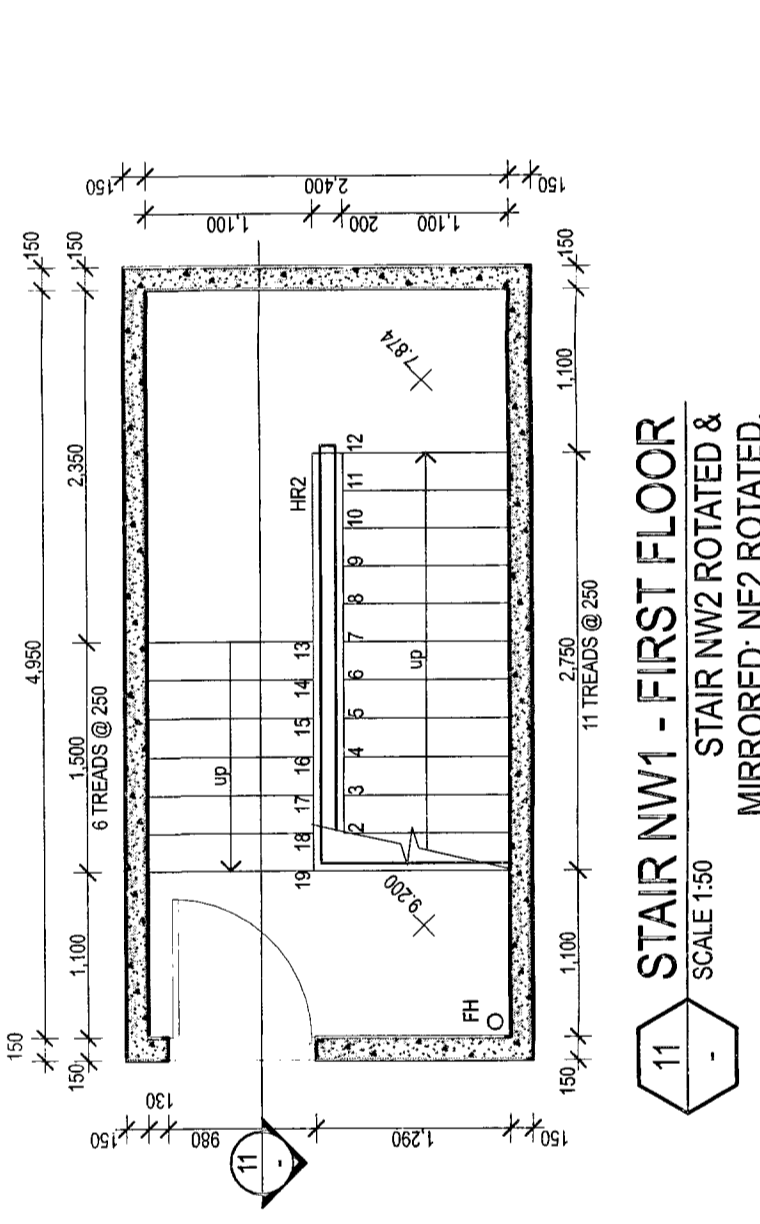
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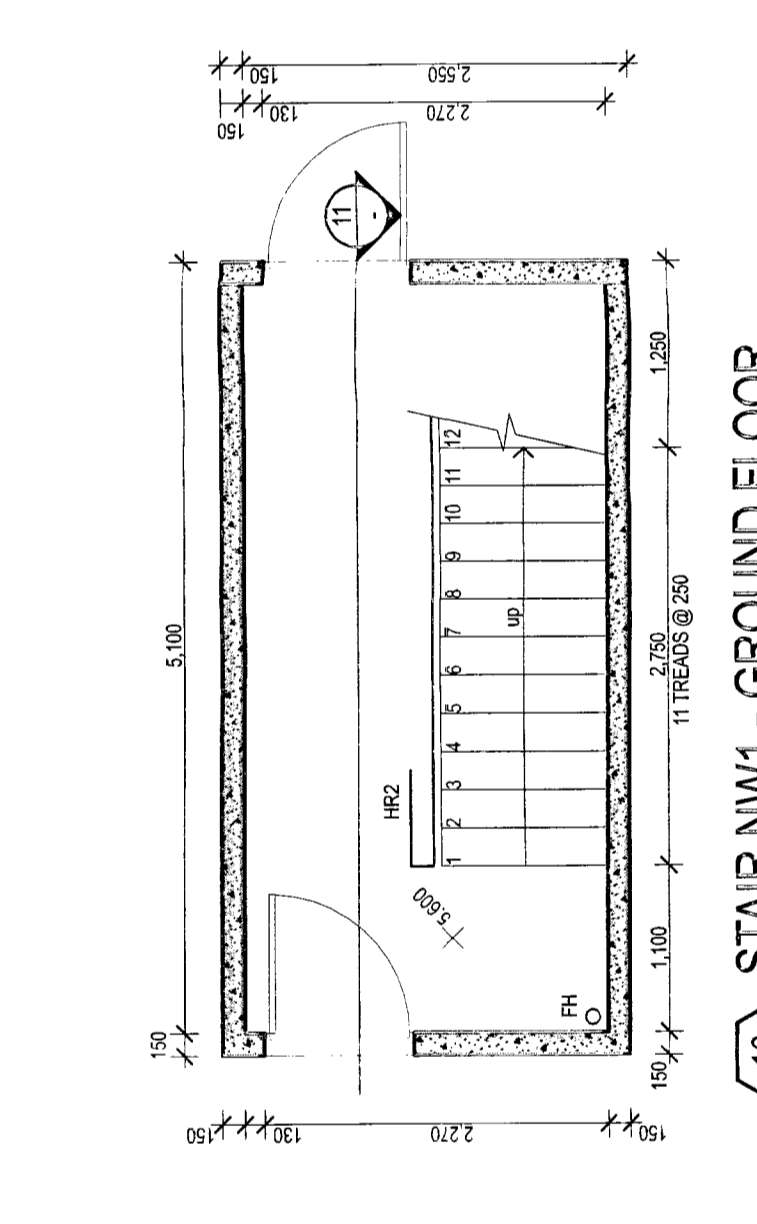
6 STAIR SW2 - BASEMENT FLOOR
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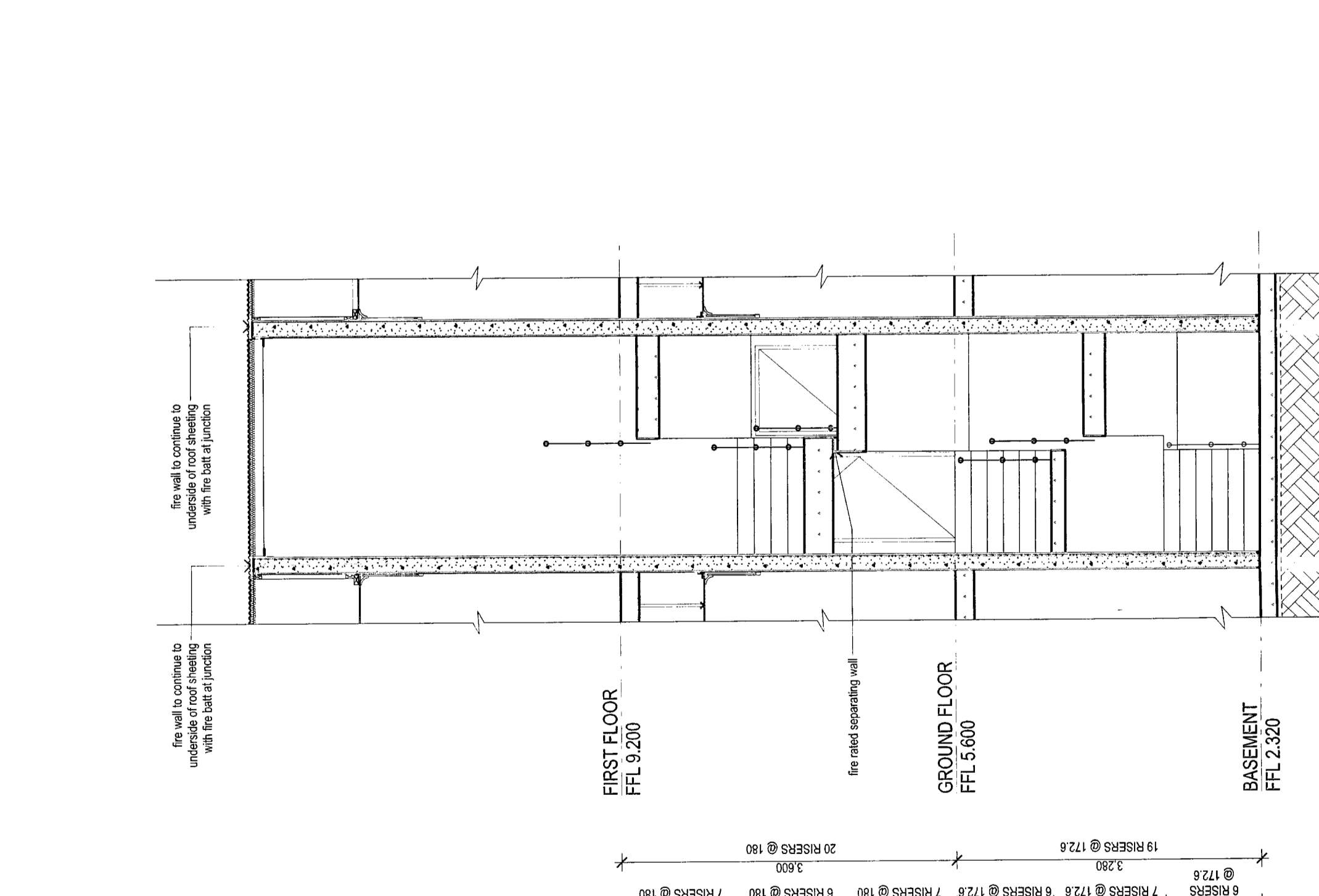
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 STAIR NW1 ROTATED & MIRRORRED, NEZ ROTATED.



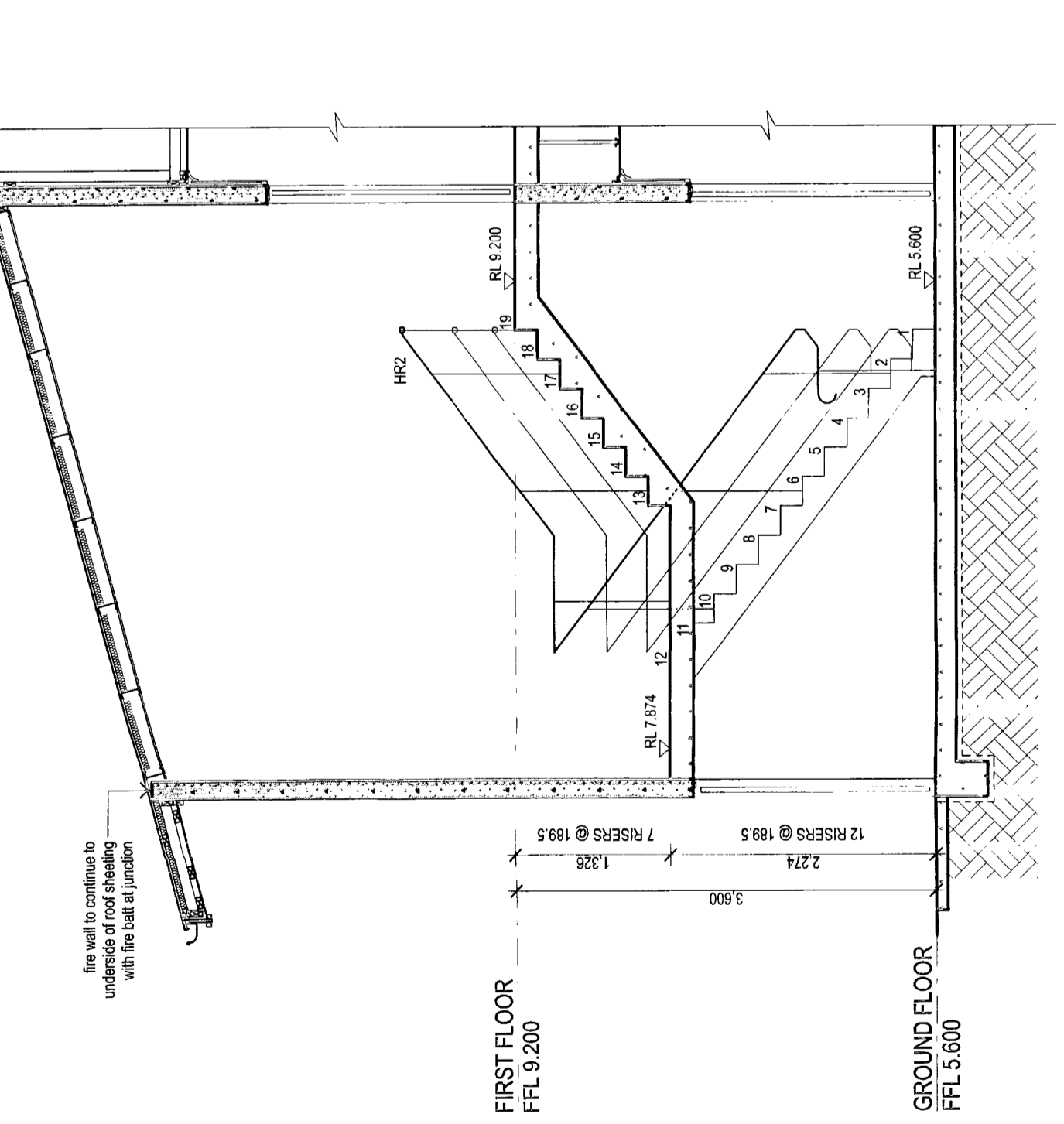
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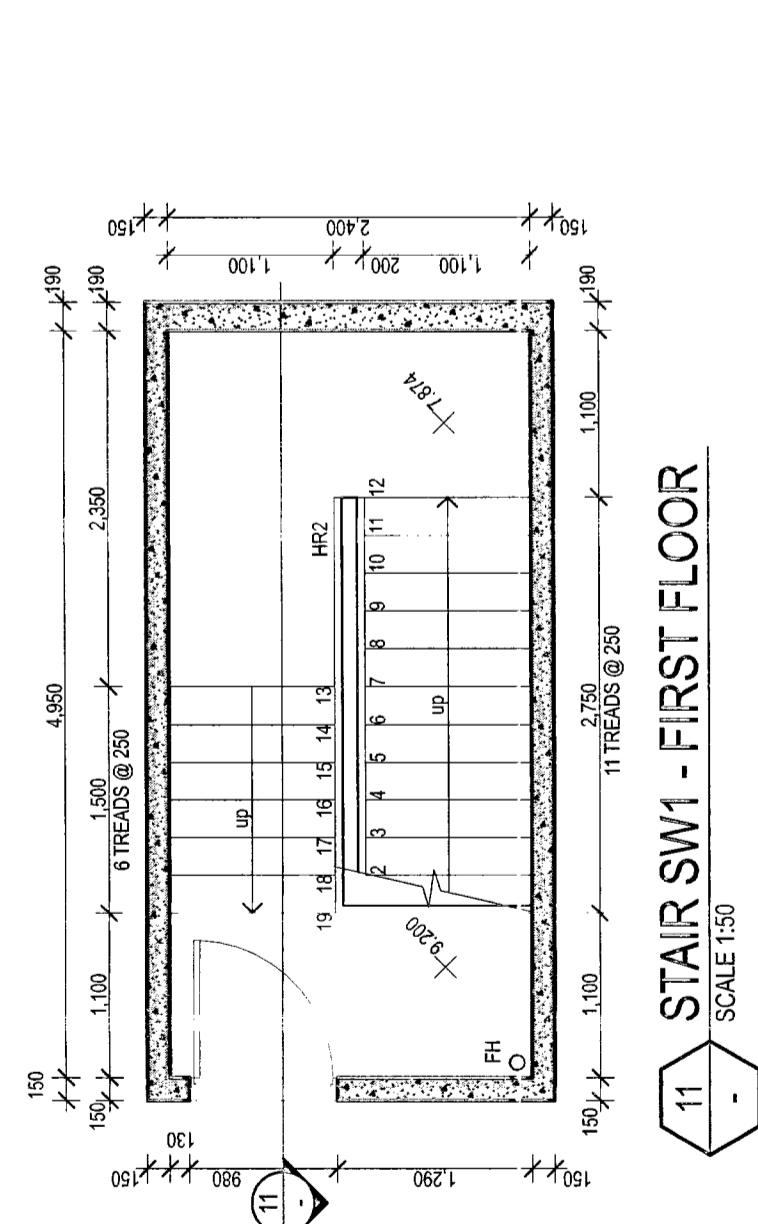
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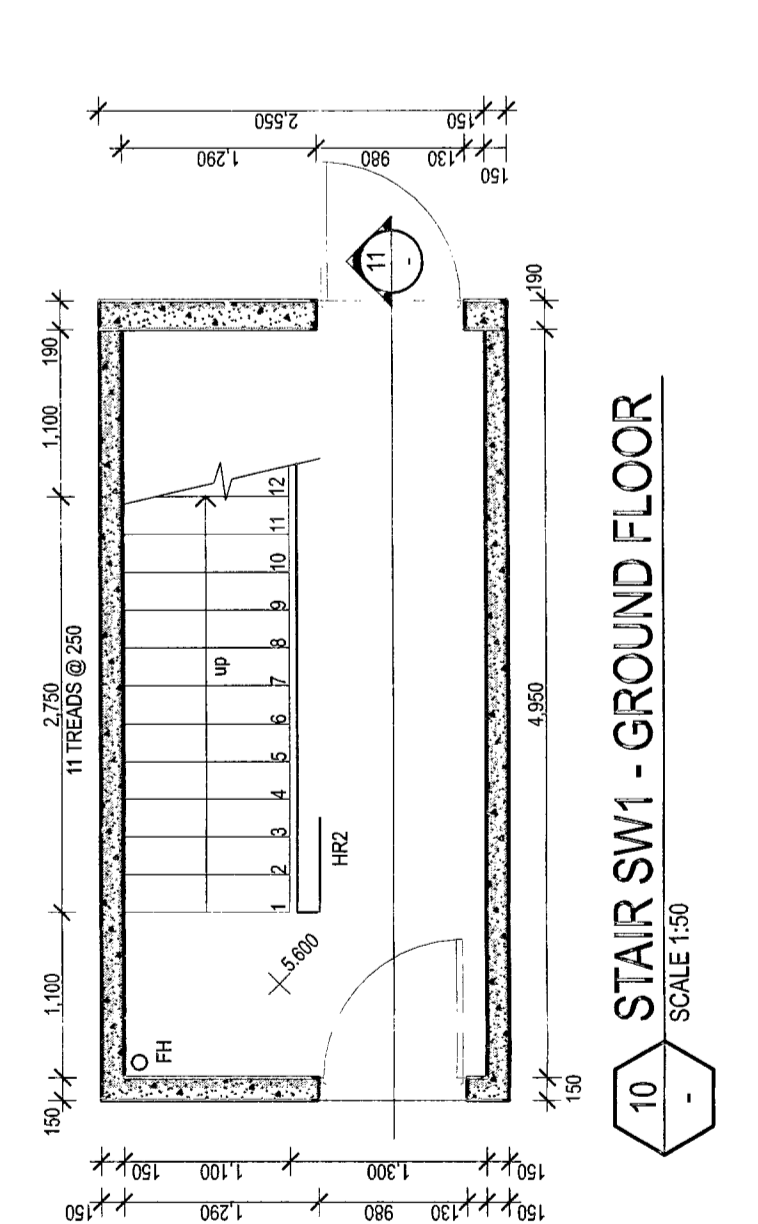
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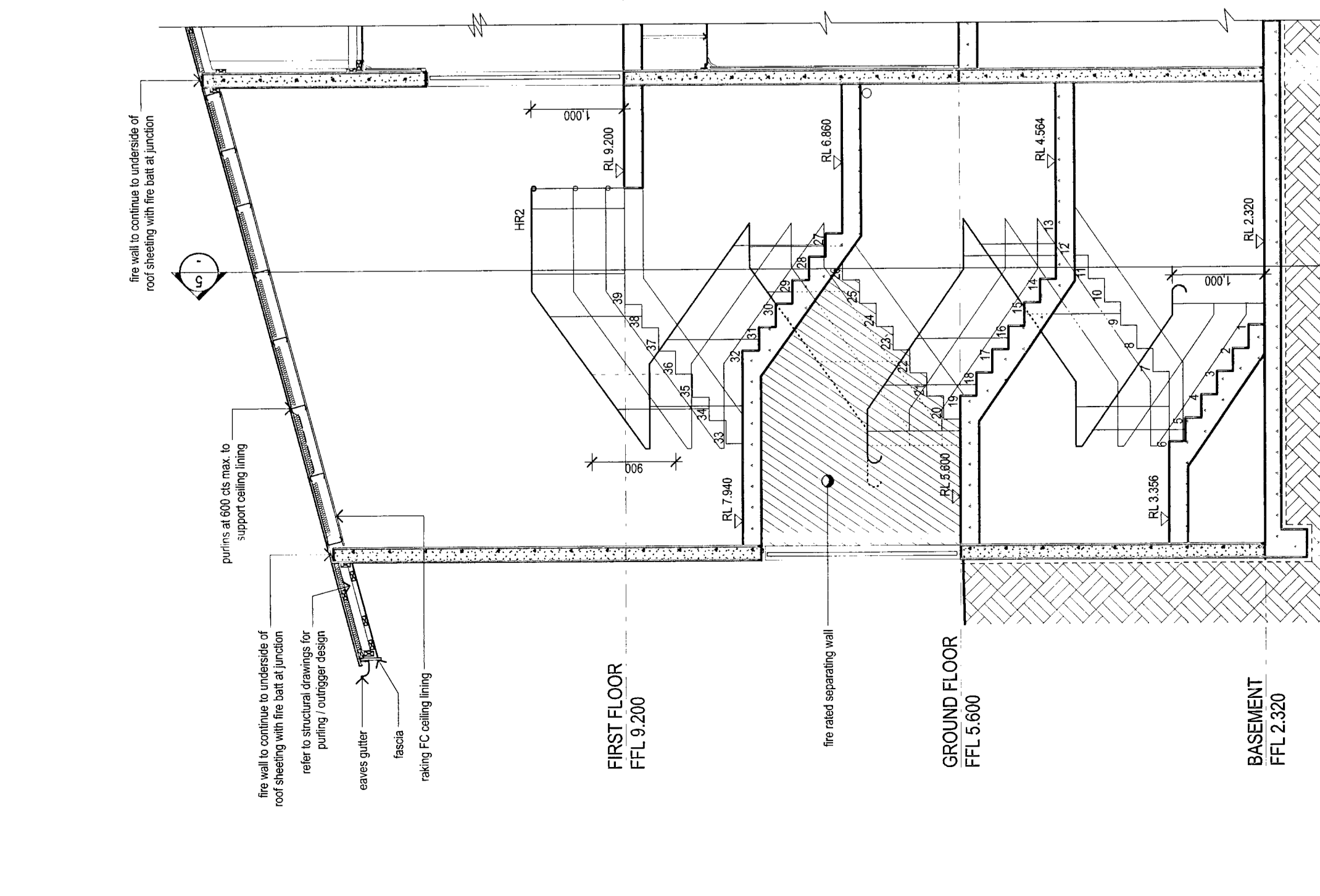
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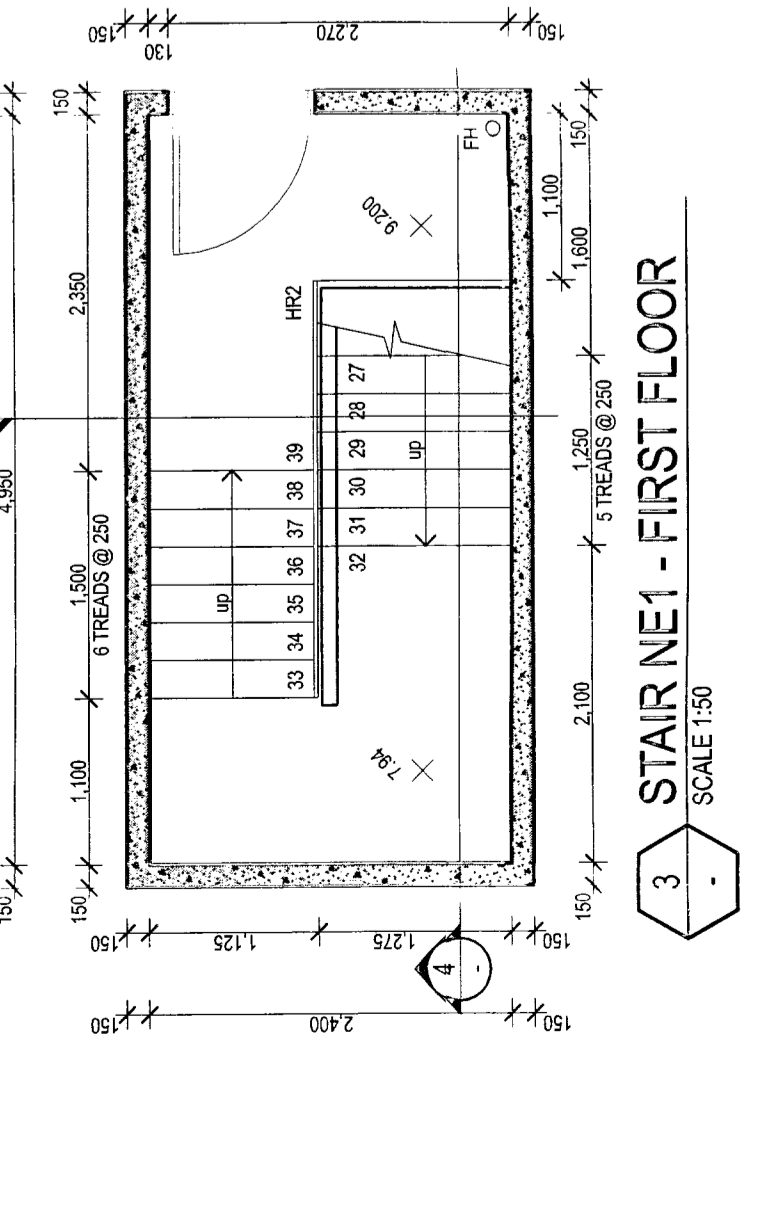
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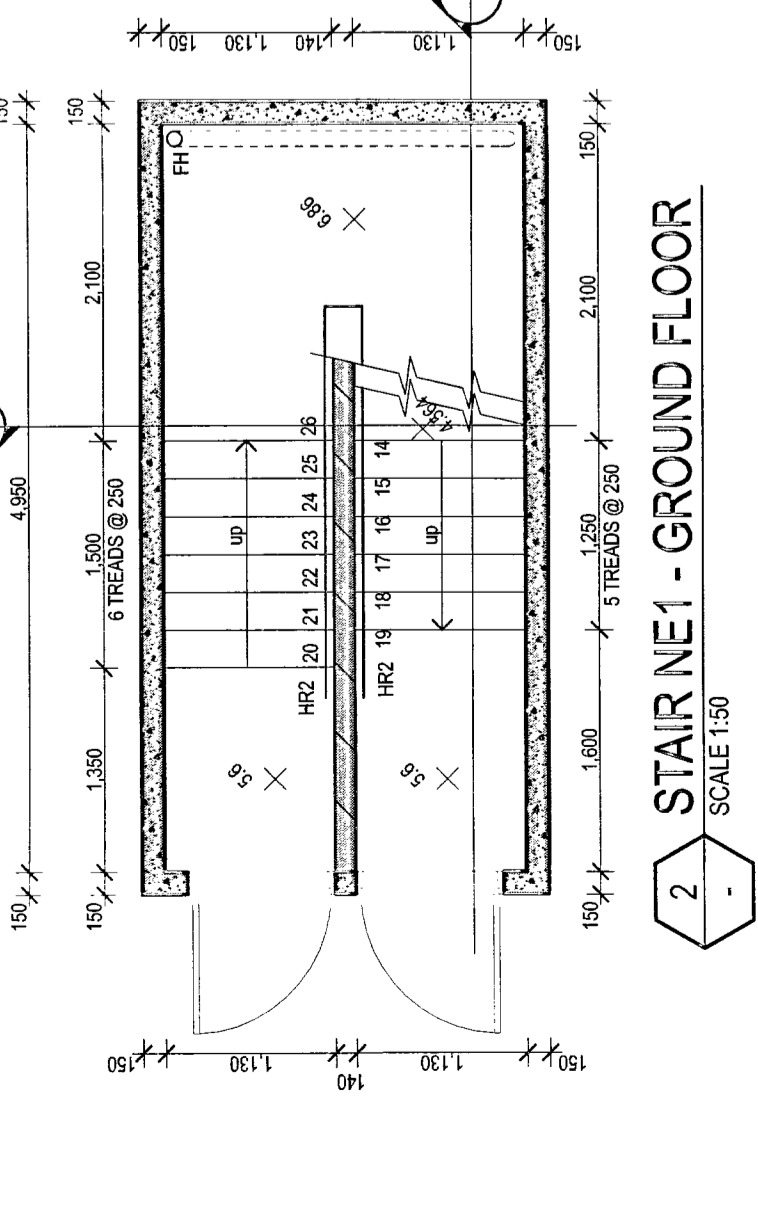
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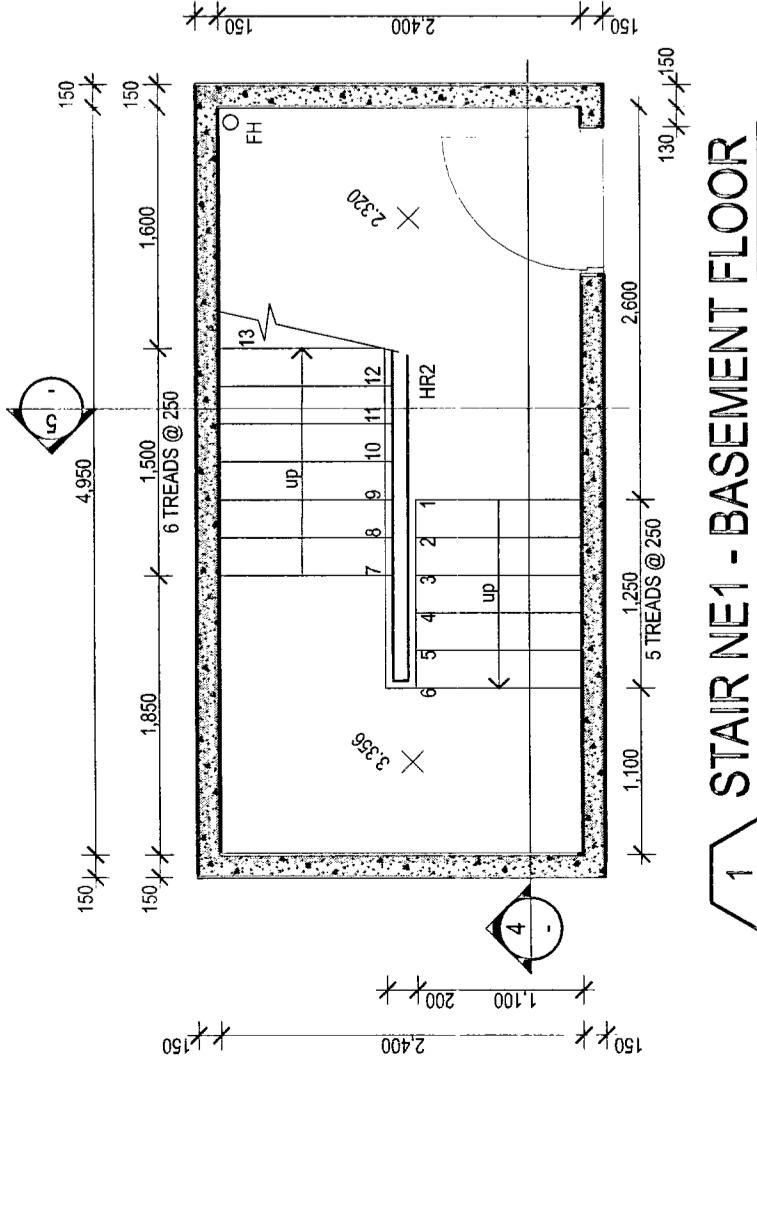
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 SCALE 1:50



3 STAIR NE1 - FIRST FLOOR
 SCALE 1:50



2 STAIR NE1 - GROUND FLOOR
 SCALE 1:50



1 STAIR NE1 - BASEMENT FLOOR
 SCALE 1:50

A. LAMBERT TRENDS EBBE
 ARCHITECTS
 100 BOX 347
 SPOKANE, ID 83404
 TEL: (208) 384-6104
 FAX: (208) 384-3004
 www.lamberttrends.com
 08/14/13

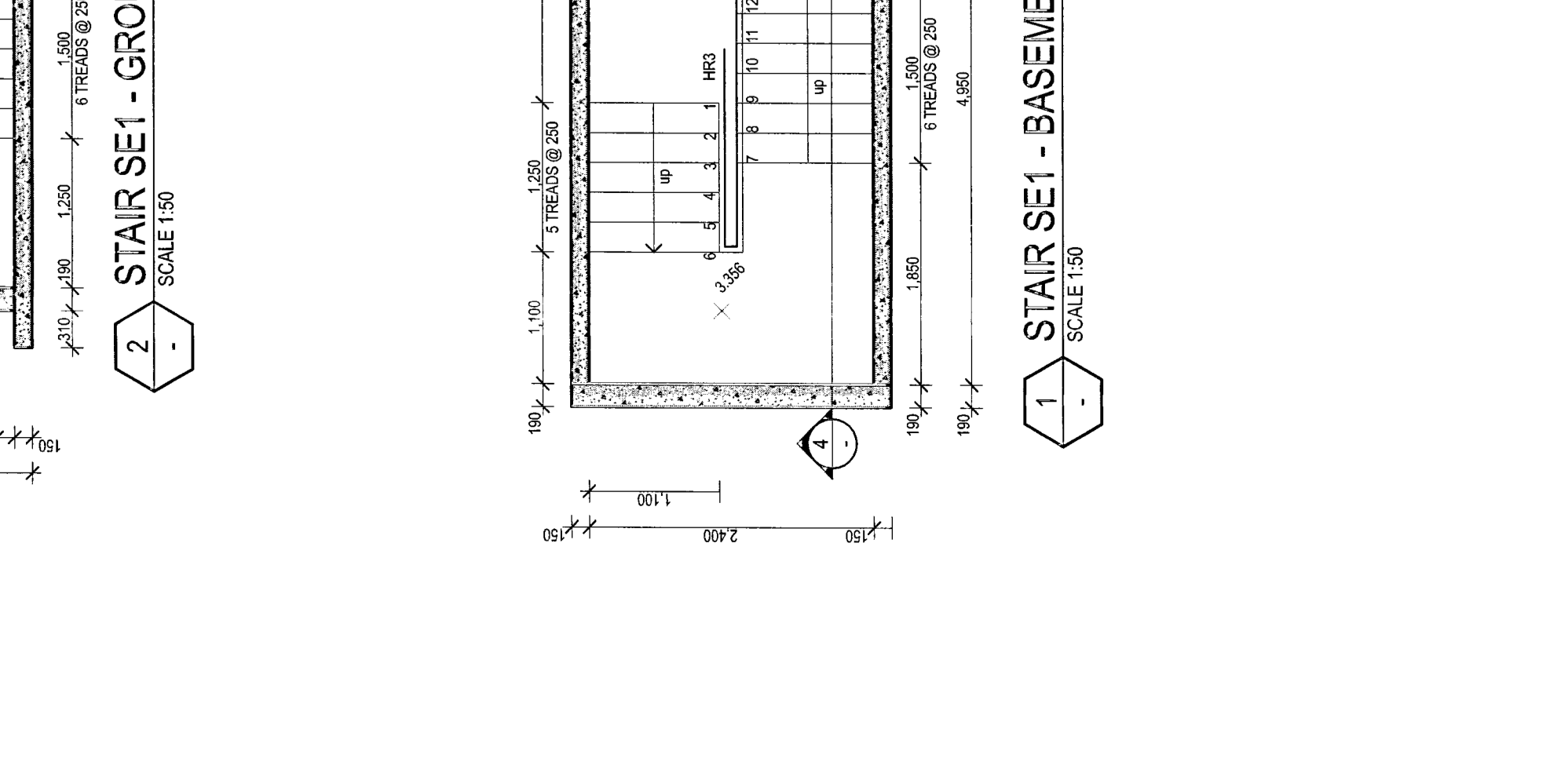
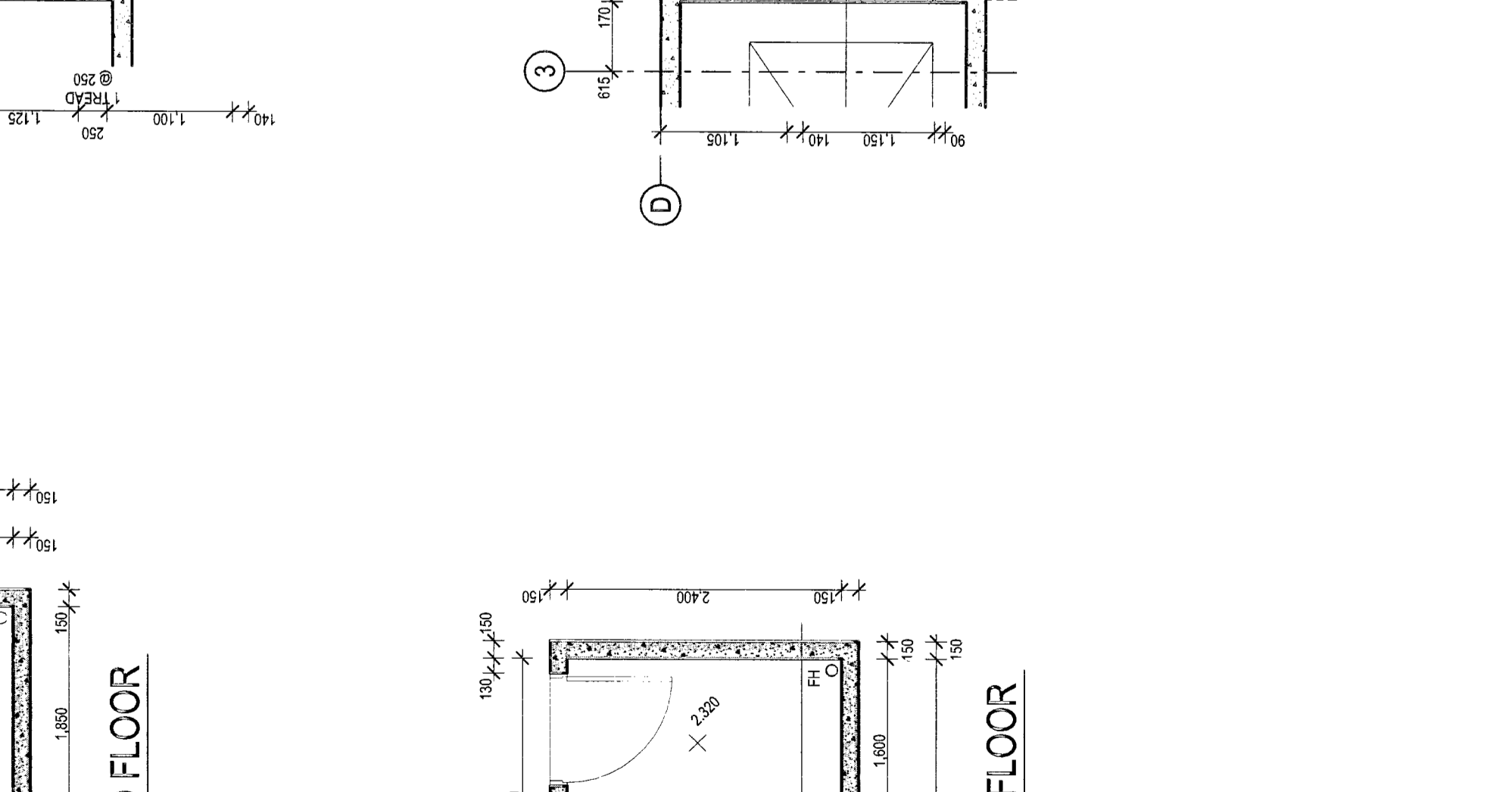
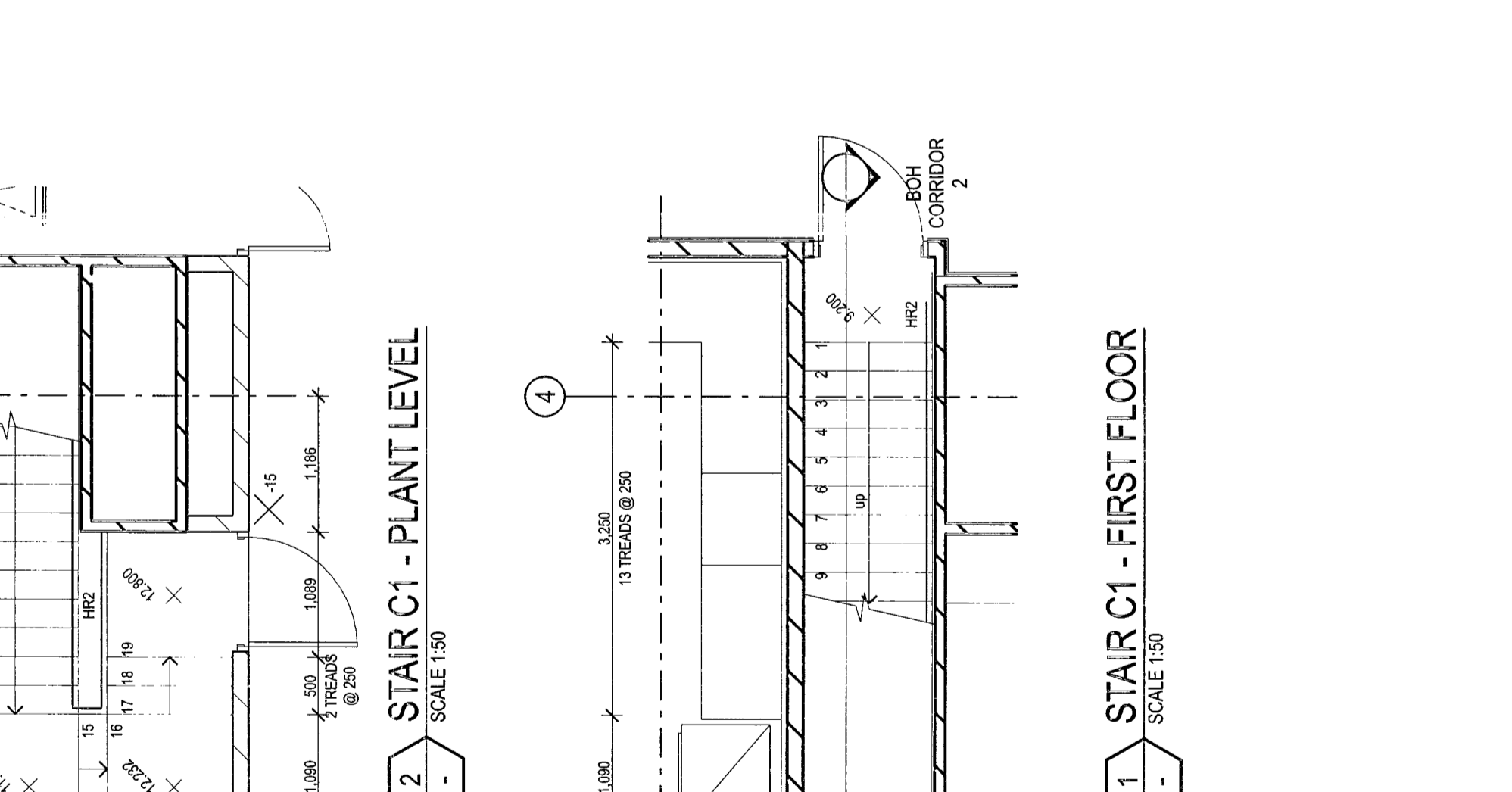
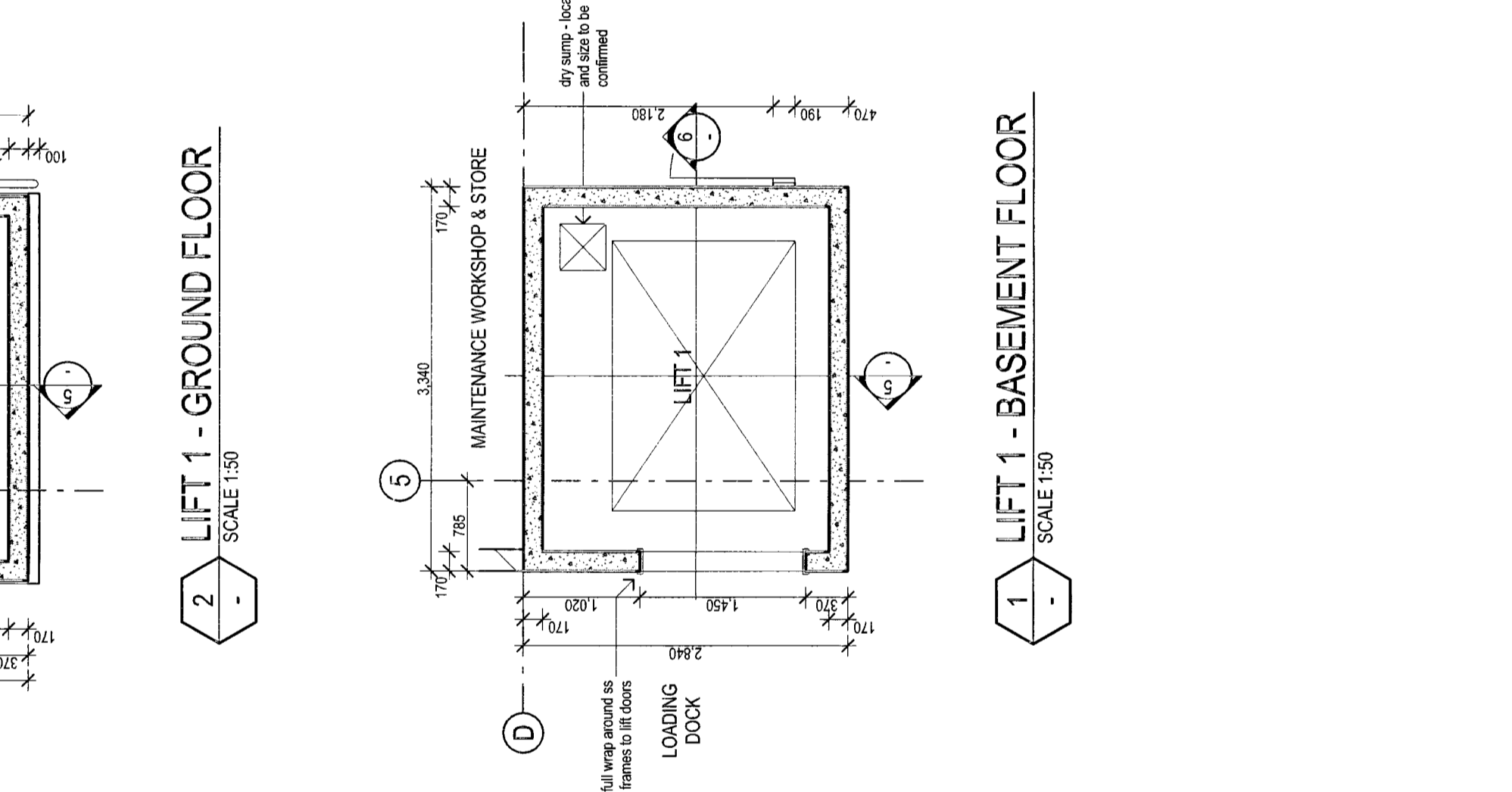
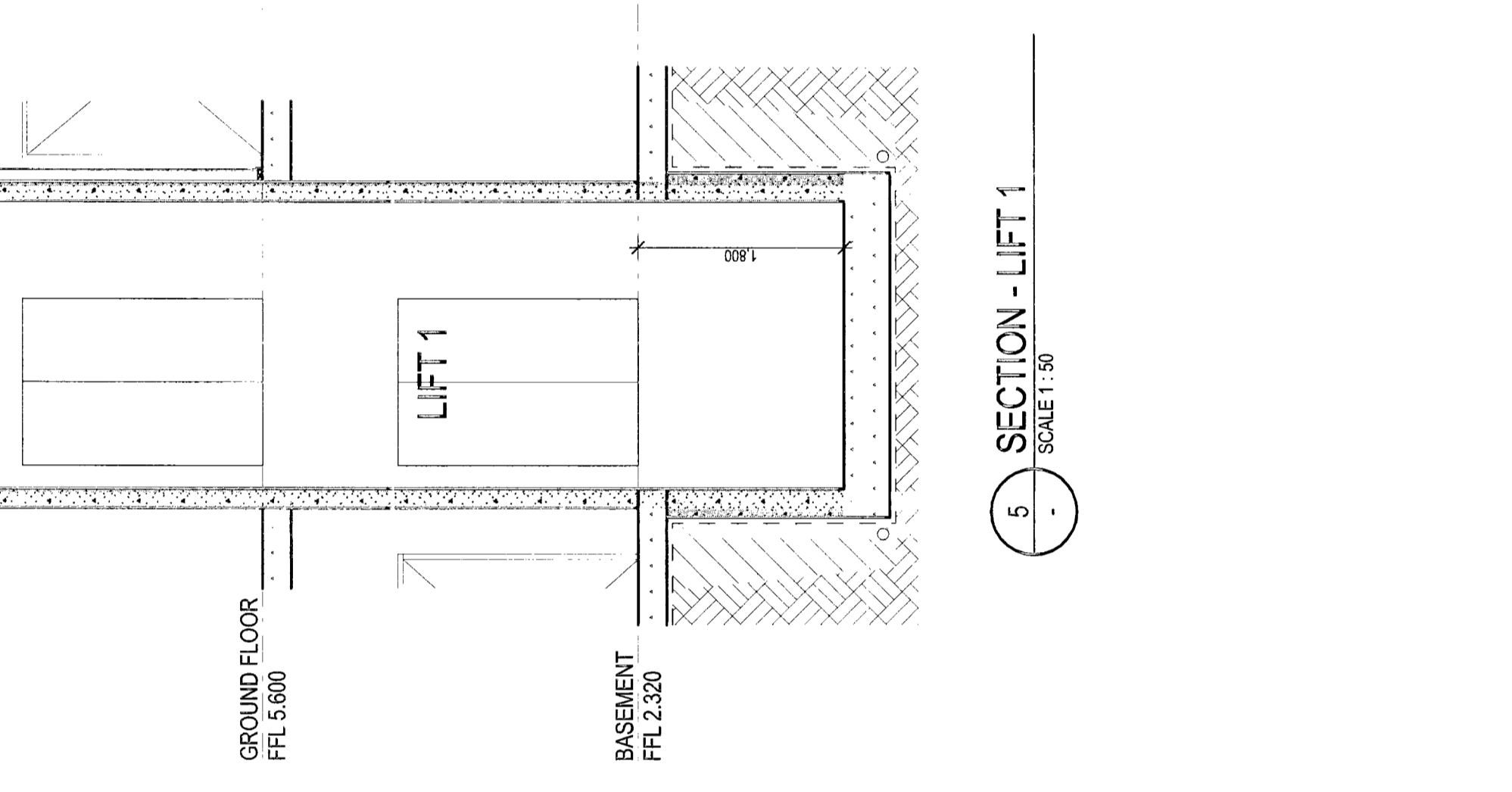
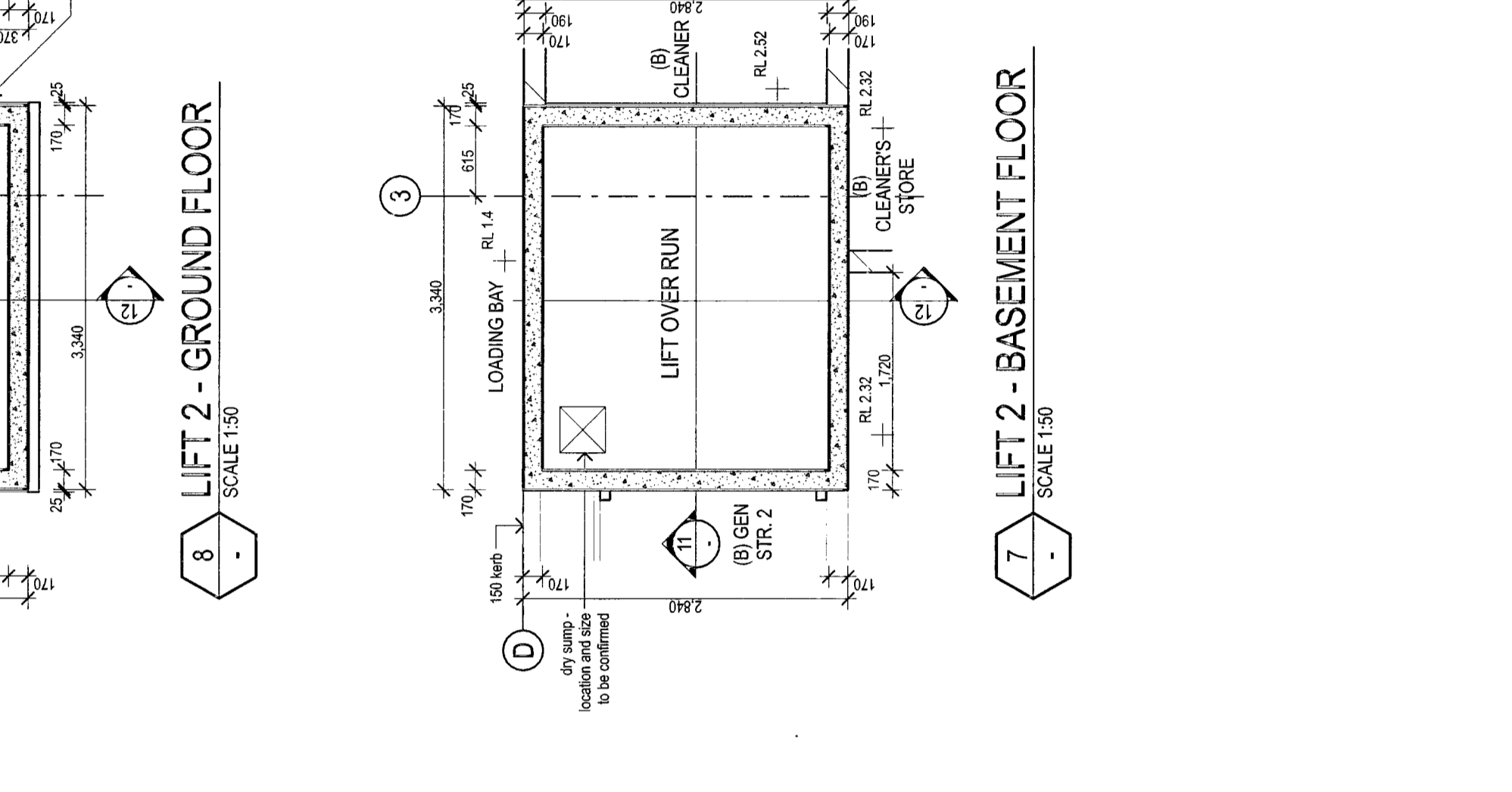
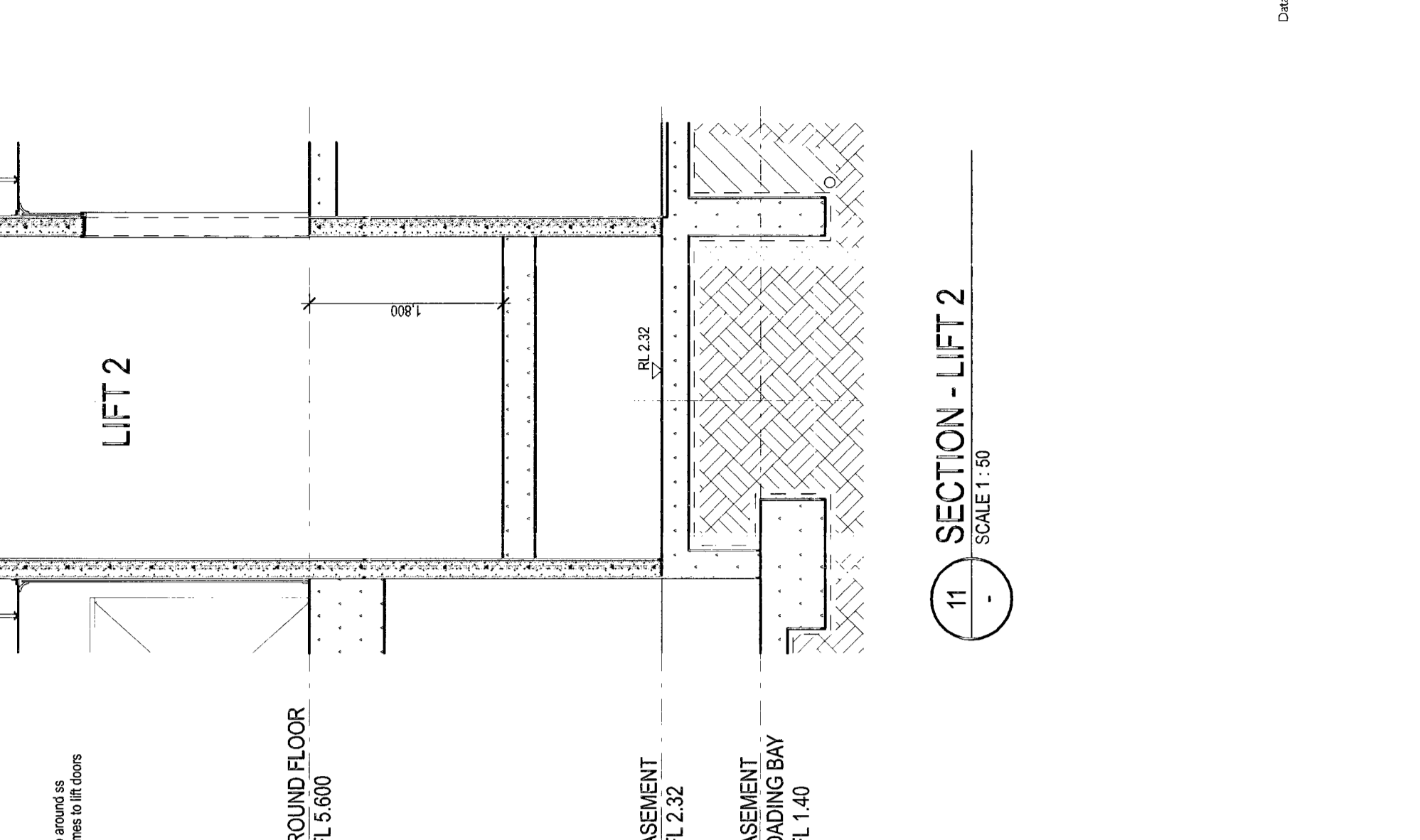
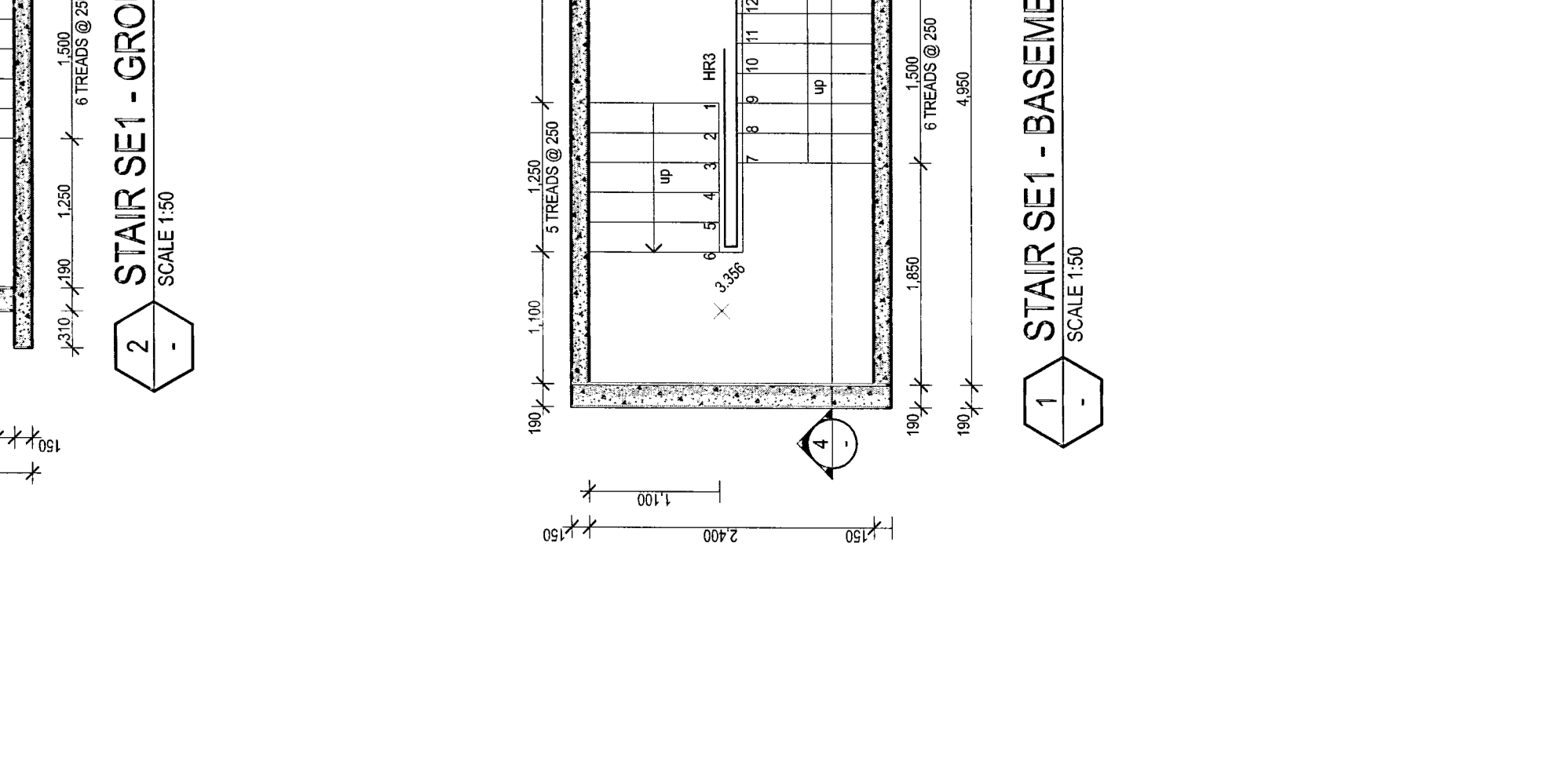
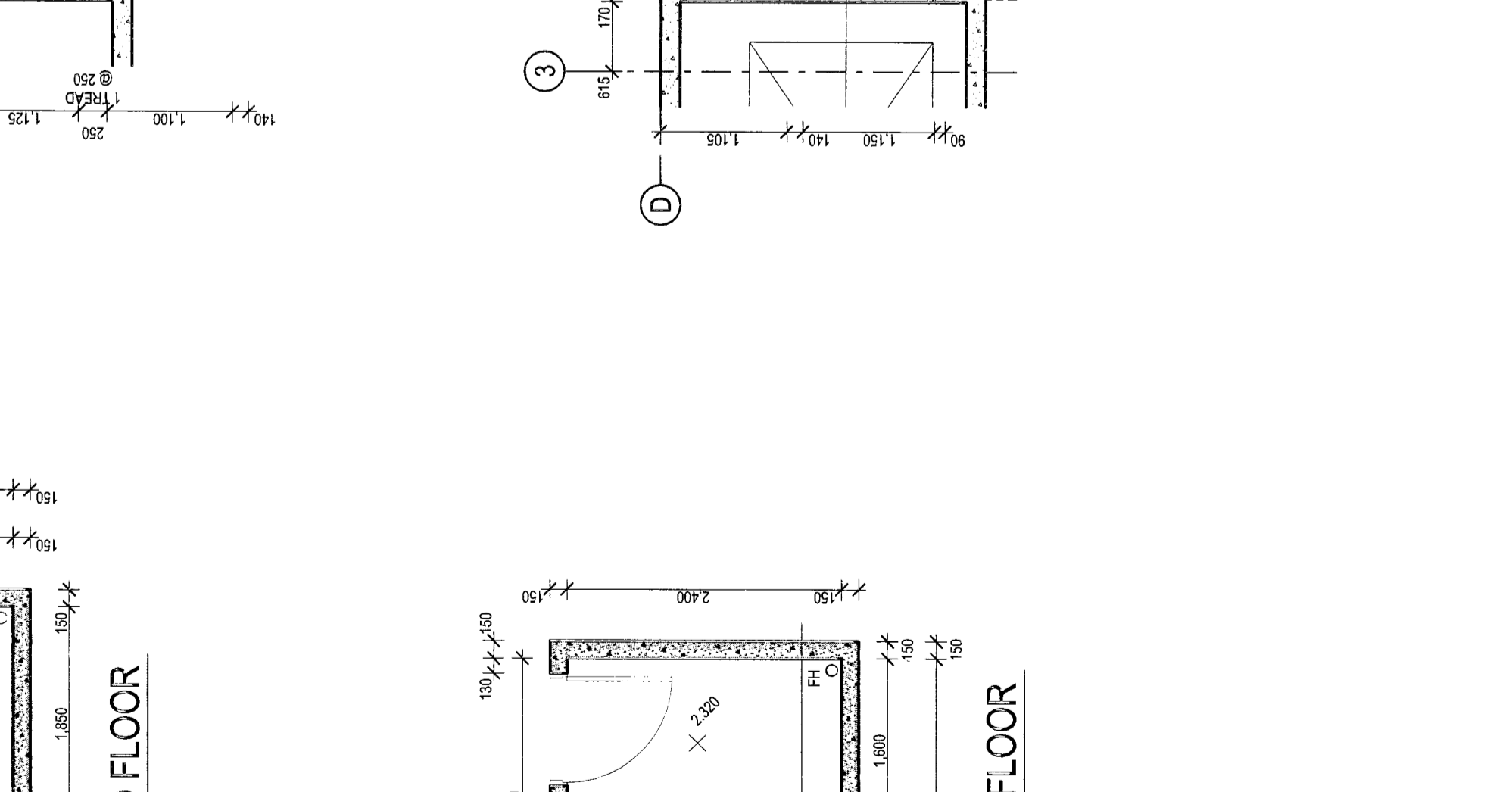
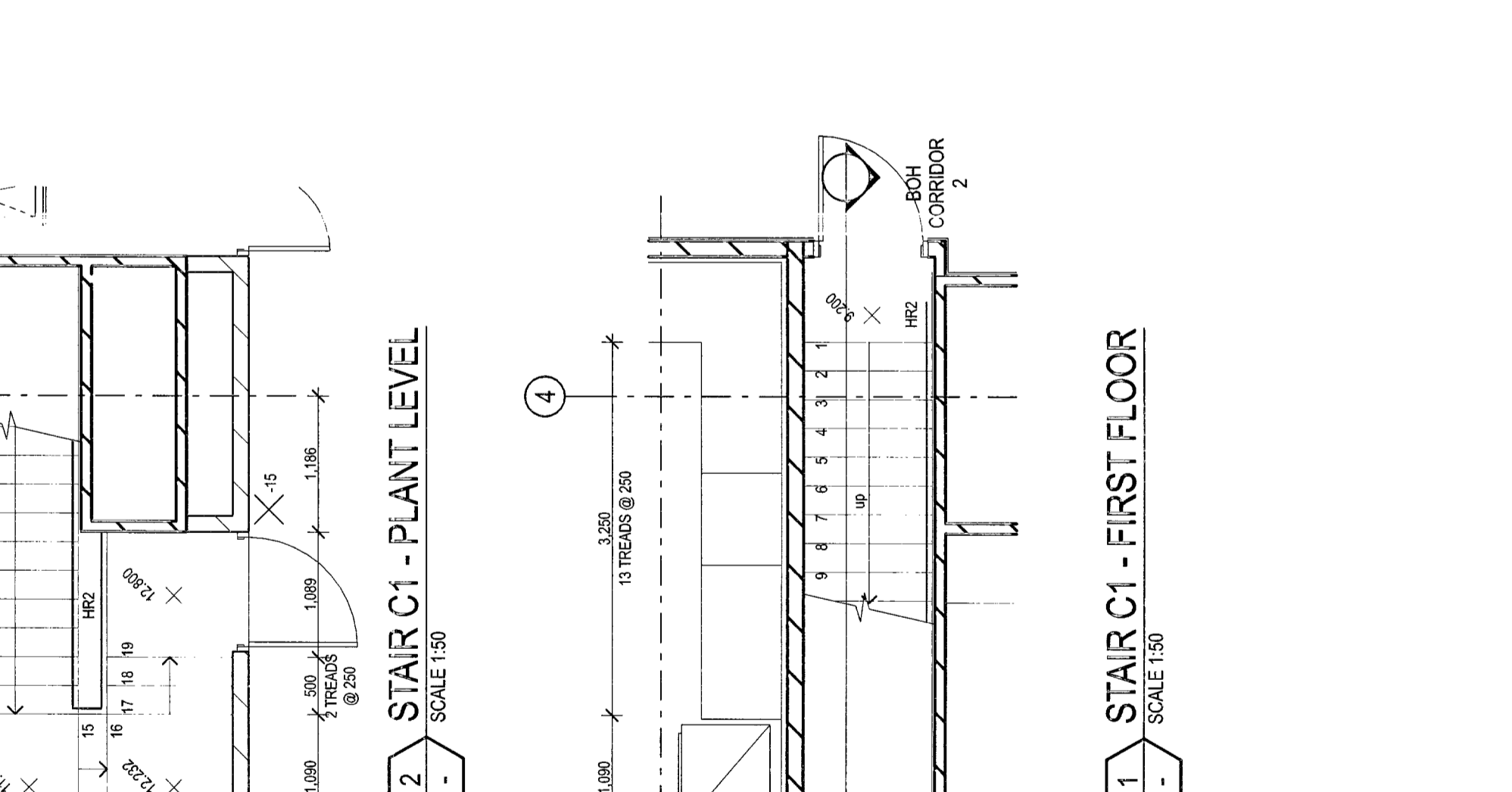
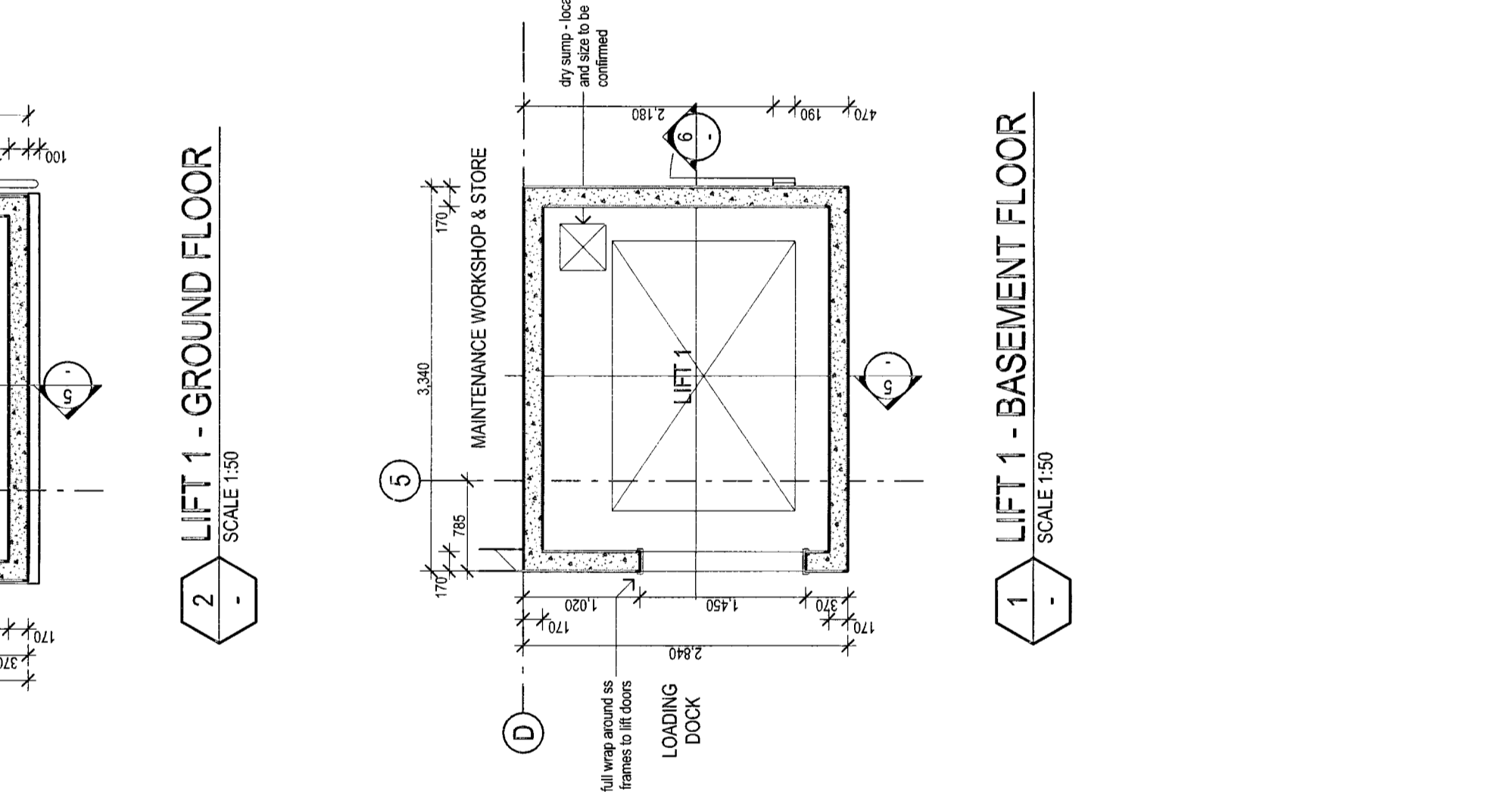
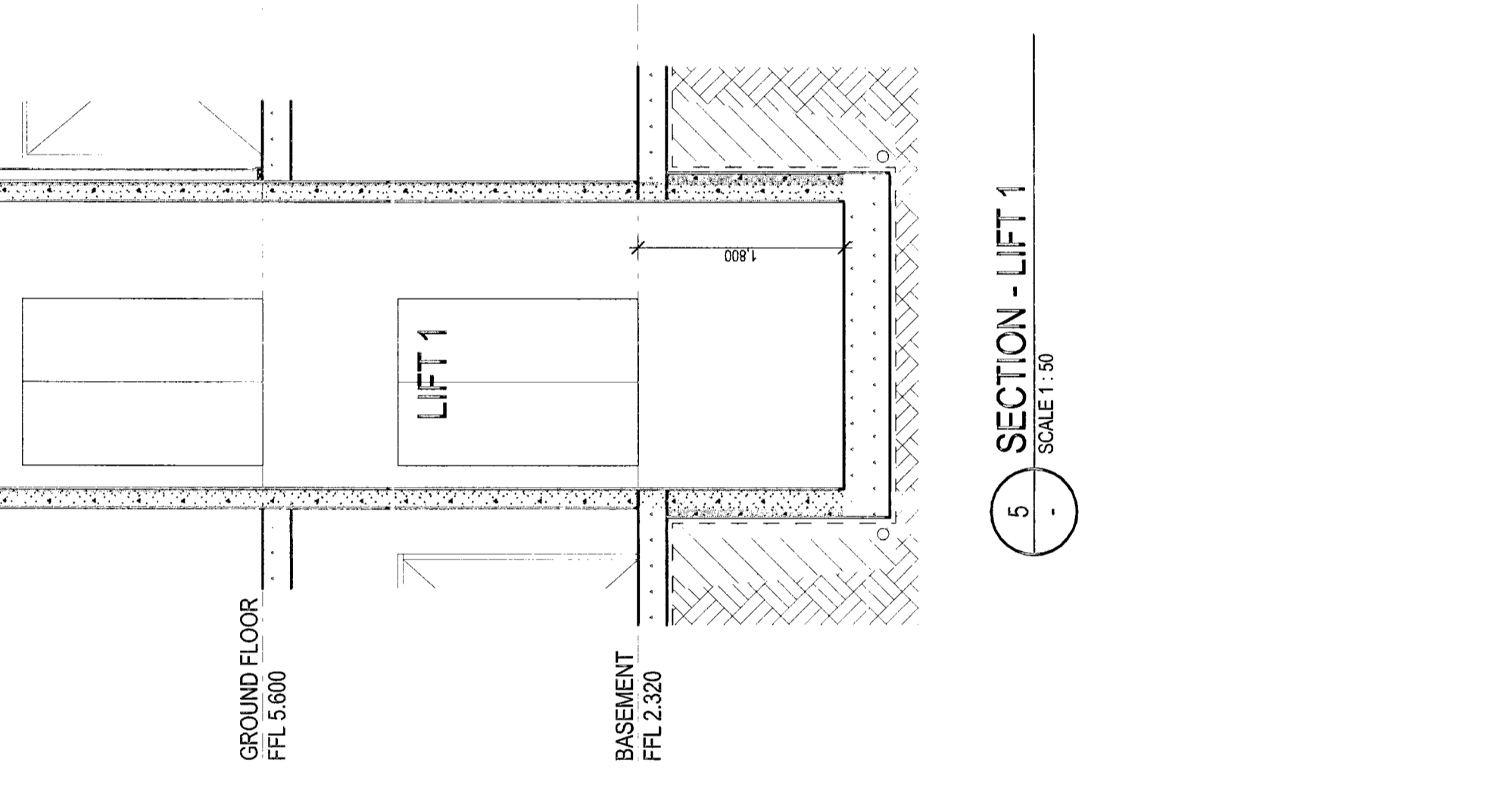
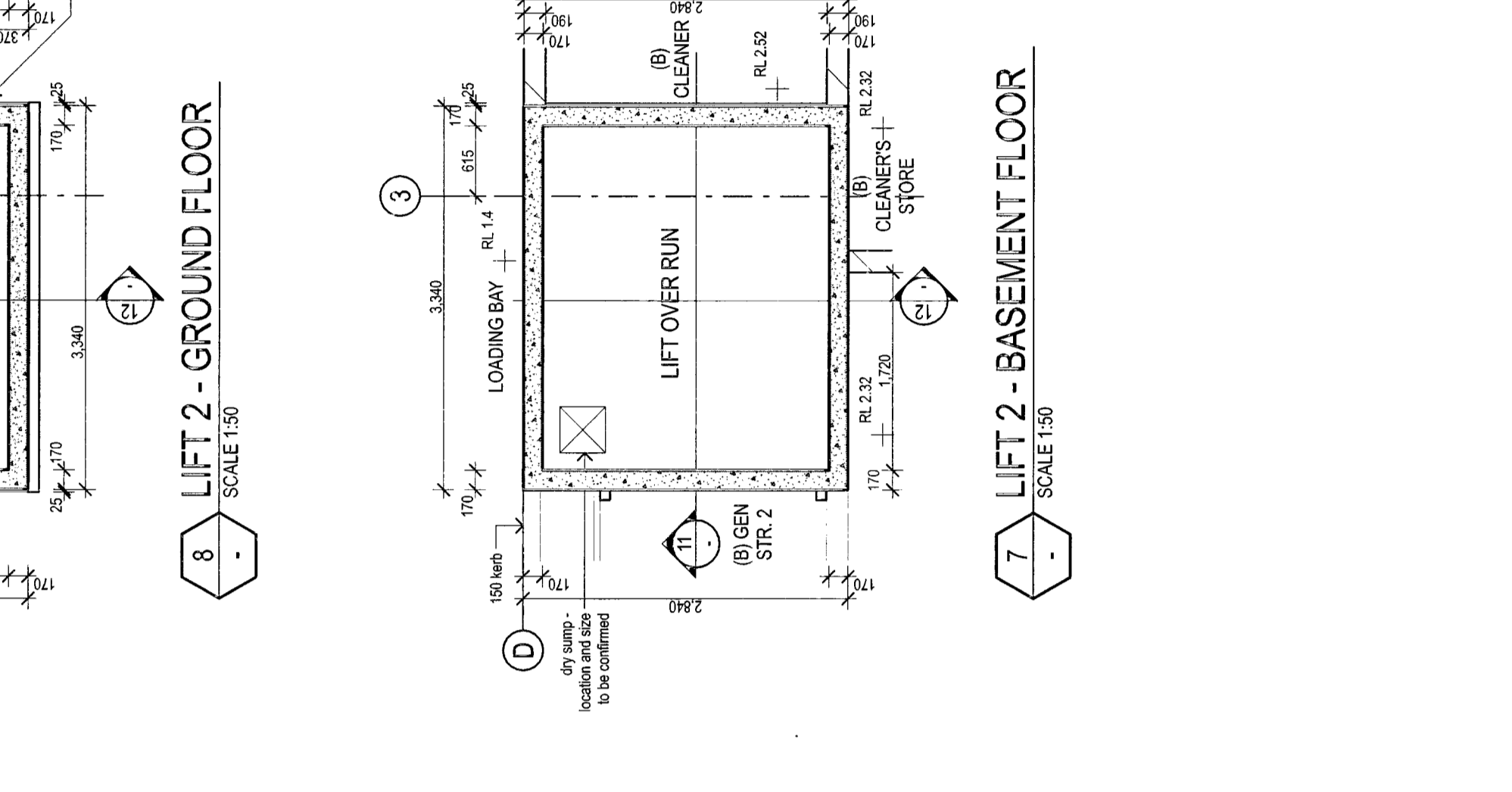
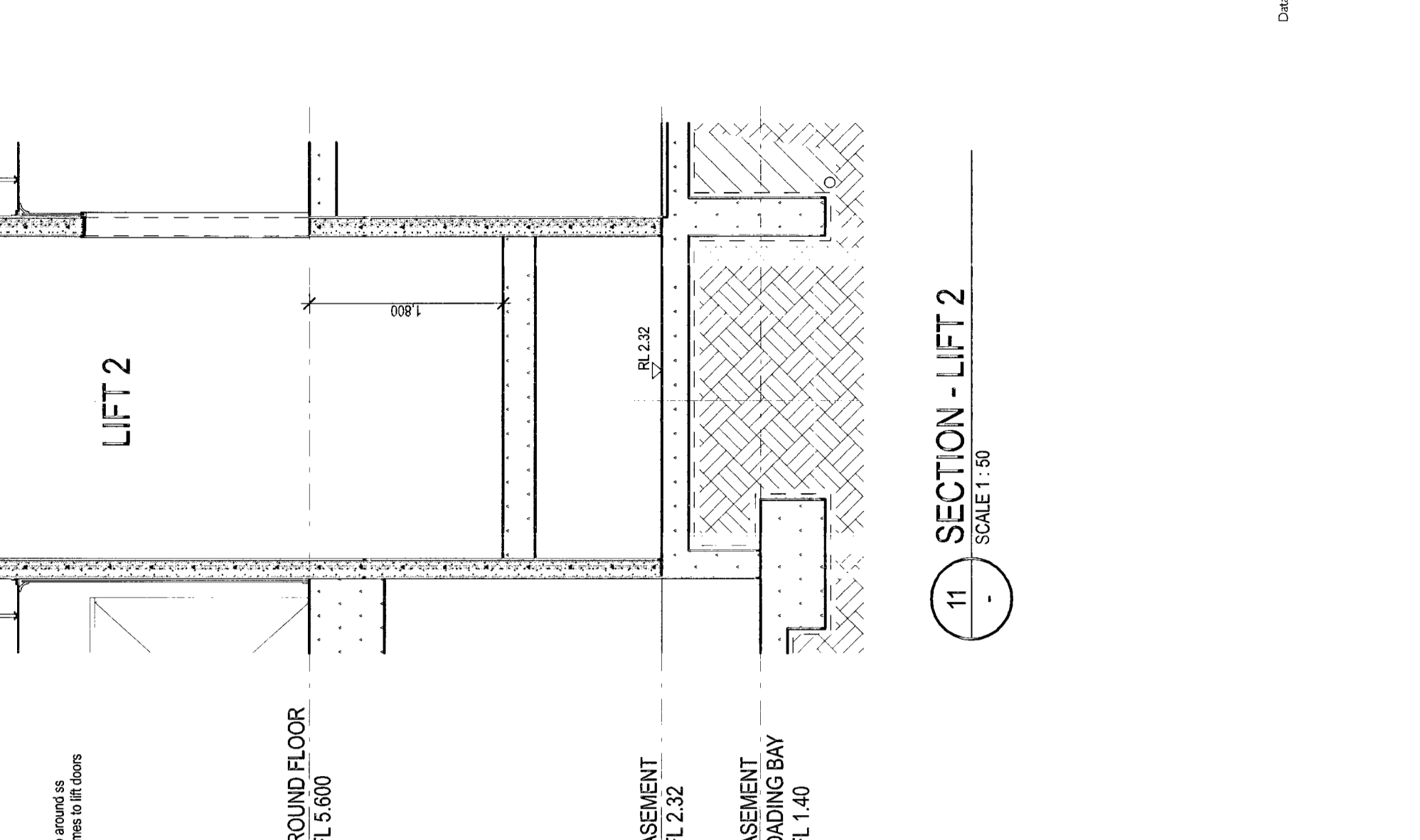
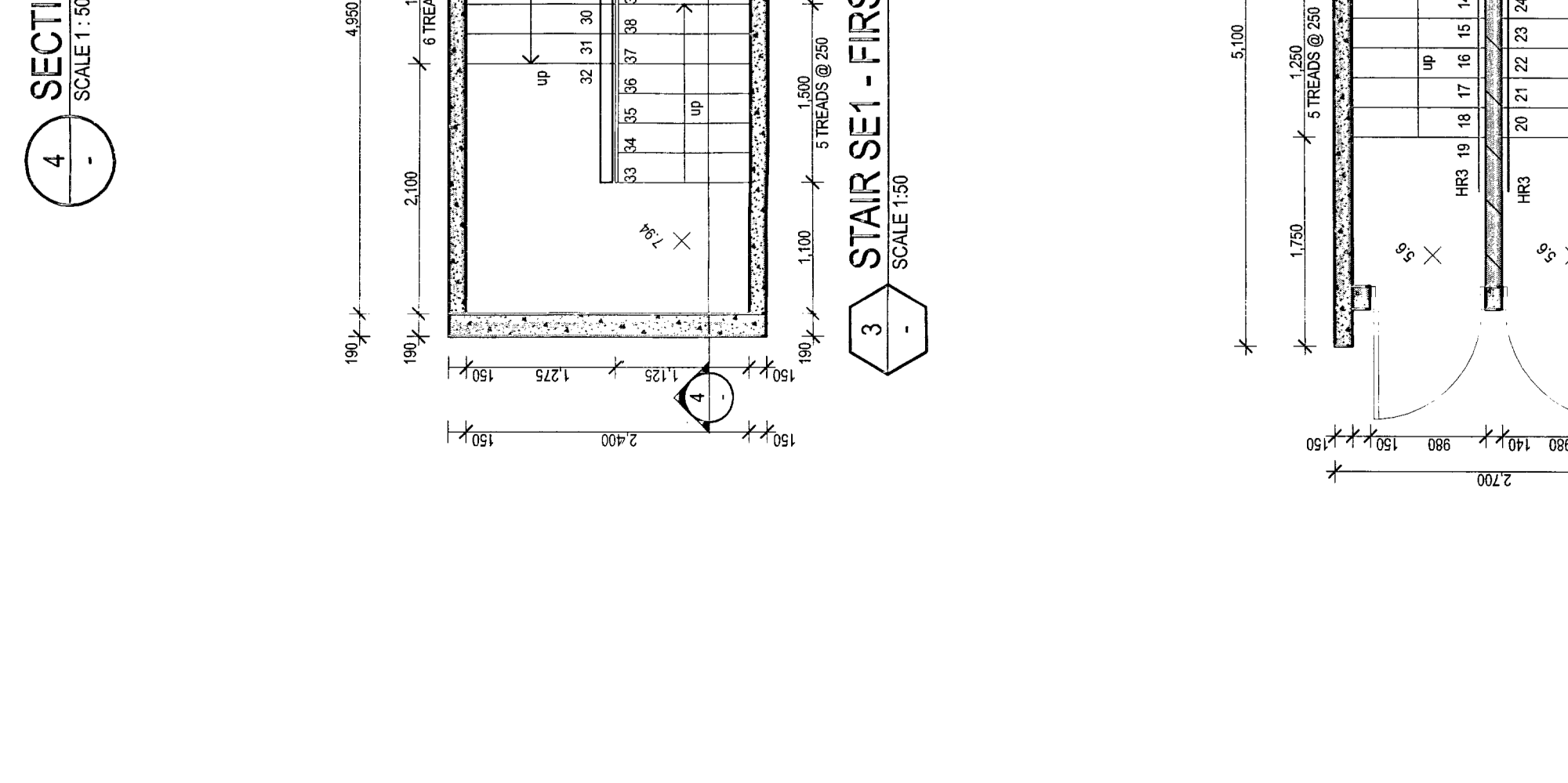
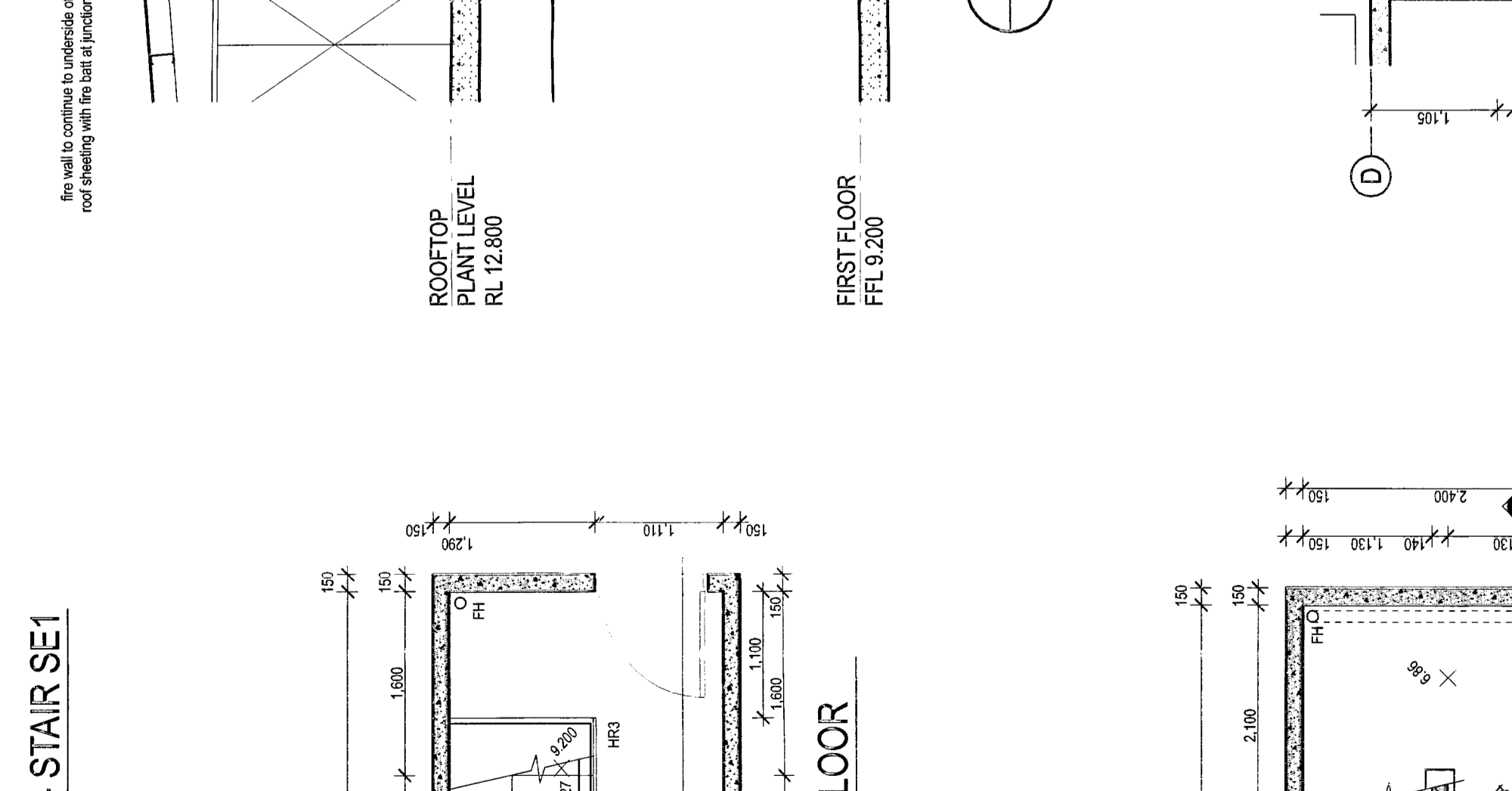
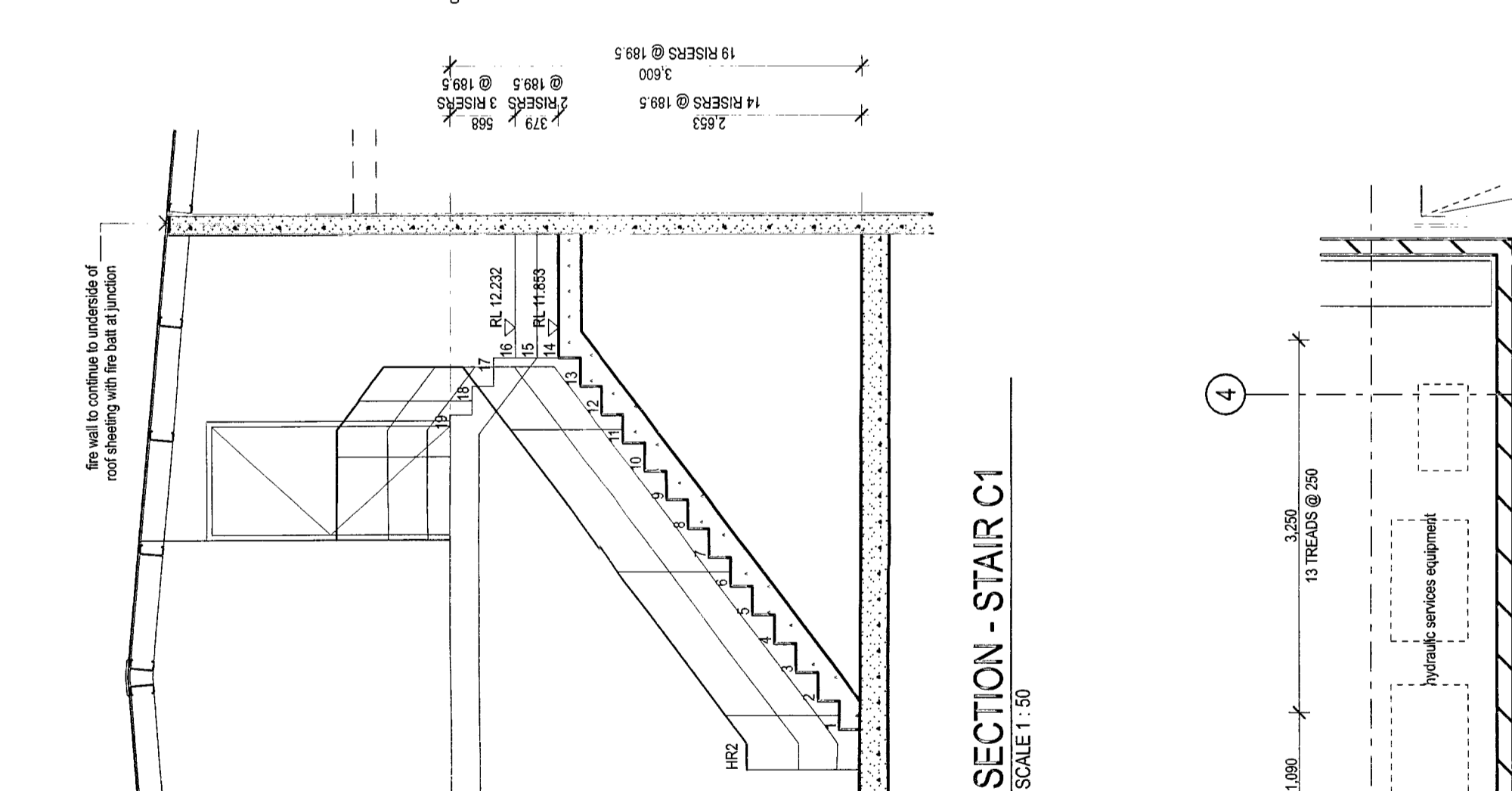
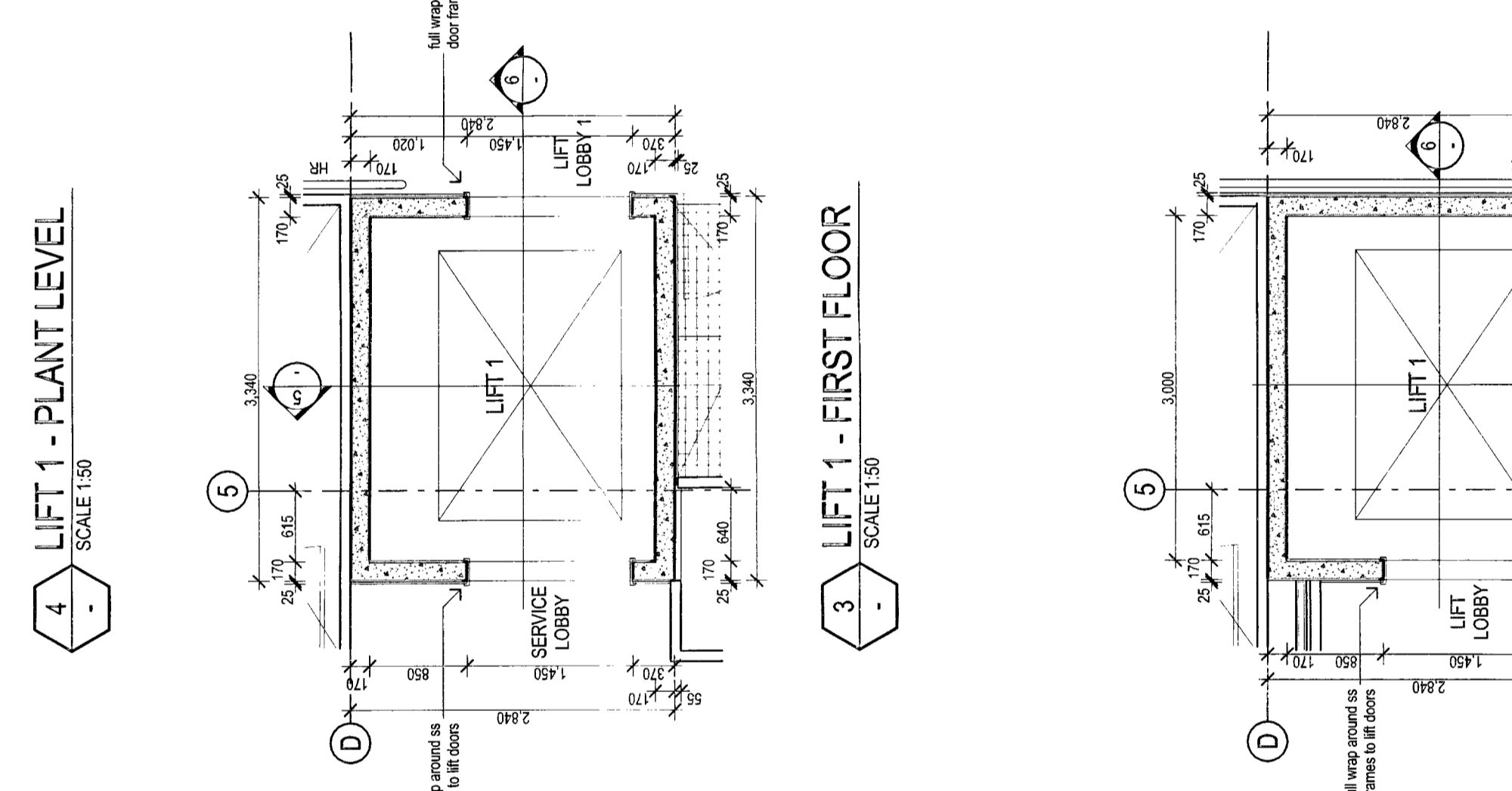
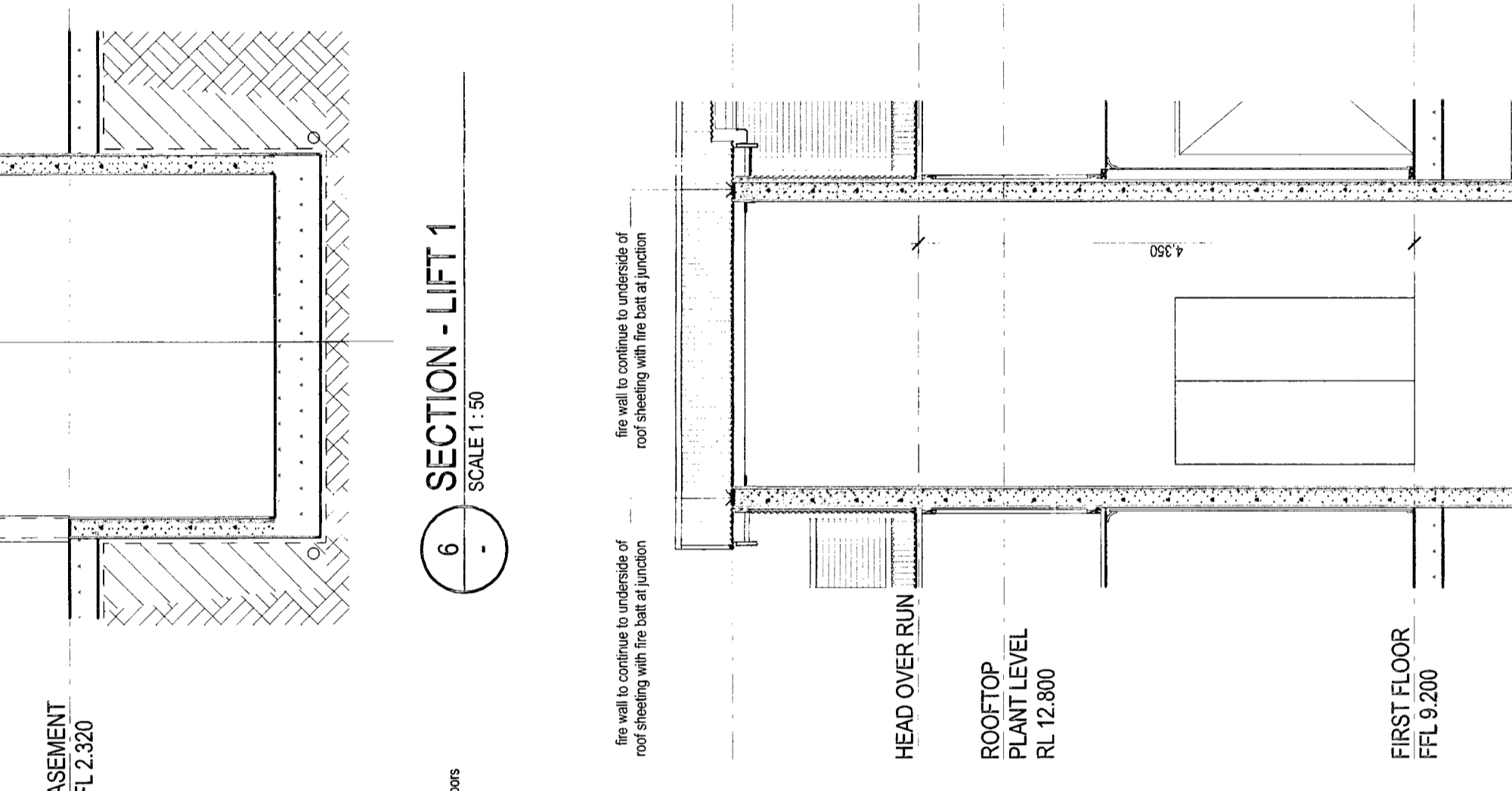
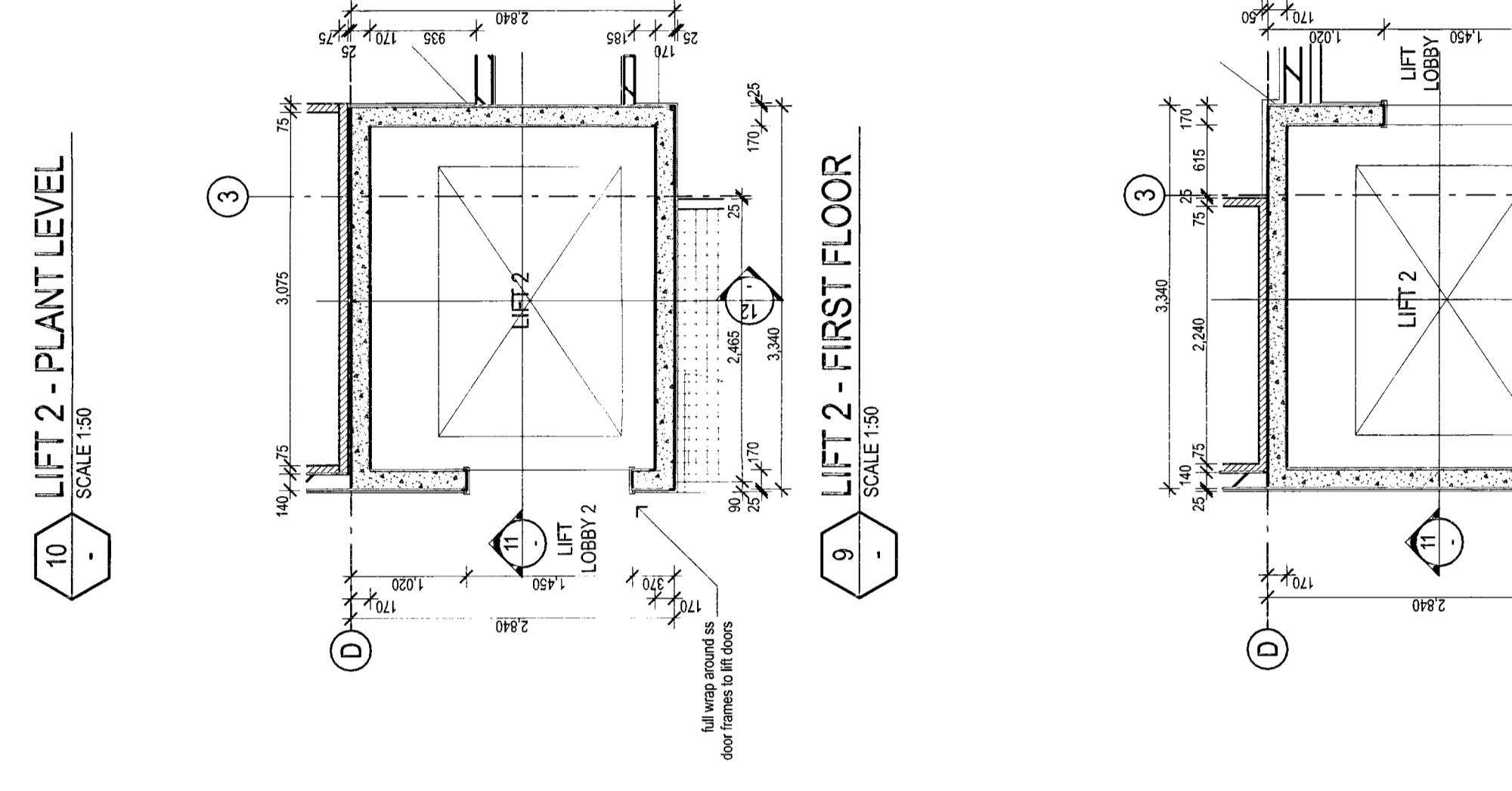
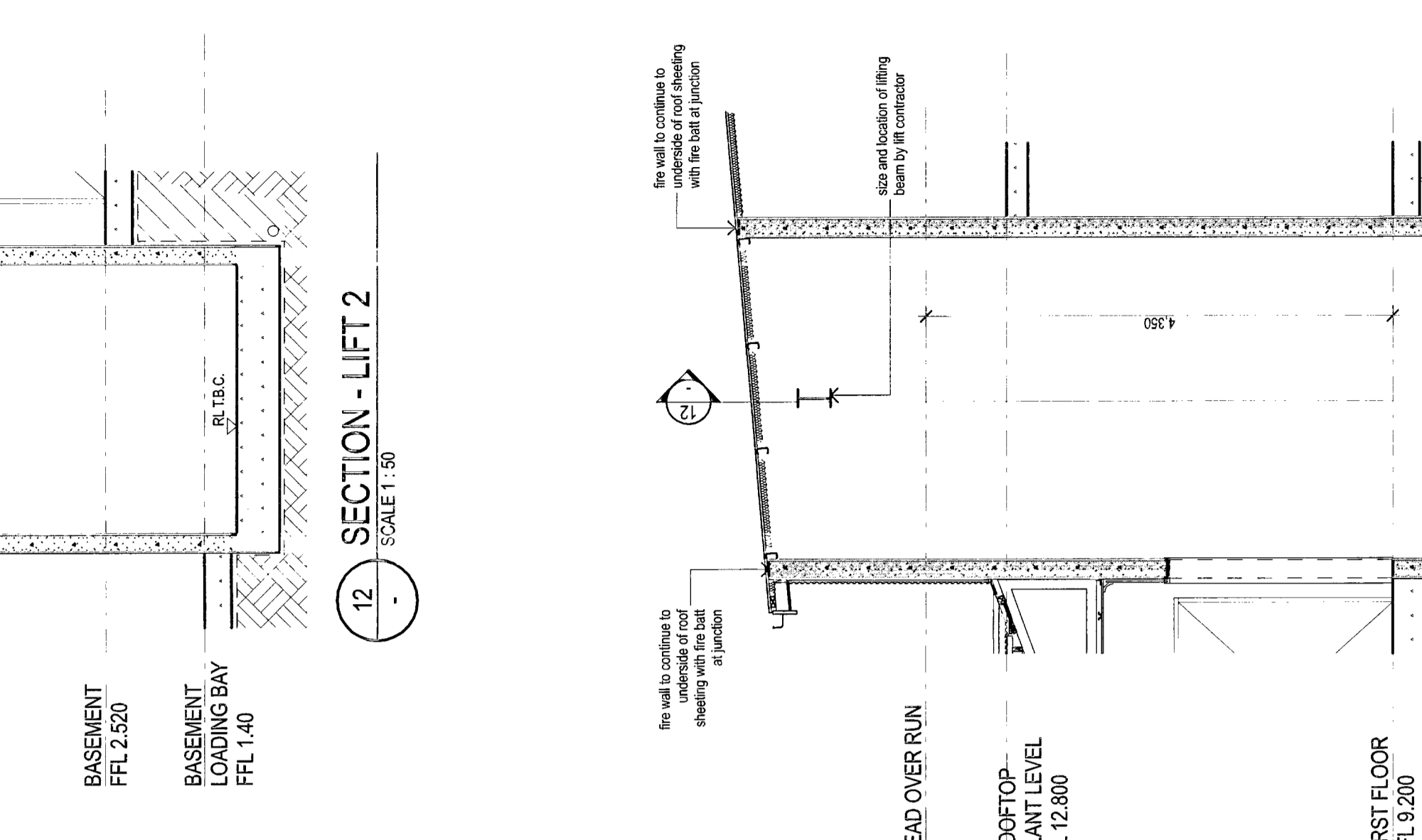
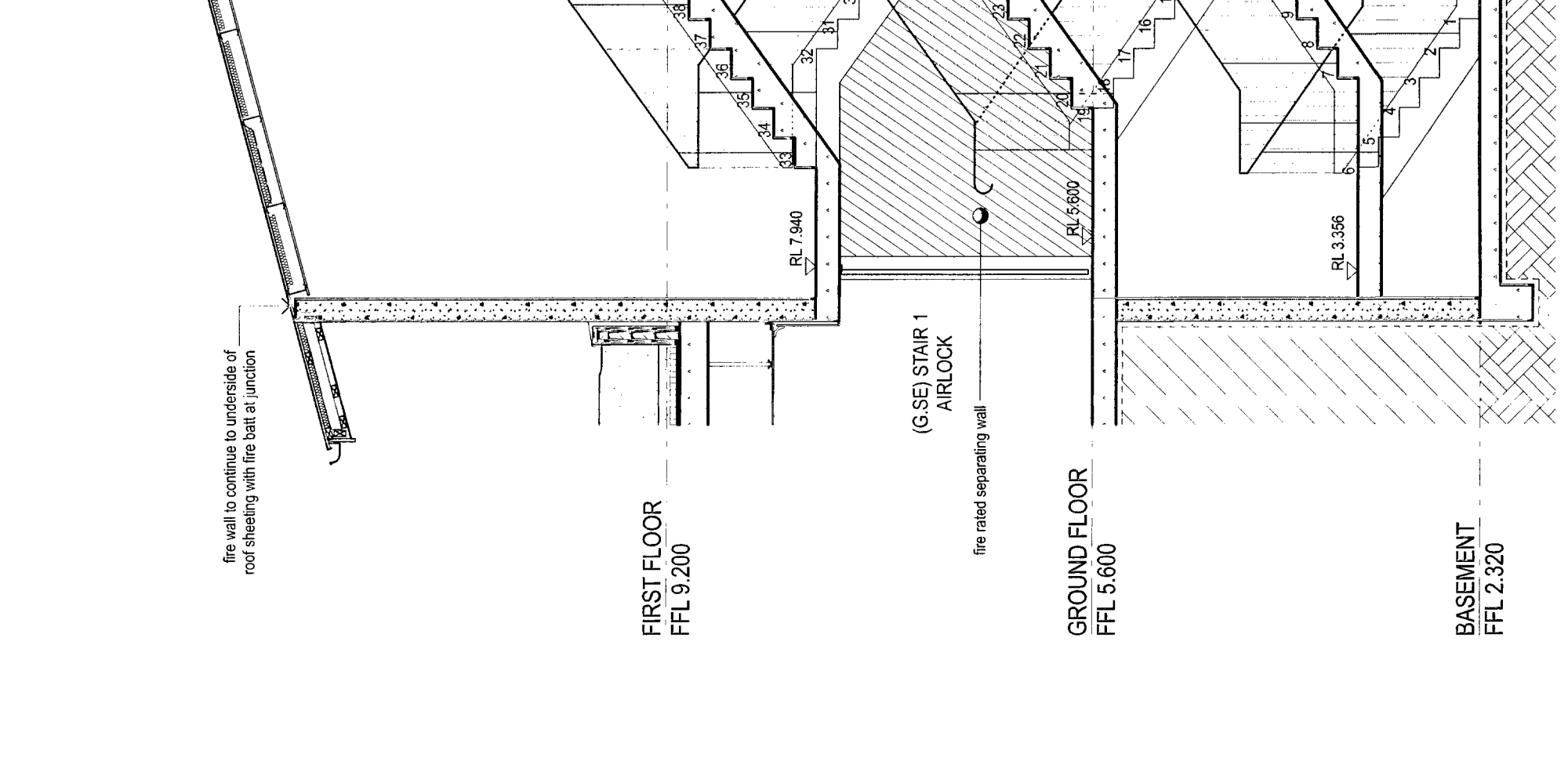
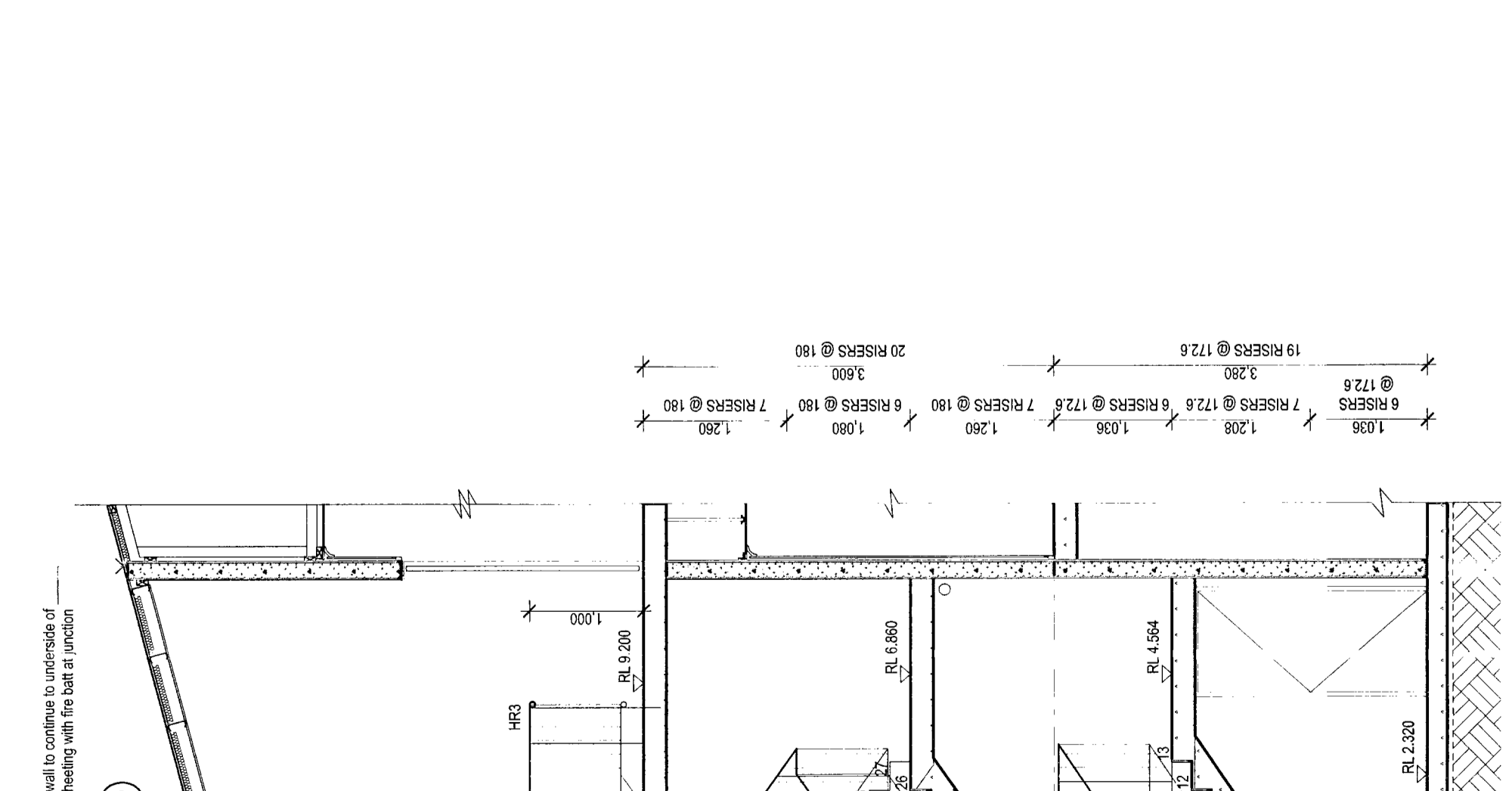
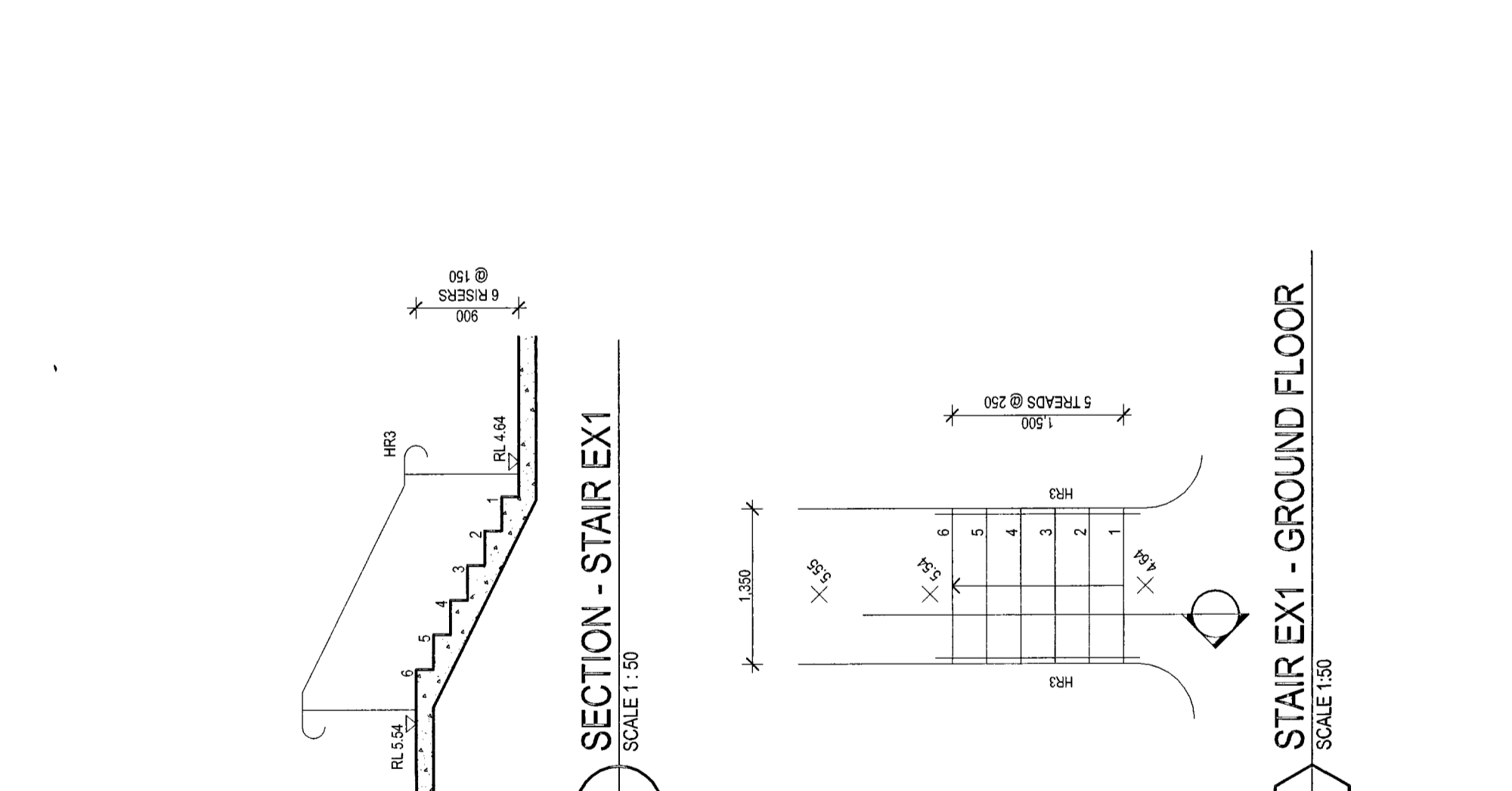
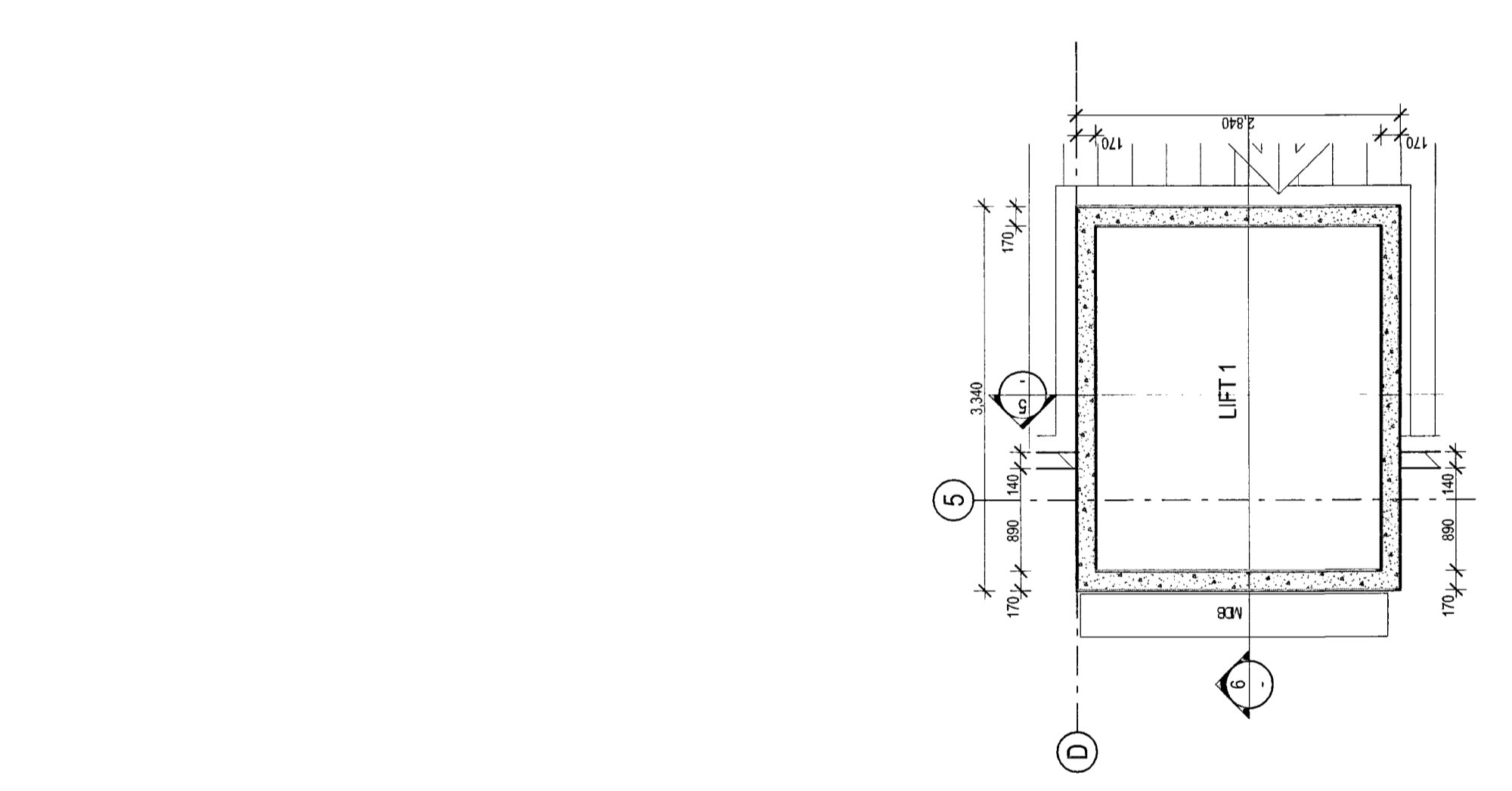
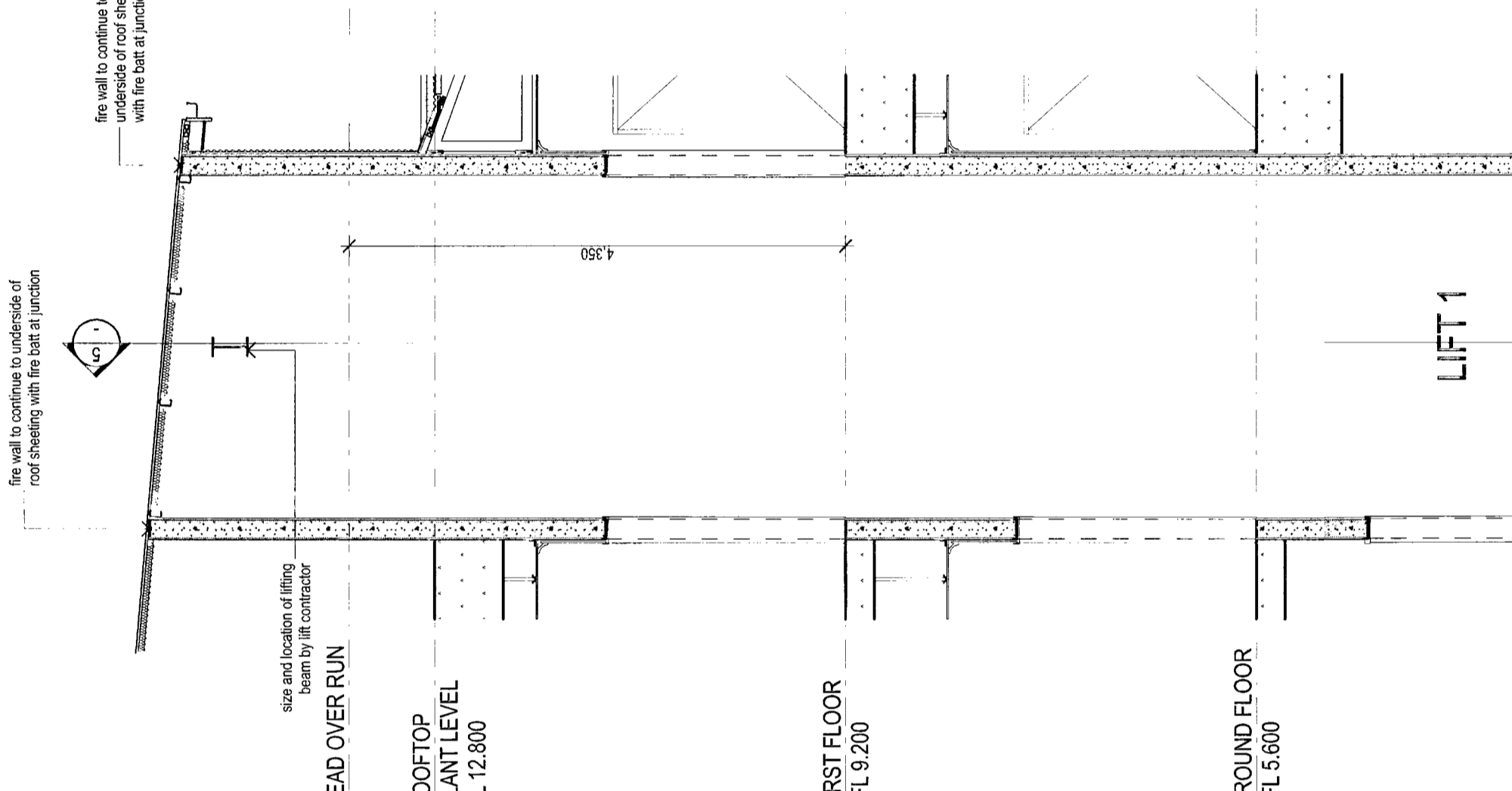
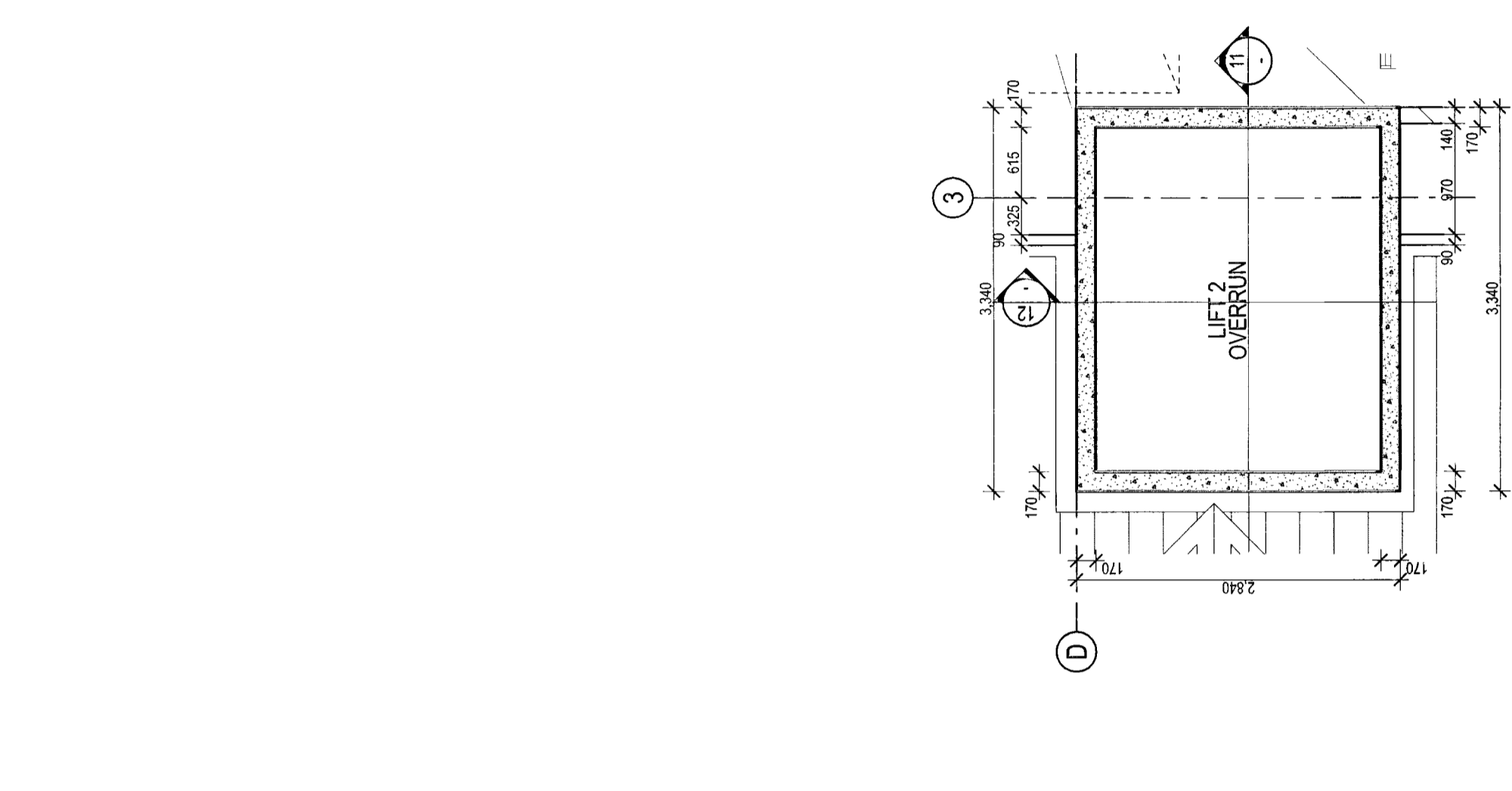
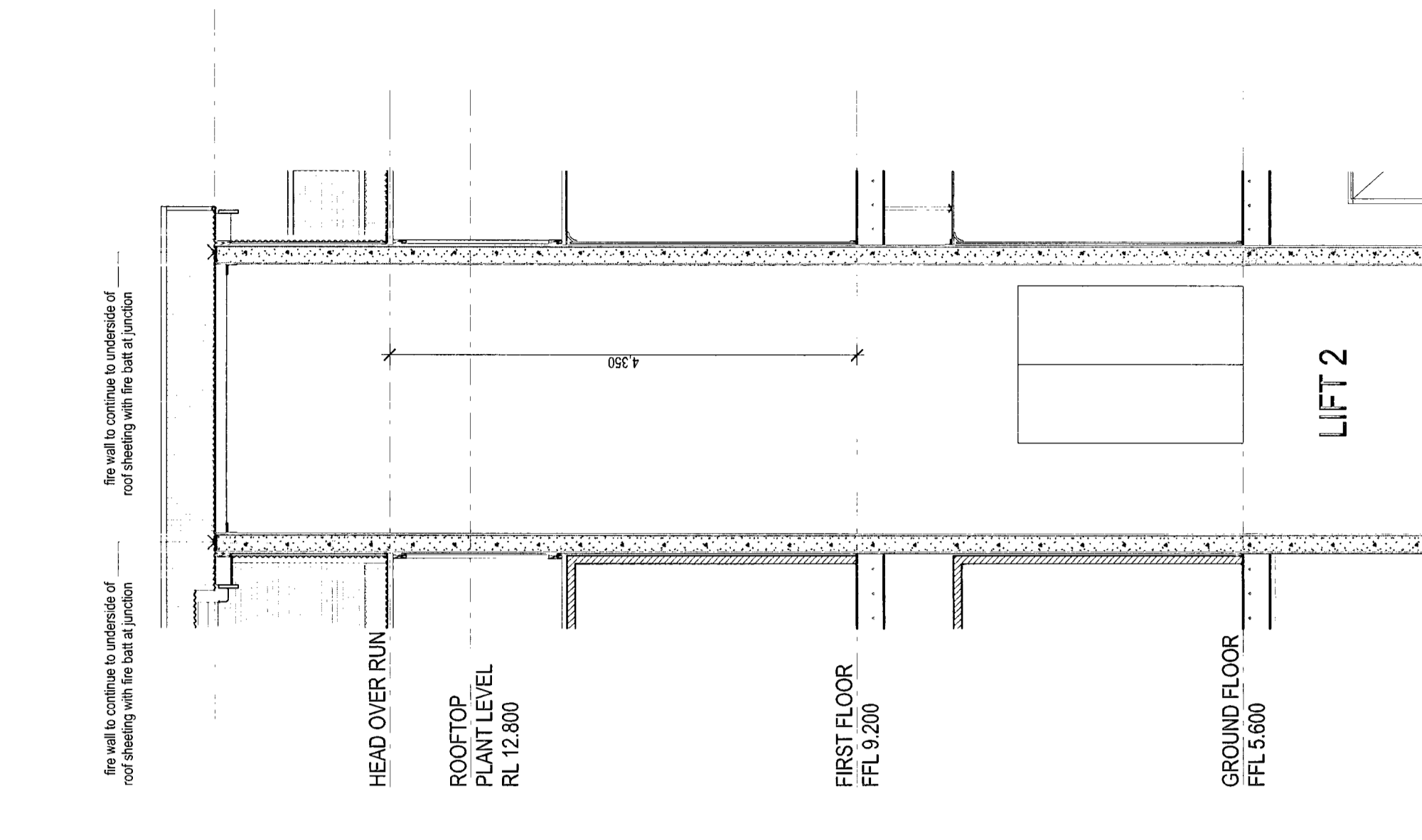
PROJECT: GRANT DAMBSON
 119 BED RACF (STAGE 2A)
 TENDER

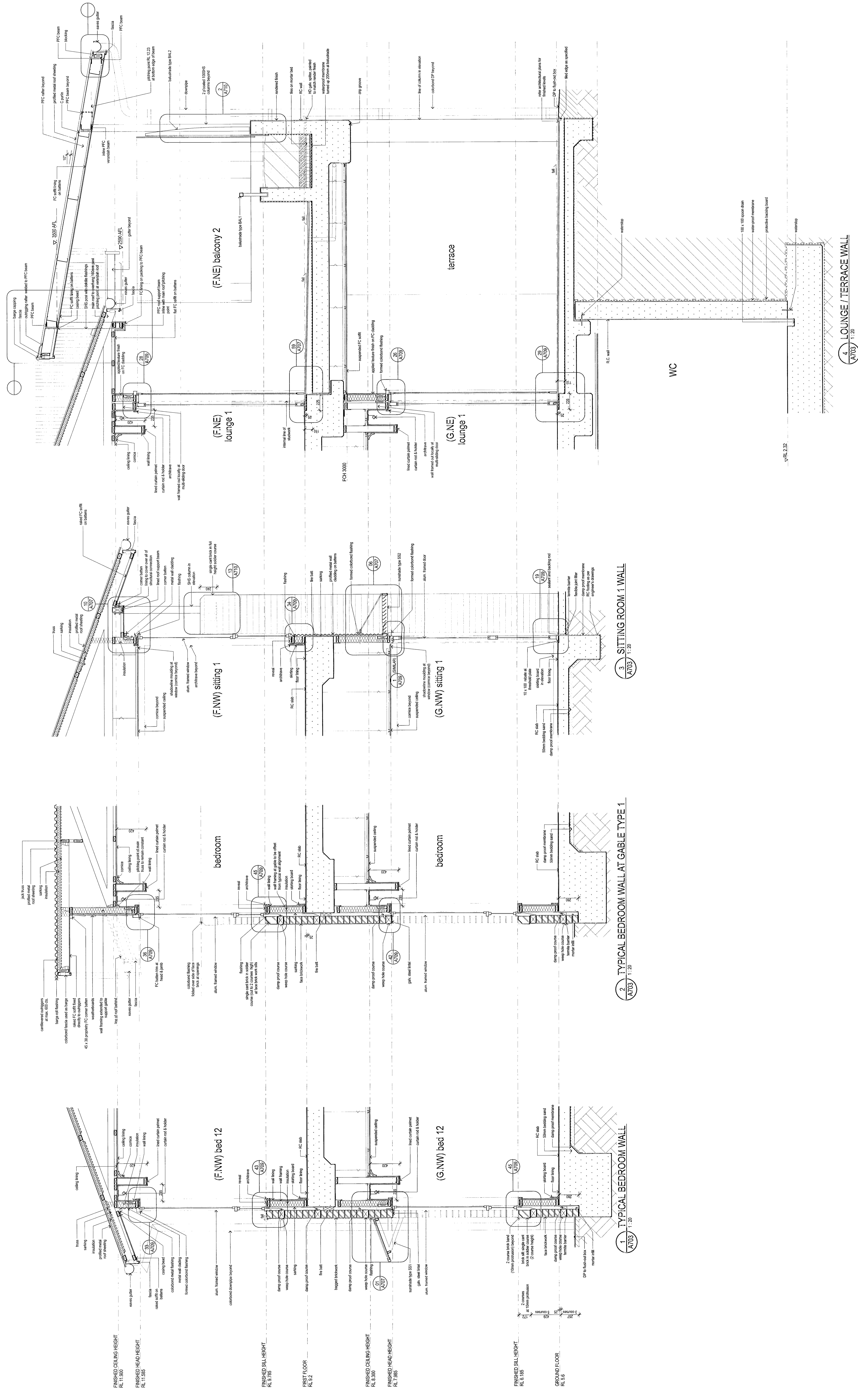
ARCHITECTS:
 MERRIN & CRANSTON
 PLYMOUTH
 100 BOX 347
 SPOKANE, ID 83404
 TEL: (208) 384-6104
 FAX: (208) 384-3004
 www.merrin.com

SCALE: 1:50
 DATE: 07 APR 2013
 SHEET: A191 A701 A

PROJECT: ANGLICAN RETIREMENT VILLAGES
 WARRENWOOD VALLEY
 119 BED RACF (STAGE 2A)

STAIR PLANS & SECTIONS





3 SITTING ROOM 1 WALL
 A703 1:20

2 TYPICAL BEDROOM WALL AT GABLE TYPE 1
 A703 1:20

1 TYPICAL BEDROOM WALL
 A703 1:20

WC

terrace

(F.NE) balcony 2

(F.NE) lounge 1

(G.NE) lounge 1

(F.NW) sitting 1

(G.NW) sitting 1

bedroom

bedroom

(F.NW) bed 12

(G.NW) bed 12

FINISHED CEILING HEIGHT
 RL 11.900

FINISHED CHAD HEIGHT
 RL 11.900

FINISHED SILL HEIGHT
 RL 5.125

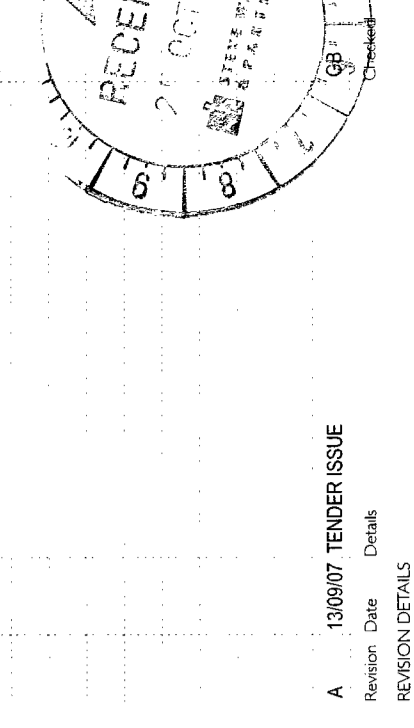
FIRST FLOOR
 RL 5.2

FINISHED CEILING HEIGHT
 RL 5.800

FINISHED CHAD HEIGHT
 RL 7.285

FINISHED SILL HEIGHT
 RL 5.125

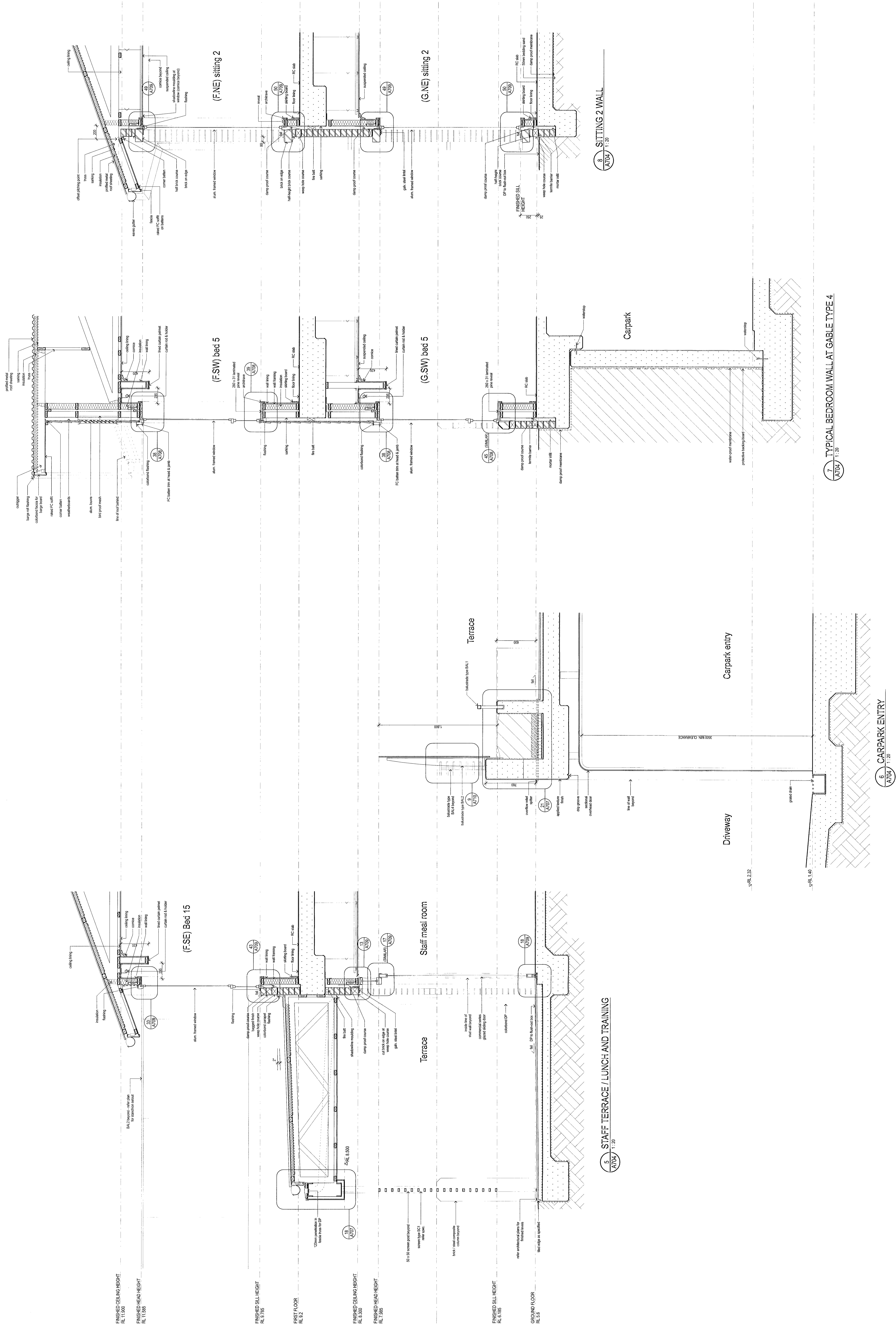
GROUND FLOOR
 RL 5.6



PROJECT
TENDER
ANGLICAN RETIREMENT VILLAGES
WARREWOOD VALLEY 119 BED RACF (STAGE 2A)

CLIENT
Merrin & Cranston
 Pty Ltd
 Architects
 PO Box 3497
 Tel: (07) 3844 6104
 Fax: (07) 3846 2204
 200 St Hill
 Warrewood
 South Australia 5000
 Email: info@merrin.com.au
 Website: www.merrin.com.au

DATE
 07 APR 2008
 SCALE
 1:20
 DRAWING NO.
A191 A703
 SHEET NO.
A



FINISHED CEILING HEIGHT
 RL 11.800

FINISHED HEAD HEIGHT
 RL 11.725

FINISHED CEILING HEIGHT
 RL 8.785

FINISHED FLOOR
 RL 8.2

FINISHED CEILING HEIGHT
 RL 8.300

FINISHED HEAD HEIGHT
 RL 7.785

FINISHED CEILING HEIGHT
 RL 5.185

GROUND FLOOR
 RL 3.6

5. STAFF TERRACE / LUNCH AND TRAINING
 A1007 1:20

6. CARPARK ENTRY
 A1007 1:20

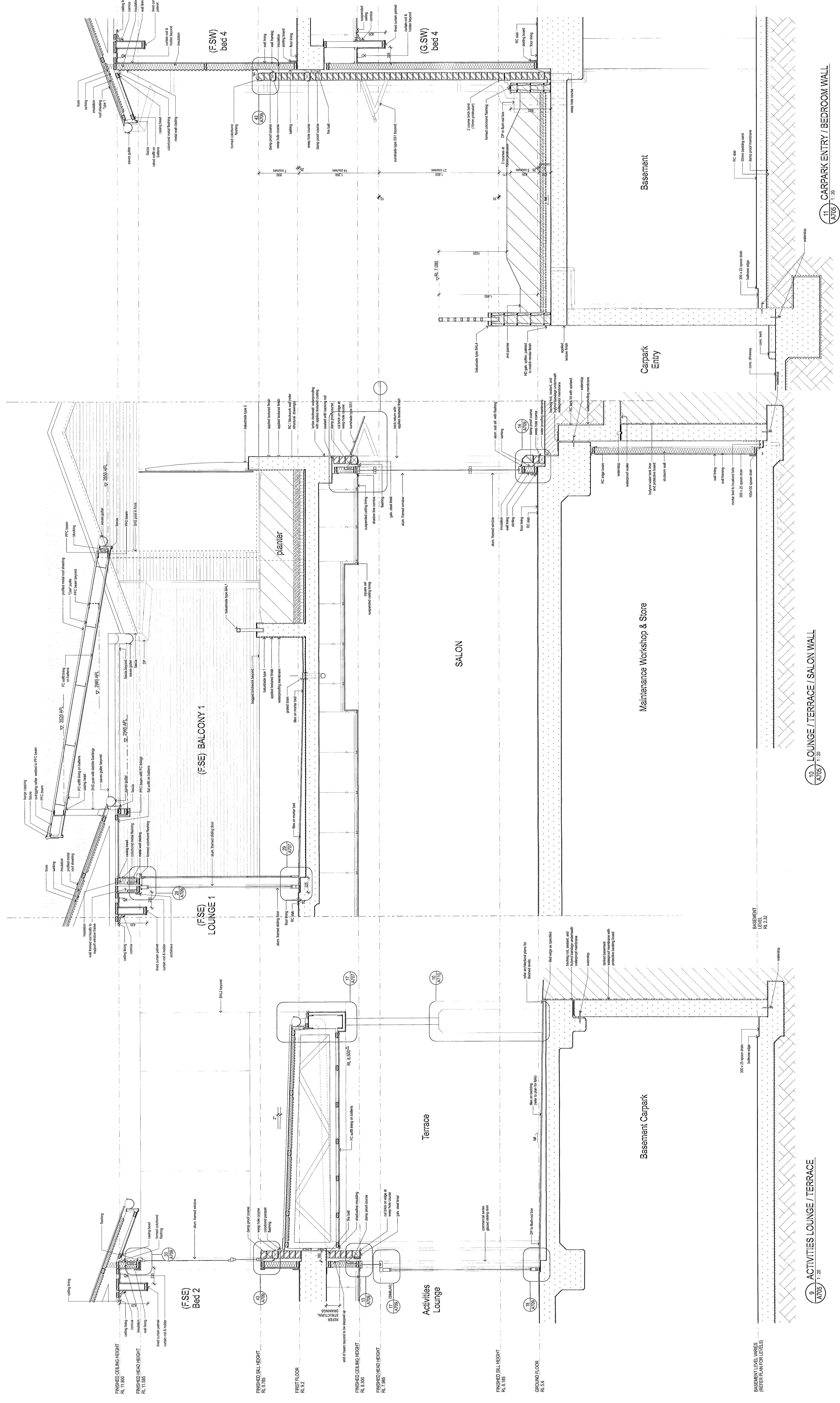
7. TYPICAL BEDROOM WALL AT GABLE TYPE 4
 A1007 1:20

8. SITTING 2 WALL
 A1007 1:20

PROJECT: TENDER ARCHITECTS
 PROJECT MANAGER: GRANT CAMERON
 ARCHITECTS: Merrin & Cranston Pty Ltd
 ADDRESS: PO Box 2447, South Bank, QLD 4101
 PHONE: (07) 3846 4104
 FAX: (07) 3846 2104
 EMAIL: response@merrincranston.com
 WEBSITE: www.merrincranston.com.au

DATE: 07 APR 2026
 SCALE: 1:20
 PROJECT NO: 1300007
 SHEET NO: A1007
 TITLE: WALL SECTIONS 5-8

NOTES:
 1. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS.
 2. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS.
 3. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS.

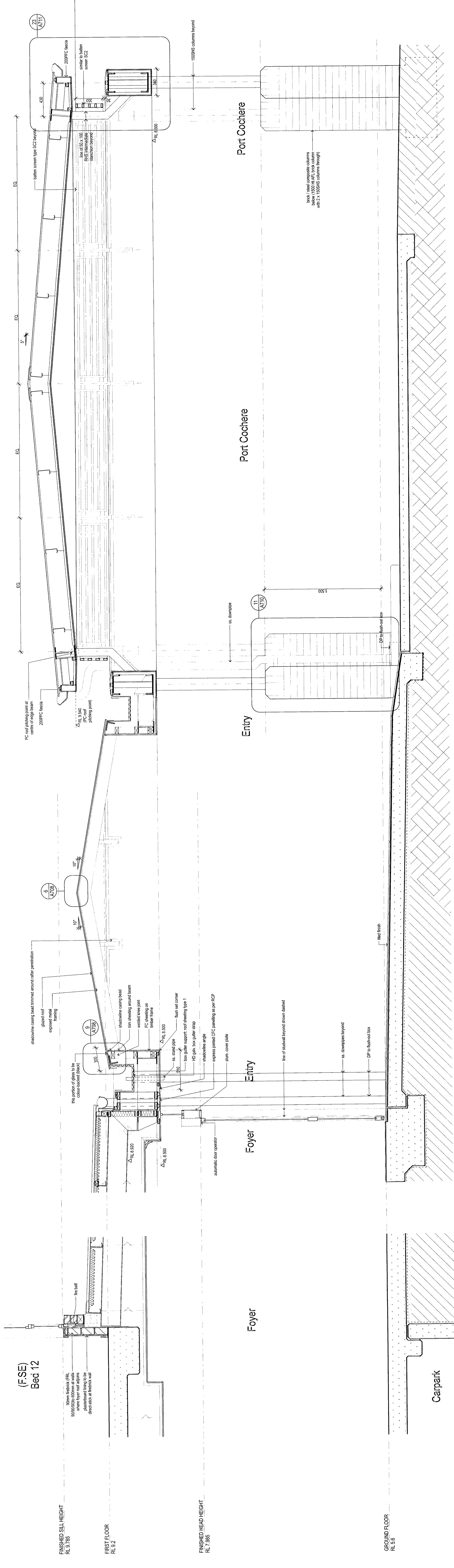


PROJECT: WARRIMOOD VALLEY 119 BED RACF (STAGE 2A)
 ANGLICAN RETIREMENT VILLAGES
 ARCHITECTS: Merrin & Cranston
 PROJECT ARCHITECT: GRANT CAMERON
 PROJECT MANAGER: GRANT CAMERON
 DATE: 07 APR 2009
 SCALE: 1:20
 SHEET: A191 A705 A

WALL SECTIONS 9-11
 07 APR 2009
 1:20
 A191 A705 A
 13/09/07
 11 CARPARK ENTRY / BEDROOM WALL
 10 LOUNGE / TERRACE / SALON WALL
 9 ACTIVITIES LOUNGE / TERRACE

PROJECT: WARRIMOOD VALLEY 119 BED RACF (STAGE 2A)
 ANGLICAN RETIREMENT VILLAGES
 ARCHITECTS: Merrin & Cranston
 PROJECT ARCHITECT: GRANT CAMERON
 PROJECT MANAGER: GRANT CAMERON
 DATE: 07 APR 2009
 SCALE: 1:20
 SHEET: A191 A705 A

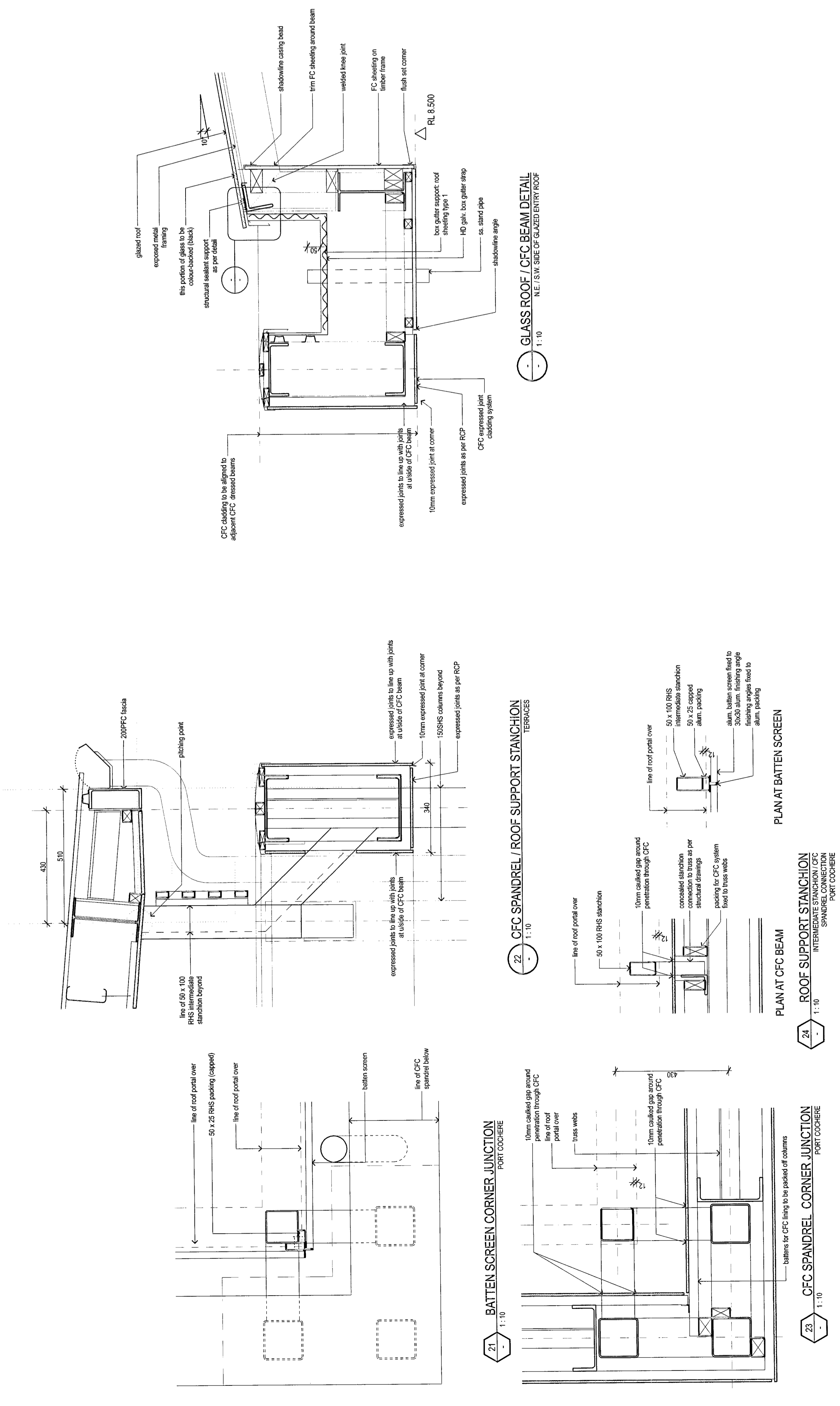
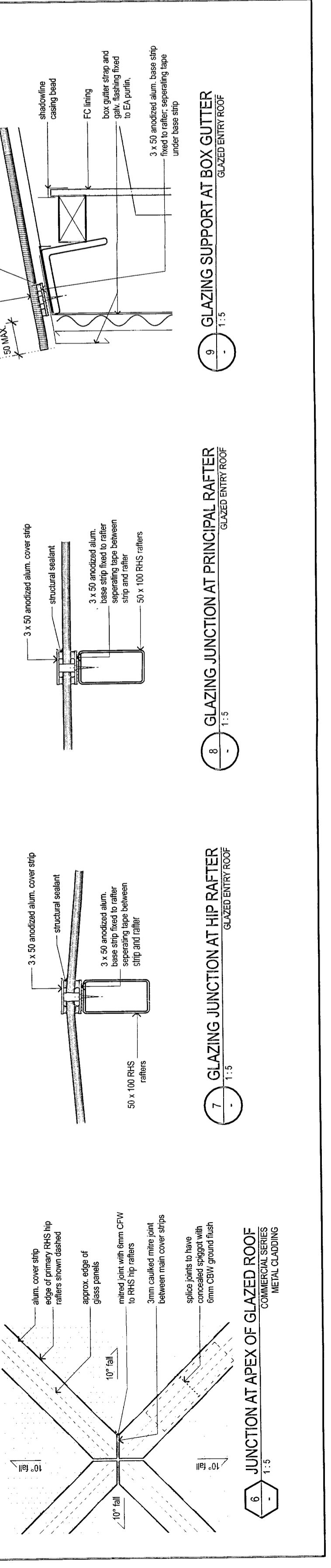
NOTES:
 1. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
 2. REFER TO STRUCTURAL DRAWINGS FOR ALL DIMENSIONS.
 3. CONSULT WITH CONTRACTOR FOR ALL DIMENSIONS.



12. FOYER / ROOF AT EDGE BEAM
 A2072 1:20

13. ENTRY / PORT COCHERE
 A2072 1:20

GLAZED ENTRY ROOF JOINTIONS



PROJECT:
 WARRENWOOD VALLEY
 119 BED RACF (STAGE 2A)

ARCHITECTS:
 Merrin & Cranston
 Pty Ltd
 Architects
 PO Box 3447
 South Bank
 QLD 4101
 reception@merrinandcranston.com
 Phone: (07) 3866 1000
 Fax: (07) 3866 1001

PROJECT NO:
 A191 A706 A

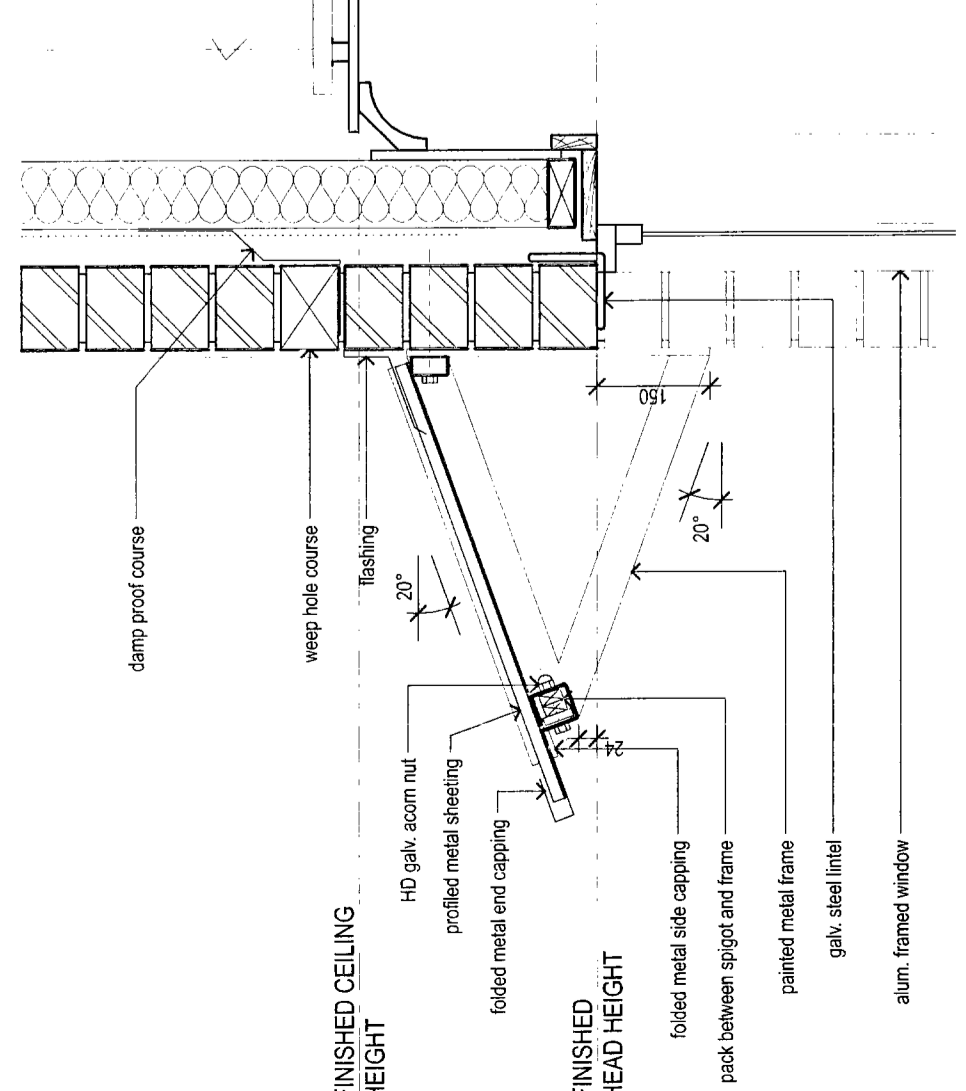
DATE:
 07 APR 2008

SCALE:
 1:10

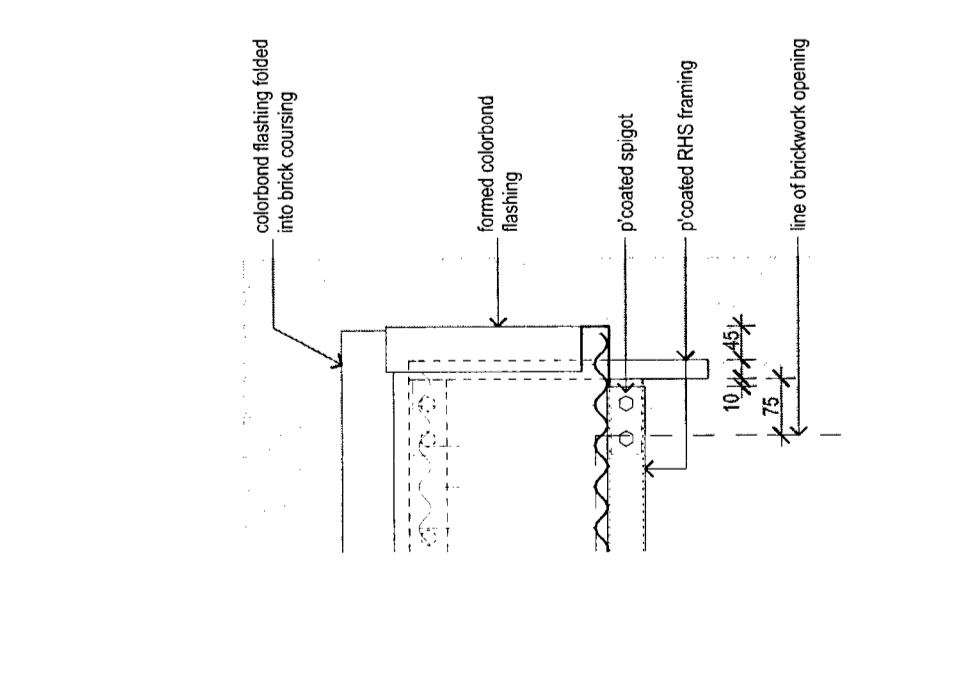
PROJECT NO:
 A191 A706 A

DATE:
 07 APR 2008

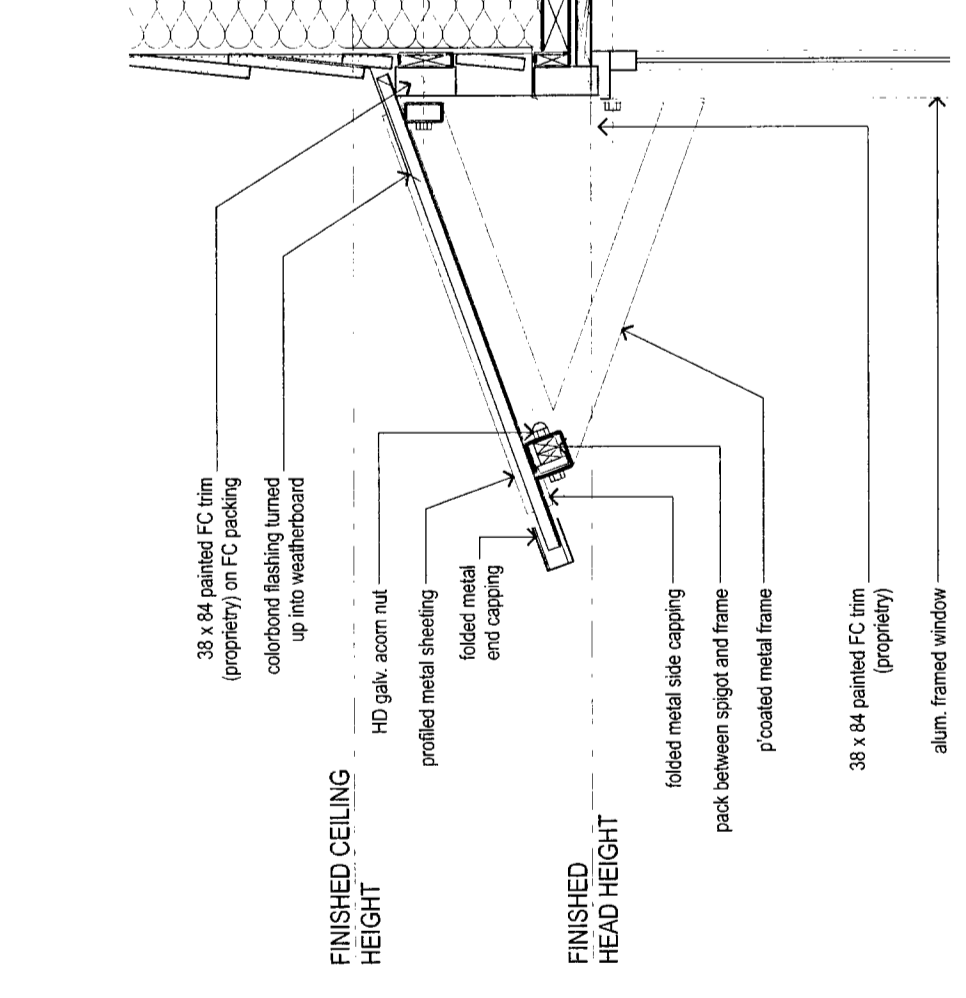
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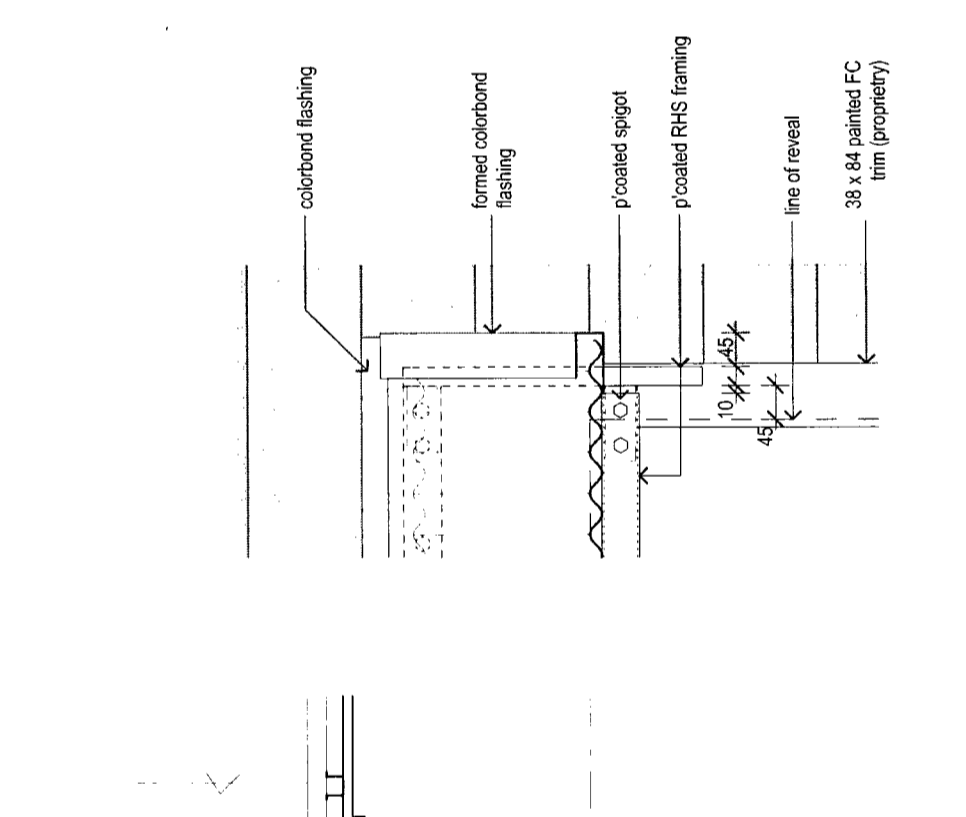
1 SUNSHADE TYPE SS1 BRICK WALL
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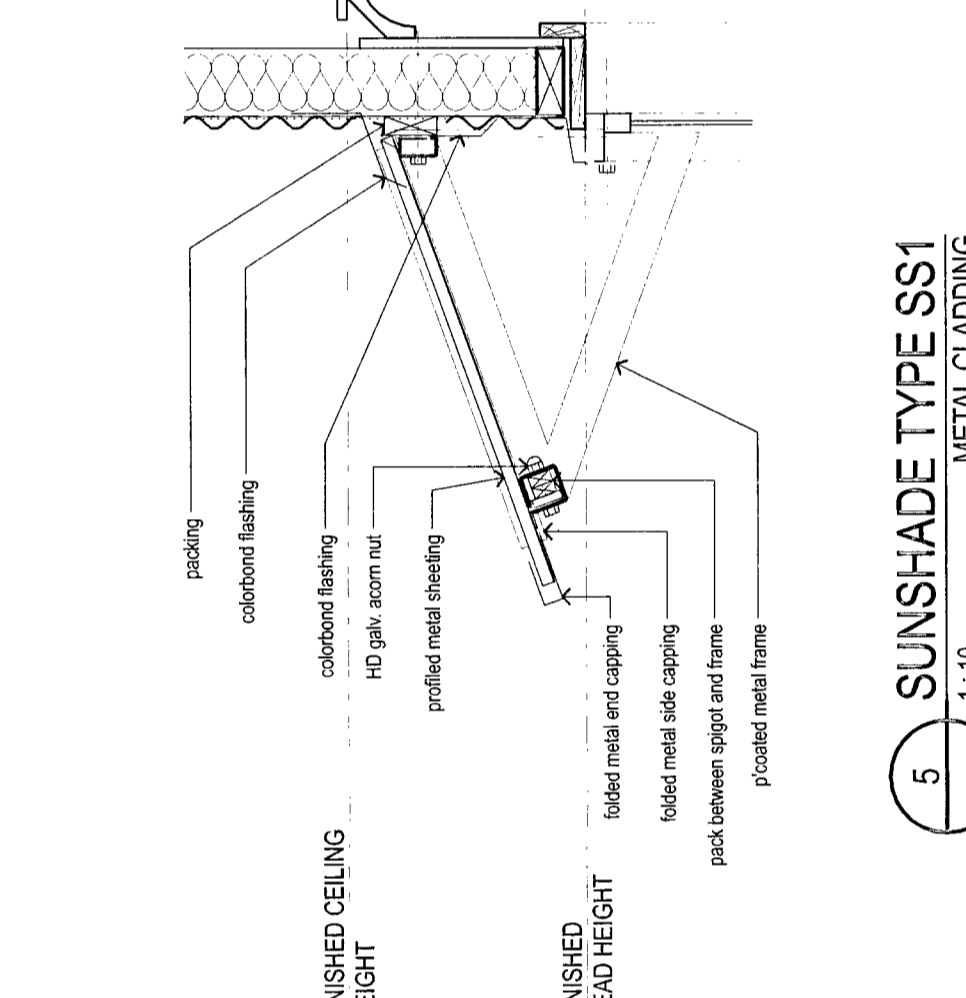
2 SUNSHADE TYPE SS1 EDGE DETAIL BRICKWORK
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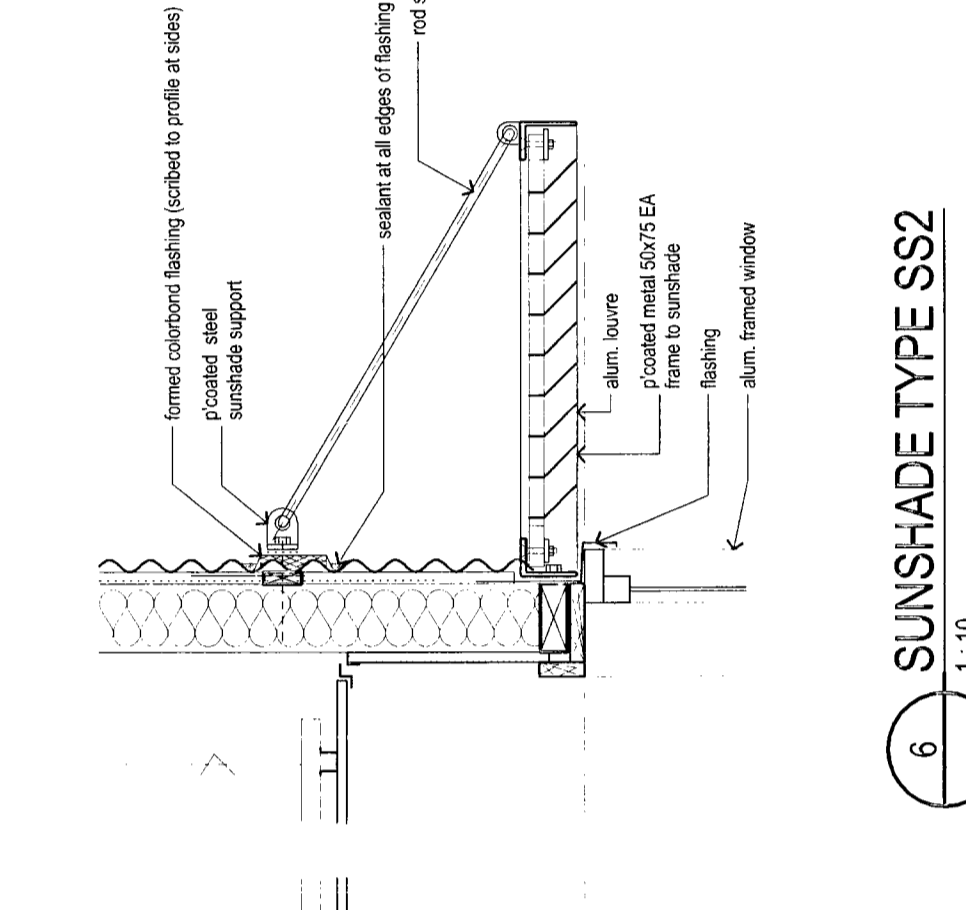
3 SUNSHADE TYPE SS1 EDGE DETAIL WEATHERBOARD CLADDING
1:10



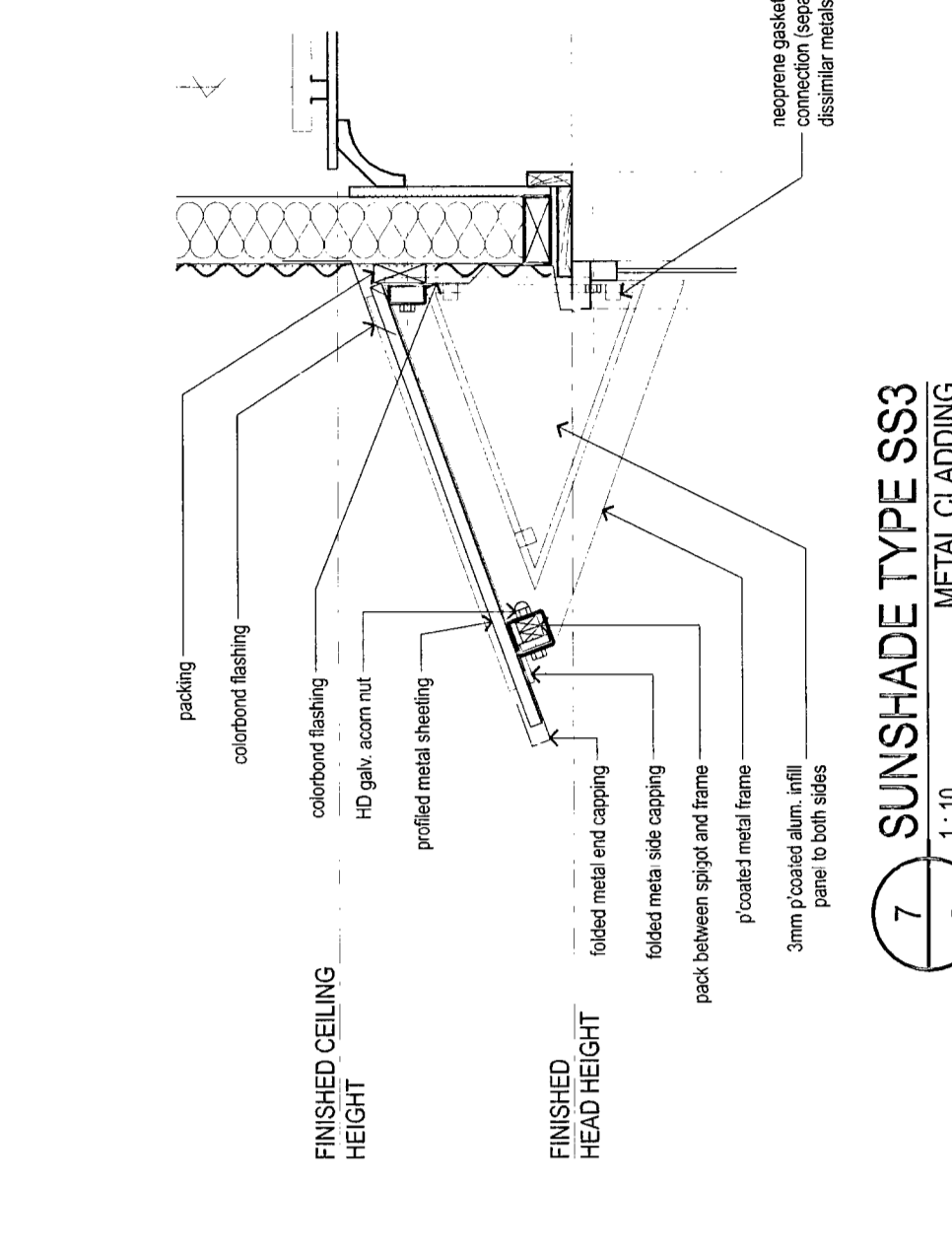
4 SUNSHADE TYPE SS1 EDGE DETAIL METAL CLADDING
1:10



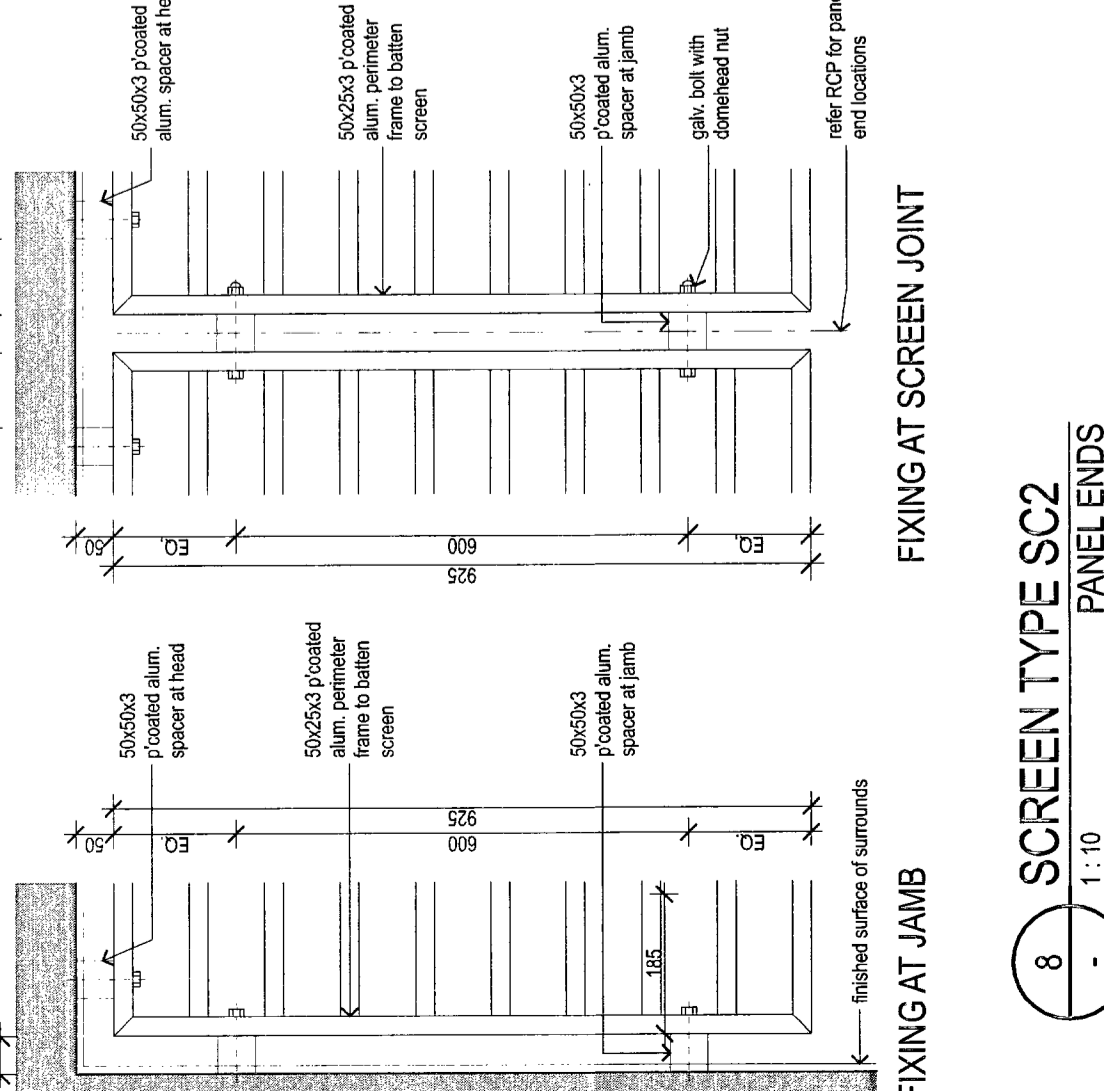
5 SUNSHADE TYPE SS1 EDGE DETAIL GABLE WALL WEATHERBOARD CLADDING
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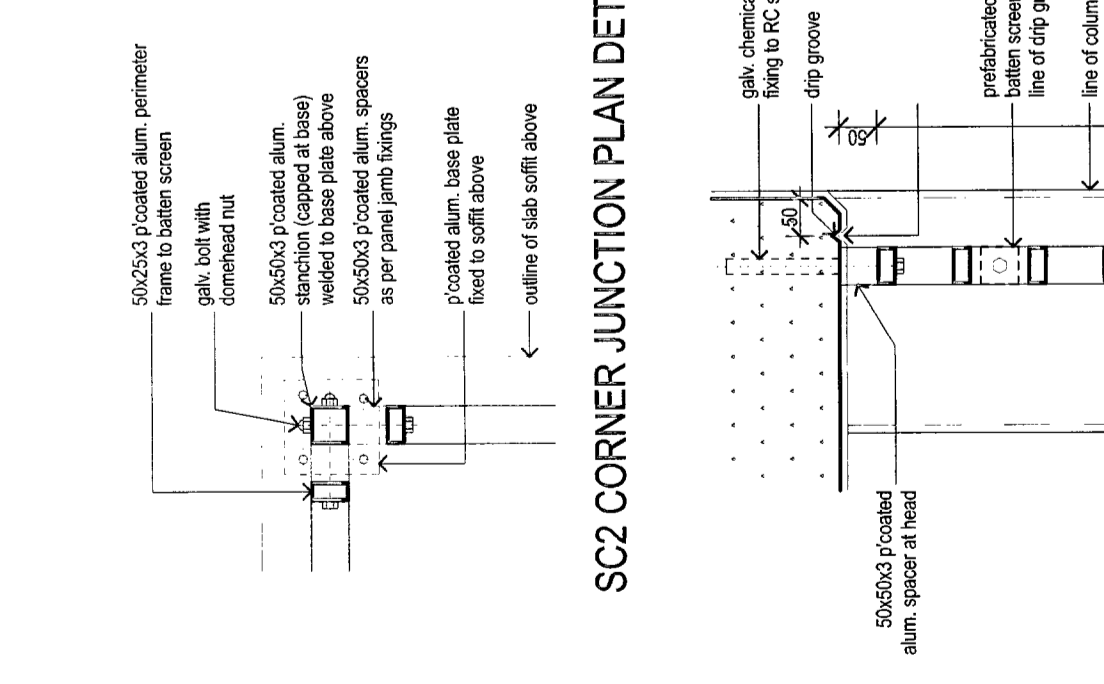
6 SUNSHADE TYPE SS2
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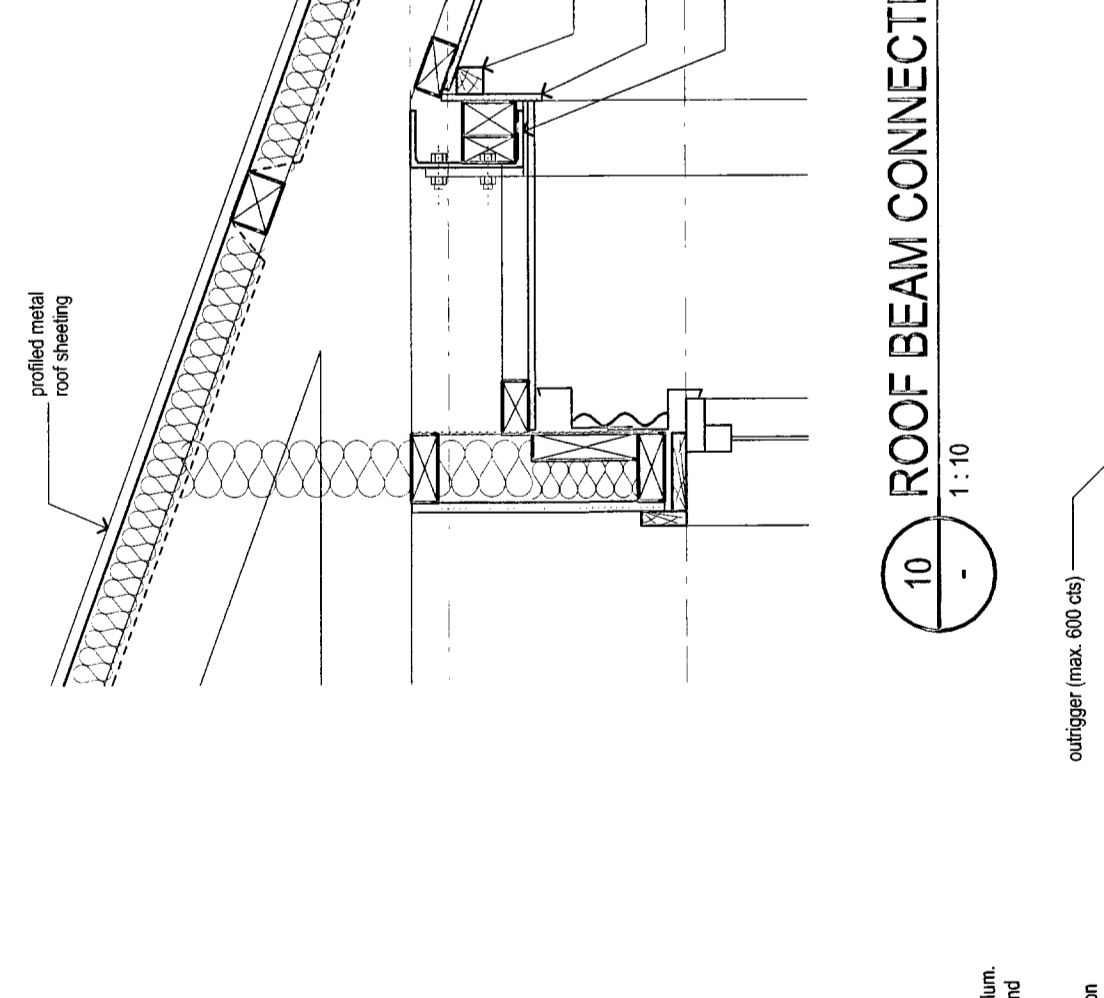
7 SUNSHADE TYPE SS3 METAL CLADDING
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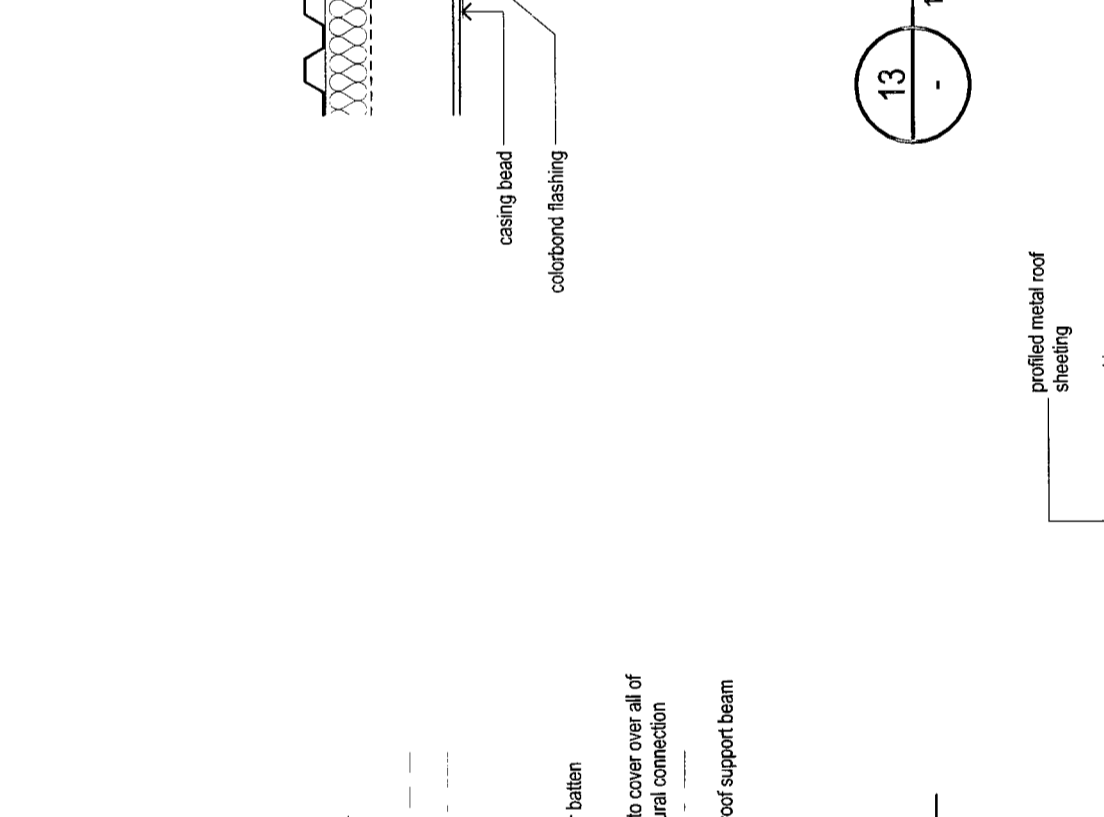
8 SCREEN TYPE SC2 PANEL ENDS
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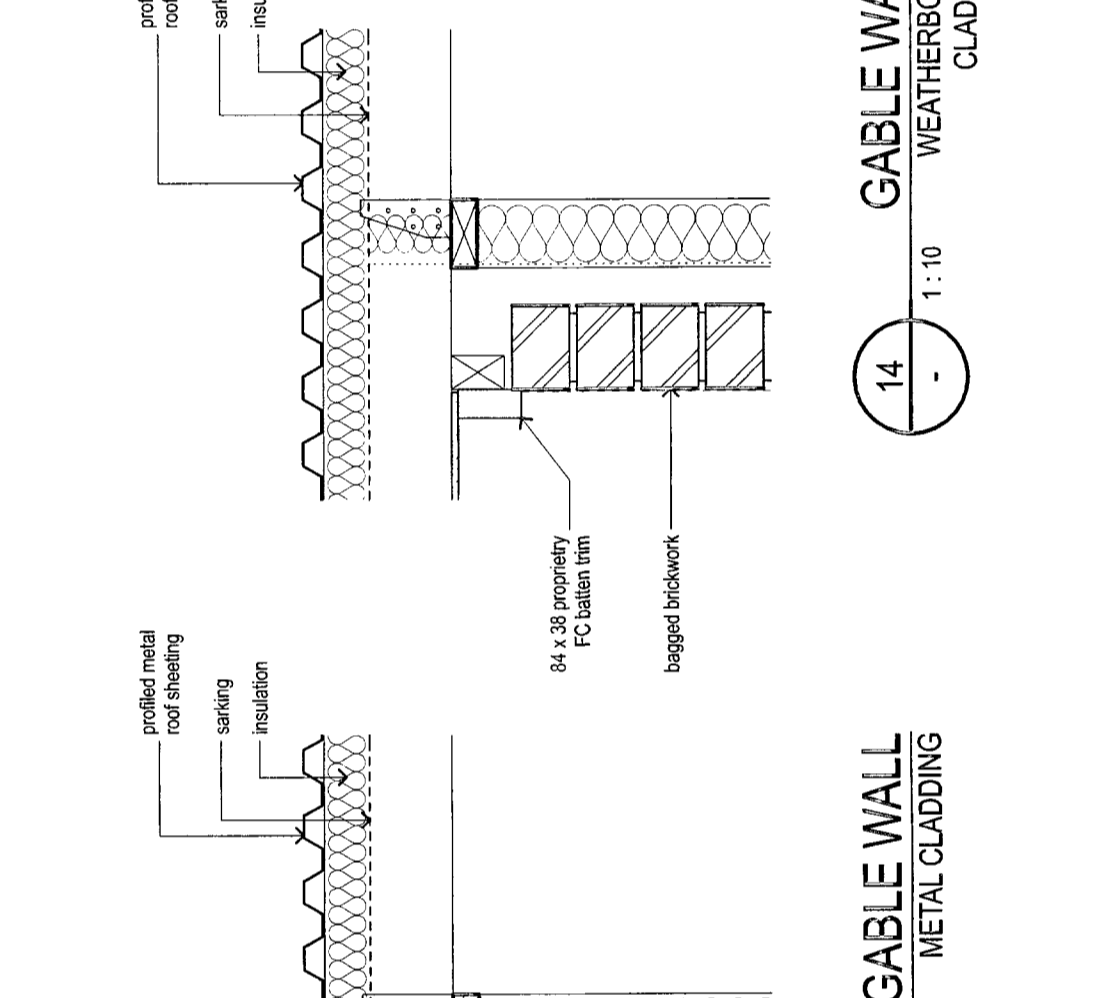
9 SCREEN TYPE SC2 CORNER JUNCTION PLAN DETAIL
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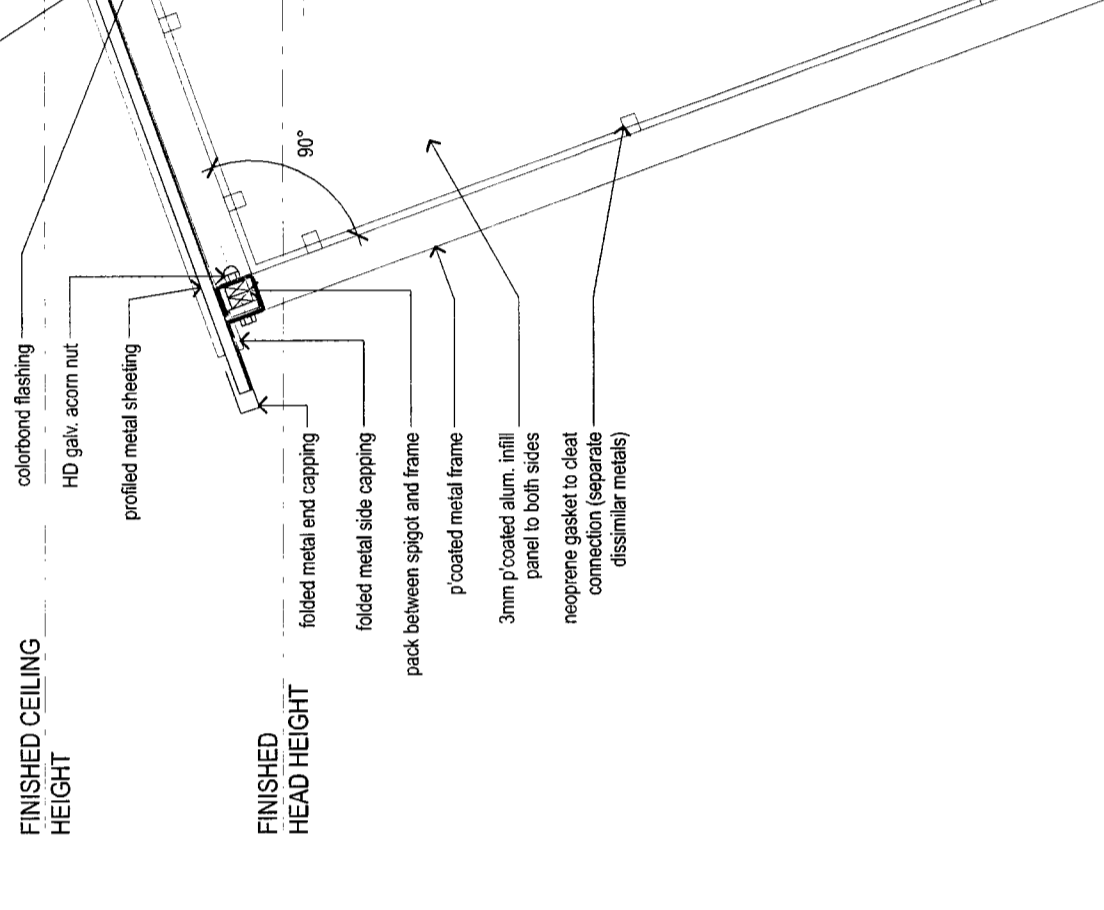
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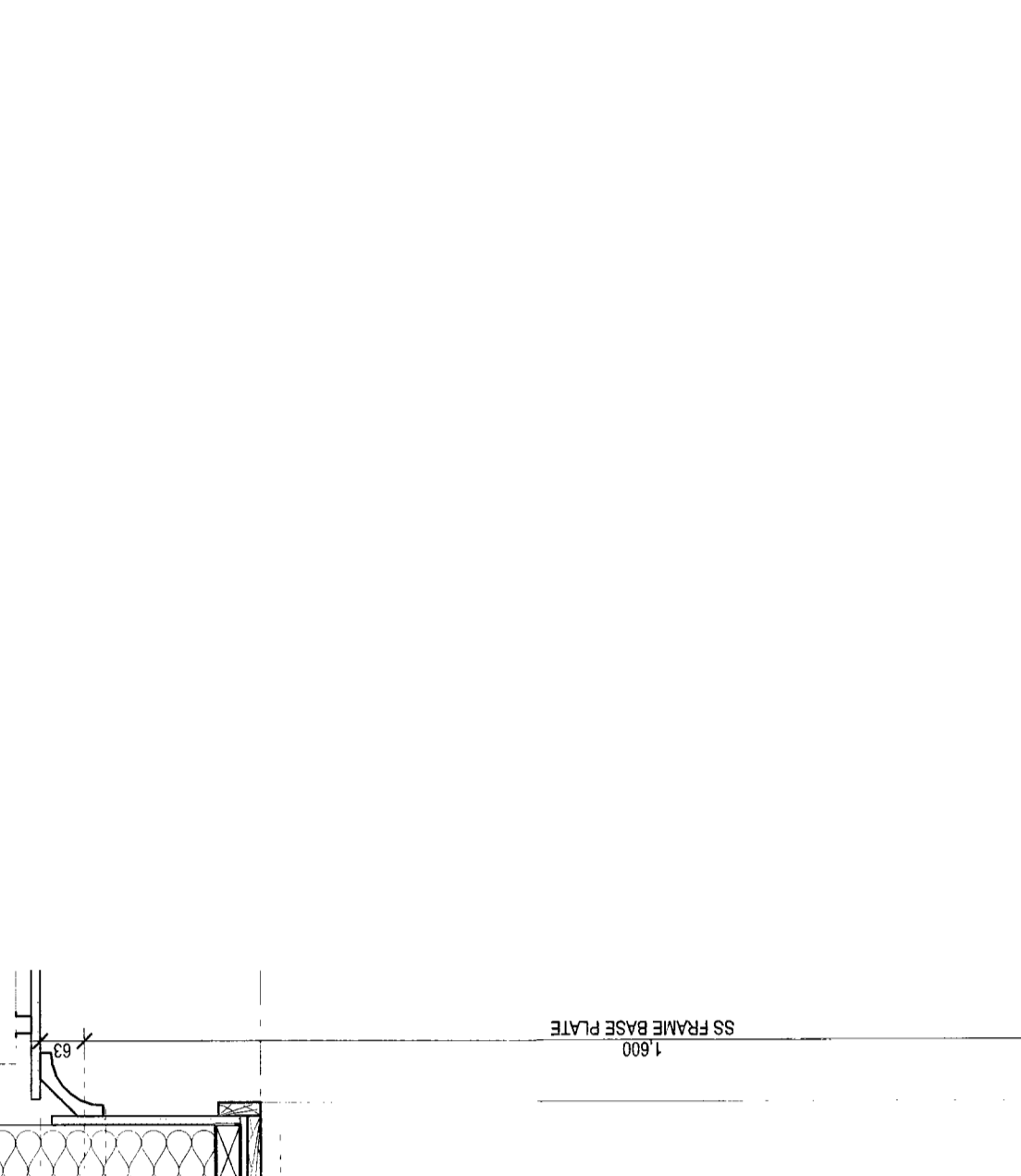
11 SCREEN TYPE SC2 GABLE END
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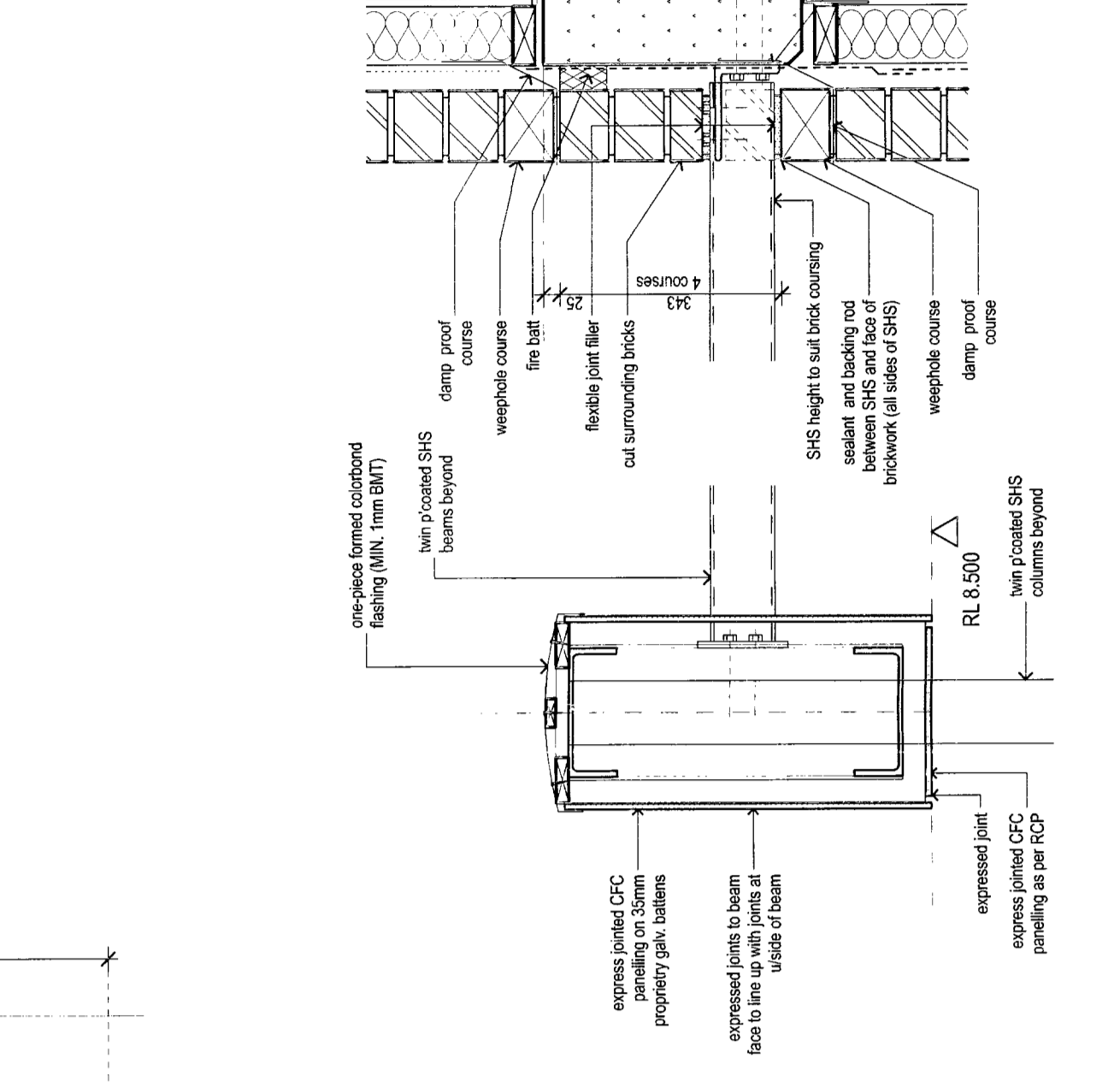
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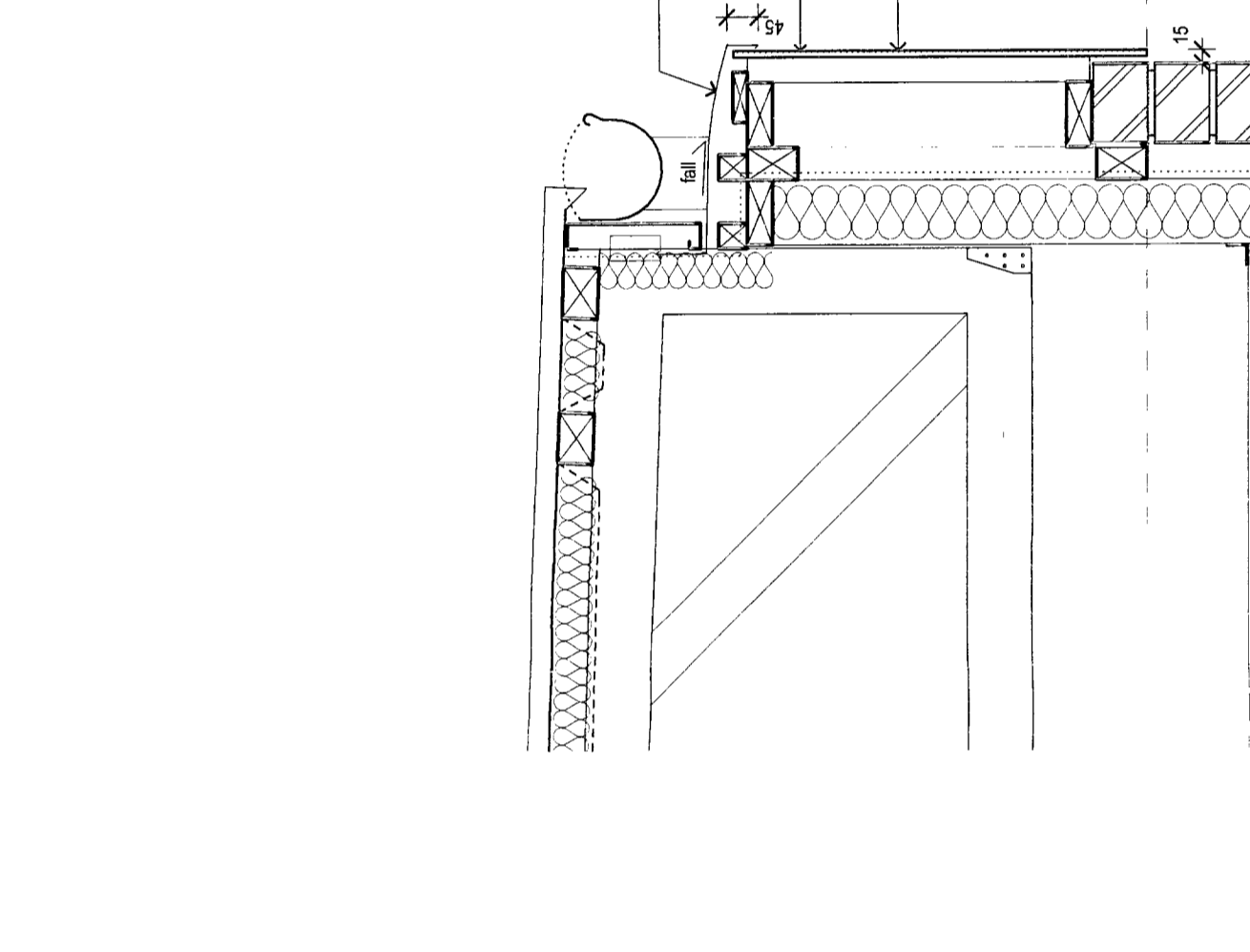
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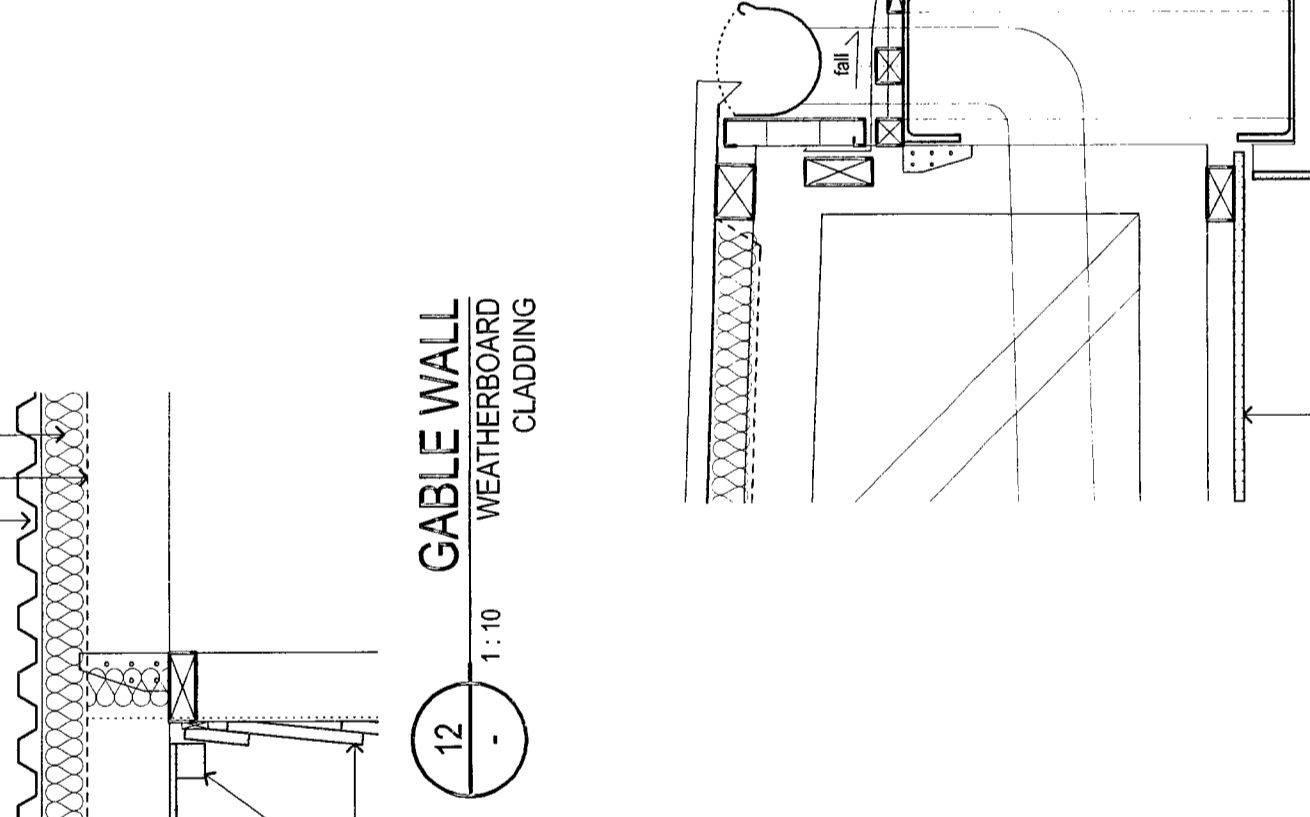
14 SCREEN TYPE SC2 SUNSHADE TYPE SS4 METAL CLADDING
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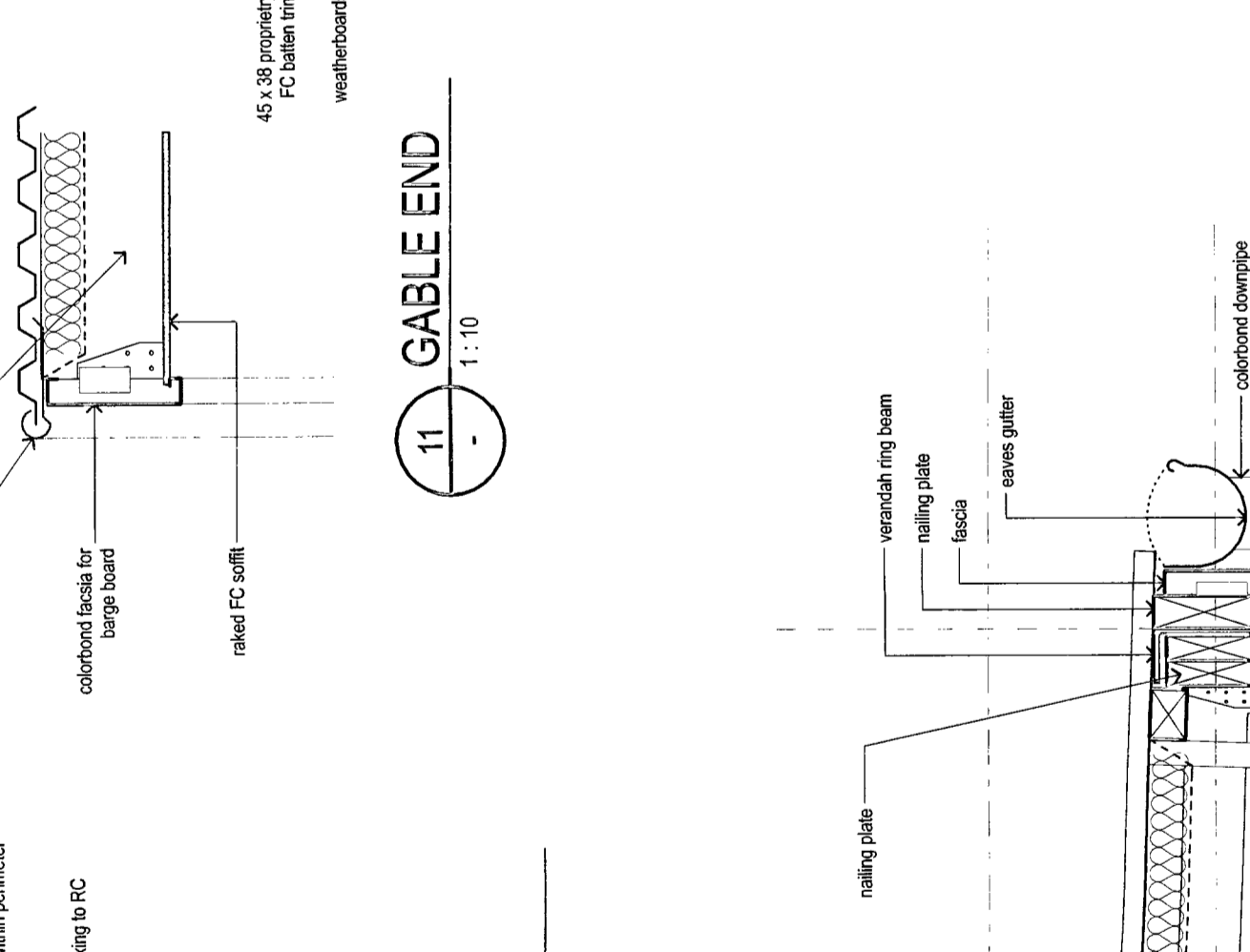
15 SCREEN TYPE SC2 CFC BEAM DETAIL TERRACE
1:10



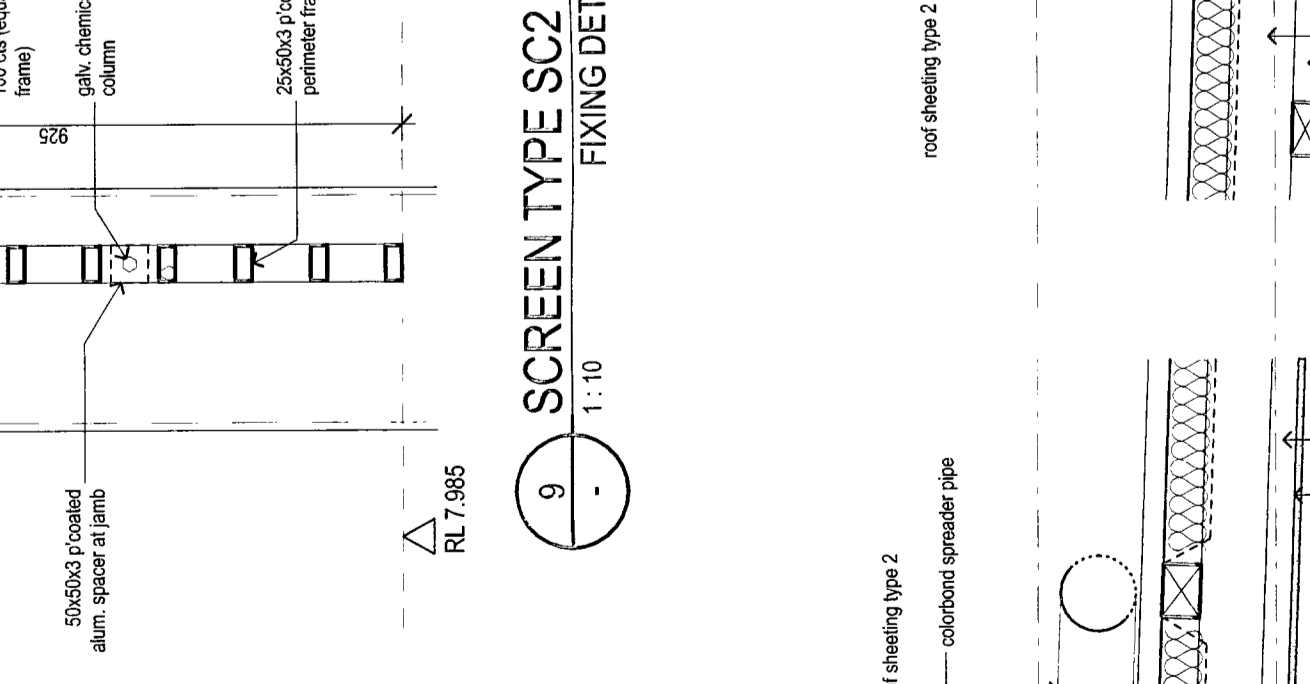
16 SCREEN TYPE SC2 CFC BEAM DETAIL ACTIVITIES LOUNGE TERRACE
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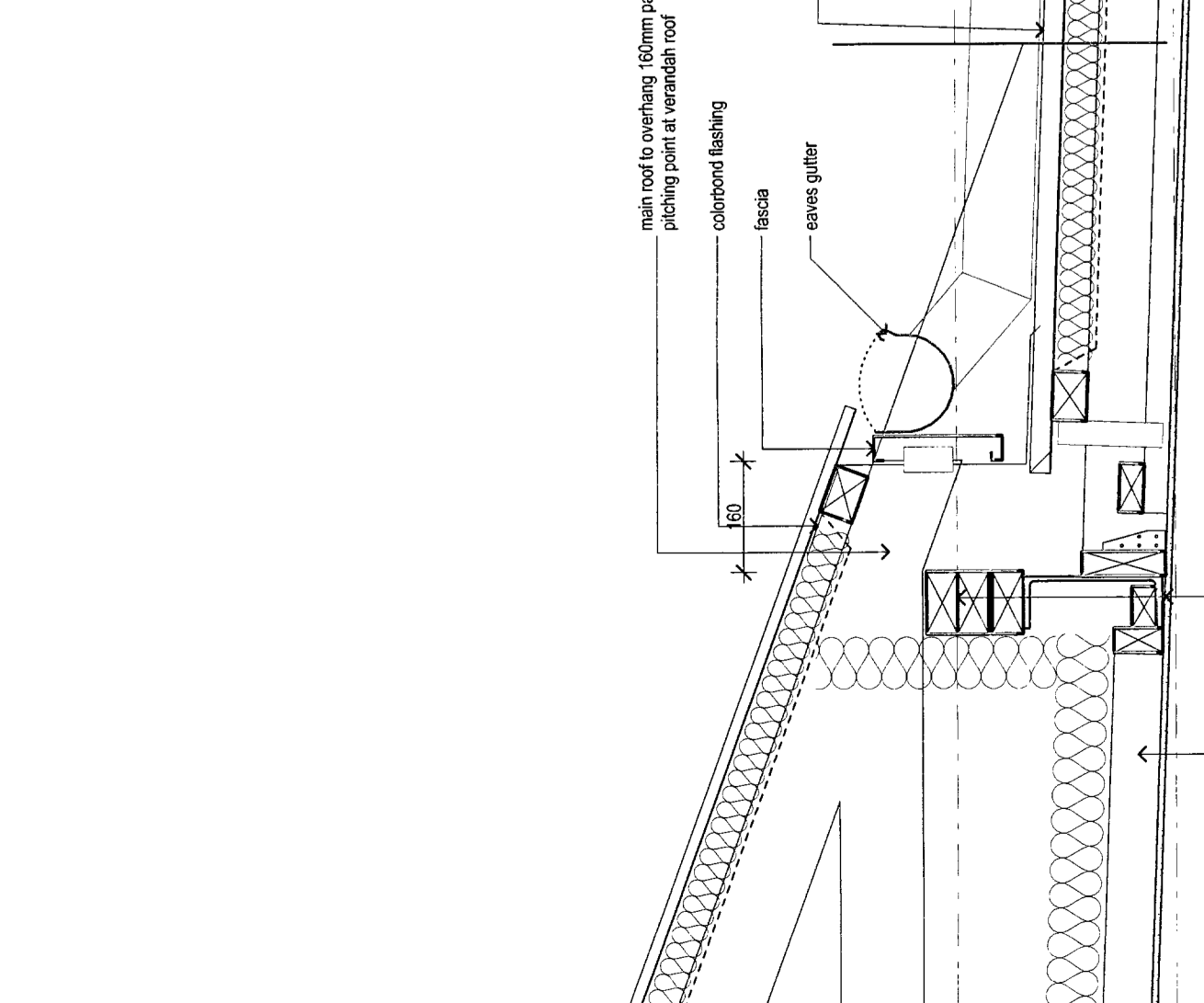
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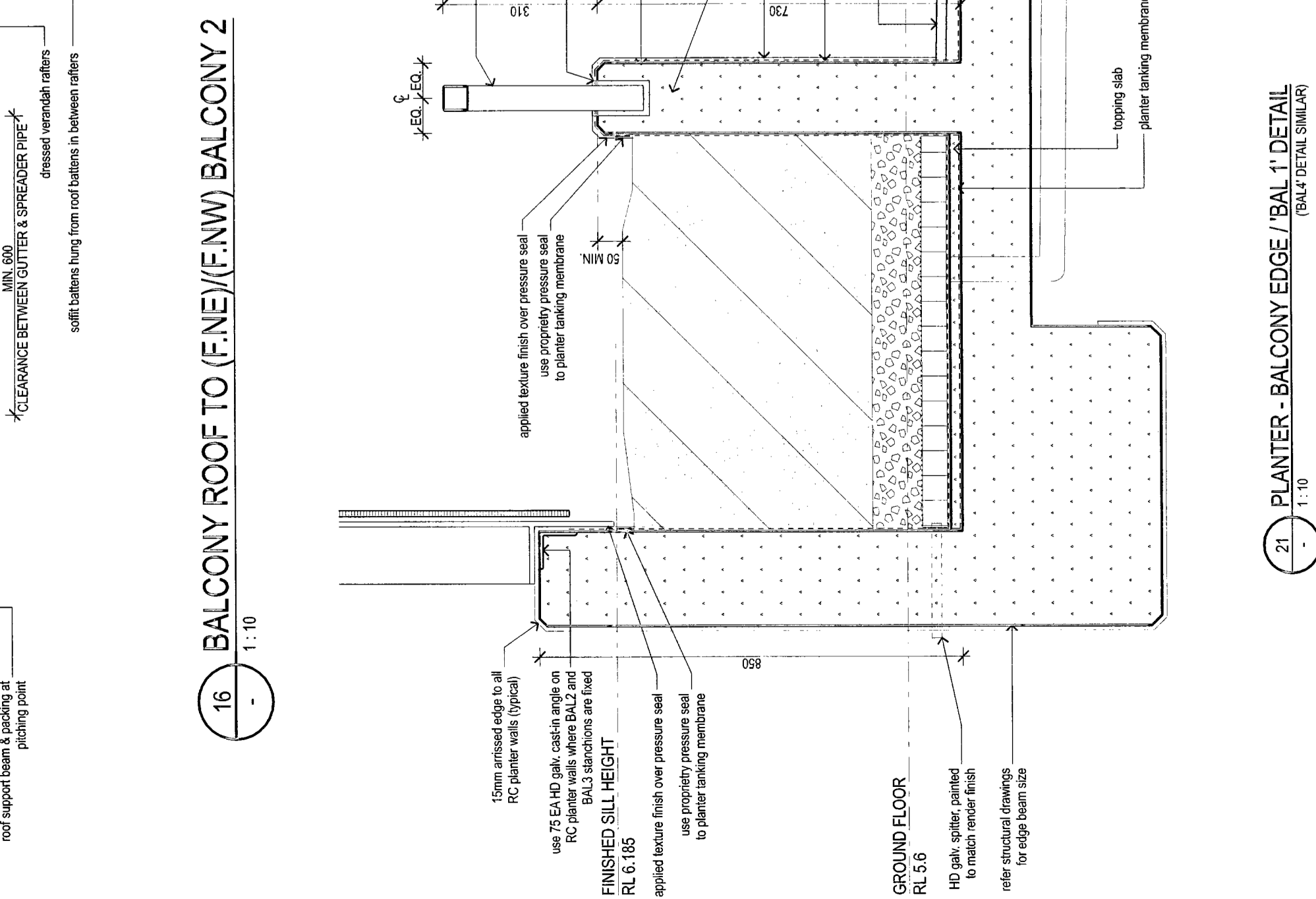
18 SCREEN TYPE SC2 CFC BEAM DETAIL TERRACE
1:10



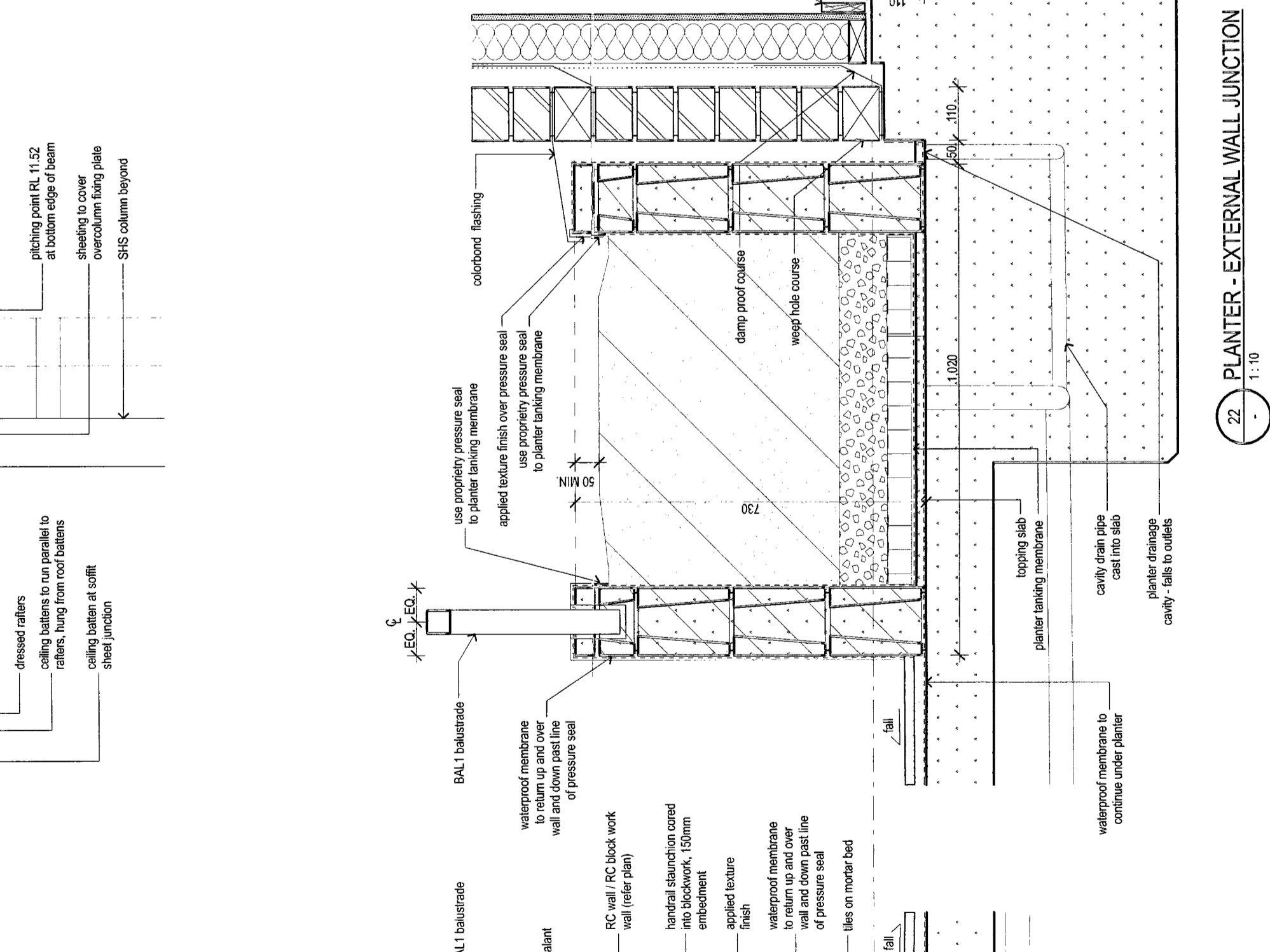
19 SCREEN TYPE SC2 CFC BEAM DETAIL TERRACE
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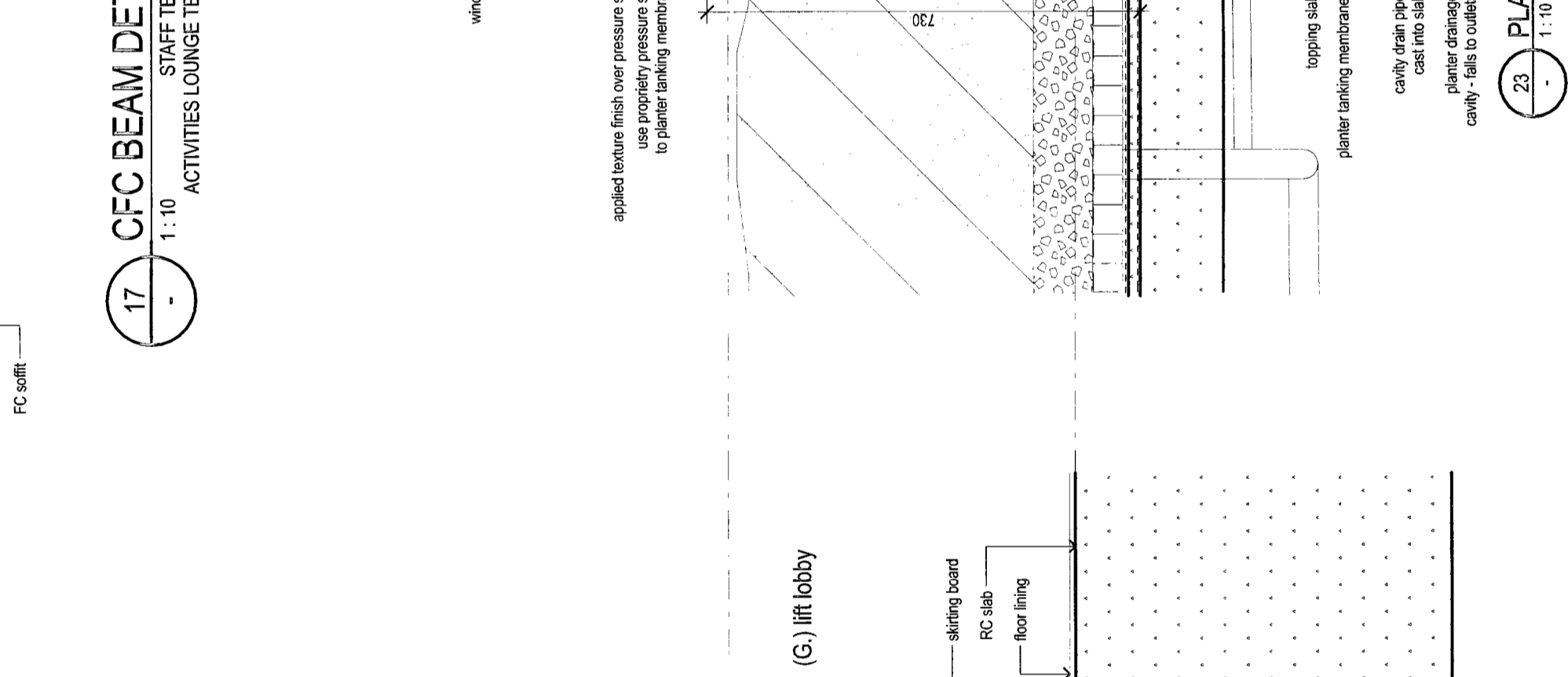
20 SCREEN TYPE SC2 CFC BEAM DETAIL TERRACE
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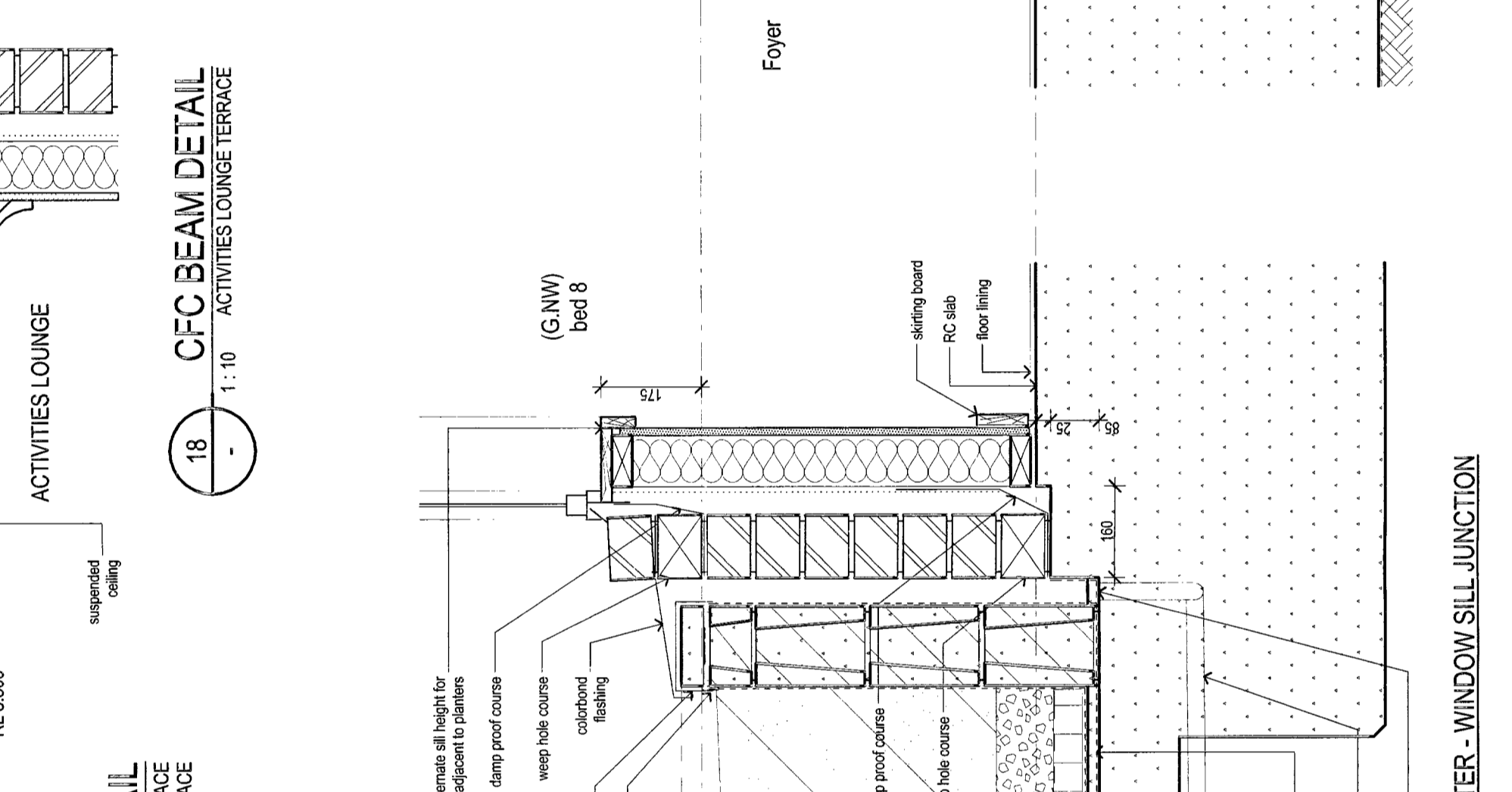
21 BALCONY ROOF TO (F)N/W BALCONY 2
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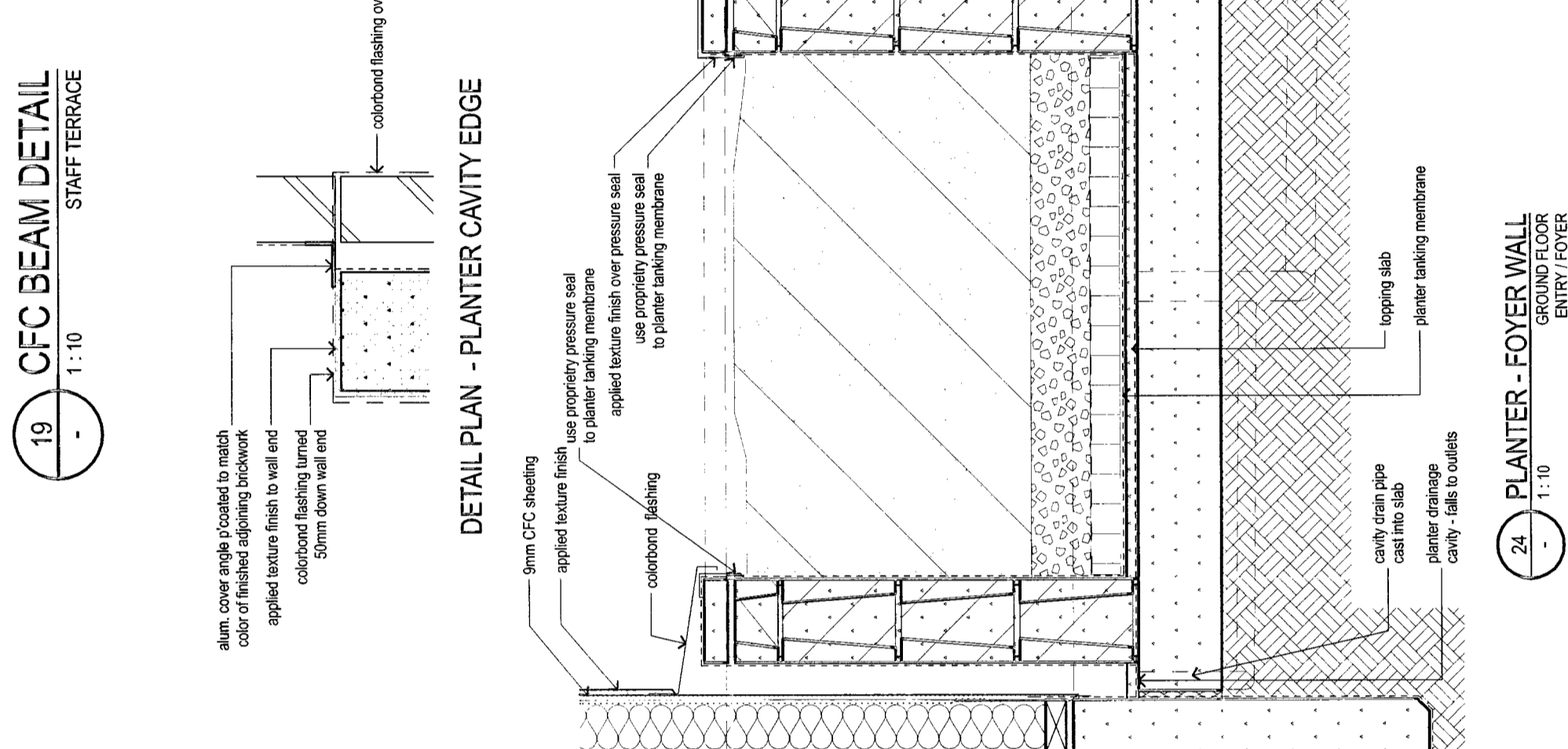
22 PLANTER - EXTERNAL WALL JUNCTION
1:10



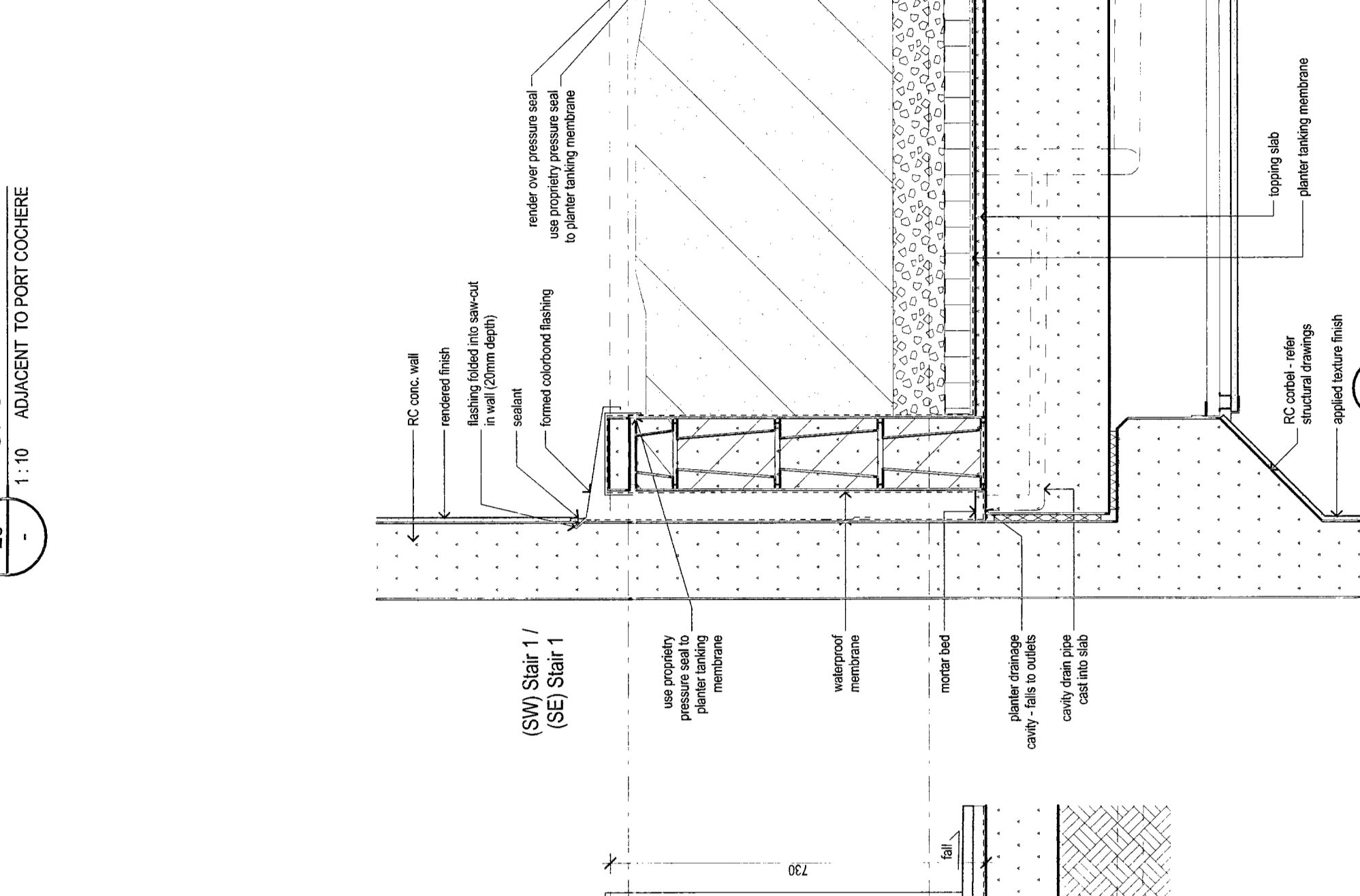
23 PLANTER - WINDOW SILL JUNCTION
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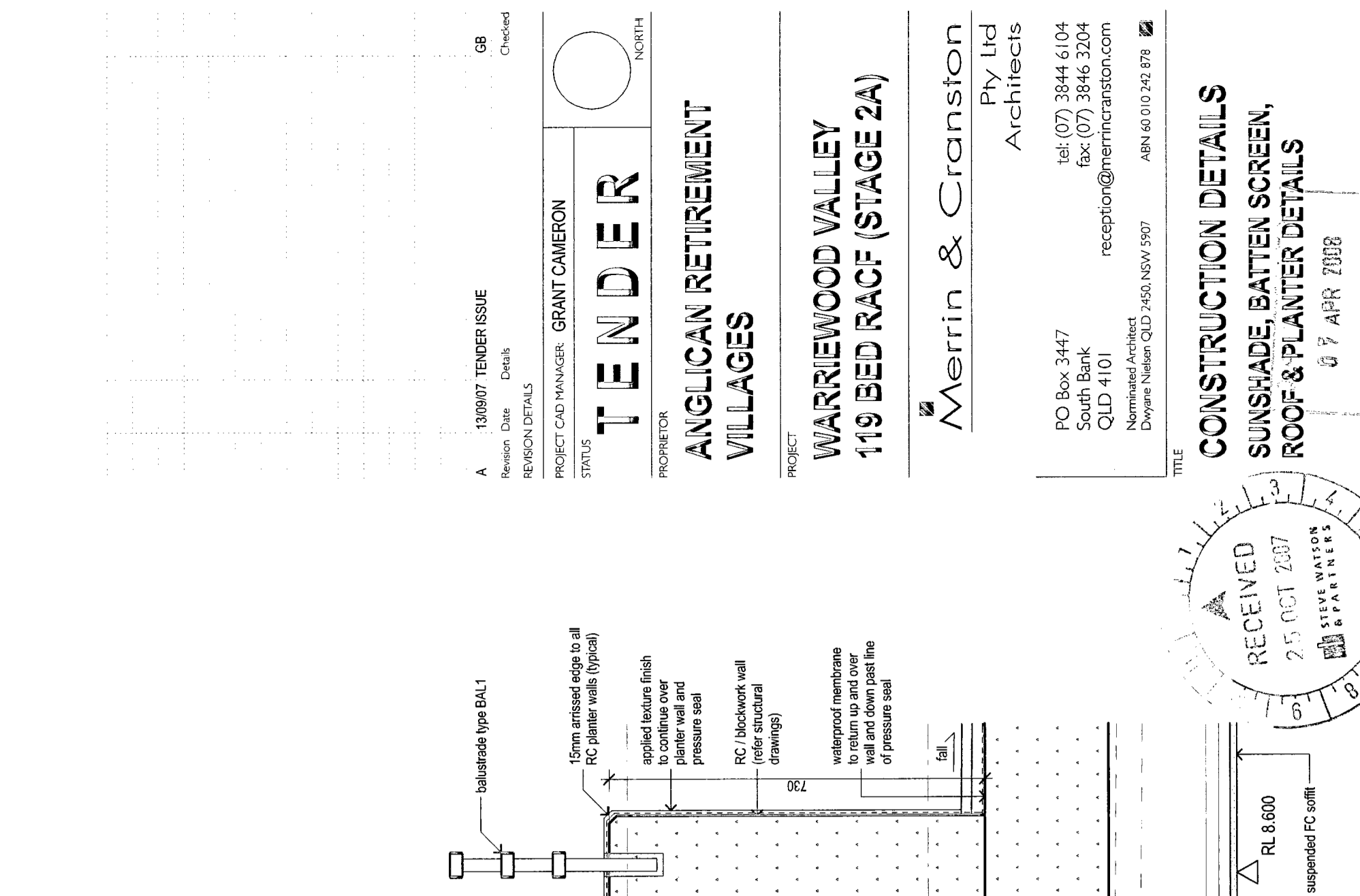
24 PLANTER - COVER WALL JUNCTION
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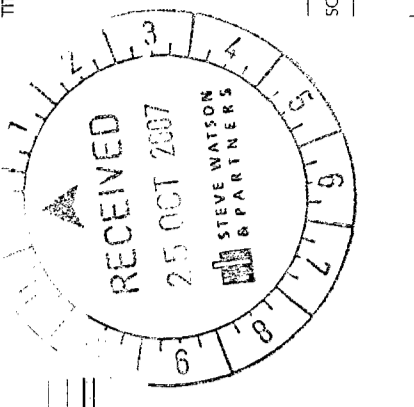
25 PLANTER - STAIR WALL
1:10



26 SUNSHADE BATTEN SCREEN, ROOF & PLANTER DETAILS
1:10



27 CFC BEAM DETAIL TERRACE
1:10



CONSTRUCTION DETAILS
 SUNSHADE BATTEN SCREEN,
 ROOF & PLANTER DETAILS
 8 APR 2021

SCALE: 1:10
 PROJECT: A191 A707
 DATE: 13/08/07

Merrin & Cranston
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 South Bank
 Brisbane QLD 4000
 Tel: (07) 3844 6104
 Fax: (07) 3846 3304
 Email: info@merrin.com.au
 Website: www.merrin.com.au

PROJECT: WARRENWOOD VALLEY
 ANGLICAN RETIREMENT
 VILLAGES
 119 BED RACEY (STAGE 2A)

PROJECT CODE: GRANT CAMERON
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08 APR 2021

PROJECT CODE: GRANT CAMERON
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08 APR 2021

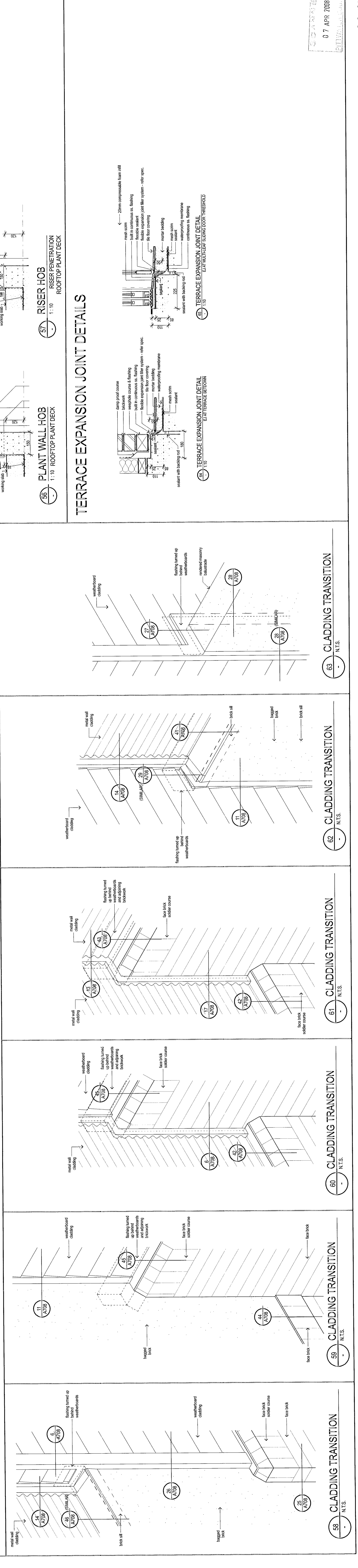
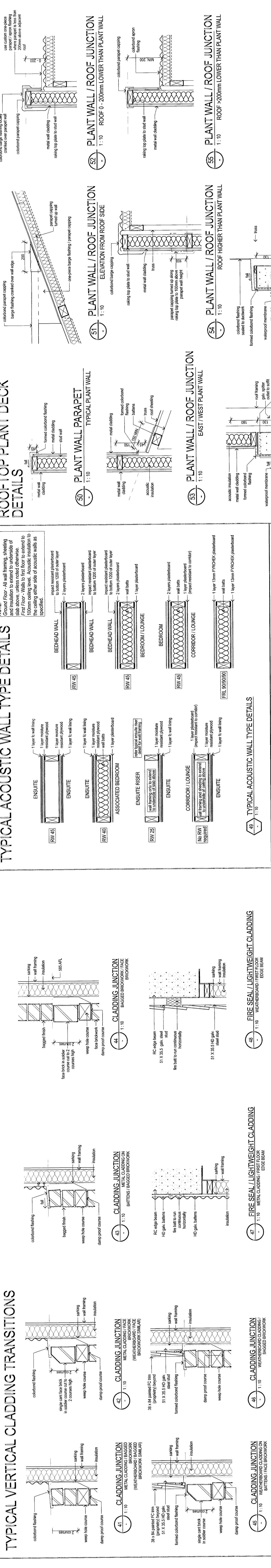
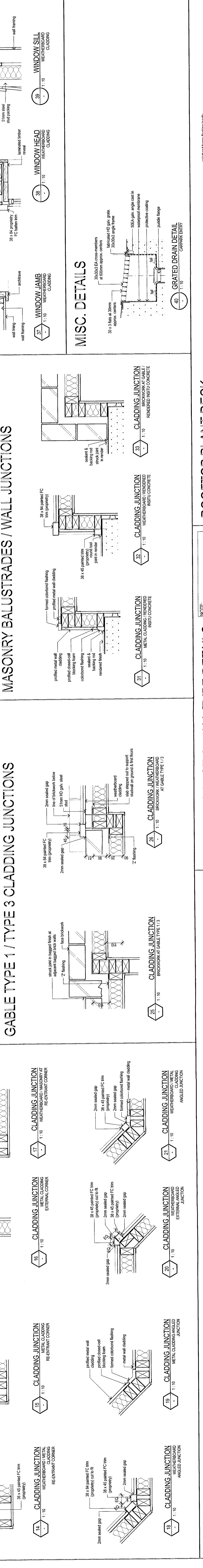
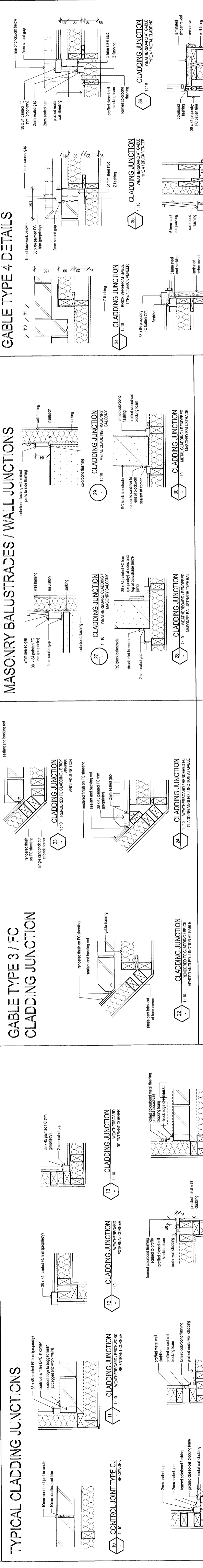
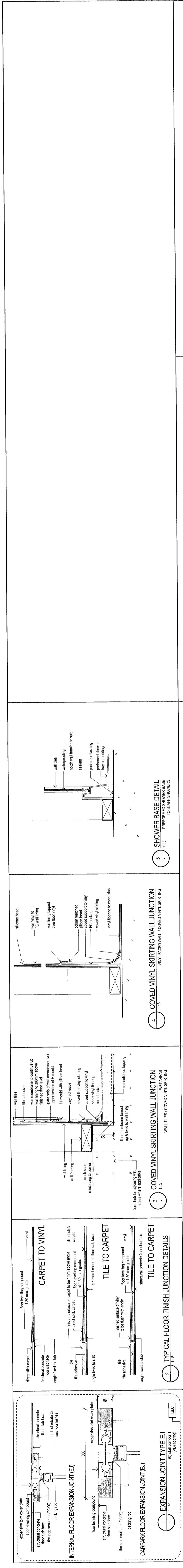
PROJECT CODE: GRANT CAMERON
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08 APR 2021

PROJECT CODE: GRANT CAMERON
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 CHECKED BY: [Name]
 DATE: 08 APR 2021

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 DRAWN BY: [Name]
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PROJECT CODE: GRANT CAMERON
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08 APR 2021

PROJECT CODE: GRANT CAMERON
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 DATE: 08 APR 2021



GABLE TYPE 4 DETAILS

MASONRY BALUSTRADES / WALL JUNCTIONS

MASONRY BALUSTRADES / WALL JUNCTIONS

ROOFTOP PLANT DECK DETAILS

TERRACE EXPANSION JOINT DETAILS

TYPICAL ACOUSTIC WALL TYPE DETAILS

TYPICAL ACOUSTIC WALL TYPE DETAILS

GABLE TYPE 3 / FC CLADDING JUNCTION

GABLE TYPE 1 / TYPE 3 CLADDING JUNCTIONS

TYPICAL VERTICAL CLADDING TRANSITIONS

CLADDING TRANSITION

CLADDING TRANSITION

CLADDING TRANSITION

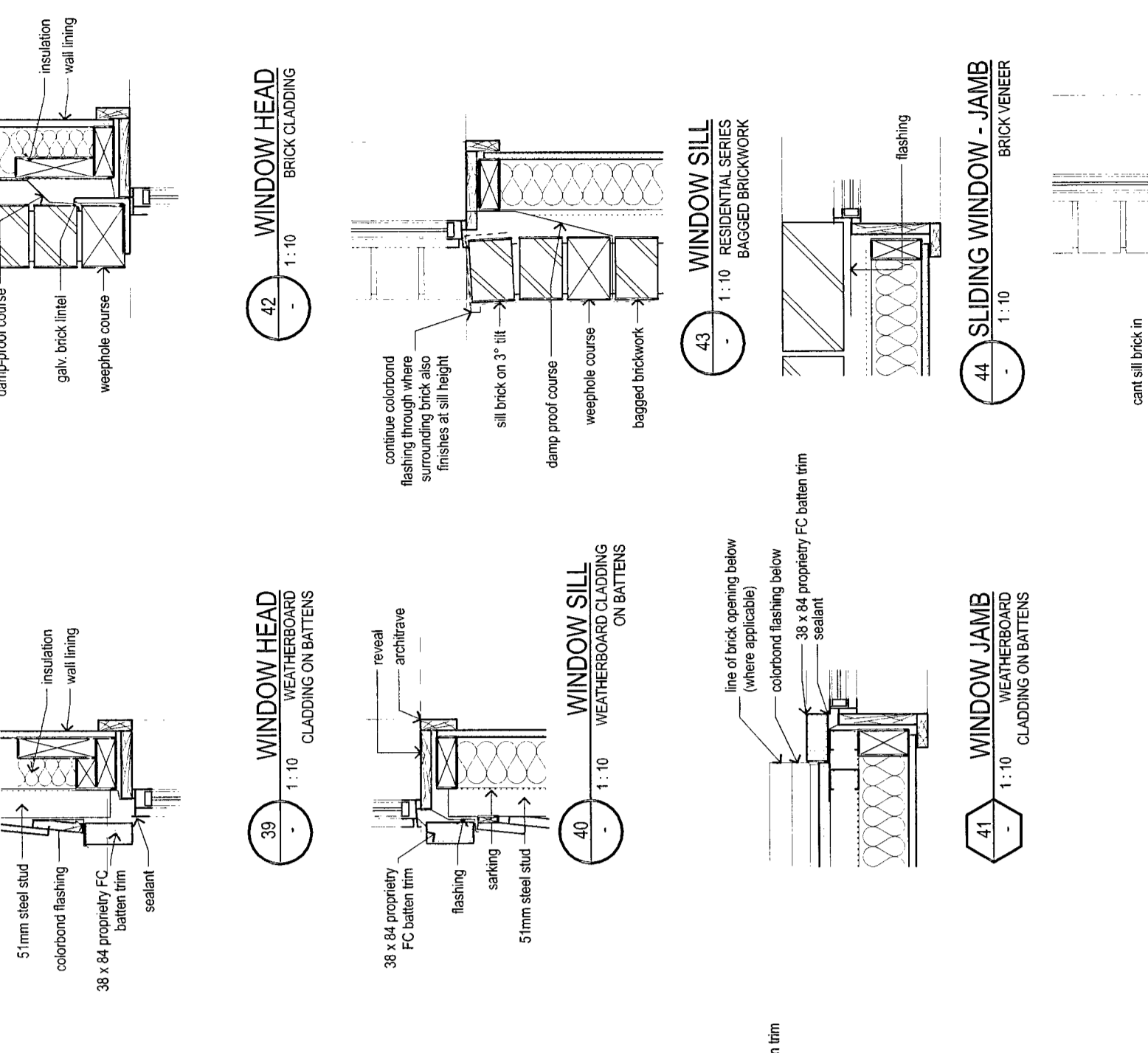
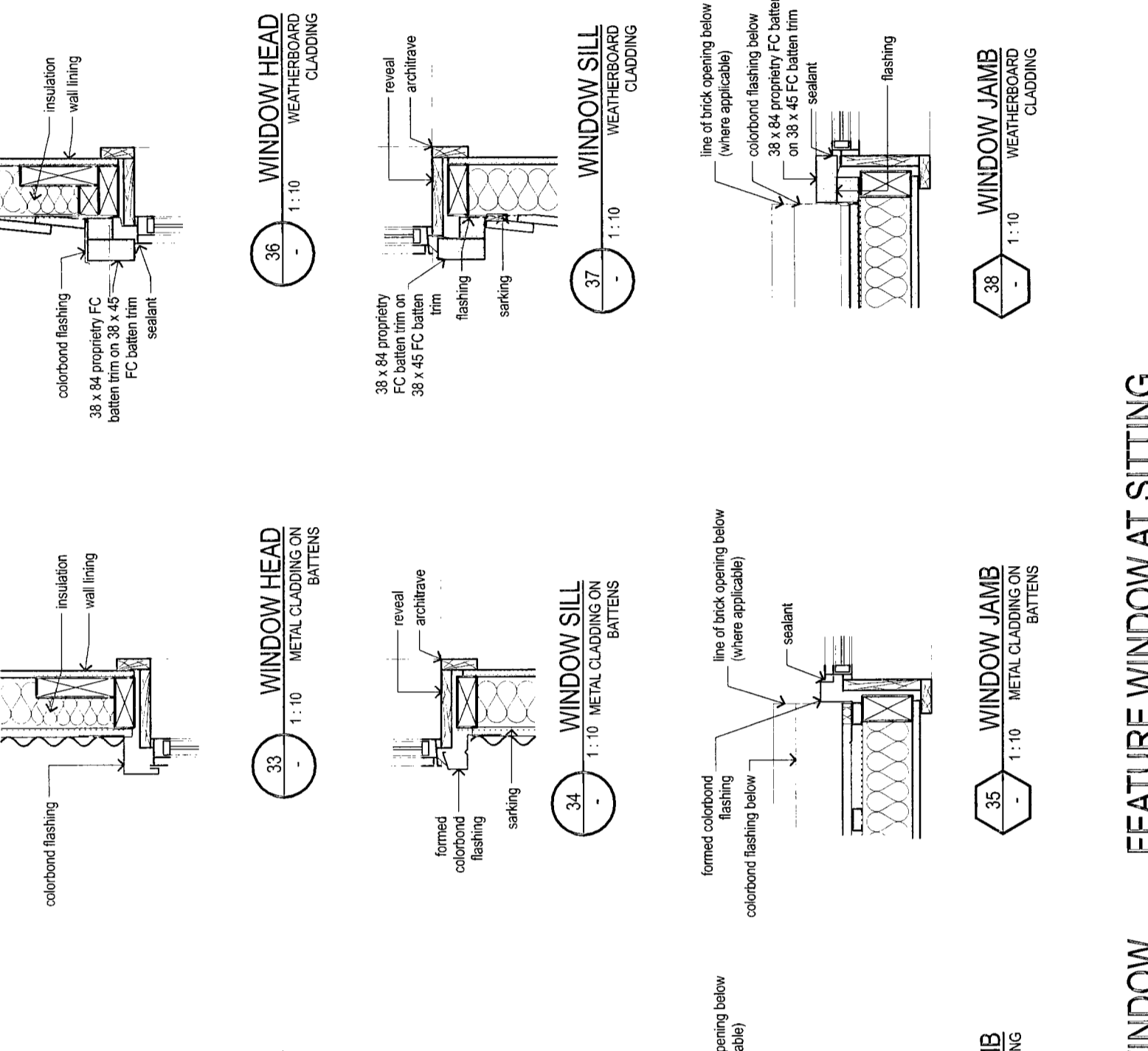
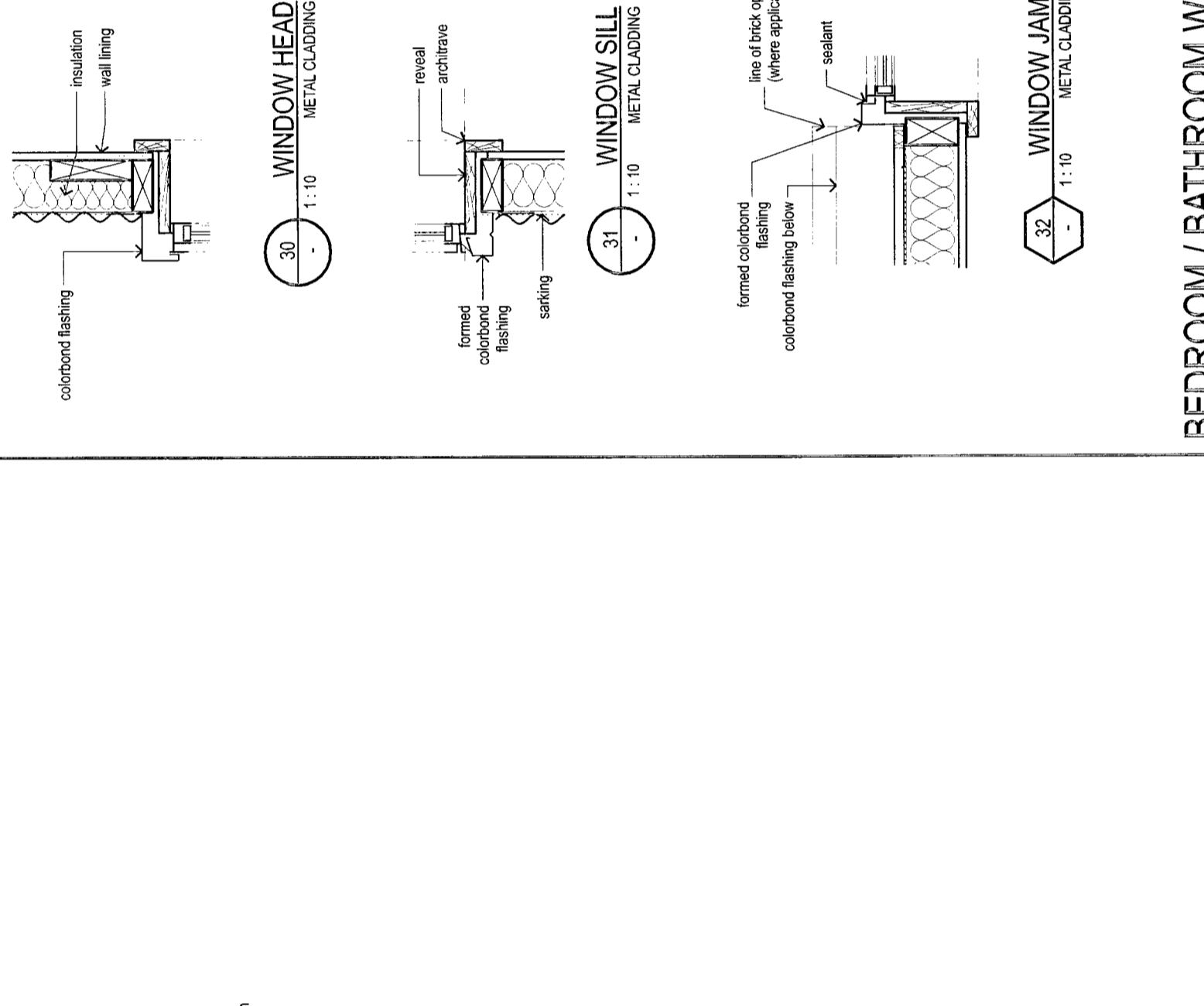
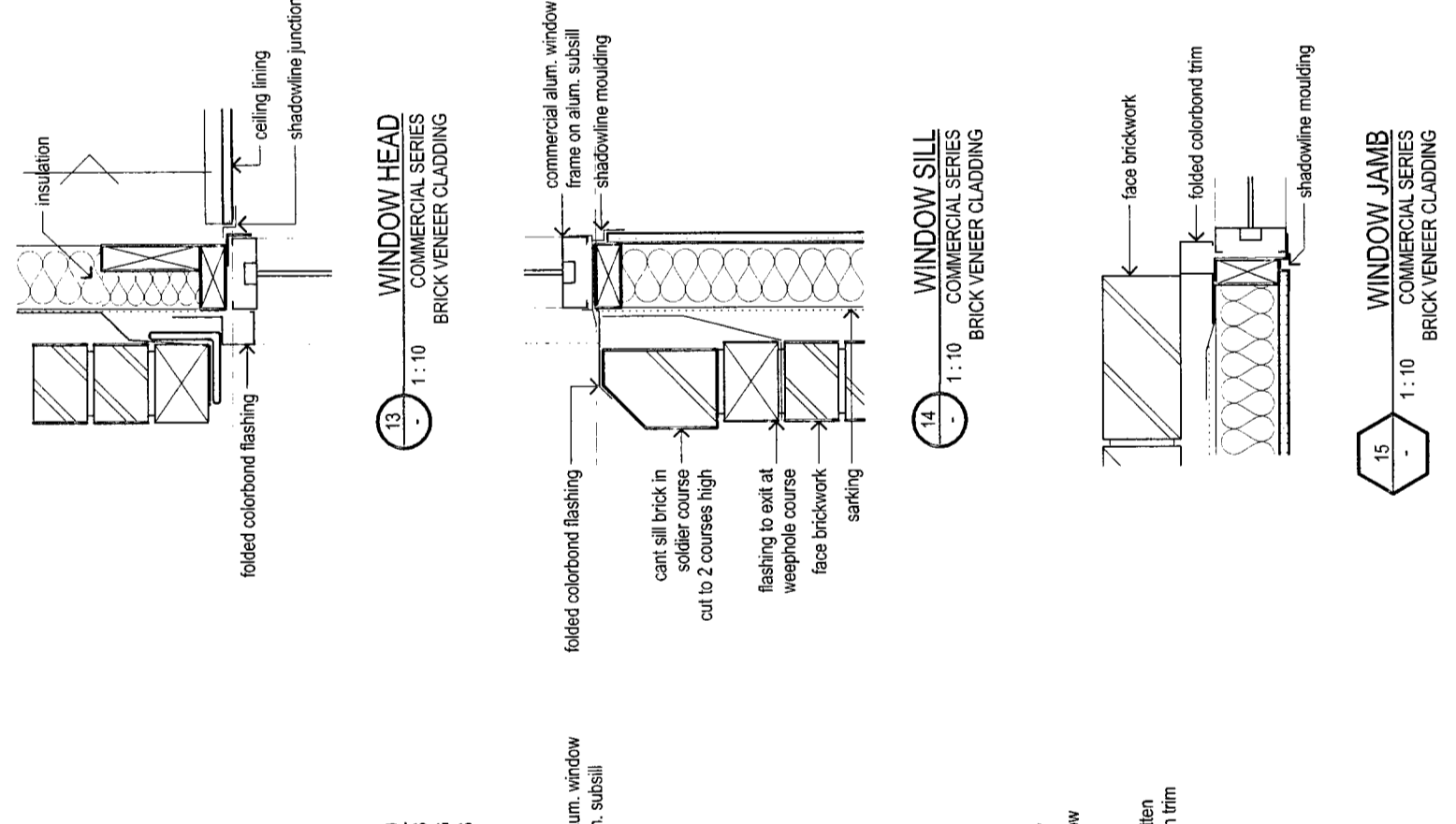
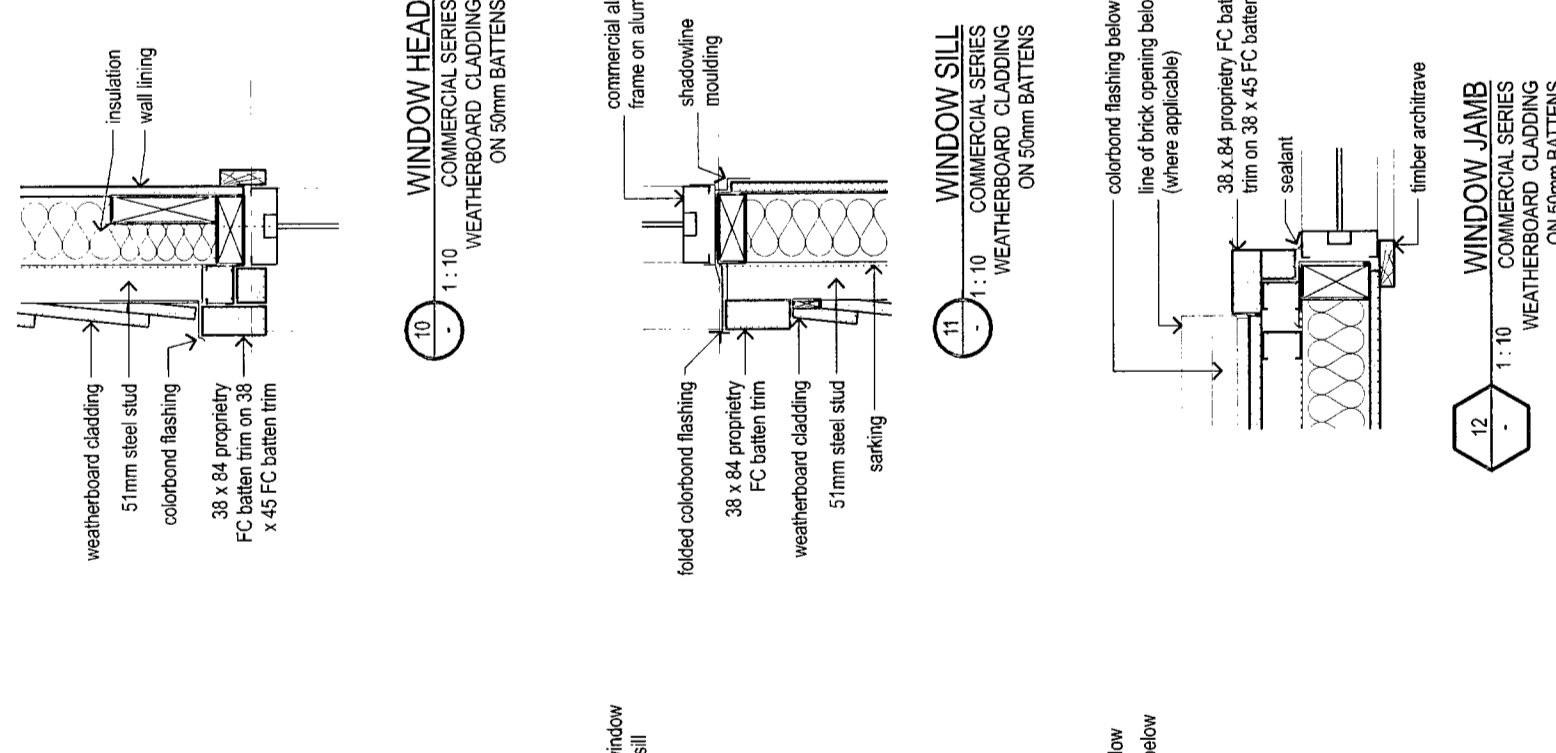
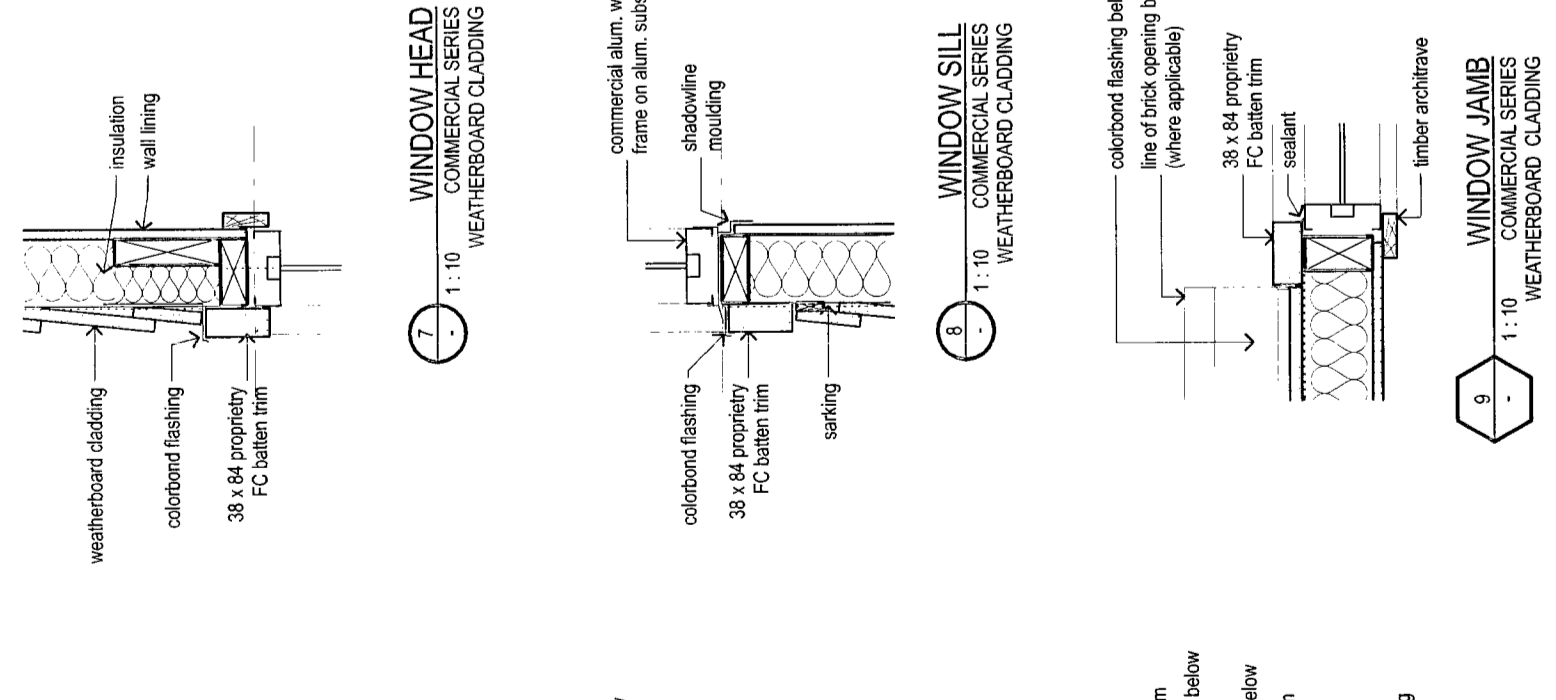
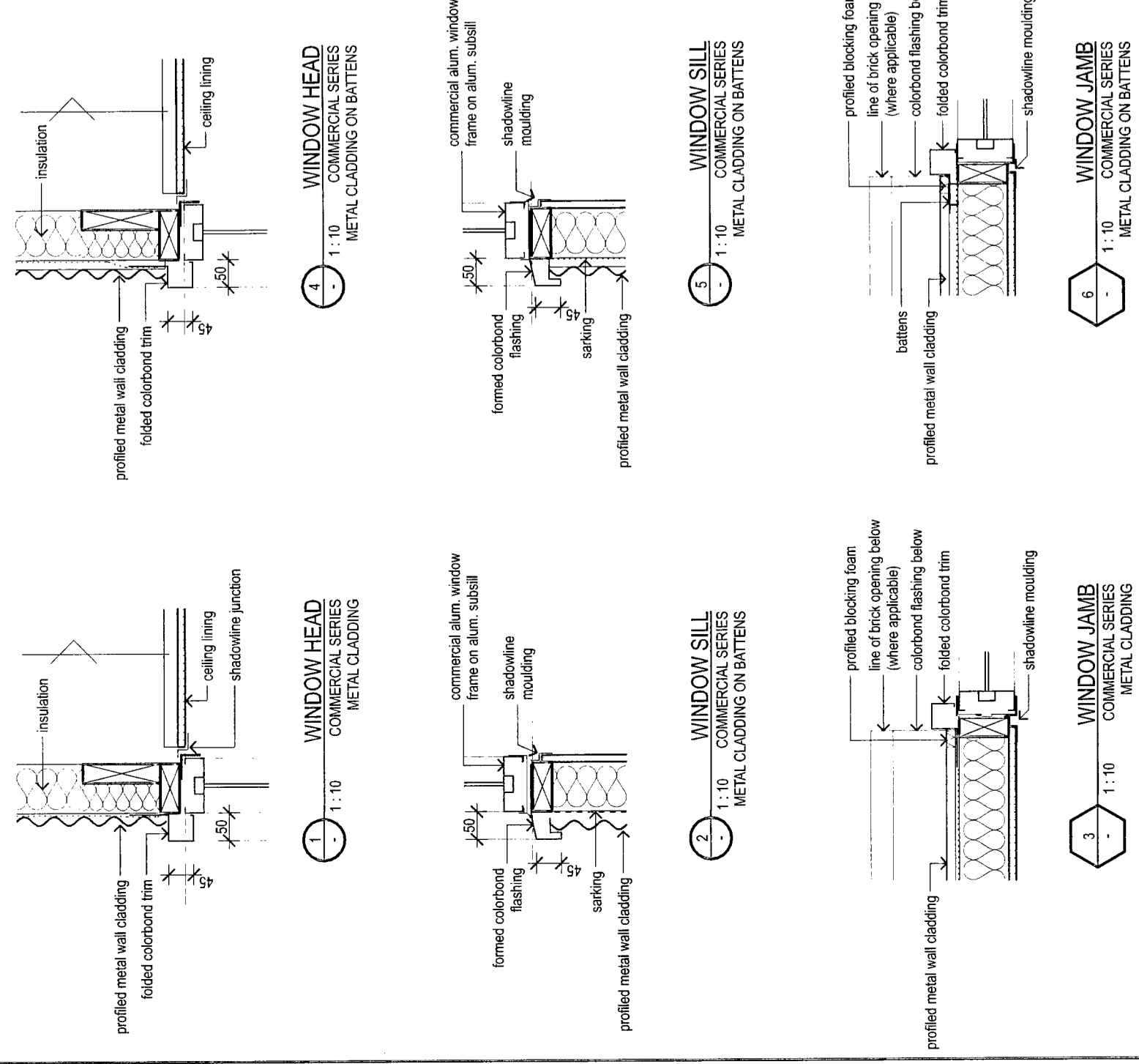
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CLADDING TRANSITION

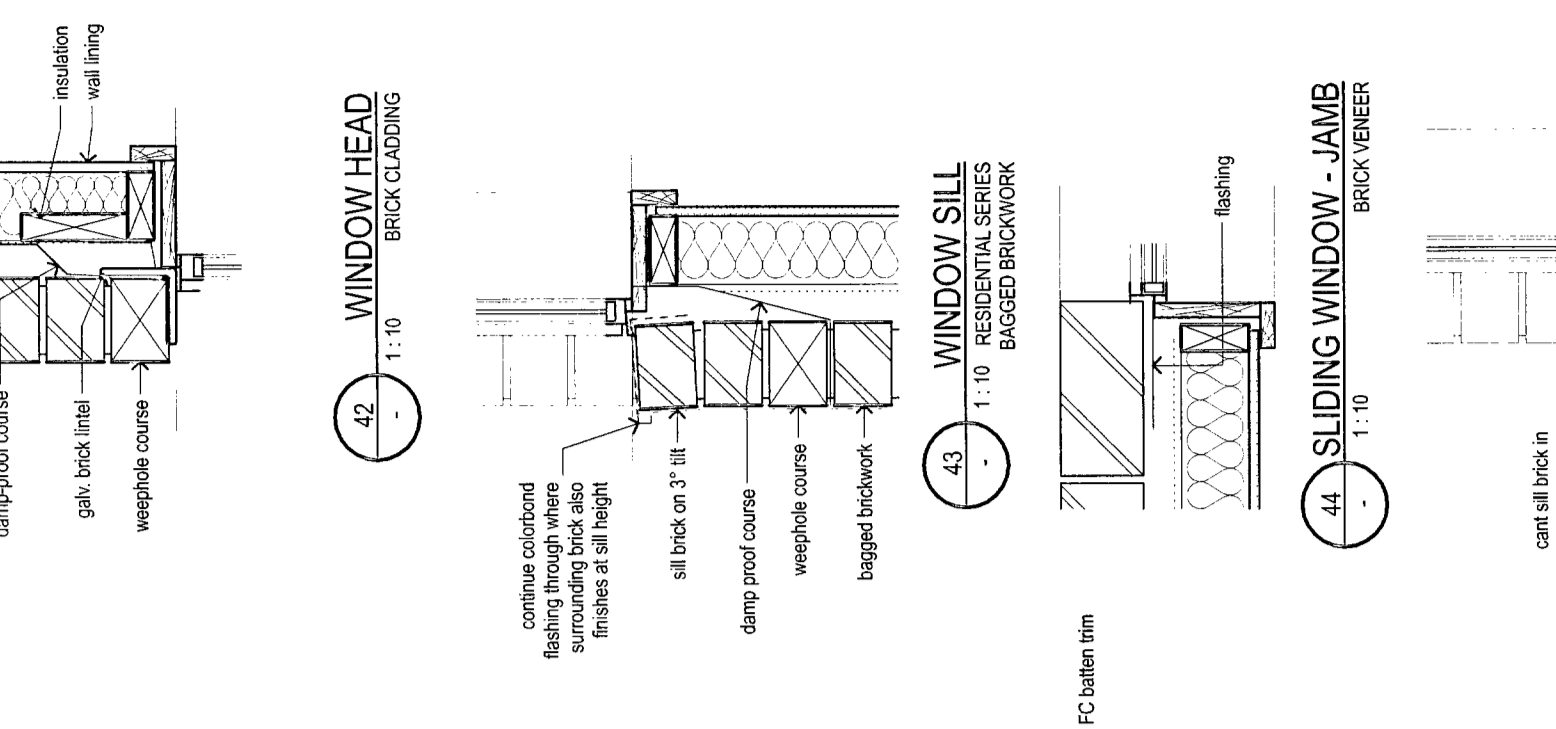
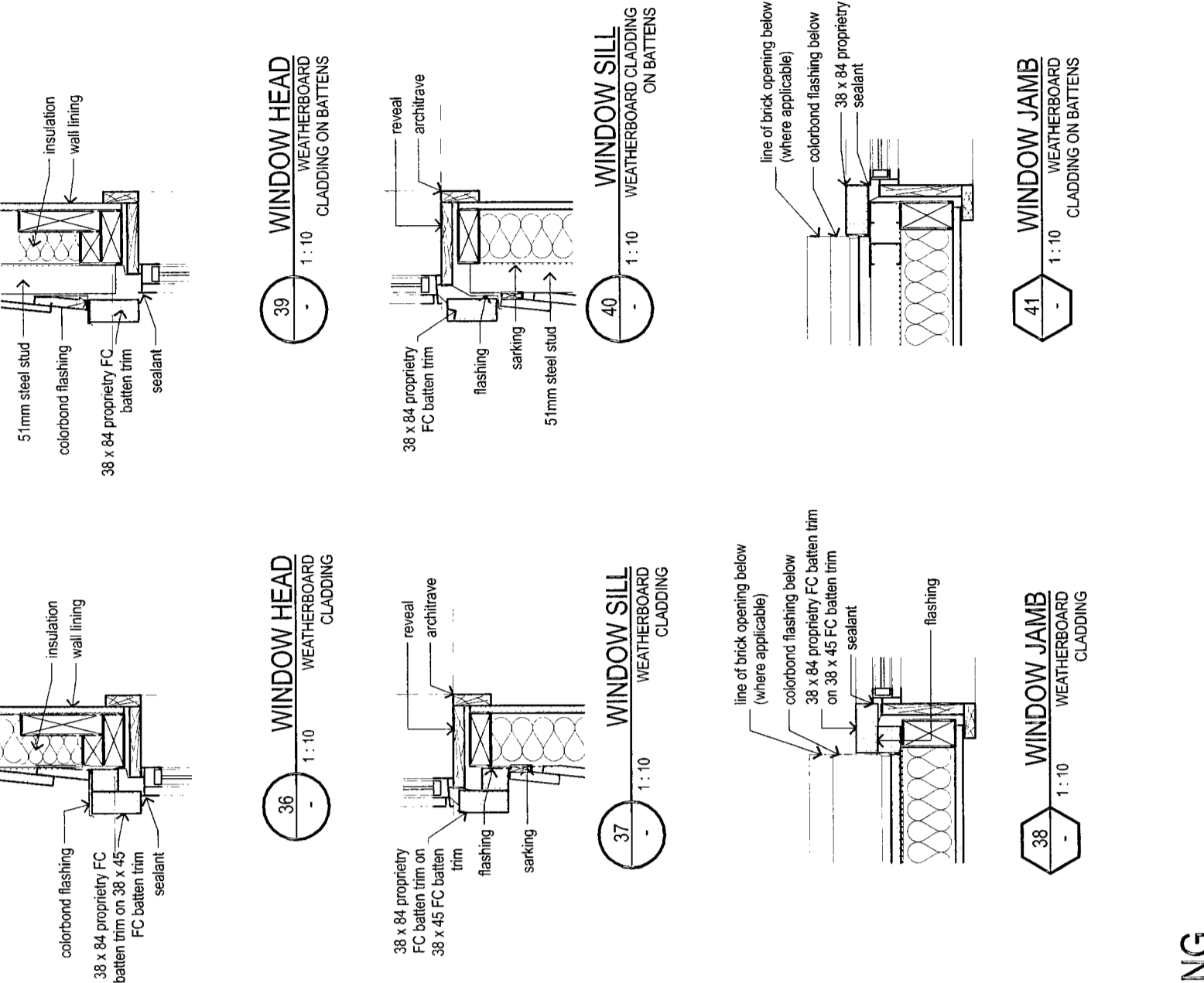
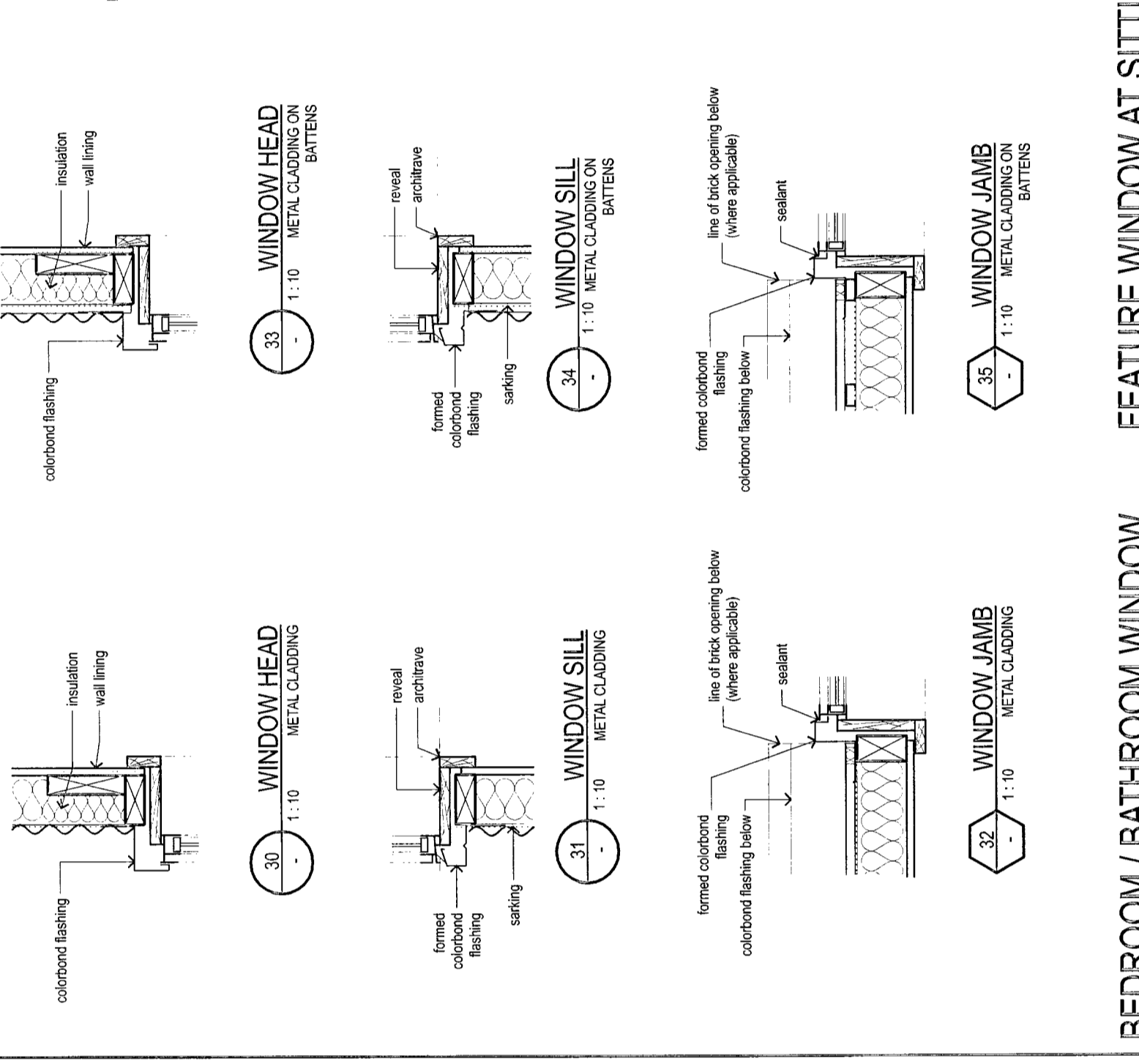
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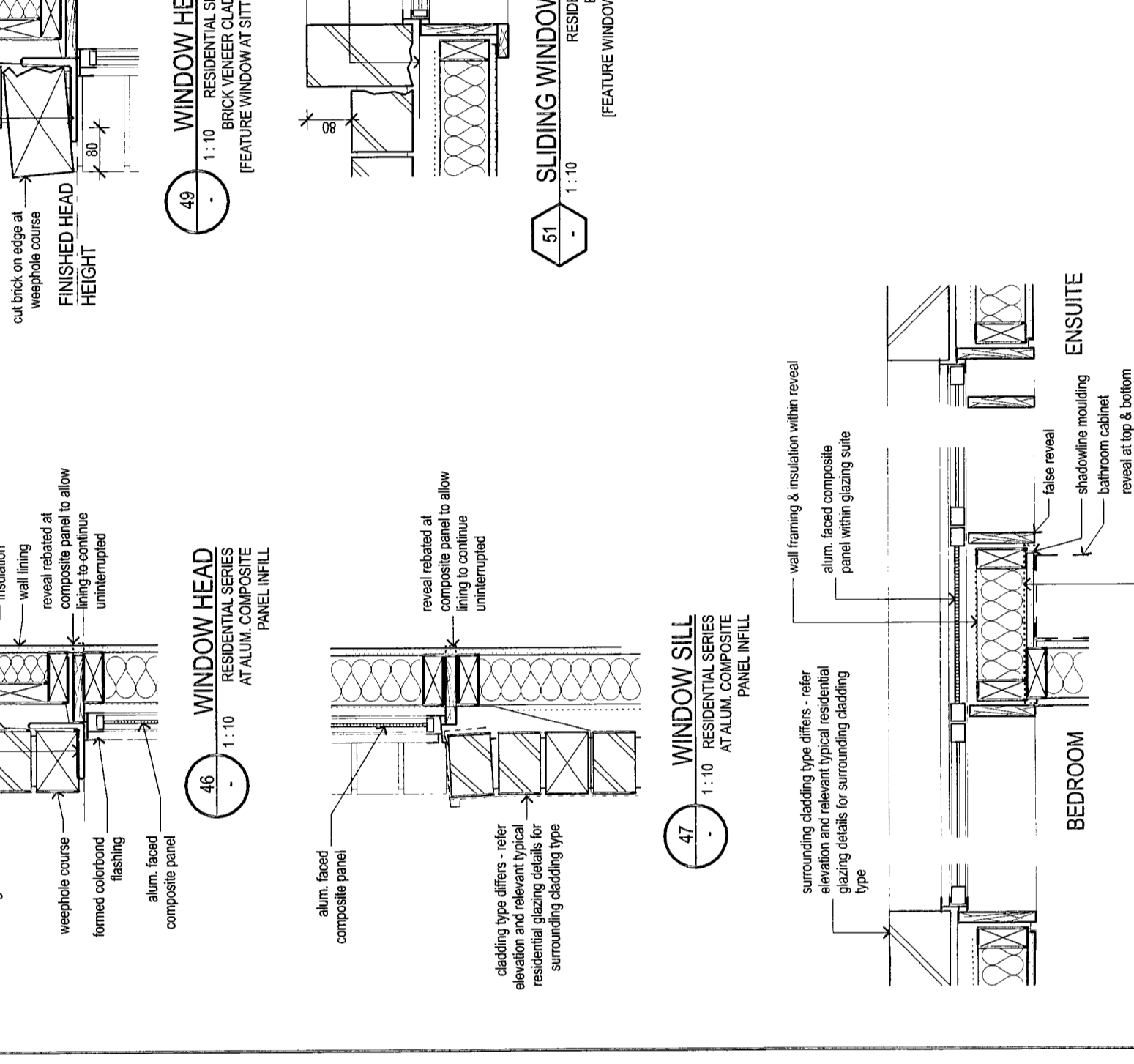
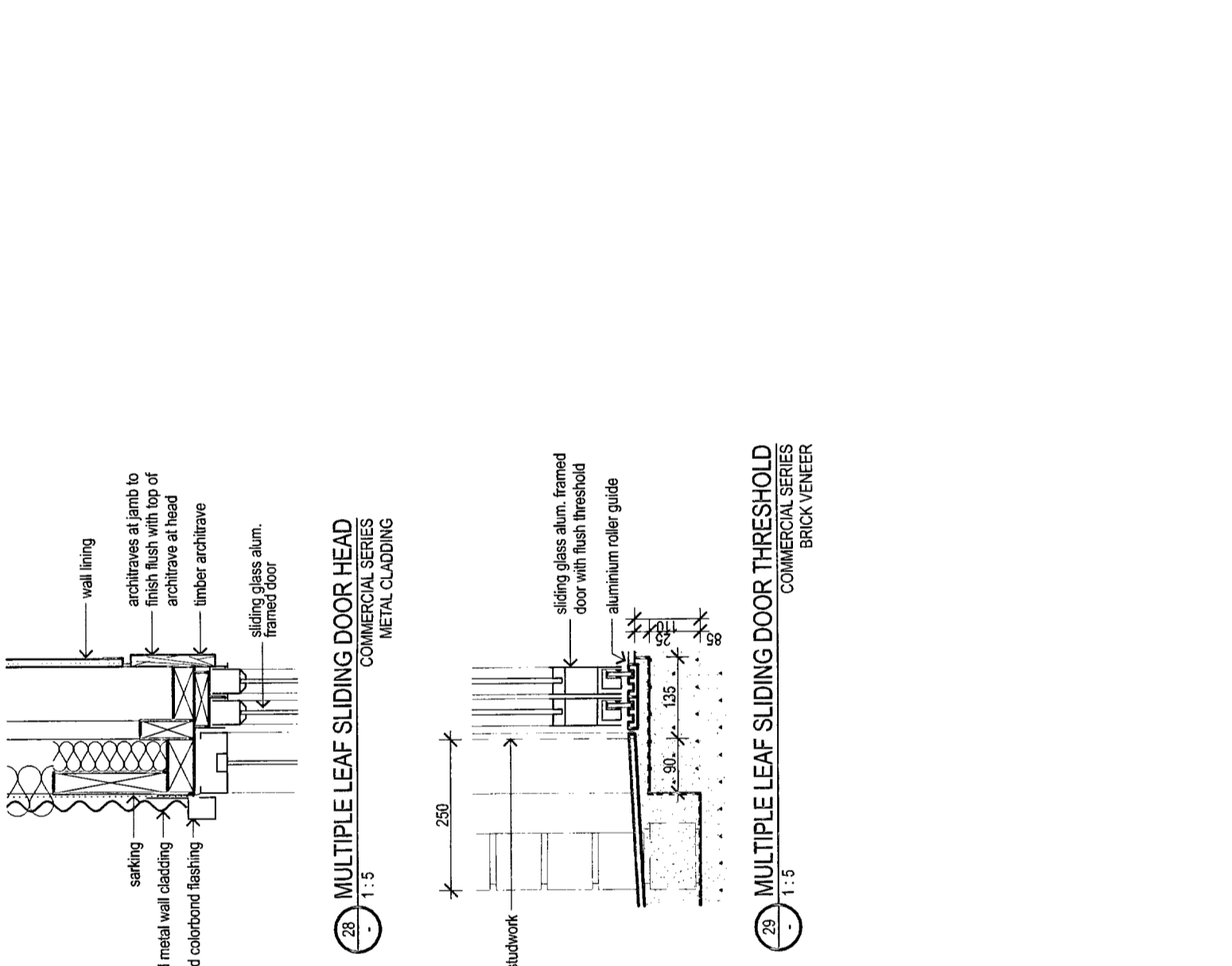
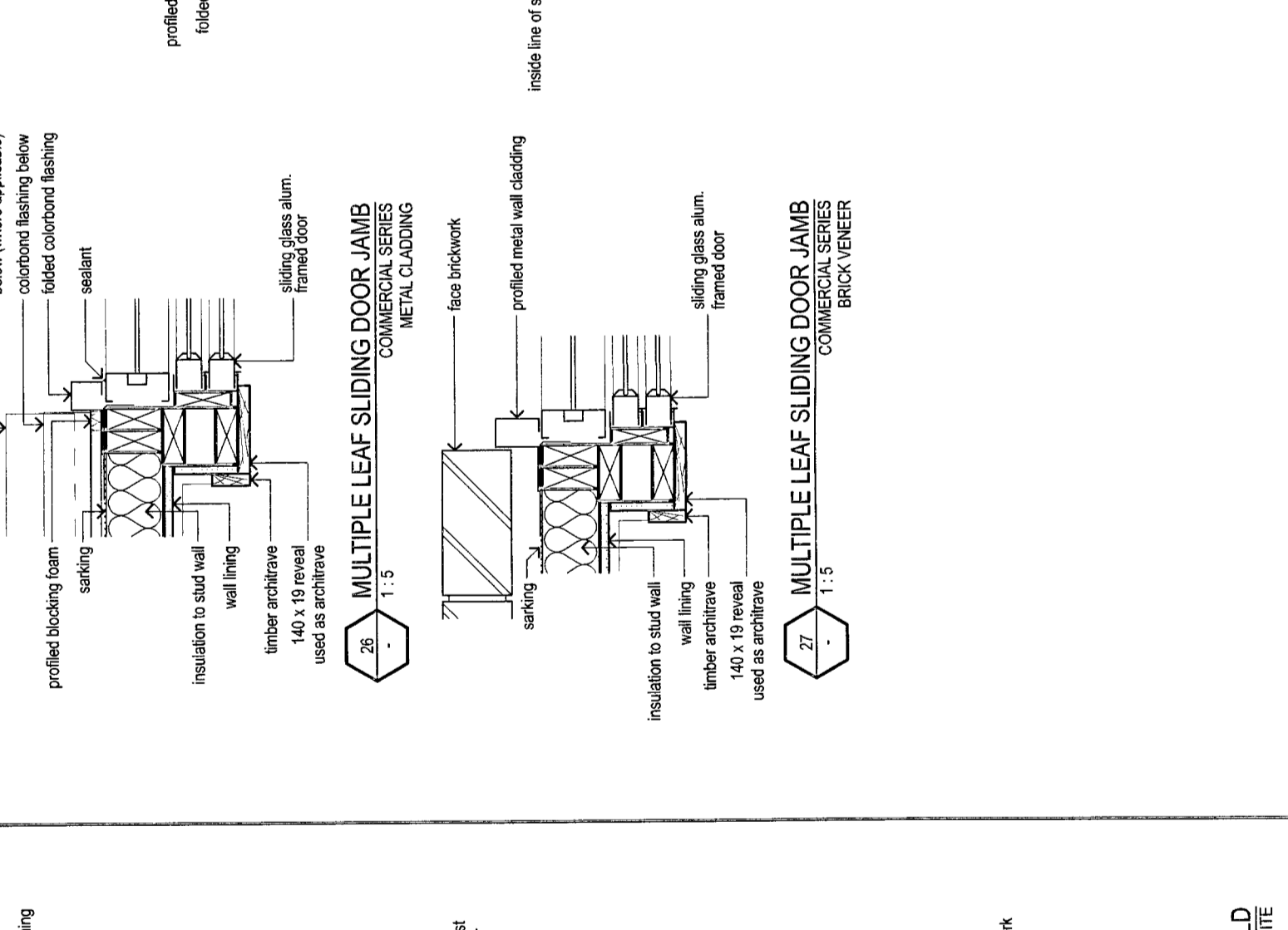
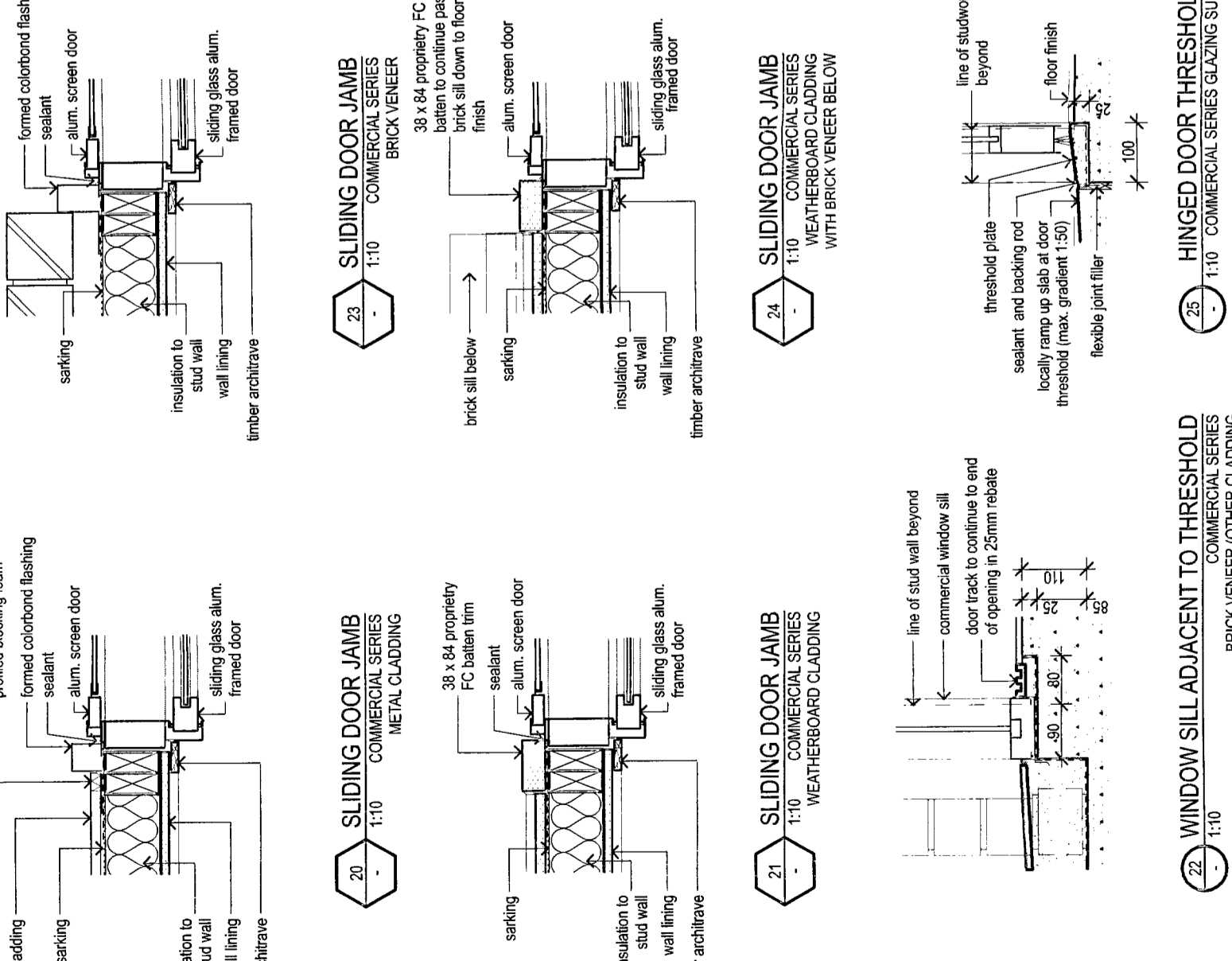
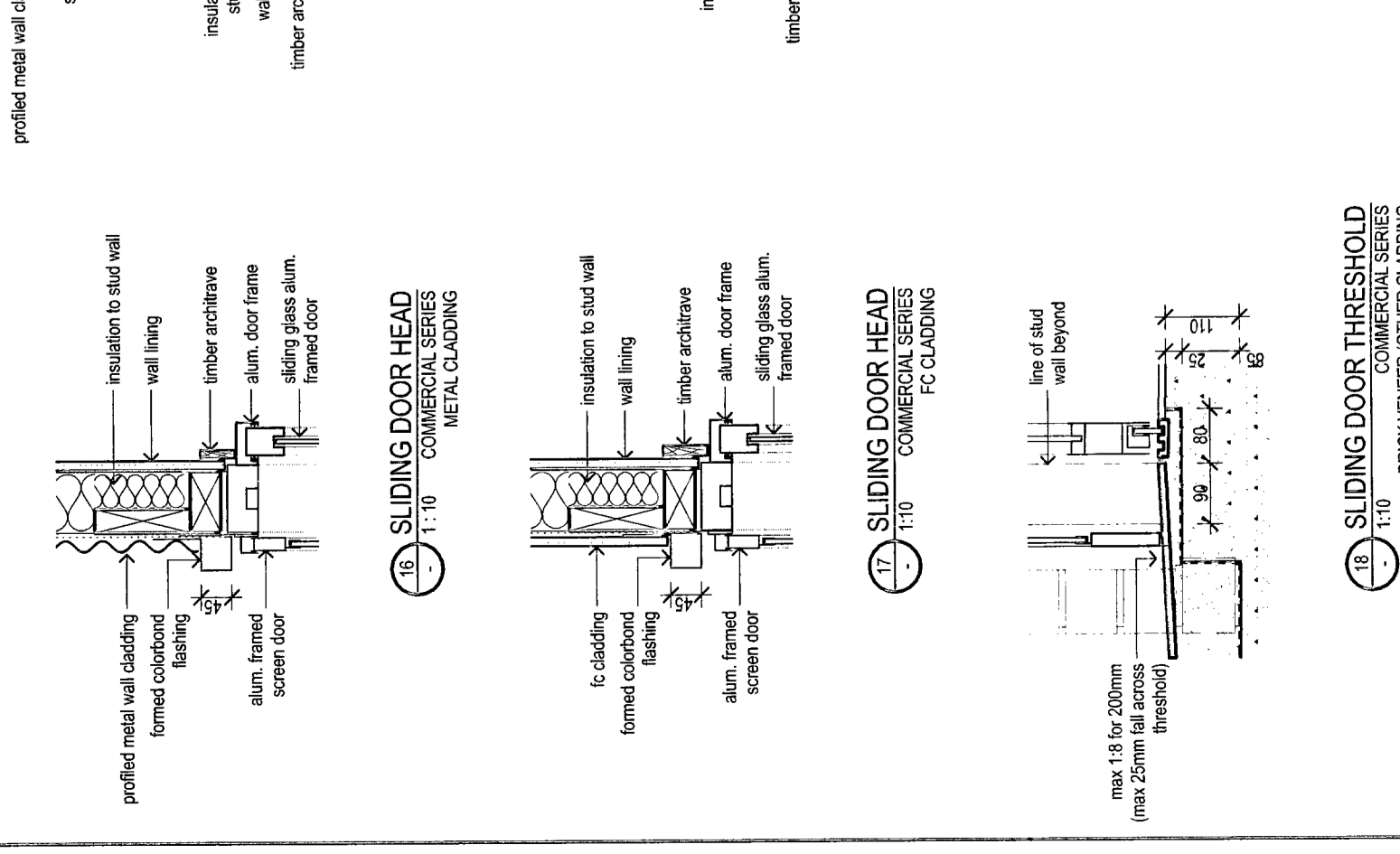
COMMERCIAL SERIES WINDOWS



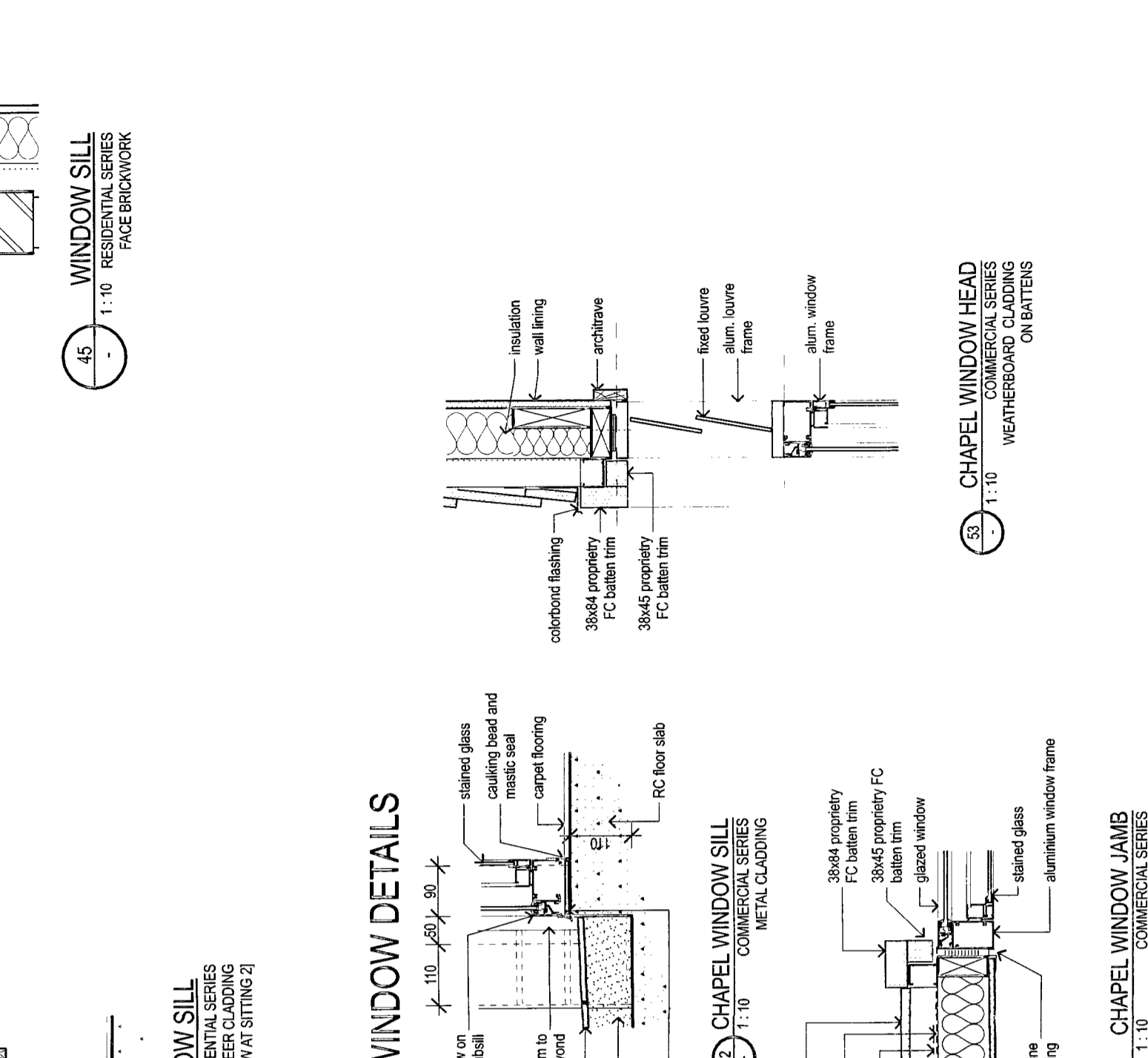
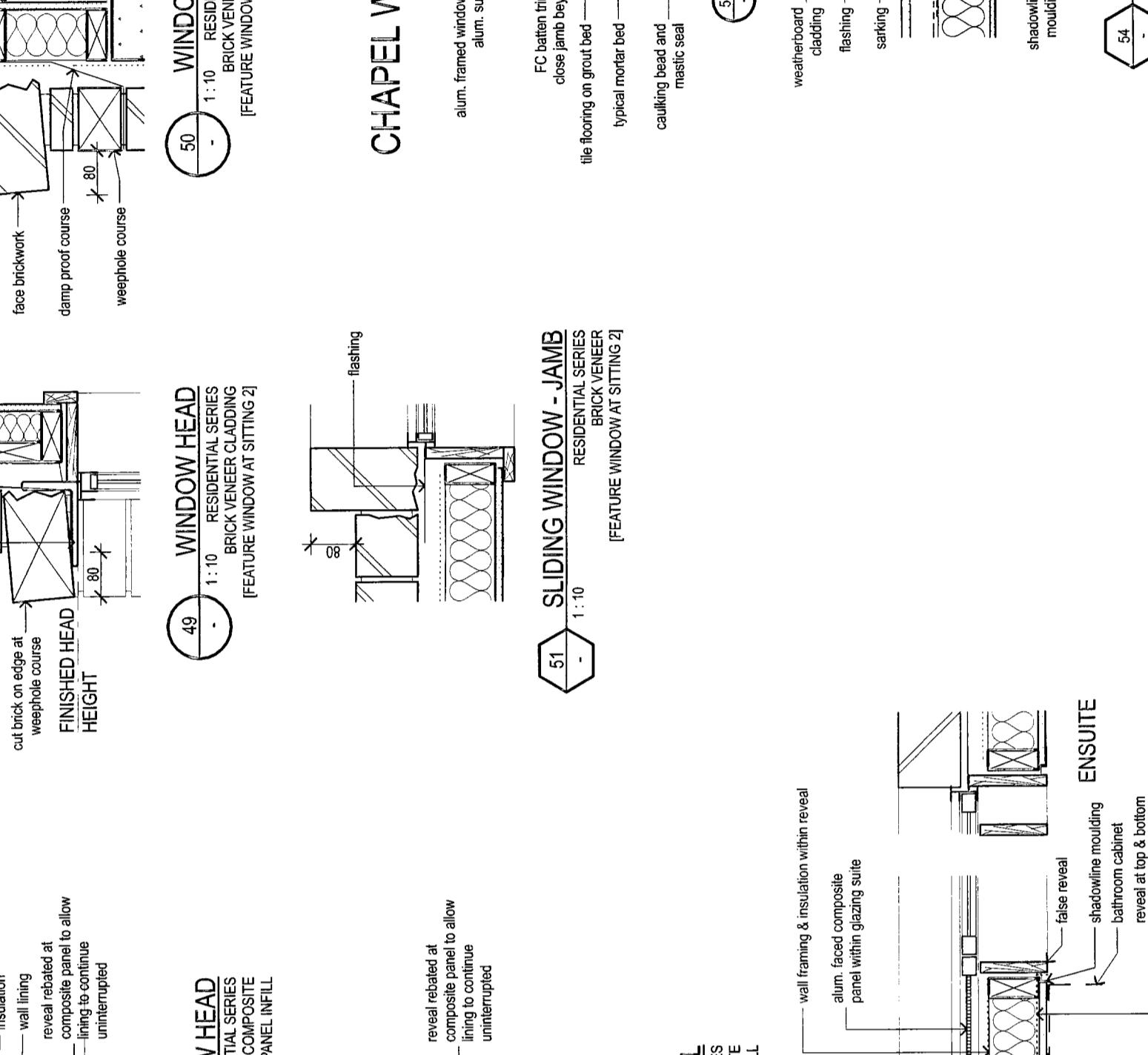
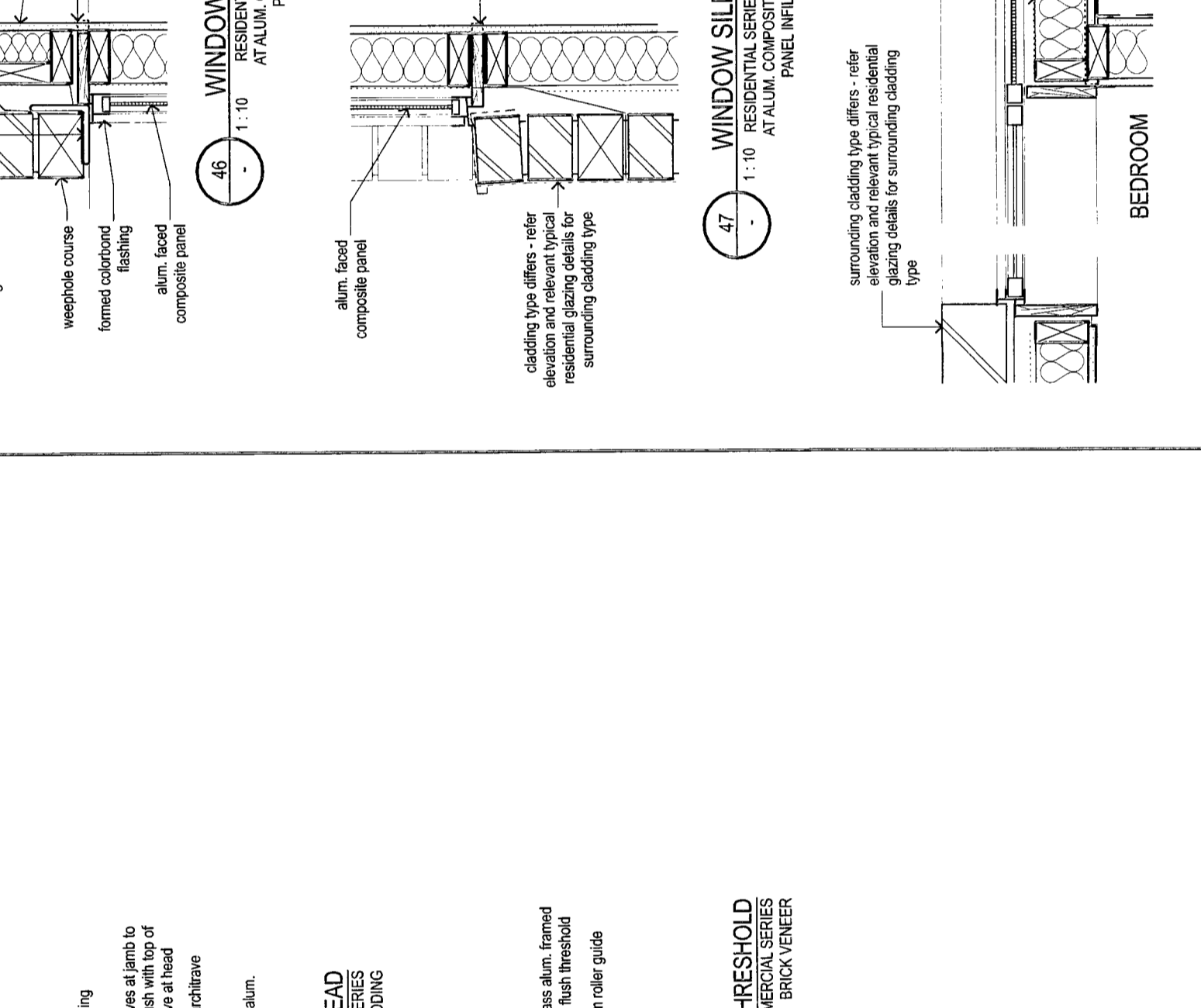
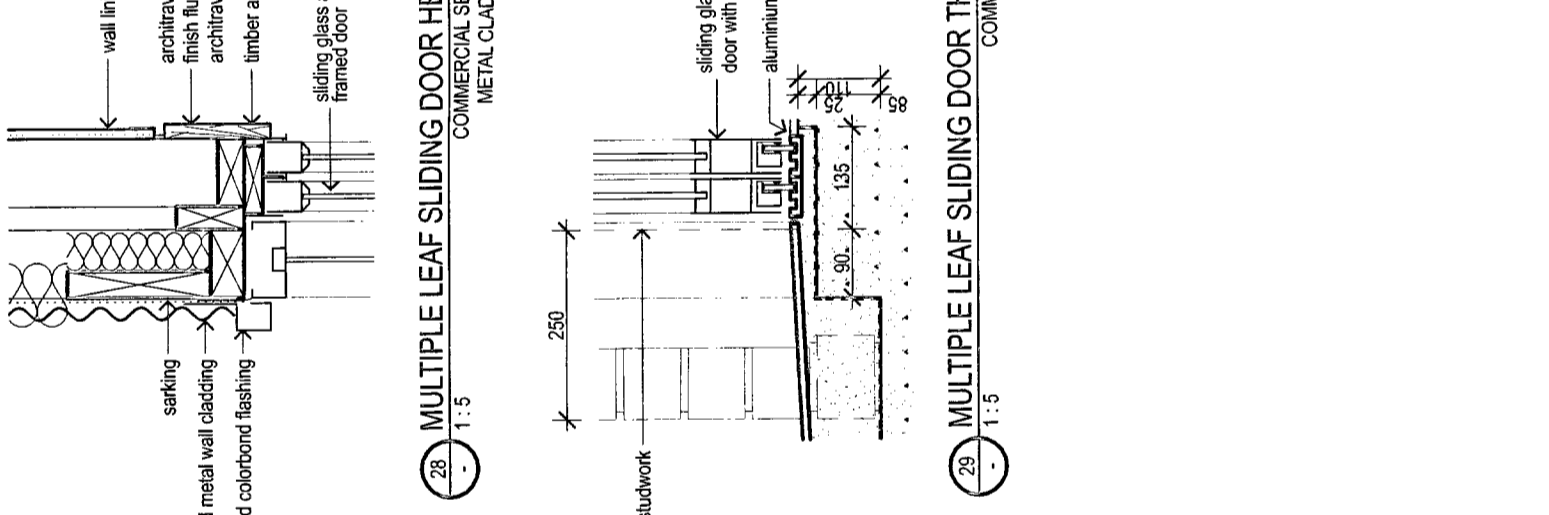
RESIDENTIAL SERIES WINDOWS



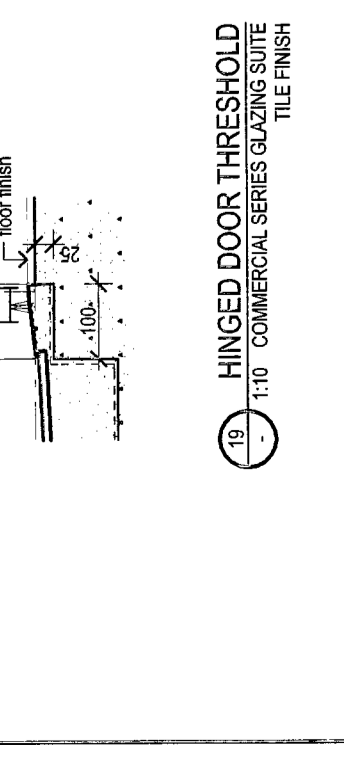
COMMERCIAL SERIES DOORS



MULTIPLE LEAF SLIDER DOORS



COMMERCIAL SERIES DOOR THRESHOLD



COMMERCIAL SERIES DOOR THRESHOLD



COMMERCIAL SERIES DOOR THRESHOLD



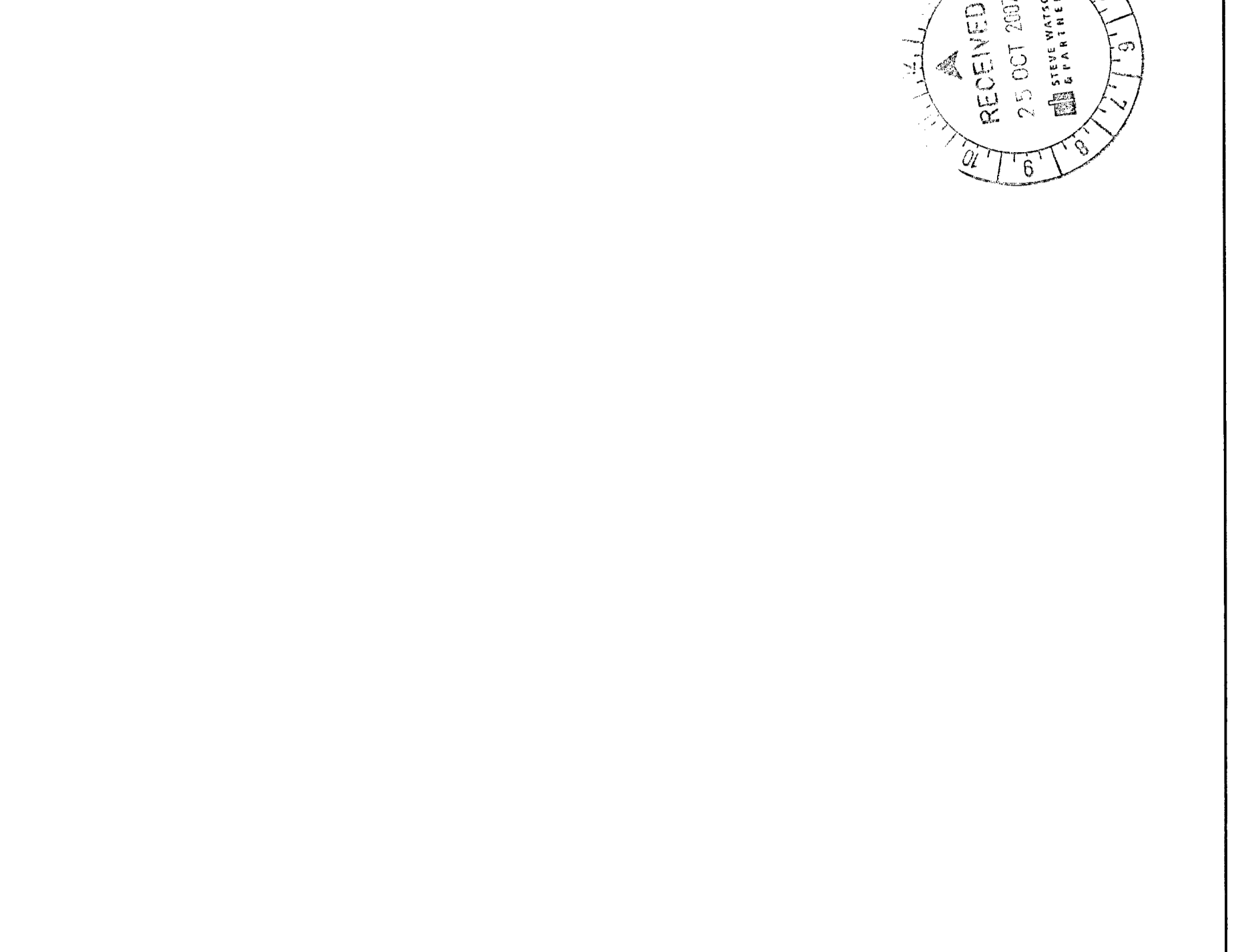
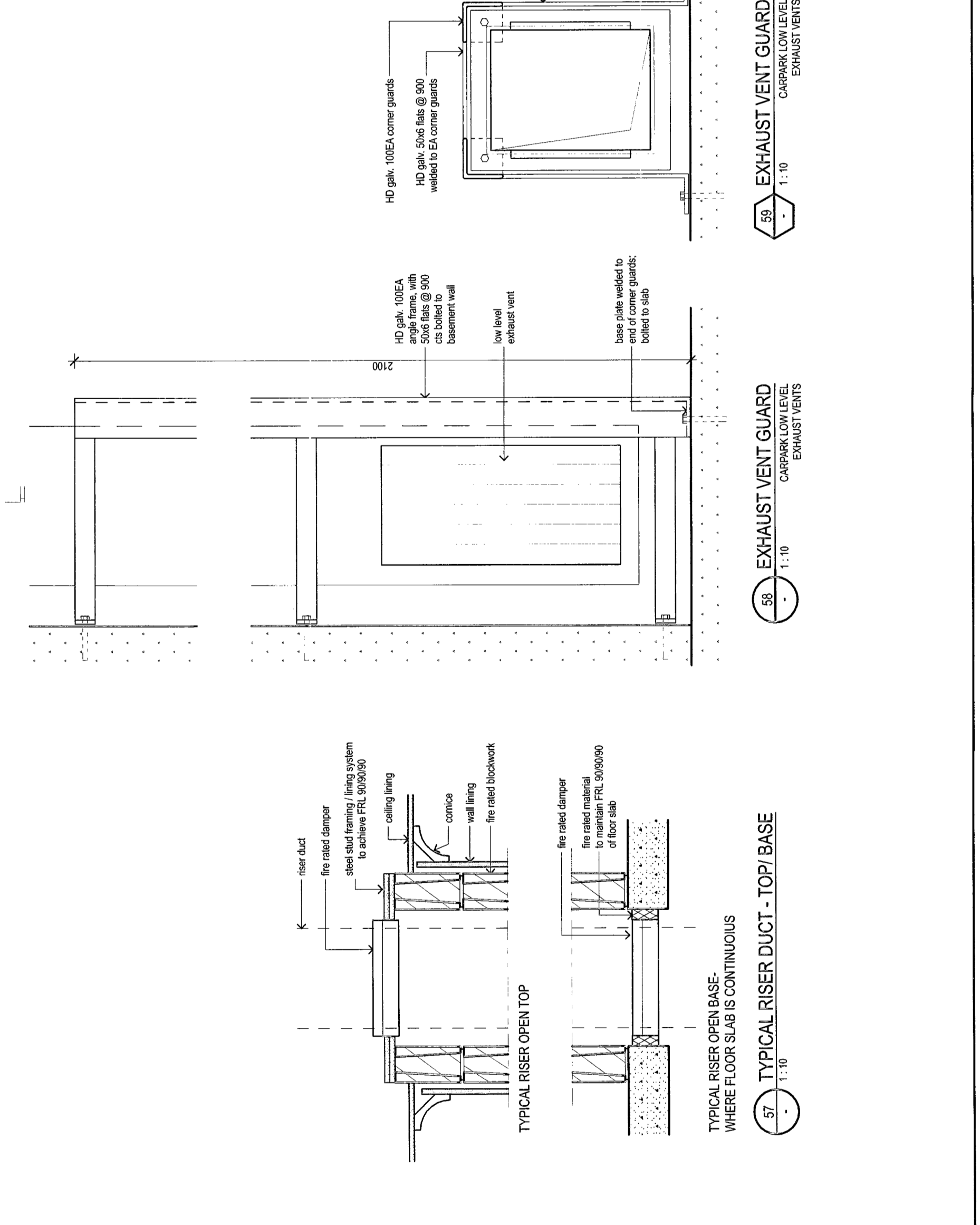
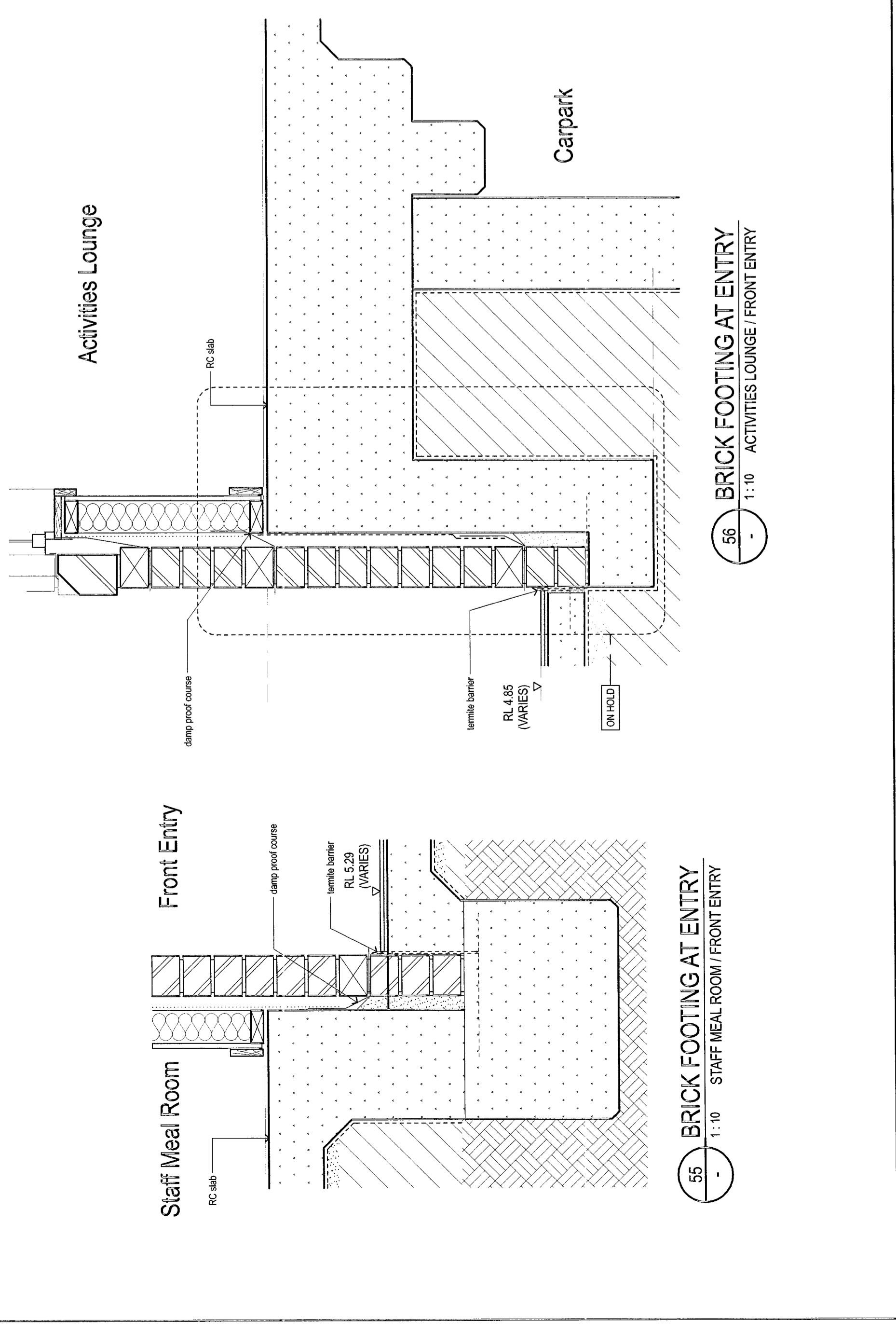
COMMERCIAL SERIES DOOR THRESHOLD



COMMERCIAL SERIES DOOR THRESHOLD



COMMERCIAL SERIES DOOR THRESHOLD



NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
2. REFER TO RELEVANT DRAWINGS FOR MATERIAL SPECIFICATIONS.

DATE: 13/08/2018
SCALE: A101 A705
PROJECT: ANGELICAN RETIREMENT VILLAGES

TENDER
ANGELICAN RETIREMENT VILLAGES
WARREWOOD VALLEY 115 BED RACE (STAGE 2A)

RECEIVED
23 OCT 2017
MISC DETAILS

CONSTRUCTION DETAILS
DOOR & WINDOW DETAILS
TERRACE SETDOWN DETAILS
MISC DETAILS

McEwin & Cranston Pty Ltd
Architects
10/117 3444 018
10/117 3444 304
10/117 3444 304
10/117 3444 304

PROJECT: ANGELICAN RETIREMENT VILLAGES
WARREWOOD VALLEY 115 BED RACE (STAGE 2A)

SCALE: A101 A705
PROJECT: ANGELICAN RETIREMENT VILLAGES

DATE: 13/08/2018
SCALE: A101 A705
PROJECT: ANGELICAN RETIREMENT VILLAGES

DATE: 13/08/2018
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SCALE: A101 A705
PROJECT: ANGELICAN RETIREMENT VILLAGES

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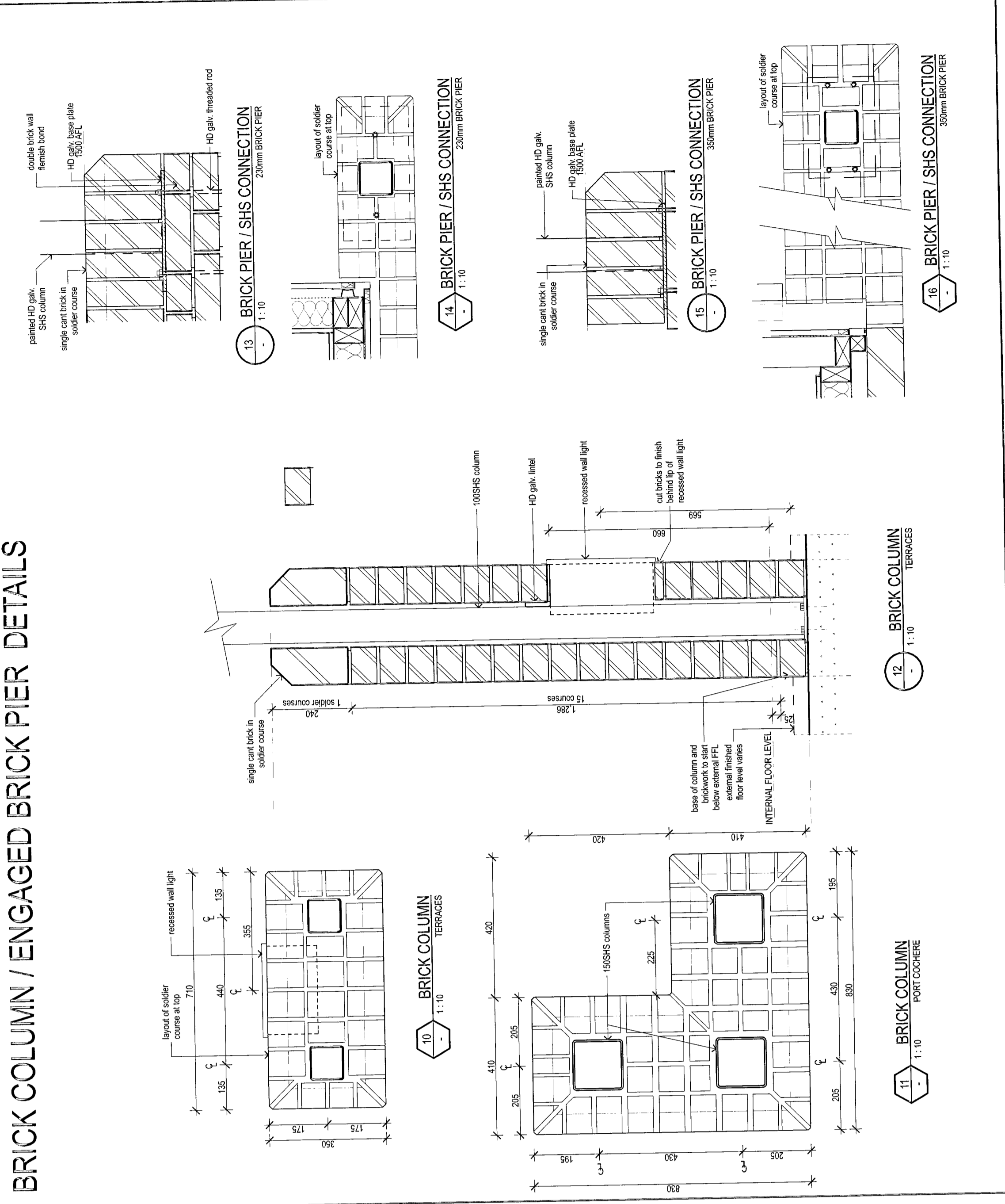
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PROJECT: ANGELICAN RETIREMENT VILLAGES

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PROJECT: ANGELICAN RETIREMENT VILLAGES

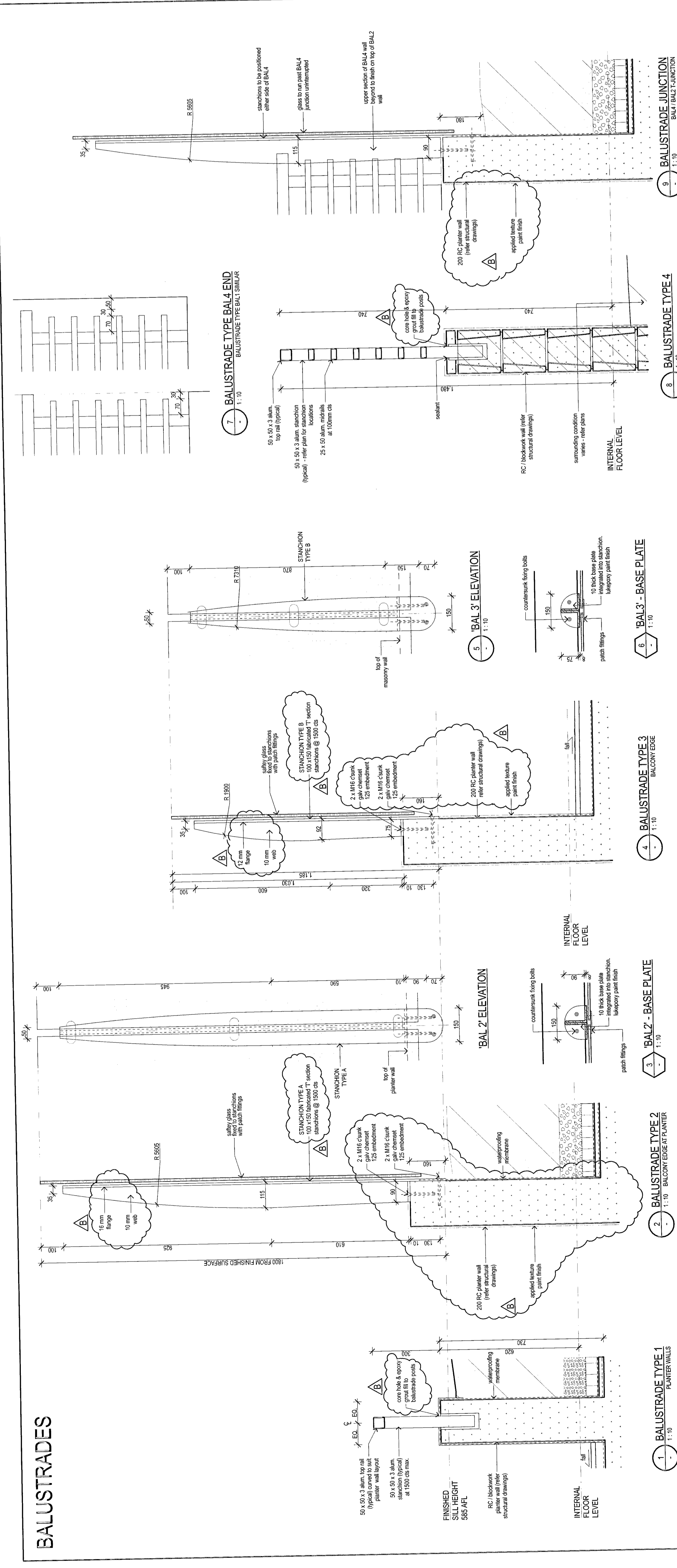
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SCALE: A101 A705
PROJECT: ANGELICAN RETIREMENT VILLAGES

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING REGULATIONS 2011.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL REGULATIONS 2017.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL PLUMBING REGULATIONS 2017.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL GAS REGULATIONS 2017.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL WATER REGULATIONS 2017.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL WINDLOAD REGULATIONS 2017.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL SEWERAGE REGULATIONS 2017.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL DRAINAGE REGULATIONS 2017.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL FLOORING REGULATIONS 2017.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL PAINTING REGULATIONS 2017.

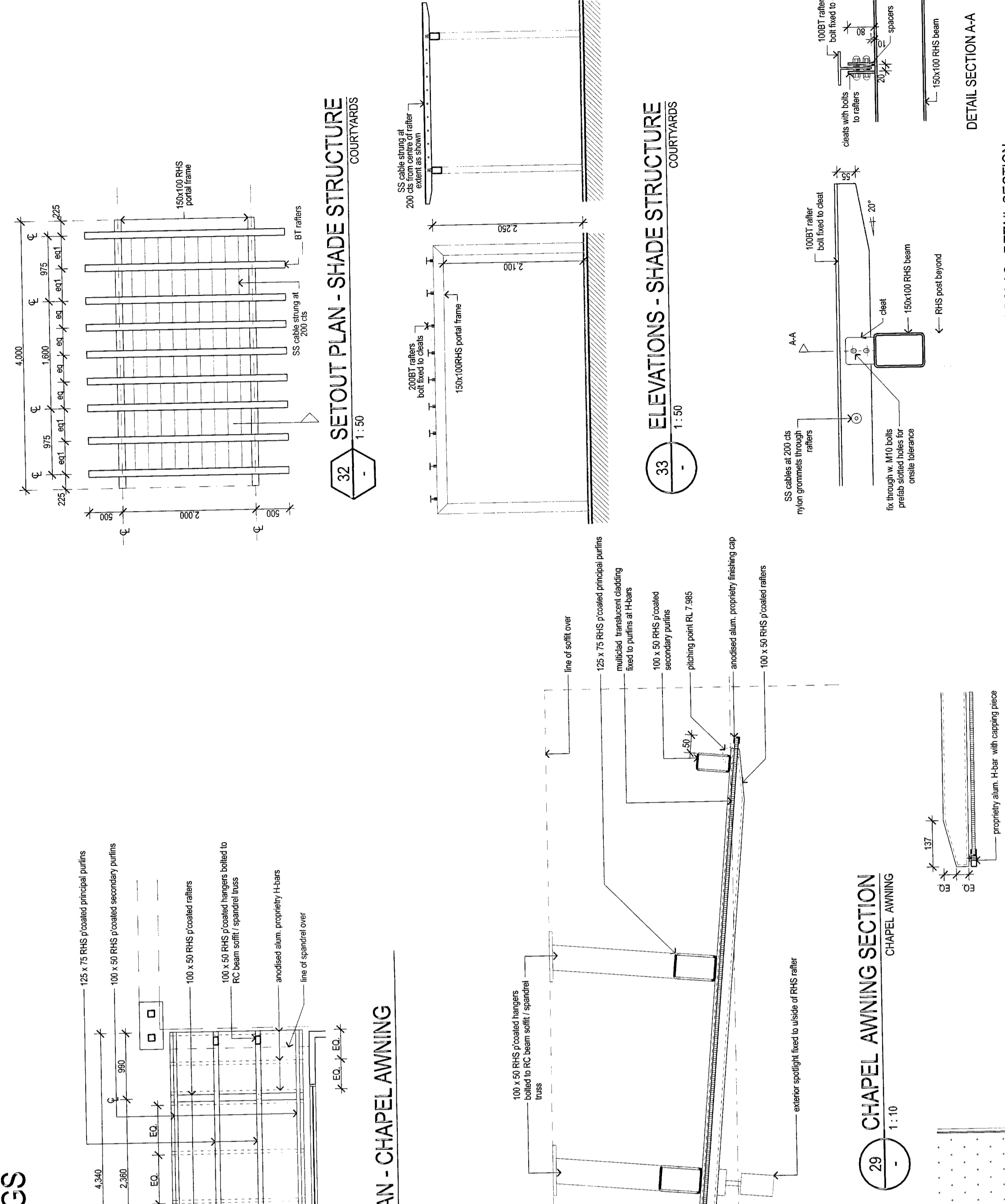
BRICK COLUMN / ENGAGED BRICK PIER DETAILS



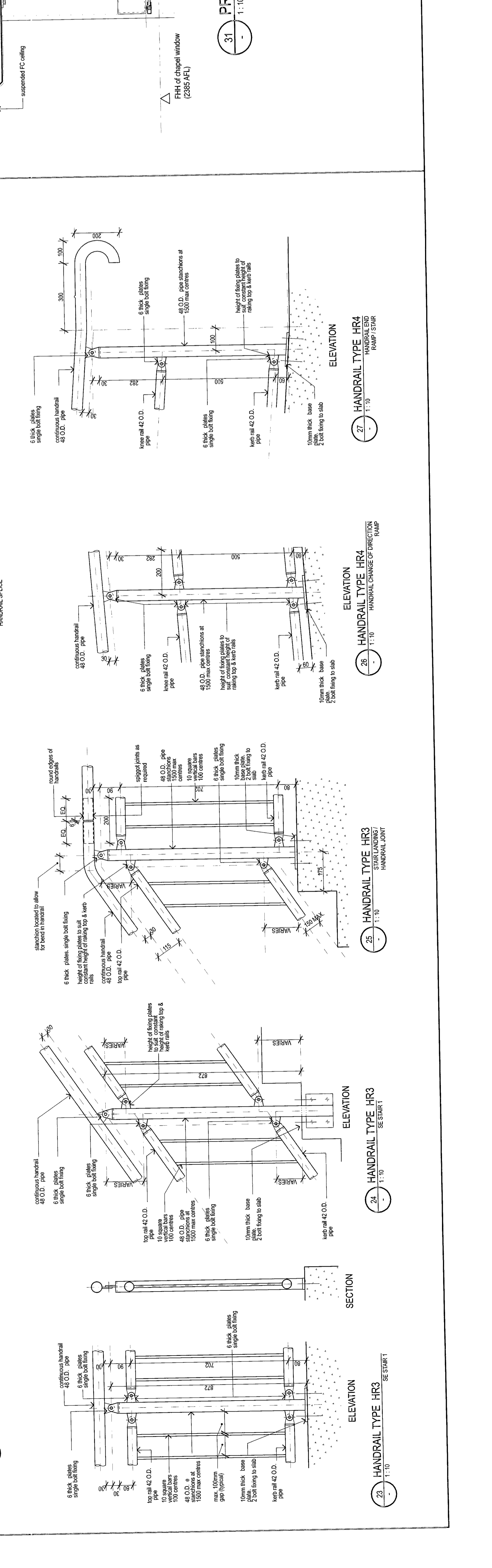
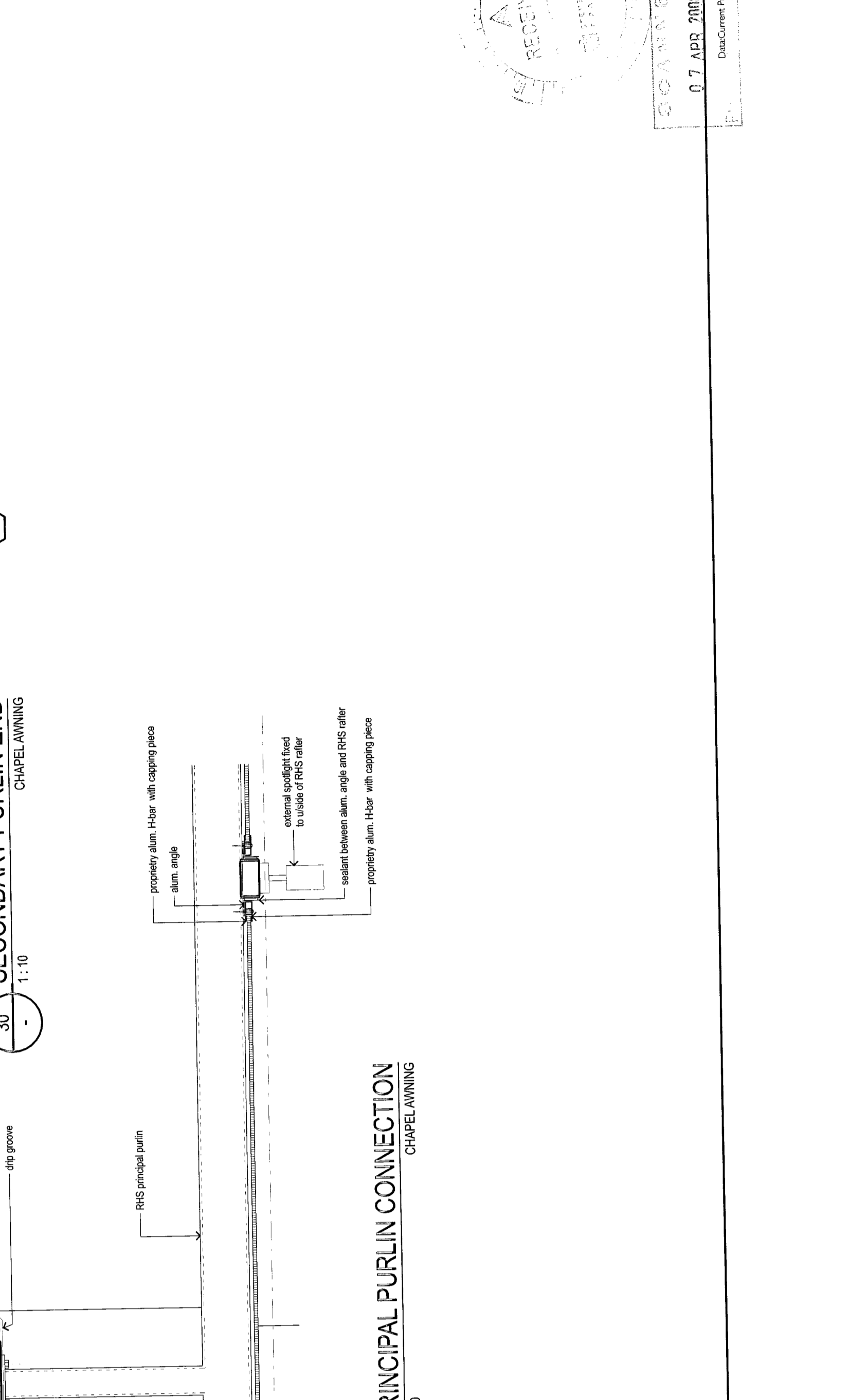
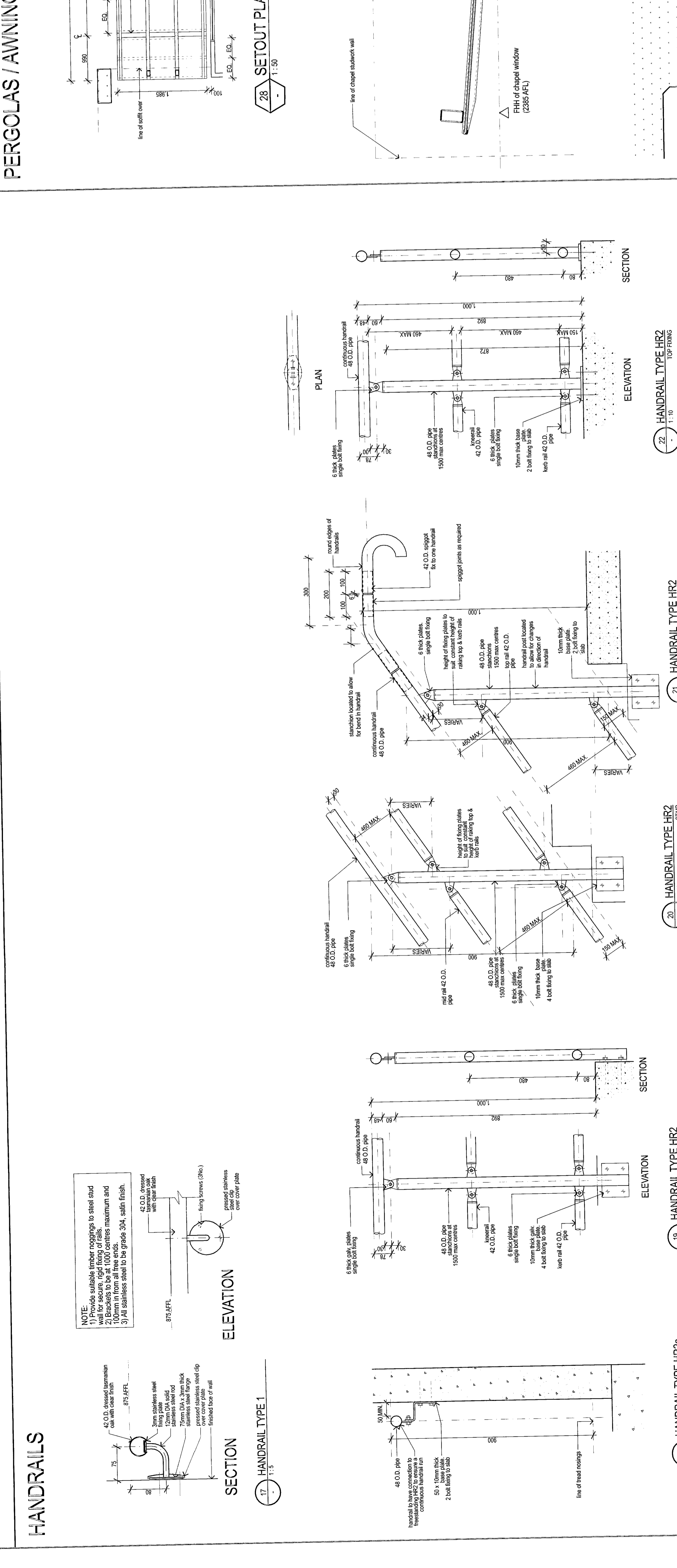
BALUSTRADES



PERGOLAS / AWNINGS



HANDRAILS



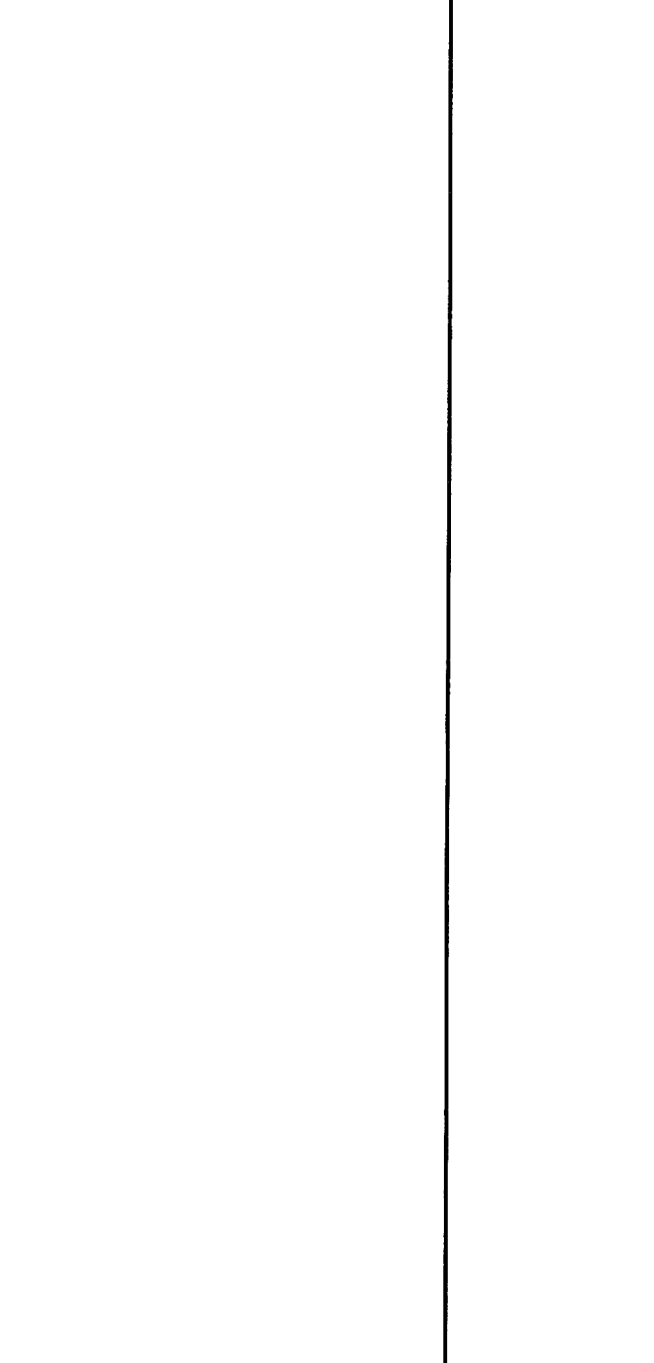
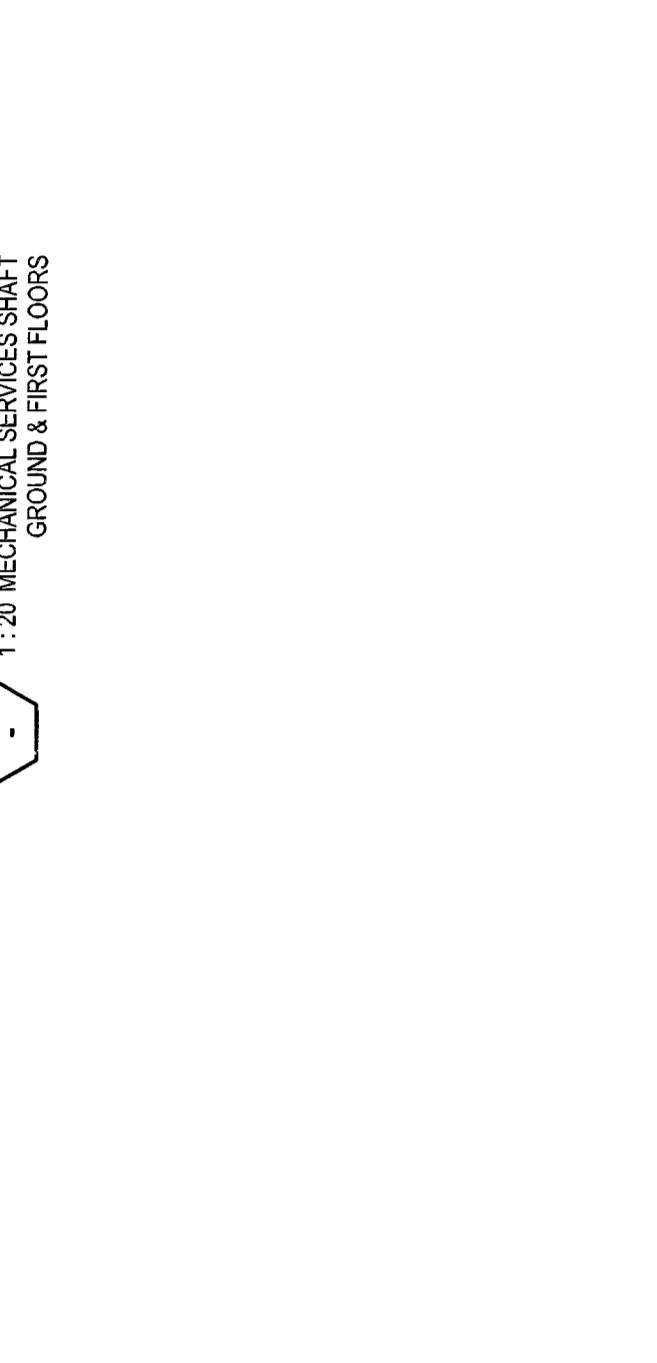
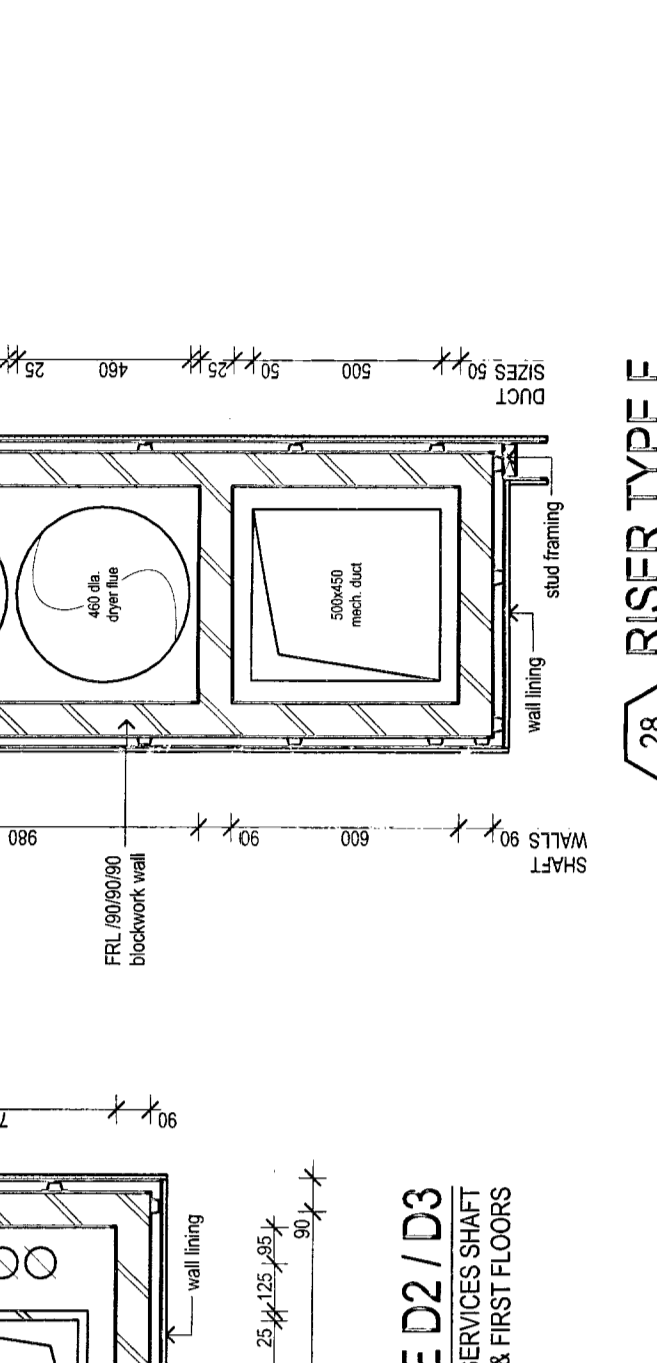
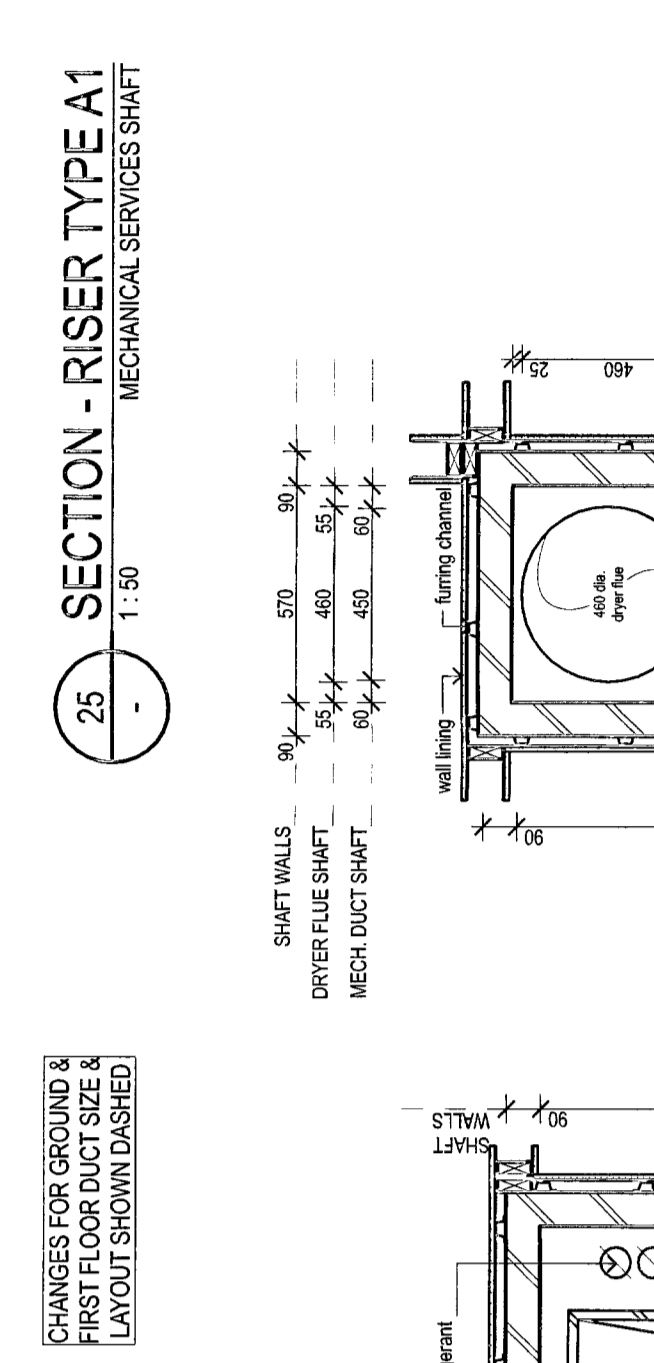
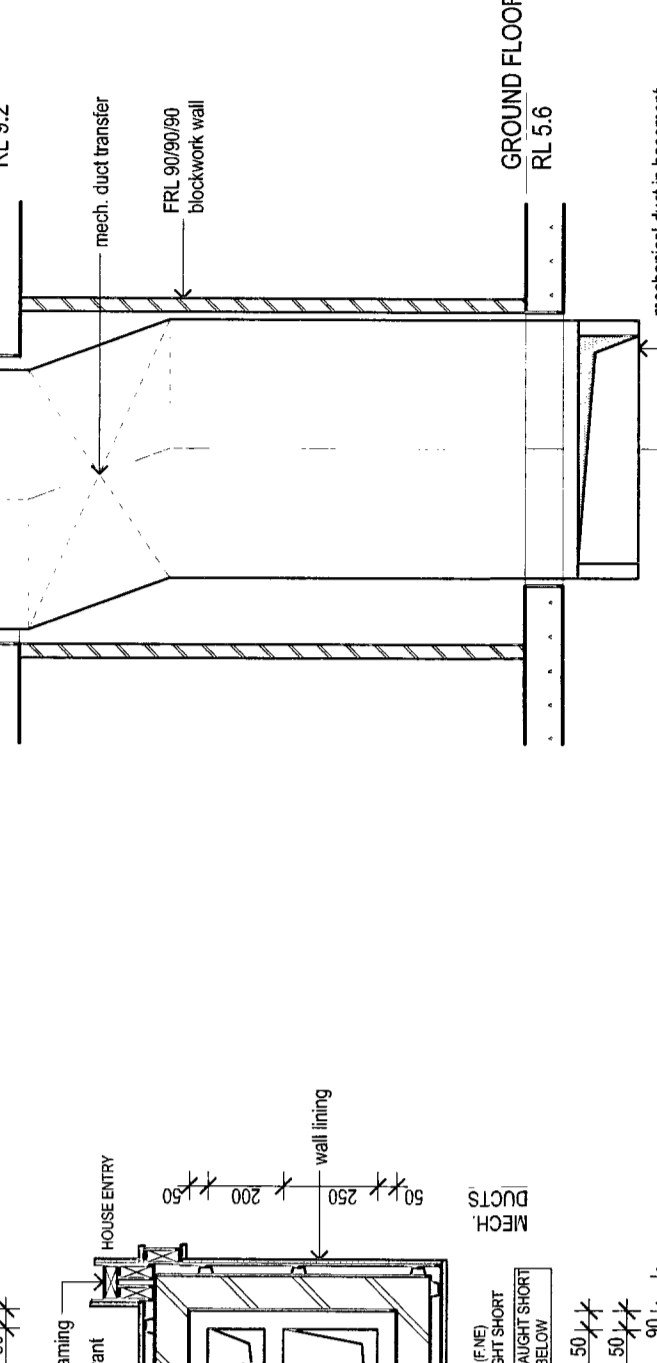
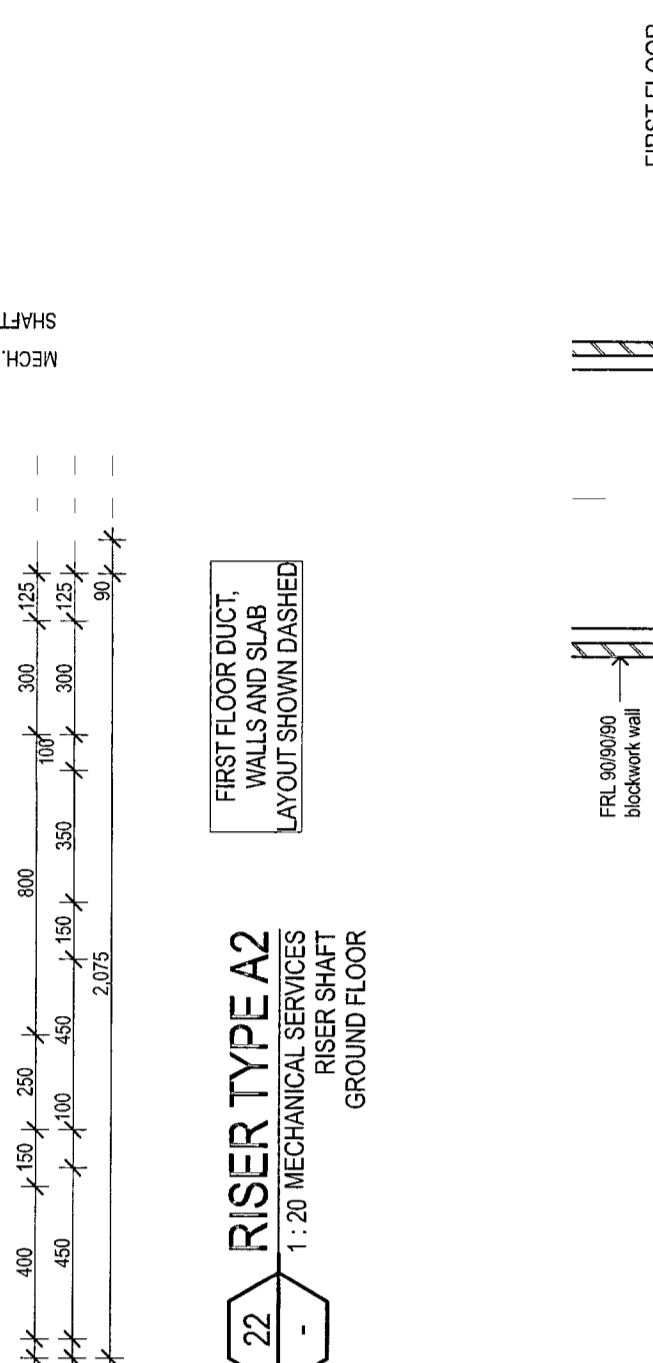
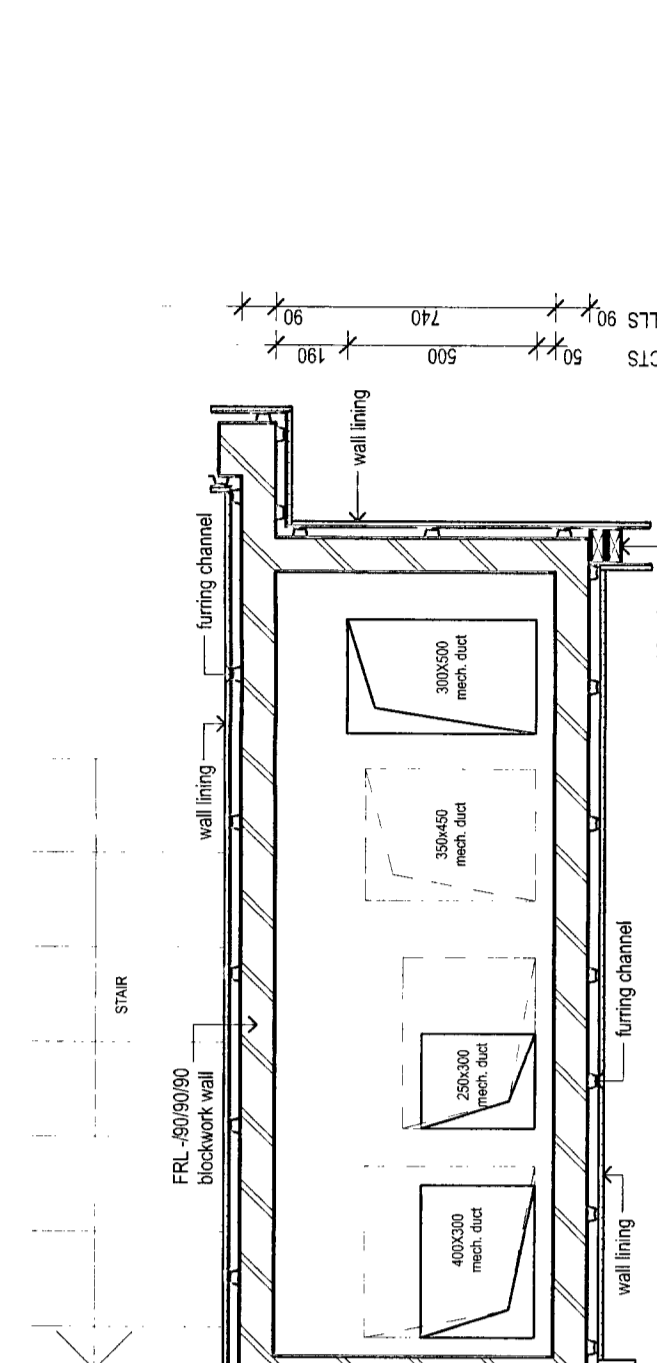
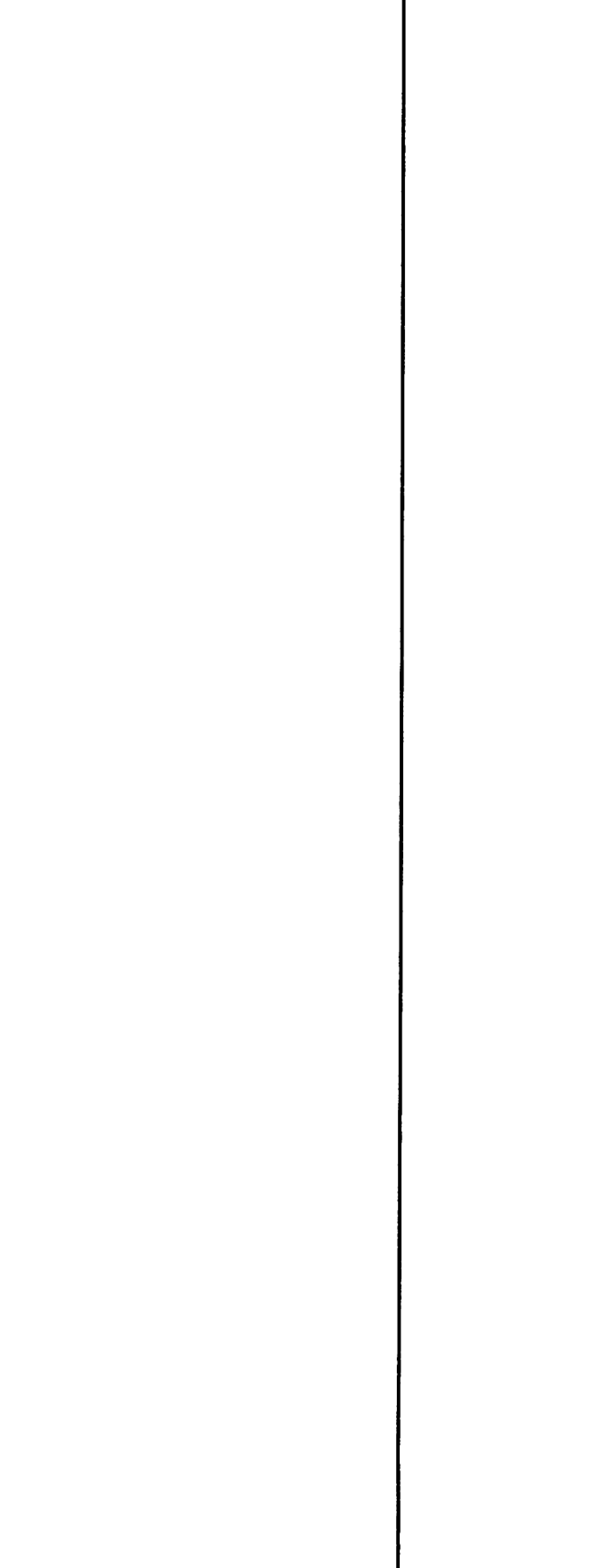
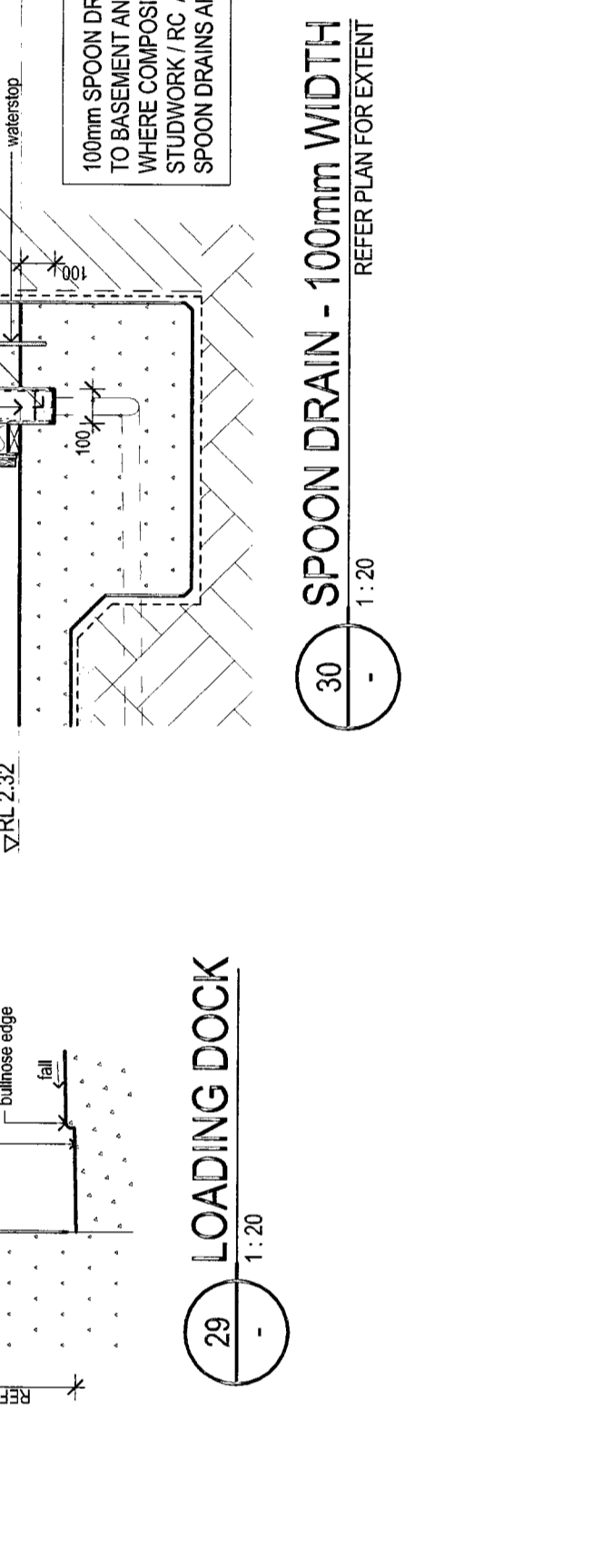
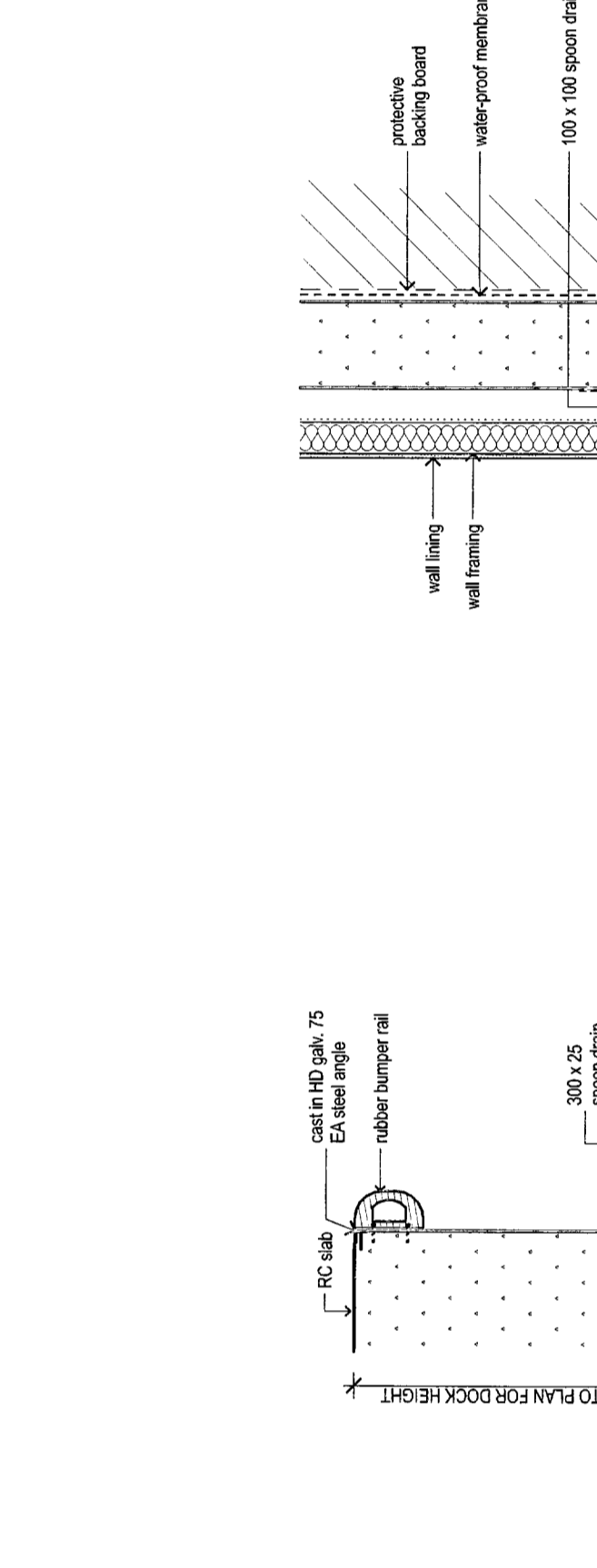
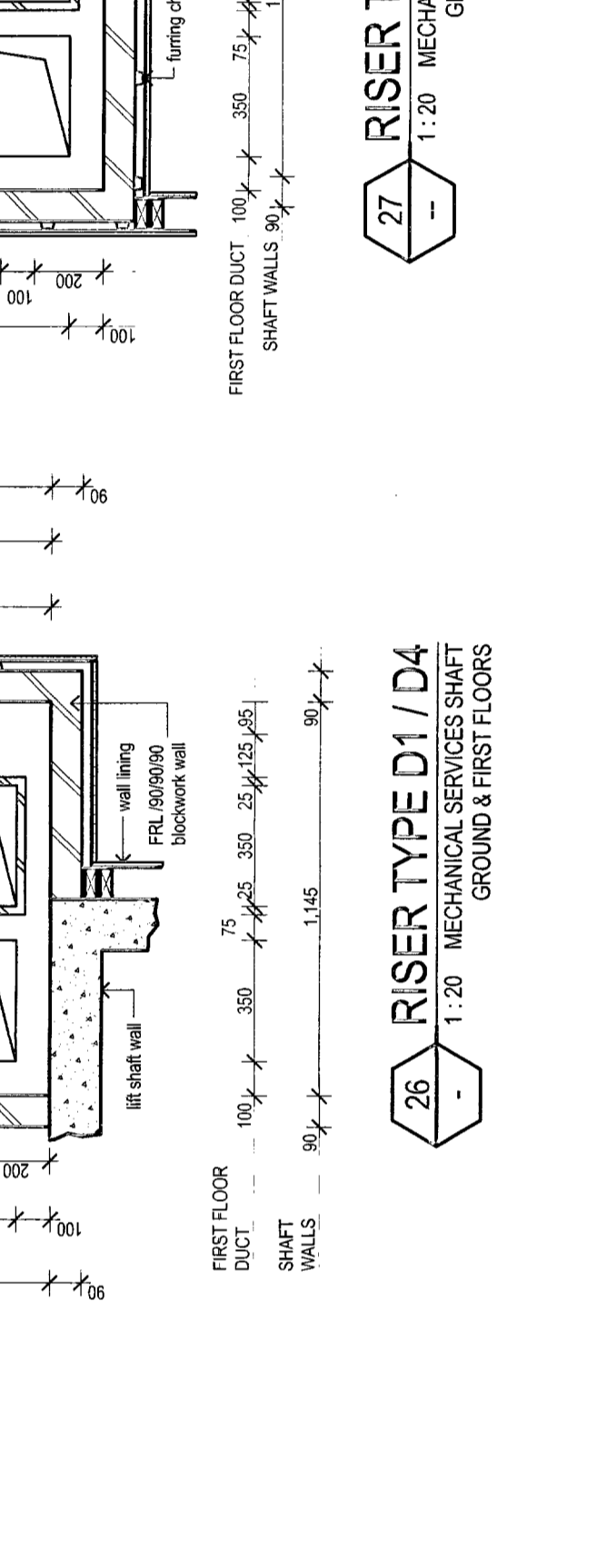
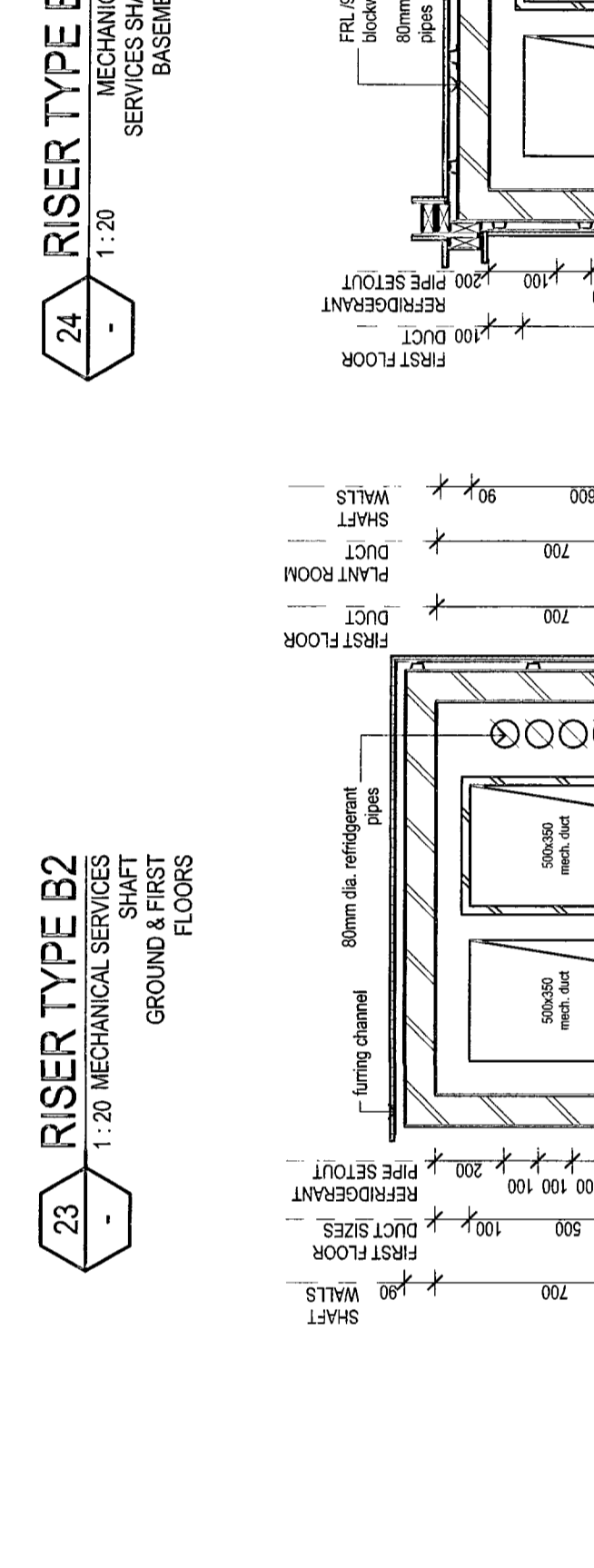
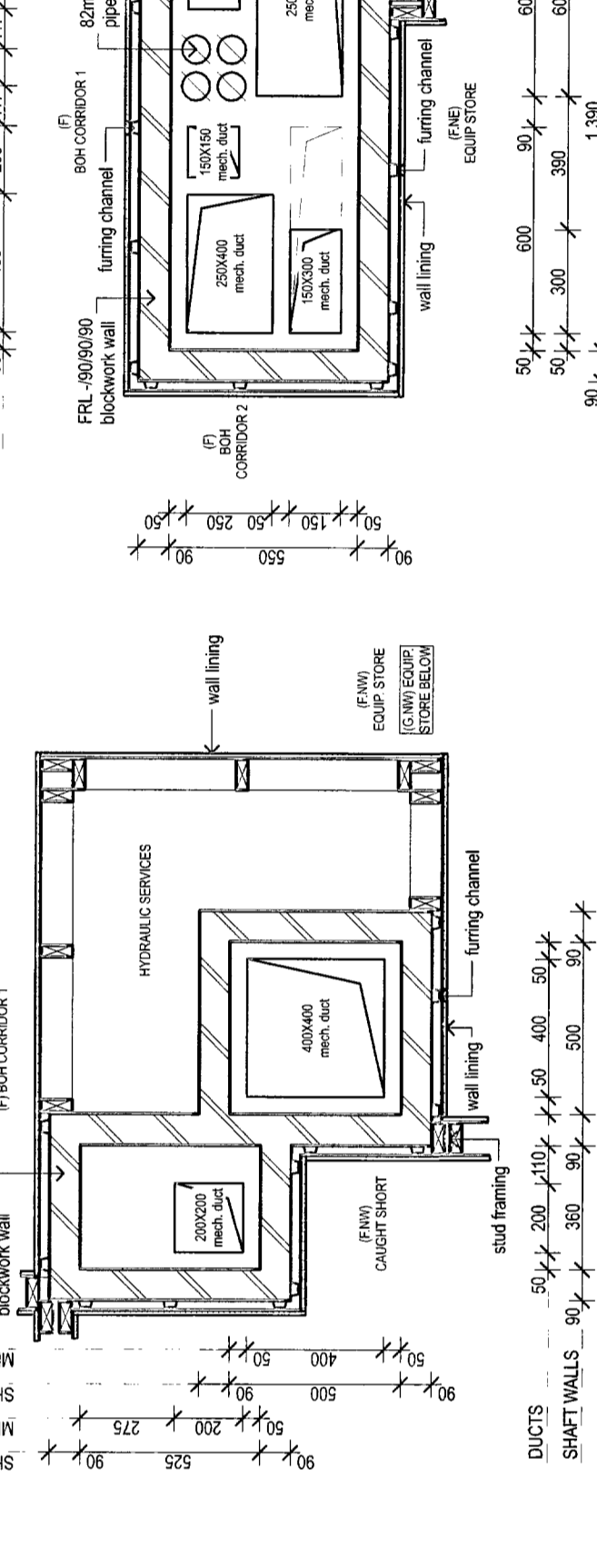
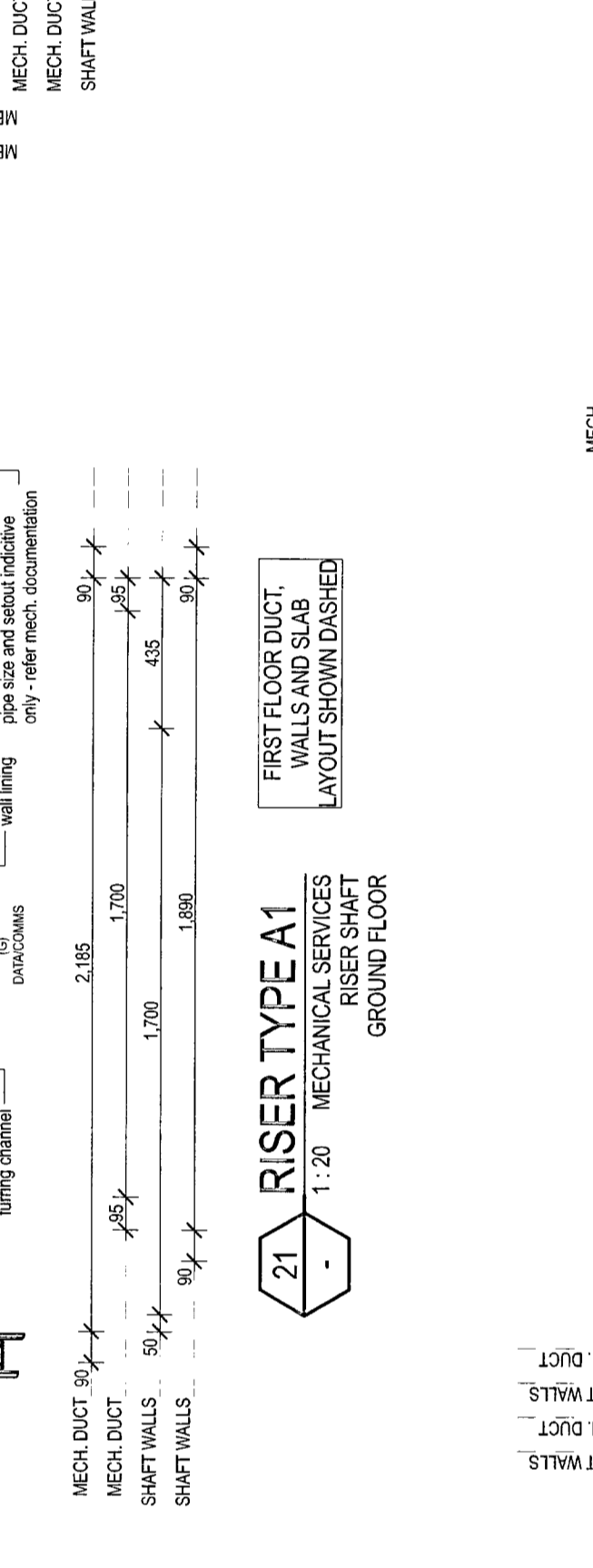
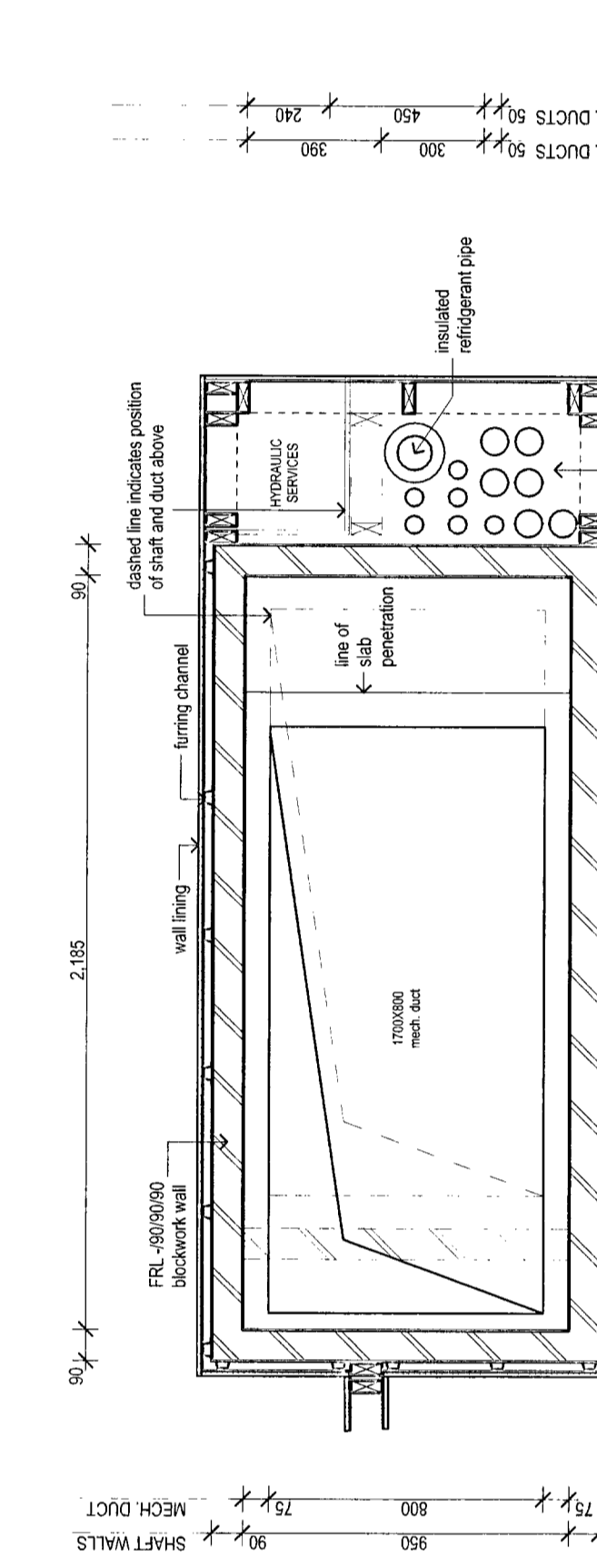
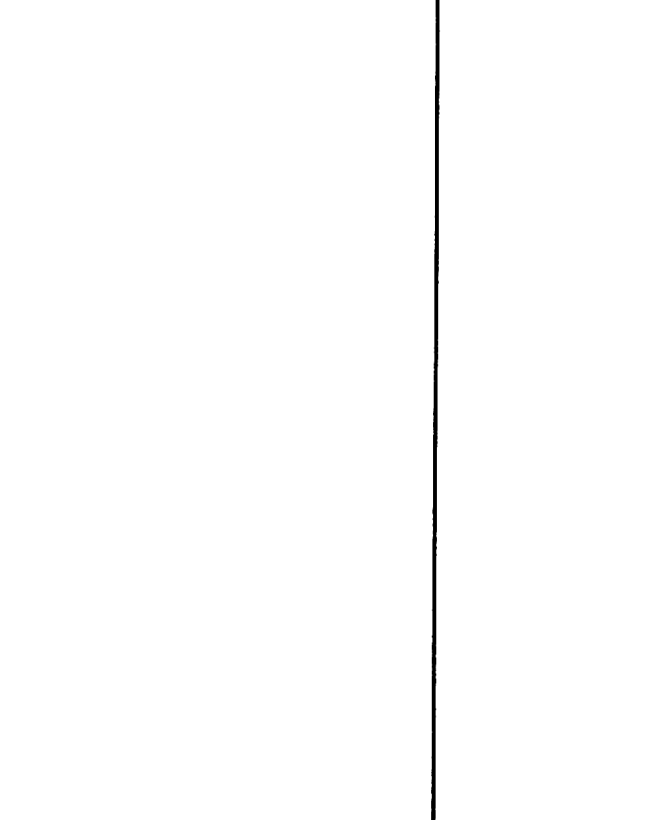
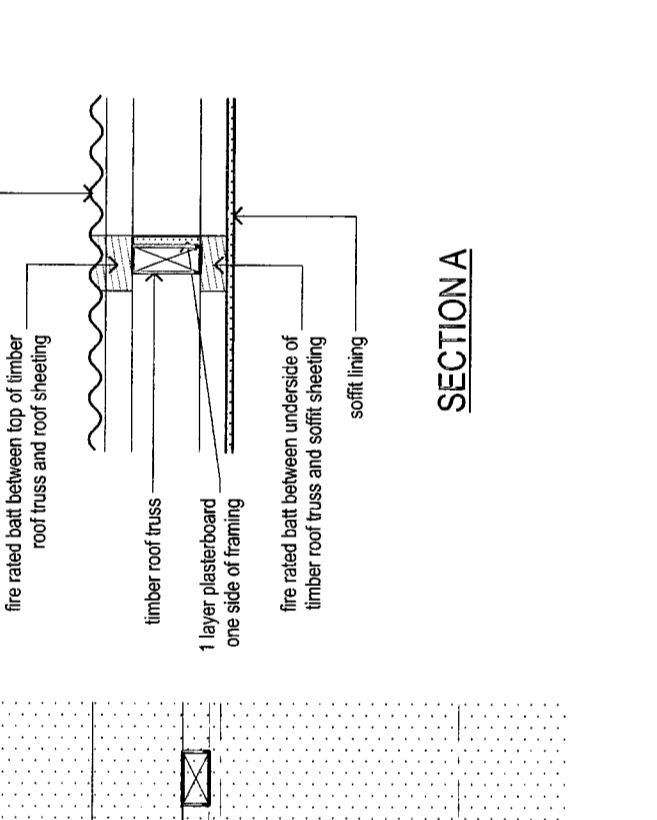
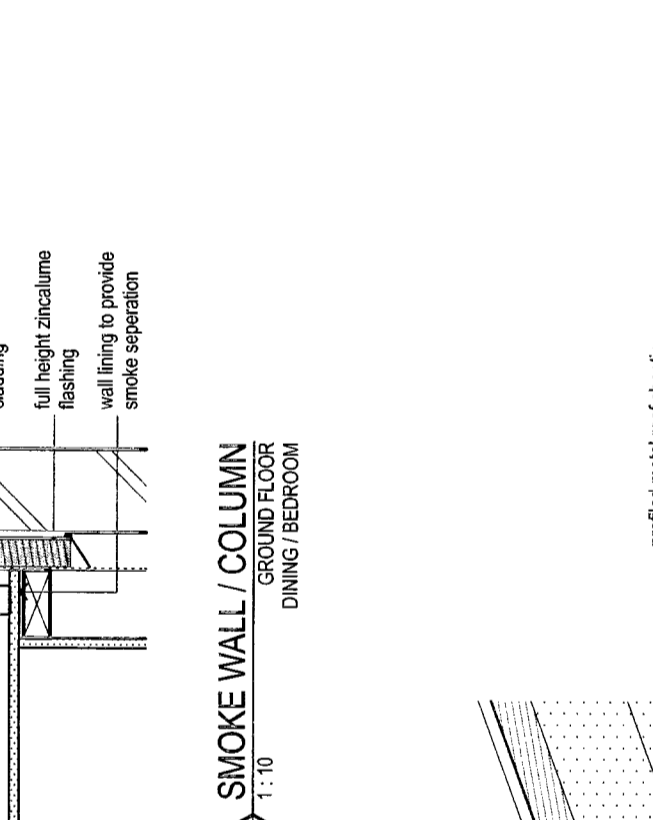
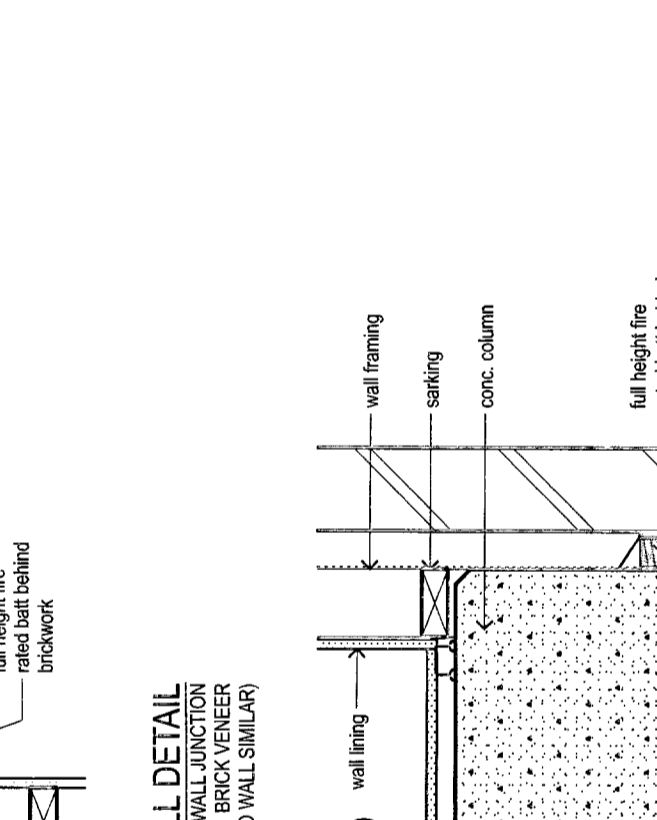
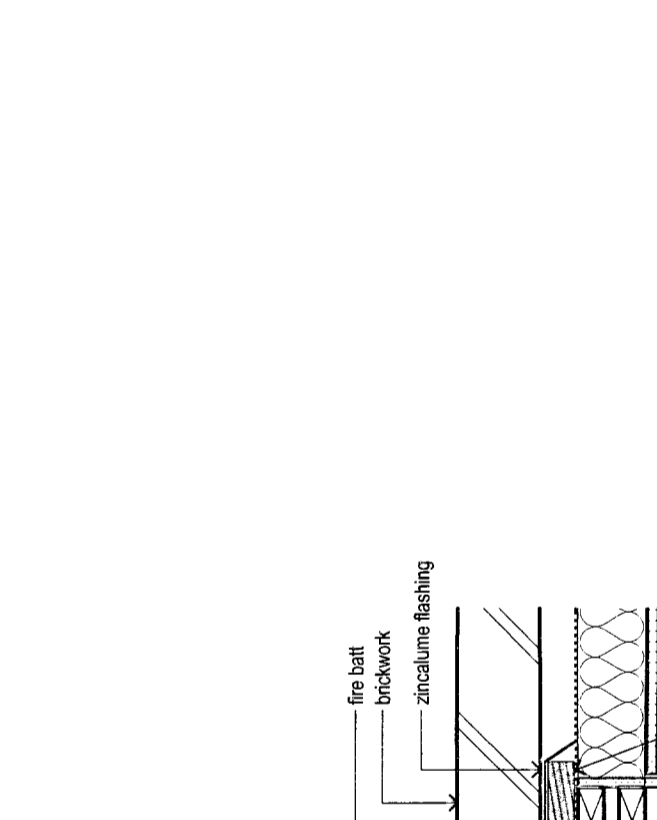
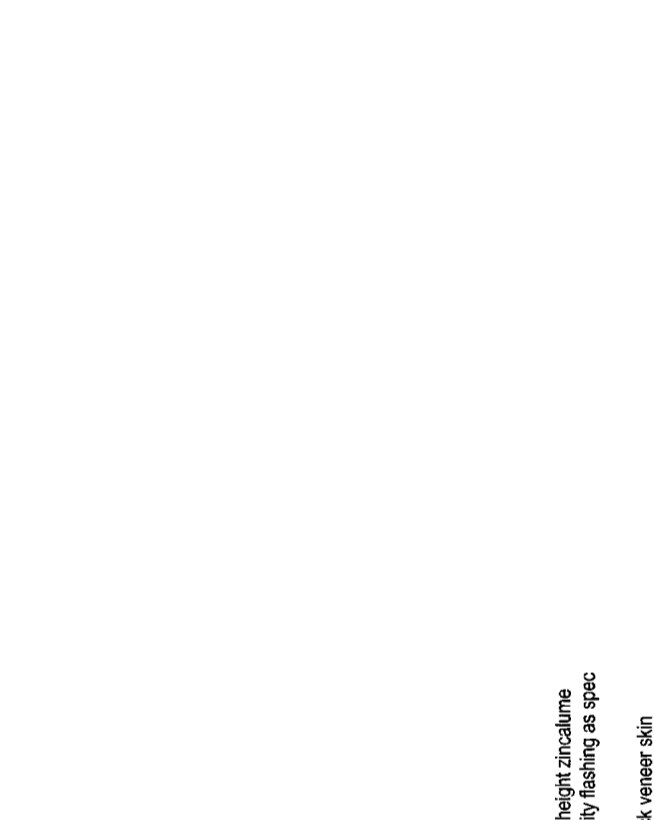
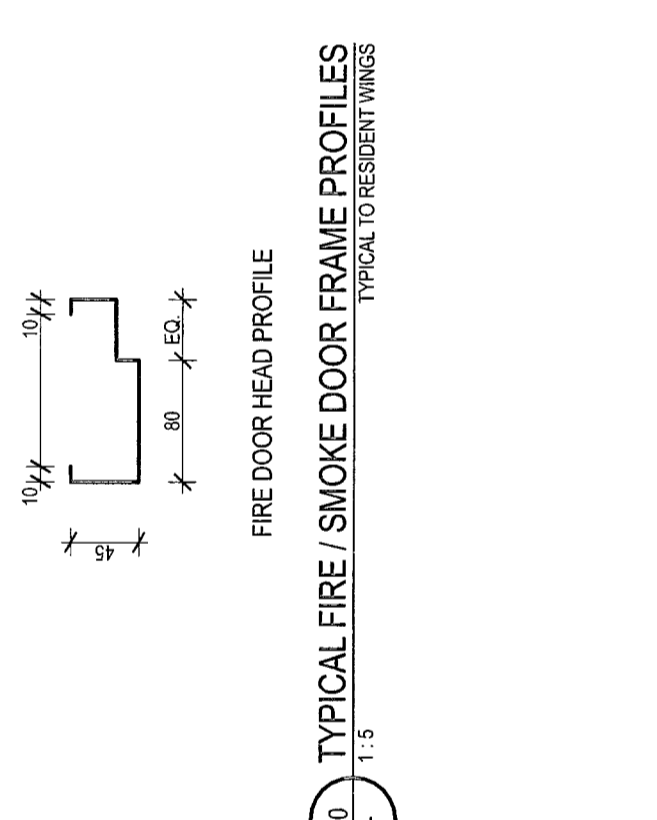
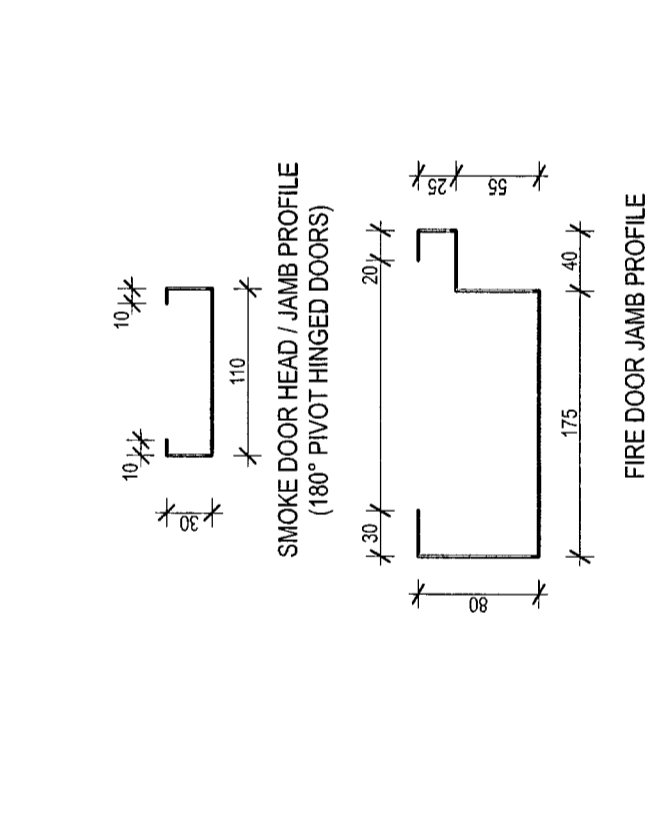
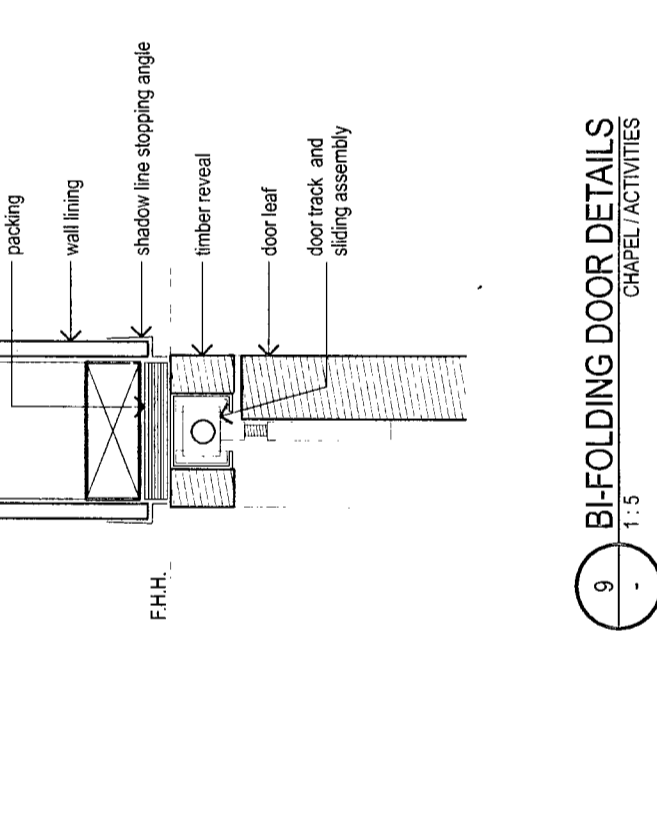
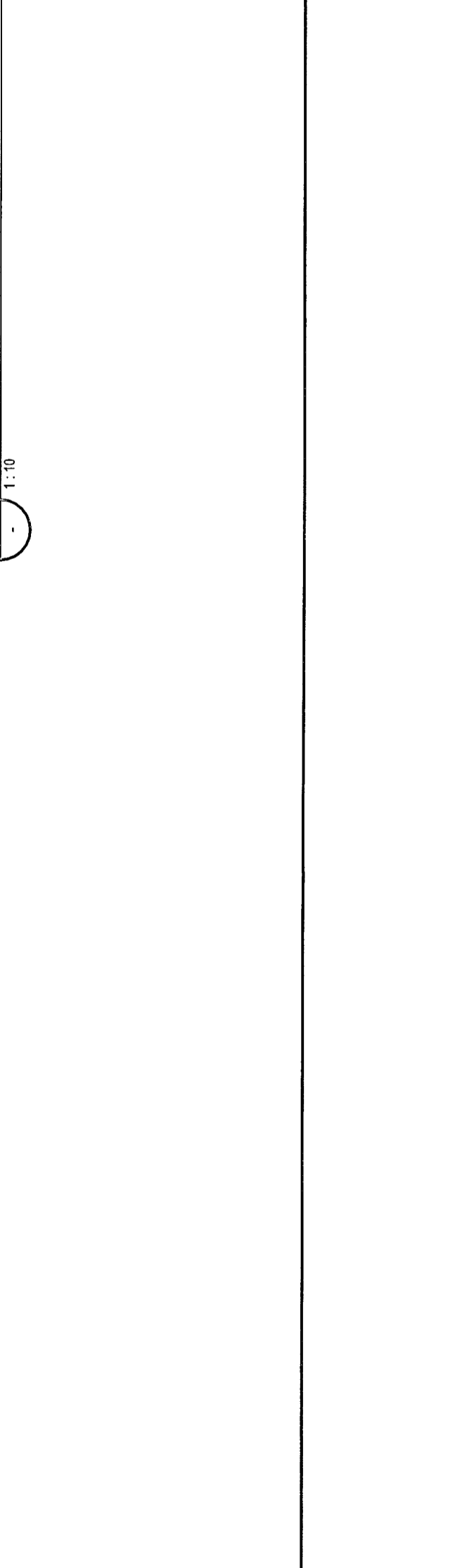
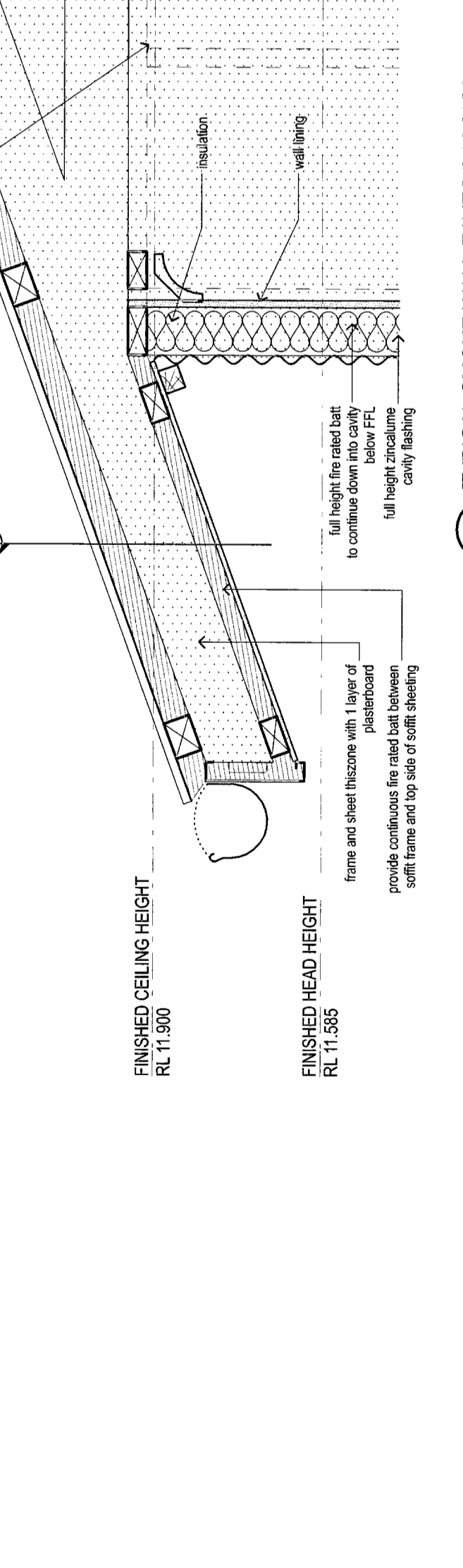
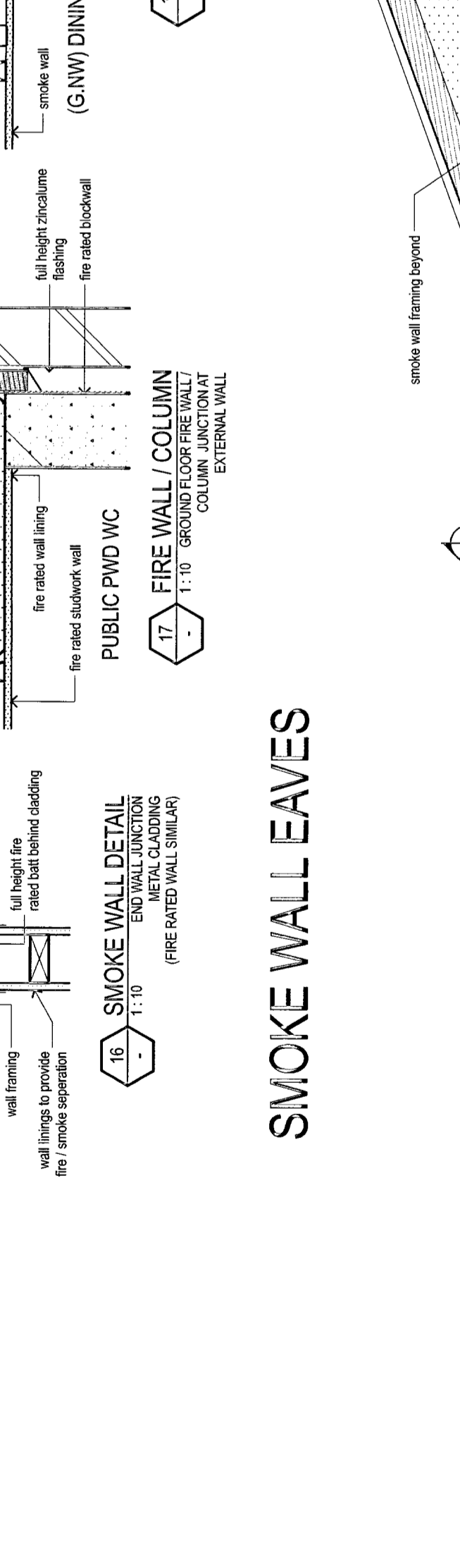
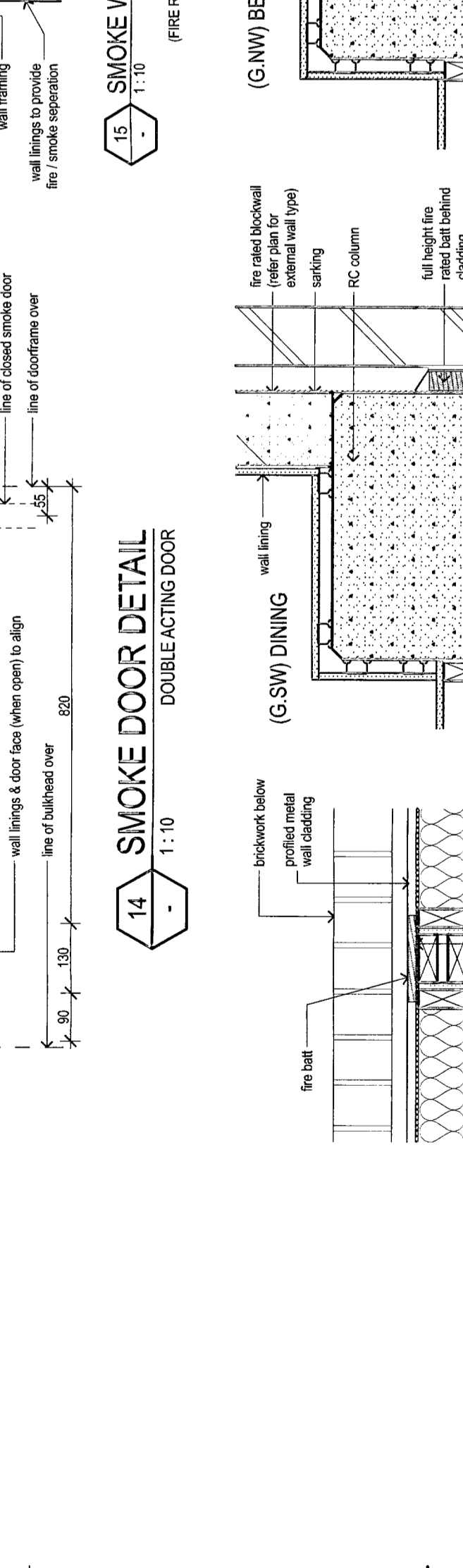
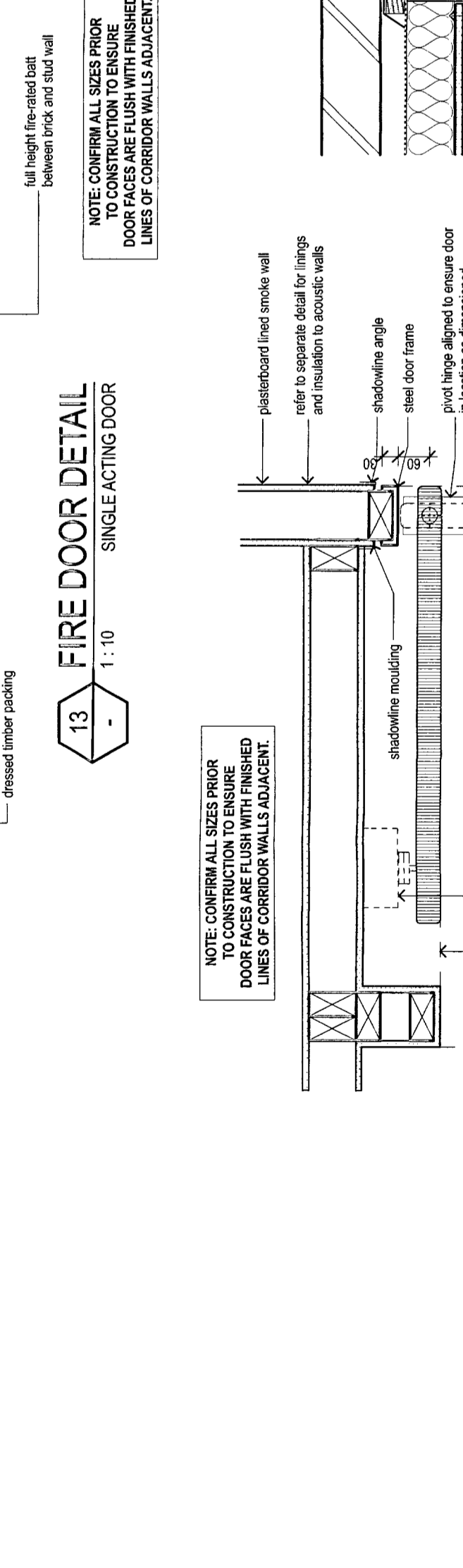
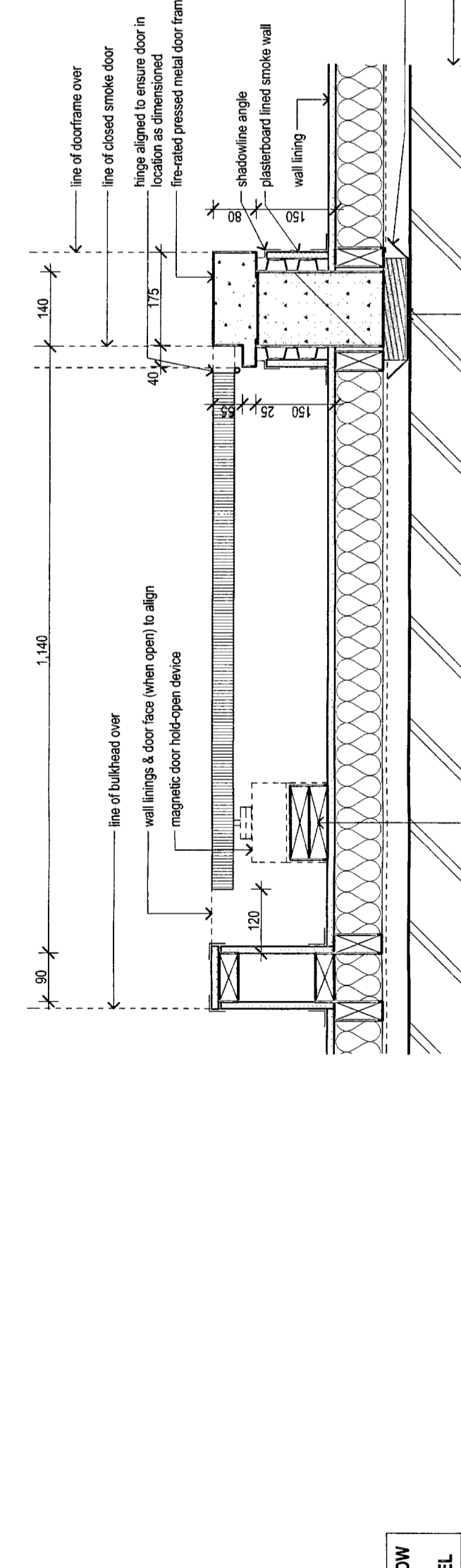
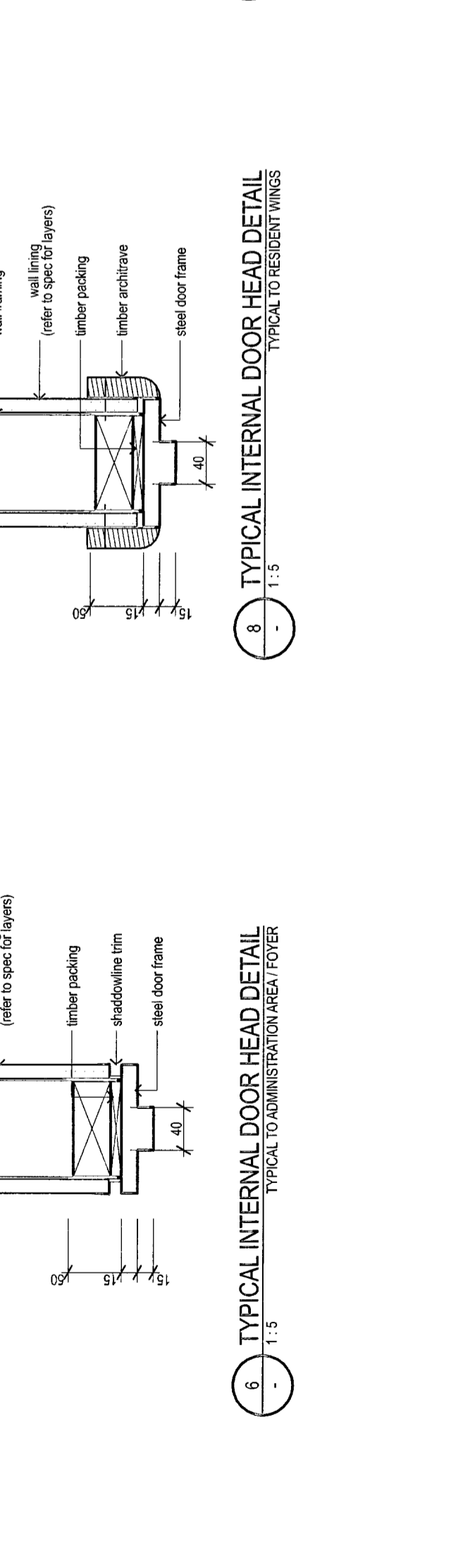
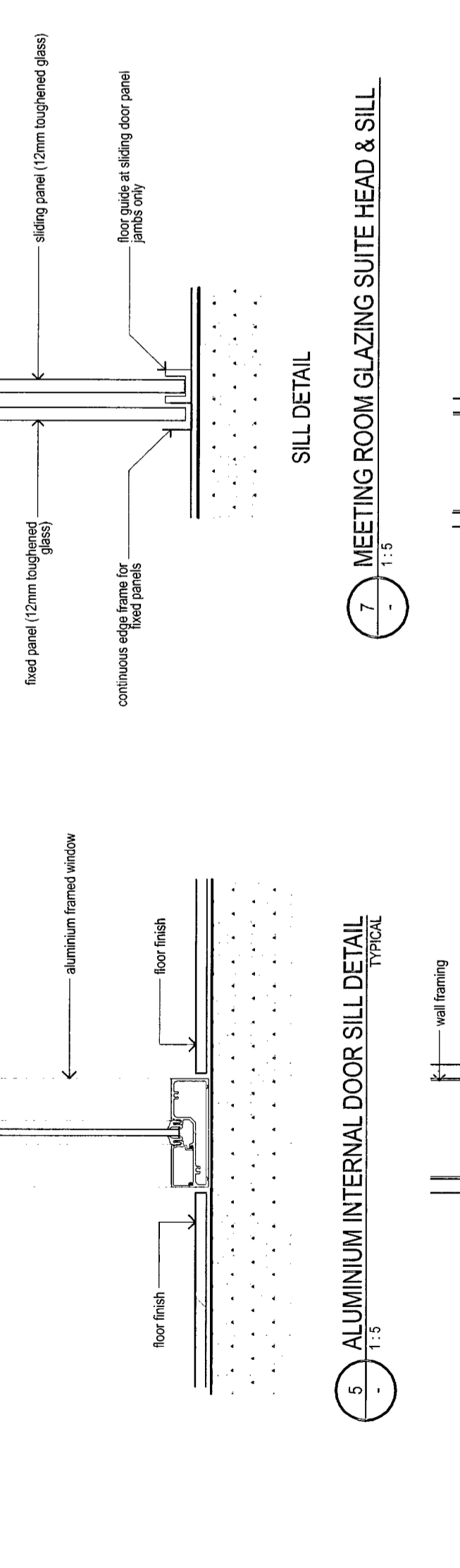
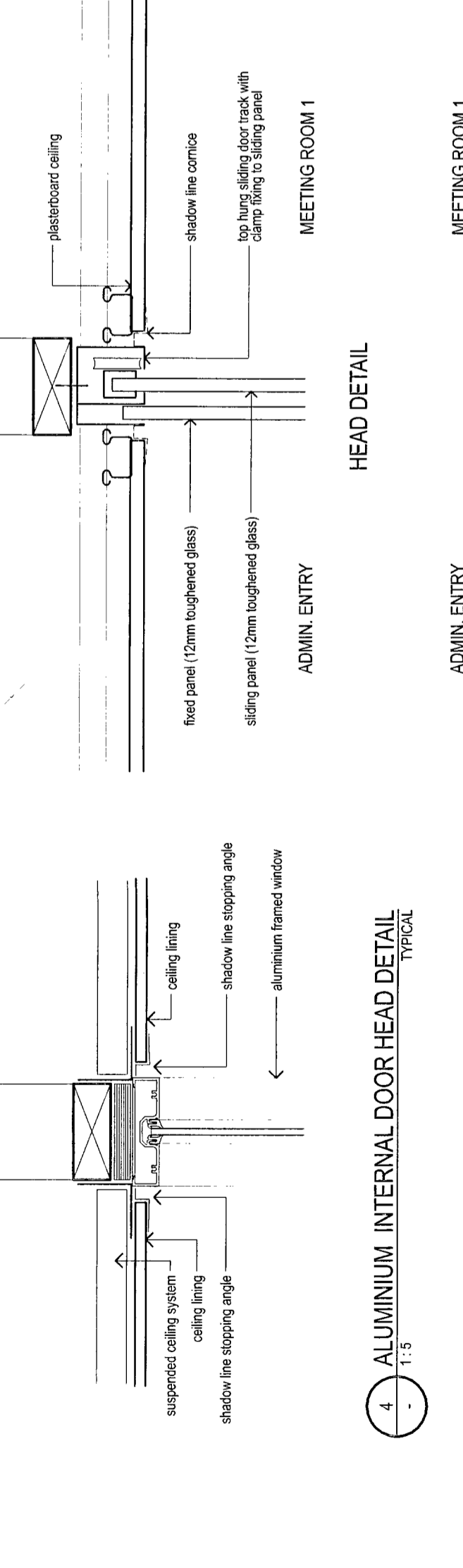
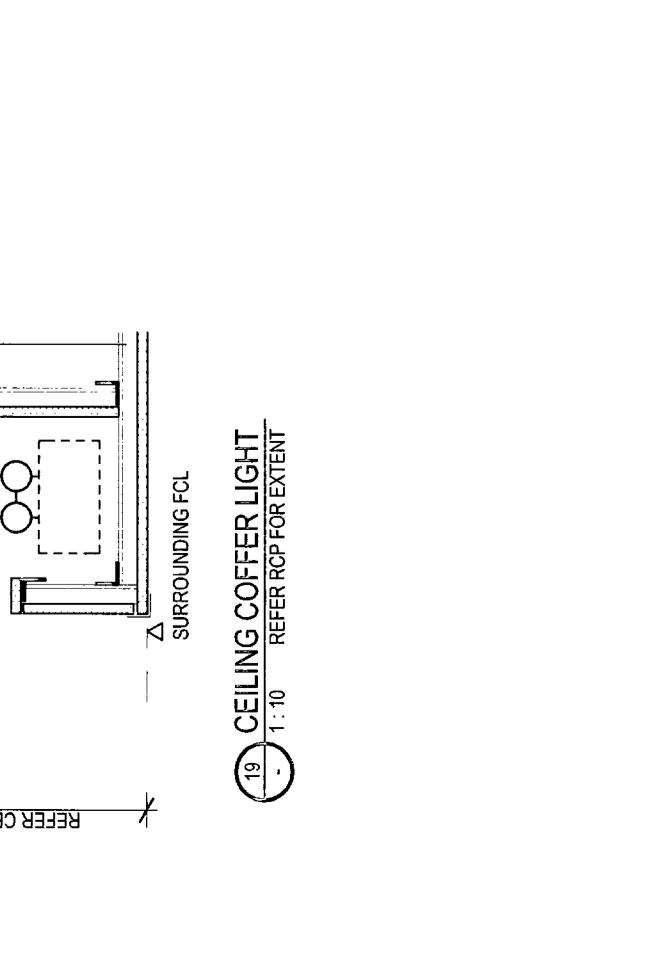
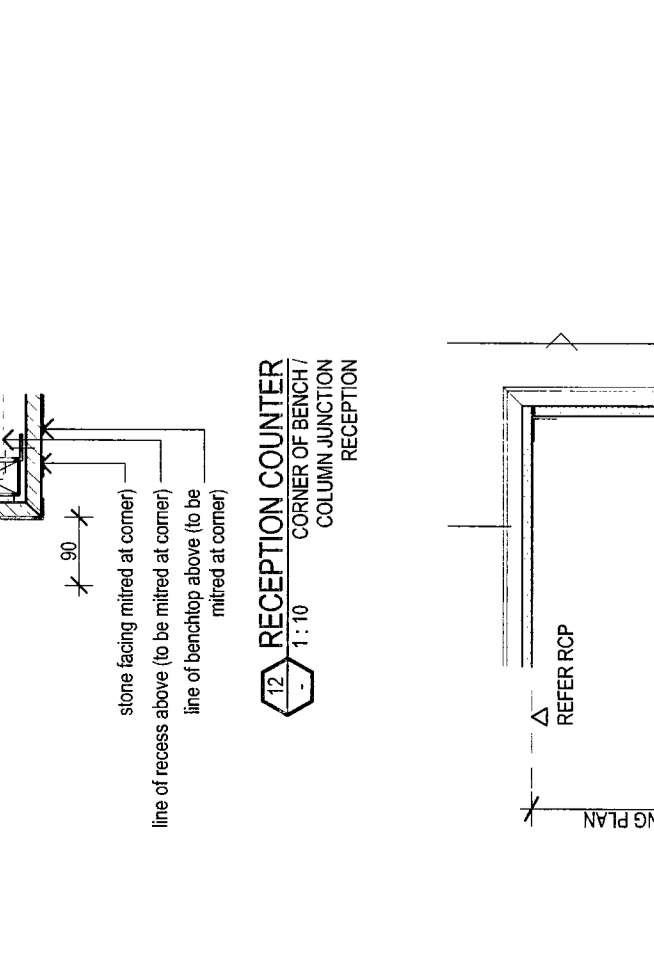
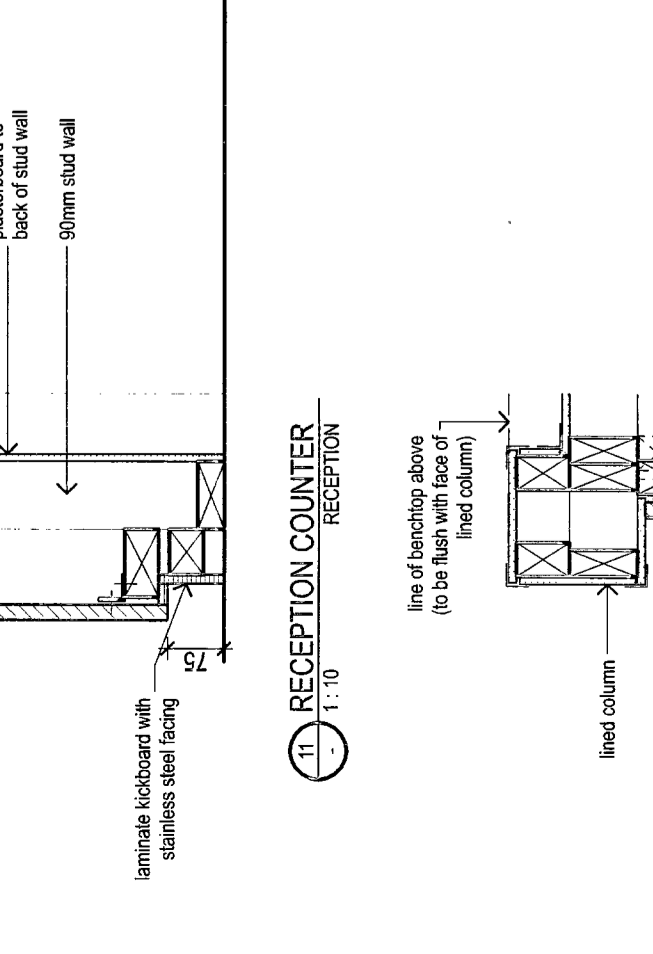
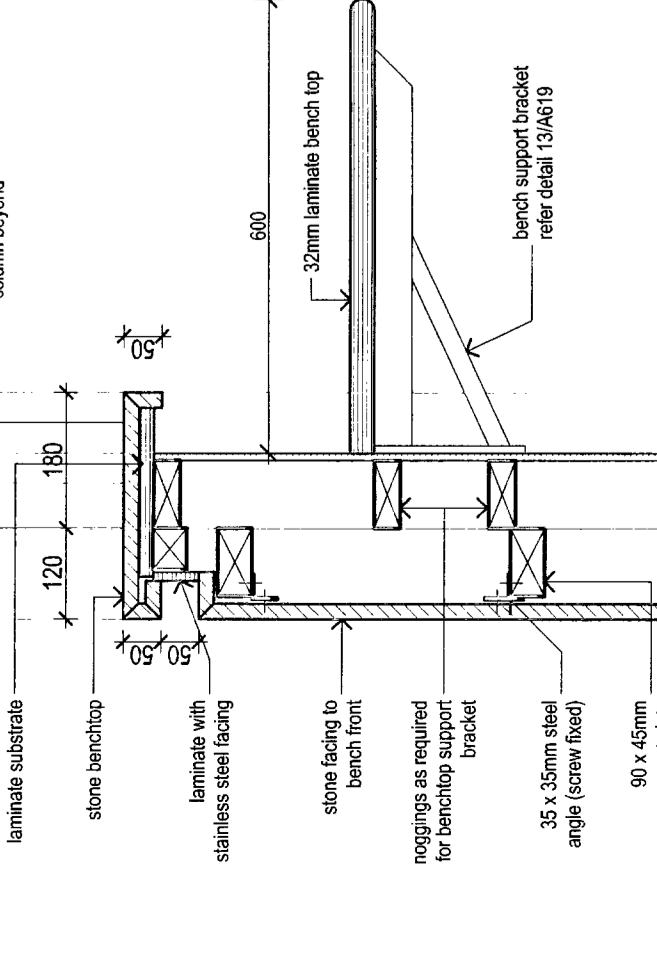
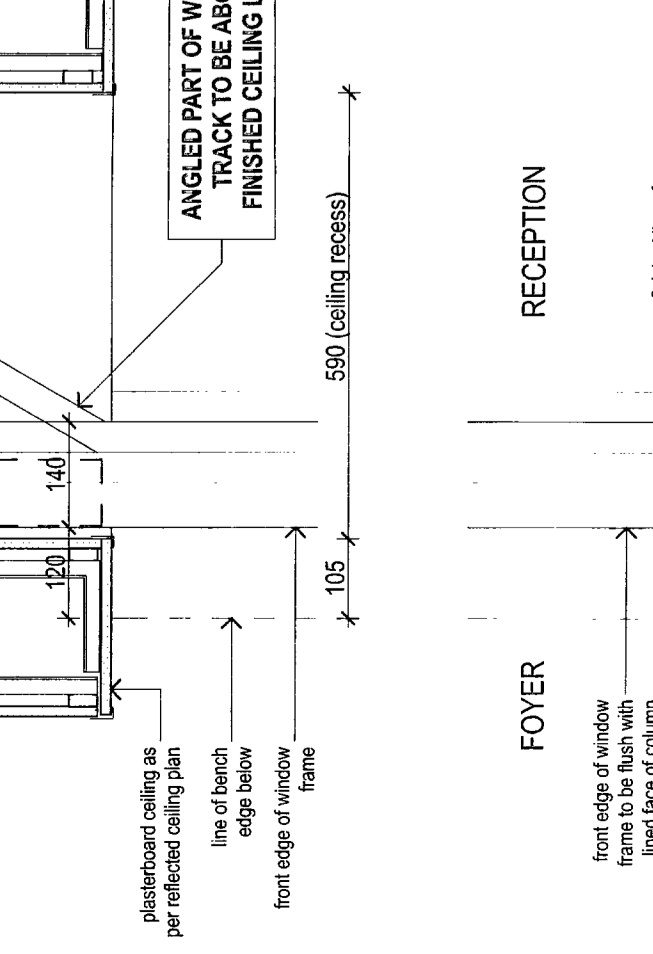
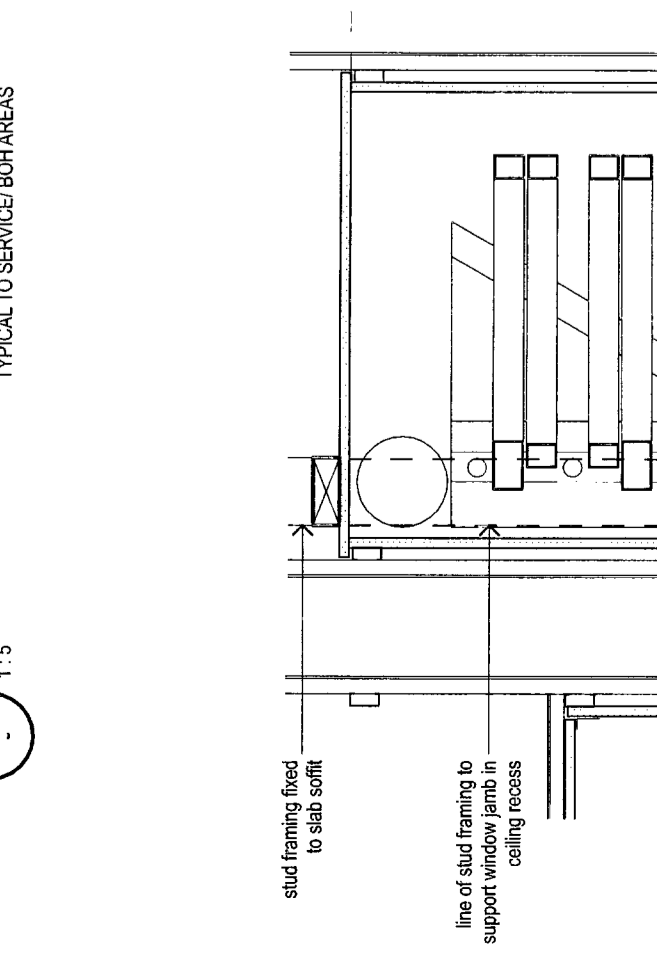
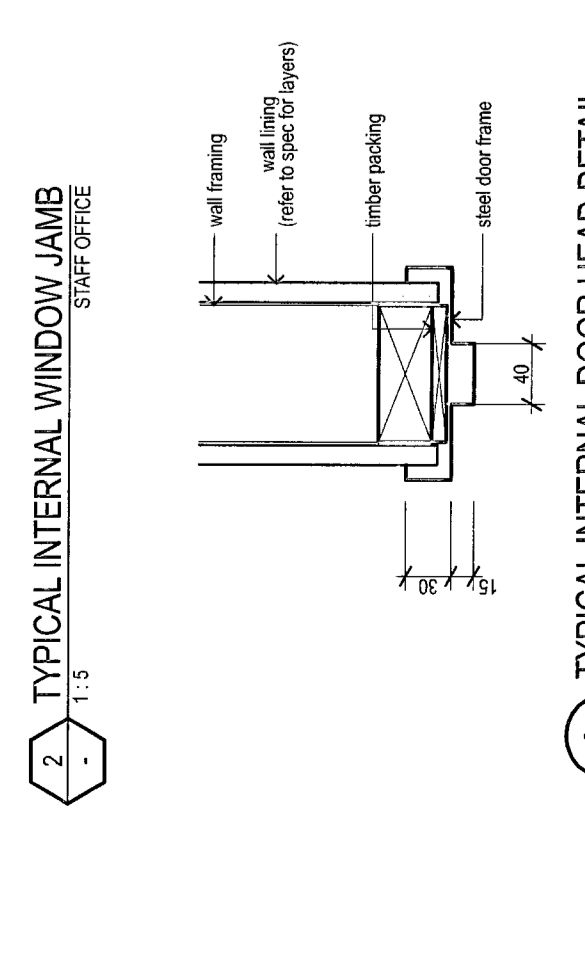
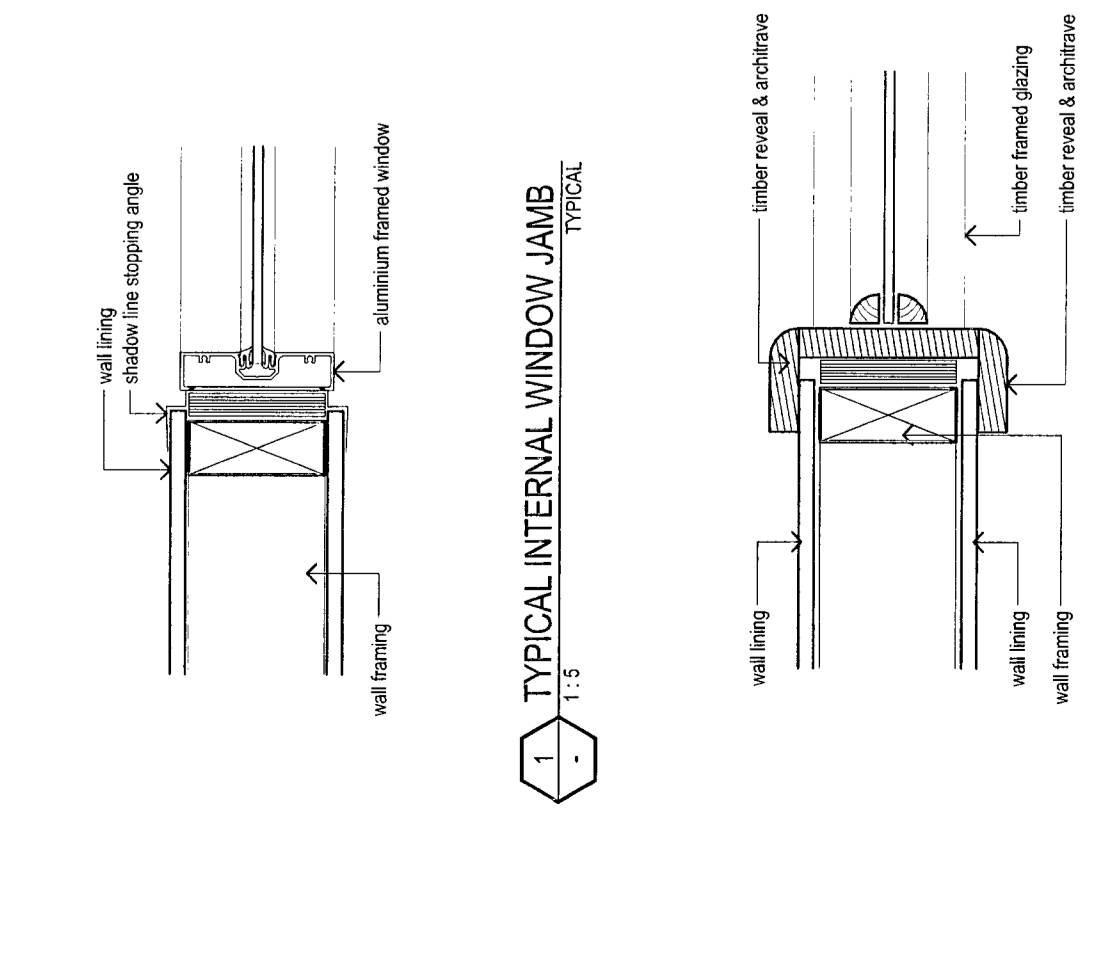
PROJECT: ANGLICAN RETIREMENT VILLAGES
 119 BED ROOF (STAGE 2A)
 ARCHITECT: Merrin & Cranston Pty Ltd
 145/147 South Bank QLD 4101
 PHONE: (07) 3844 4104
 EMAIL: mcr@mmcr.com.au
 DRAWING NO: 2024-001-001
 DATE: 07 JULY 2024

SCALE: 1:100
 SHEET NO: A191
 TOTAL SHEETS: A710

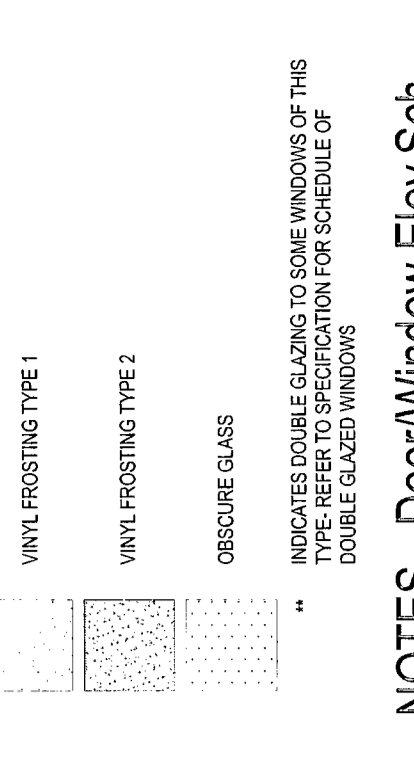
CONSTRUCTION DETAILS
 BALUSTRADE & HANDRAIL
 MISCELLANEOUS DETAILS

15/10/2023
 07 JULY 2024

INTERIOR FINISHING DETAILS

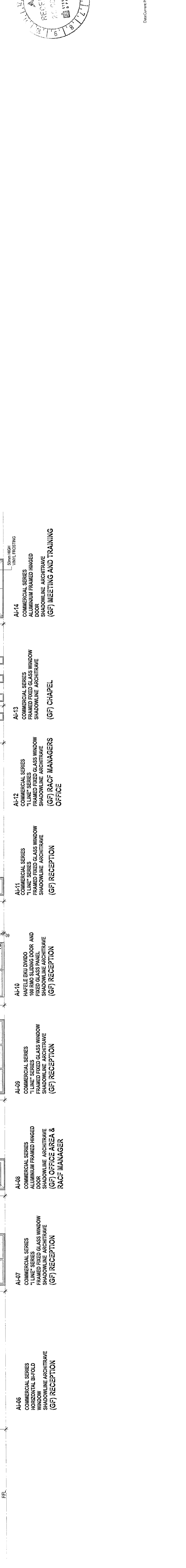
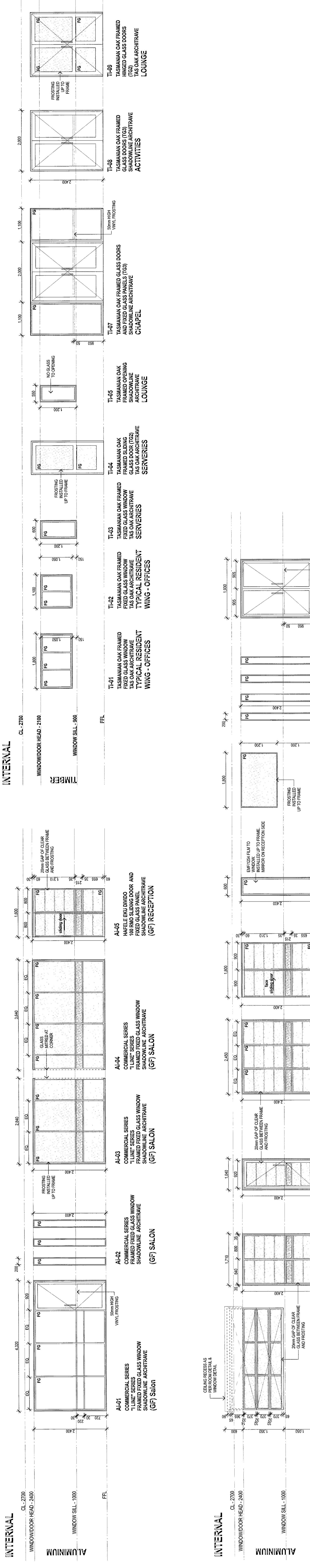
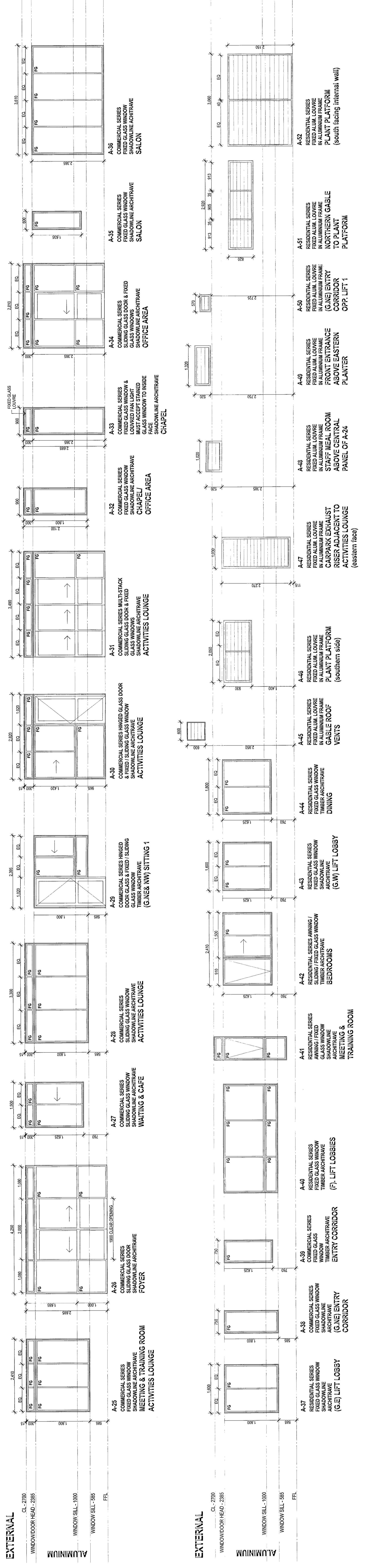
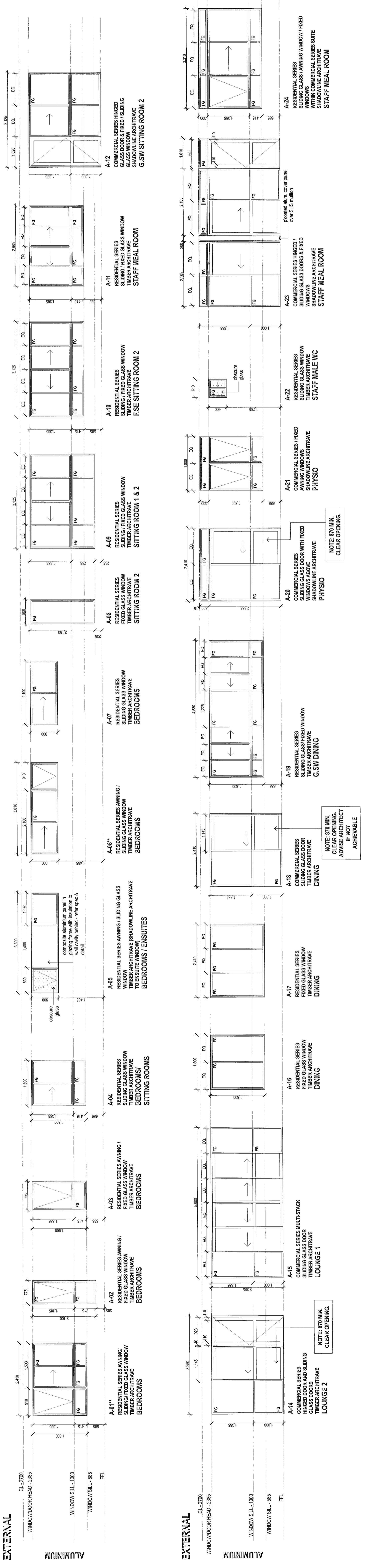


LEGEND - Door/Window Elev.Sch.



NOTES - Door/Window Elev.Sch.
1. ALL ELEMENTS ARE TO BE FINISHED WITH THE SAME FINISH AS THE SURROUNDING MATERIAL UNLESS OTHERWISE SPECIFIED.
2. FINISHES SHALL BE AS SHOWN IN THE FINISH SCHEDULE UNLESS OTHERWISE SPECIFIED.
3. FINISHES SHALL BE AS SHOWN IN THE FINISH SCHEDULE UNLESS OTHERWISE SPECIFIED.
4. DOUBLE GLAZING IS INDICATED BY HATCHING IN SHOWN ABOVE.
5. DOUBLE GLAZING IS INDICATED BY HATCHING IN SHOWN ABOVE.
6. DOUBLE GLAZING IS INDICATED BY HATCHING IN SHOWN ABOVE.

WALL FROSTING TYPE 1
WALL FROSTING TYPE 2
OBSCURE GLAZES
DOUBLE GLAZING INDICATED FOR SCHEDULE OF THIS TYPE GLAZING PRODUCTS



EXTERNAL
ALUMINUM

EXTERNAL
ALUMINUM

EXTERNAL
ALUMINUM

EXTERNAL
ALUMINUM

INTERNAL
ALUMINUM

INTERNAL
ALUMINUM

INTERNAL
ALUMINUM

TENDER
ANGELAN RETIREMENT VILLAGES
WARRIWOOD VALLEY 419 BED RACE (STAGE 2A)

Merrin & Cranston Pty Ltd Architects

15/07/2018

RECEIVED
07 APR 2018

GLAZING SCHEDULE

SCALE: 1:50

NO: A191 A301