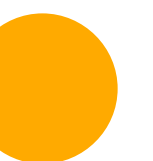




ledge house



DRAWING LIST

- 001 Cover Sheet
- 002 Drawing List,Legend, Materials,
Subdivision Envelope
- 003 Site Analysis Plan
- 004 Sun Shade Diagram- Plan
- 005 Sun Shade Diagram- Perspective
- 006 Renders
- 007 Photomontage
- 008 Subdivision Plan

- 100 Site Plan, Demo Plan,
Waste Management Plan,
Site Calculations
- 101 Level 1 Plan
- 102 Level 2 Plan
- 103 Level 3 Plan
- 104 Level Roof Plan

- 200 Elevations North/ South
- 201 Elevation East
- 202 Elevation West/ Parking Platform

- 300 Section 1 Parking Platform
Section 7/Living/Dining
- 301 Section 3/4 Courtyard/TV Room

CONSTRUCTION TABLE

Element	Description	Location
External Walls (description internal to external)	CFC cladding on batten on stud wall with R2.7 added insulation and hardwood lining	as per plans
	hardwood cladding on batten on stud wall with R2.7 added insulation and hardwood lining	as per plans
	200mm concrete	as per plans
	CFC -over 30mm foam board outside 200mm concrete	as per plans
Internal Walls	200mm concrete	as per plans
	Hardwood clad stud wall	as per plans
Floors	Concrete slab on R2.0 insulation	floors on ground; above subfloor and above storage areas
	suspended timber floor	Bed 1 Bed 2, Bed 2 robe & ensuite
	concrete slab	internal suspended elsewhere
Ceilings	underside of concrete	where under concrete
	hardwood	where under timber floor
Roof	concrete slab with R2.68 (75mm XPS) over	
Glazing all timber framed. U not to exceed the value of the units modelled. SHGC to be within 5 % of the value for the glazing modelled	Stegbar STG-051-04 W: U 2.72, SHGC 0.55	Pivot doors
	A&L A&L-025-05 A: U 3.83, SHGC 0.64	F1.11, F1.12, F1.13, F1.14, F2.1, F2.7, F2.8, F2.26
	Bradman's BRD-108-08 A: U 2.07, SHGC 0.56	Sidelight to F1.9 and F2.24
	Certainteed CTD-008-05 W: U2.0 SHGC 0.57	F1.1, F1.2, F1.3, F1.6, F1.8, F2.9, F2.13, F2.14, F2.15, F2.20, F2.21, F2.34, F2.35
Skylights	SouthernStar SSW-022-10 A: U3.71, SHGC 0.64	F1.9 sliding, F1.10, F2.22, F2.24, F2.25, F2.28
	double clear with adjustable louvres shade over	
Lighting	All recessed downlights to be LED fixtures which seal against air leakage	
Ceiling fans	1200mm diameter ceiling fan	1 in each bedroom; 2 in the living/kitchen dining/TV

LEGEND

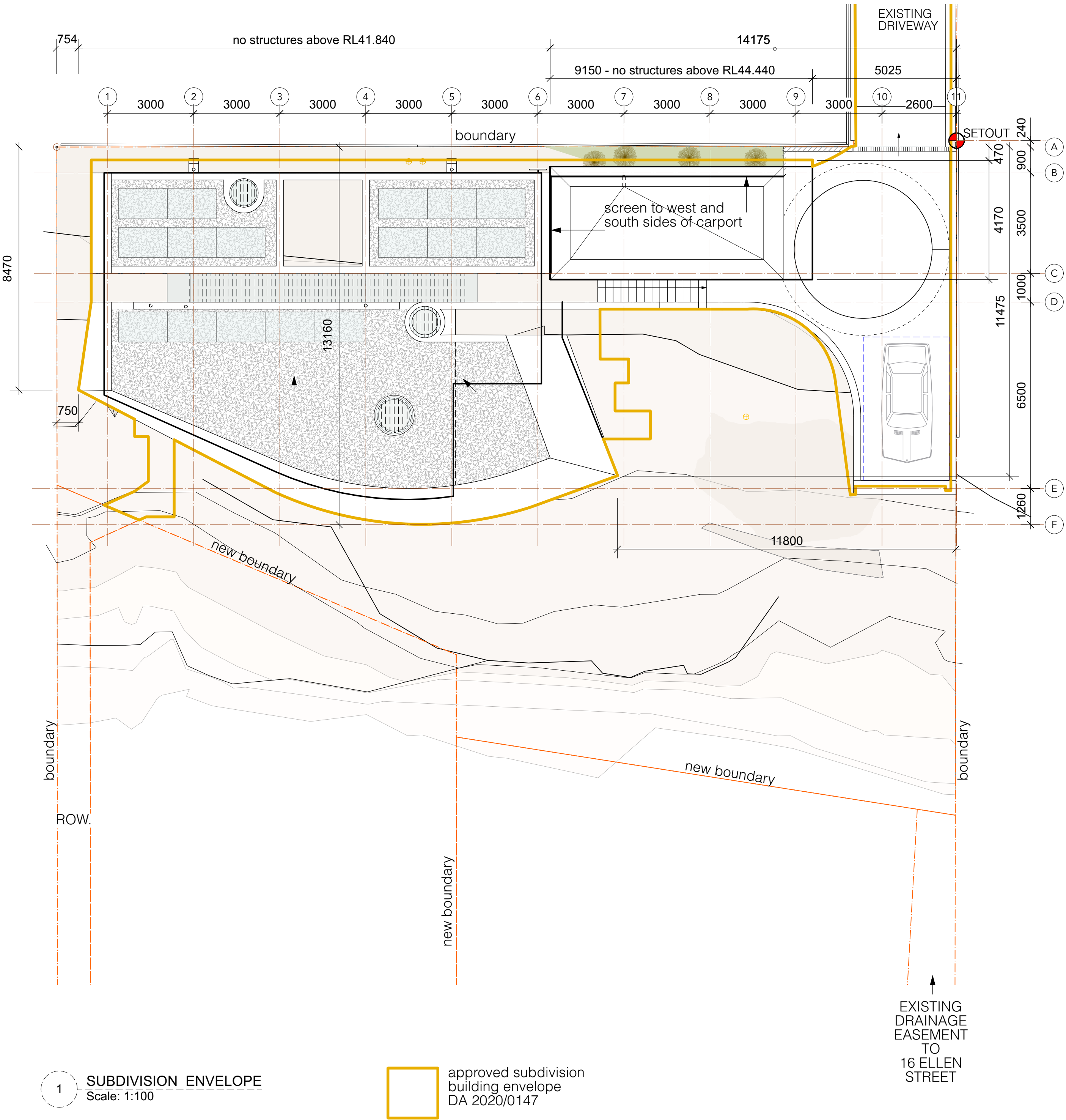
- CB Concrete Block
- CL Center-line
- CH Ceiling Height
- CN Concrete
- CVS Canvas
- ex Existing
- EJ Expansion Joint
- FCL Finished ceiling lvl.
- FFL Finished floor lvl.
- FL Flashing
- FW Floor Waste
- G-F Glazing - Fixed
- G-O Glazing - Operable
- GL Glass
- GL-T Glass translucent
- INS Insulation
- HW Hardwood
- HWU Hot Water Unit
- LB-2 Lining Board Cemintel
- MR Mirror
- MT20 Stainless Steel
- MT30 Copper
- MT40 Brass
- MT41 Brass Mesh
- MT70 Corten
- MT80 Bronze Mesh
- PF Paint Finish
- PLY Plywood
- PLY1 Formply
- RD Render
- ST Sandstone
- TB Timber
- U/S Under Side
- VOS Verify On Site
- VP Vent Pipe
- WC Toilet
- WJ Welded joint
- WT1 Stud wall/Cemintel clad
- WT2 Stud wall/HW clad

FINISHES LEGEND

- boundary
- brass
- concrete (elev.)
- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
- existing level
- new level

LEVELS

- +21.20 new level
- +21.20 existing level



1 SUBDIVISION ENVELOPE
Scale: 1:100

approved subdivision
building envelope
DA 2020/0147

PLOT DATE :24/3/22
FILE NAME: DA3 LH PLANS CURRENT v2022.vwx
DRAWING ISSUE

1 DA SET 11/3/22
NOTES

Project
ledge house
Client
Megan and Mark Aubrey
Project Address
2 Wyadra Avenue
Freshwater NSW 2096

PETER STUTCHBURY ARCHITECTURE

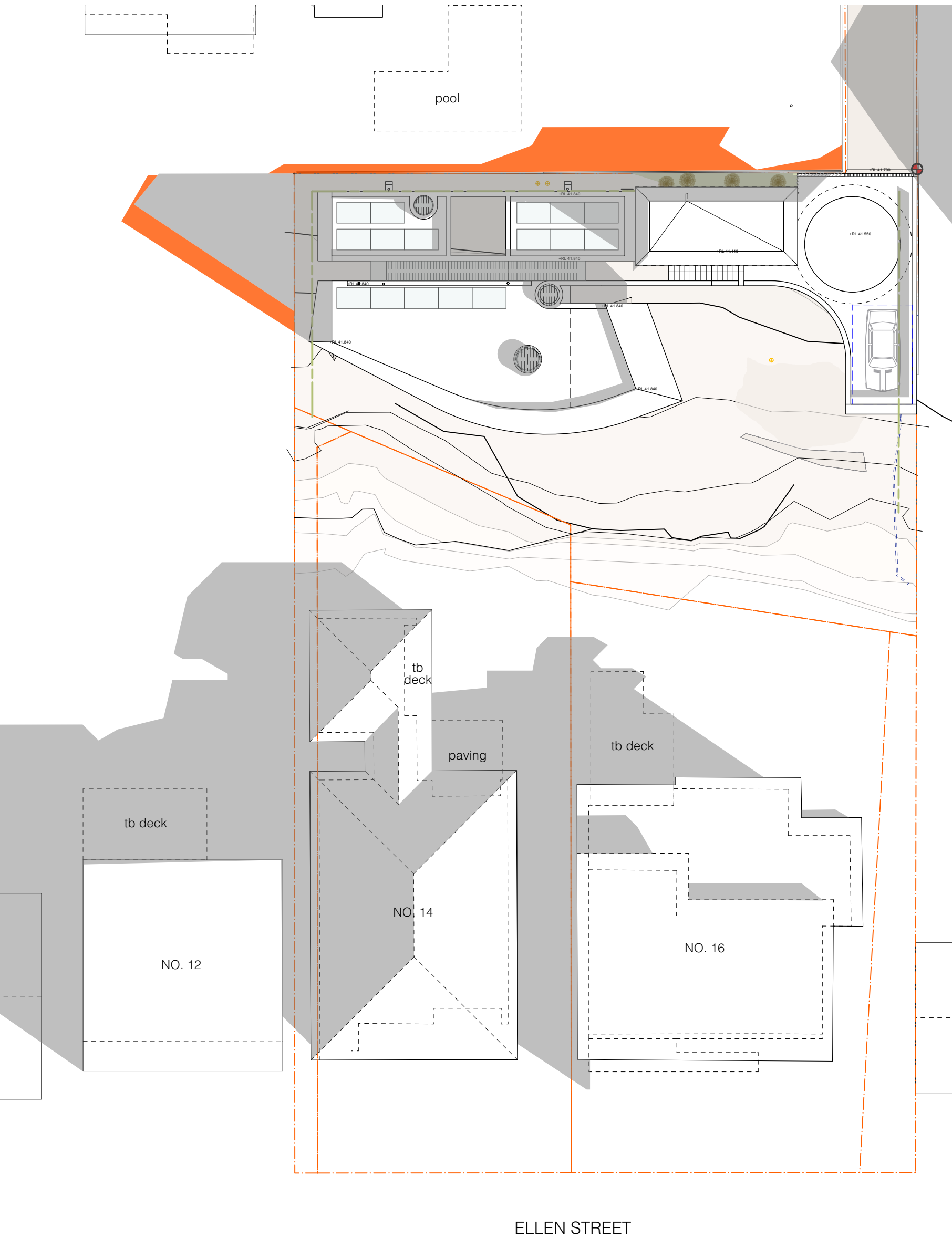
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Newport NSW 2107
p. 9979 5030
f. 9979 5367
e. admin@peterstutchbury.com.au

Drawn By: Checked By:

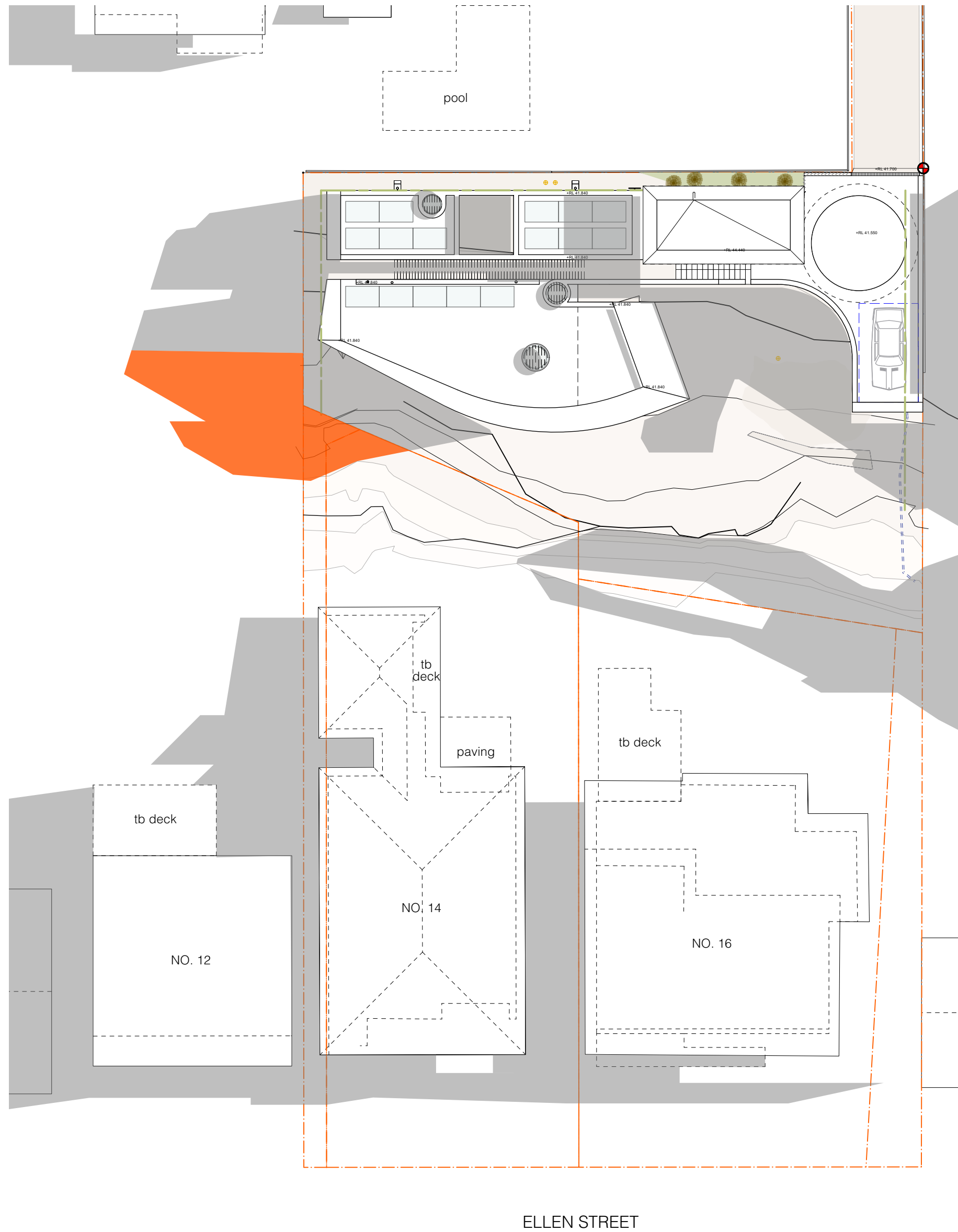
Scale: 1:100 at A1

Drawing No.
Drawing List,Legends,
Materials,Subdivision
Drawing No.
Issue
1
DA 002

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9:00AM
No additional shadows to neighbouring properties



12:00PM
No additional shadows to neighbouring properties



3:00PM
Additional shadows to roof of No. 12 and 14 Ellen Street

Warringah DCP 2011
D6 Access to Sunlight: Requirements
1. Development should avoid unreasonable overshadowing any public open space.
2. At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.

— SITE BOUNDARY
EXISTING SHADOW
PROPOSED
ADDITIONAL
SHADOWS
TO
NEIGHBOURING
PROPERTIES



Project
I e d g e h o u s e
Client
Megan and Mark Aubrey

Project Address
2 Wyadra Avenue
Freshwater NSW 2096

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Drawn By: RM Checked By: LW

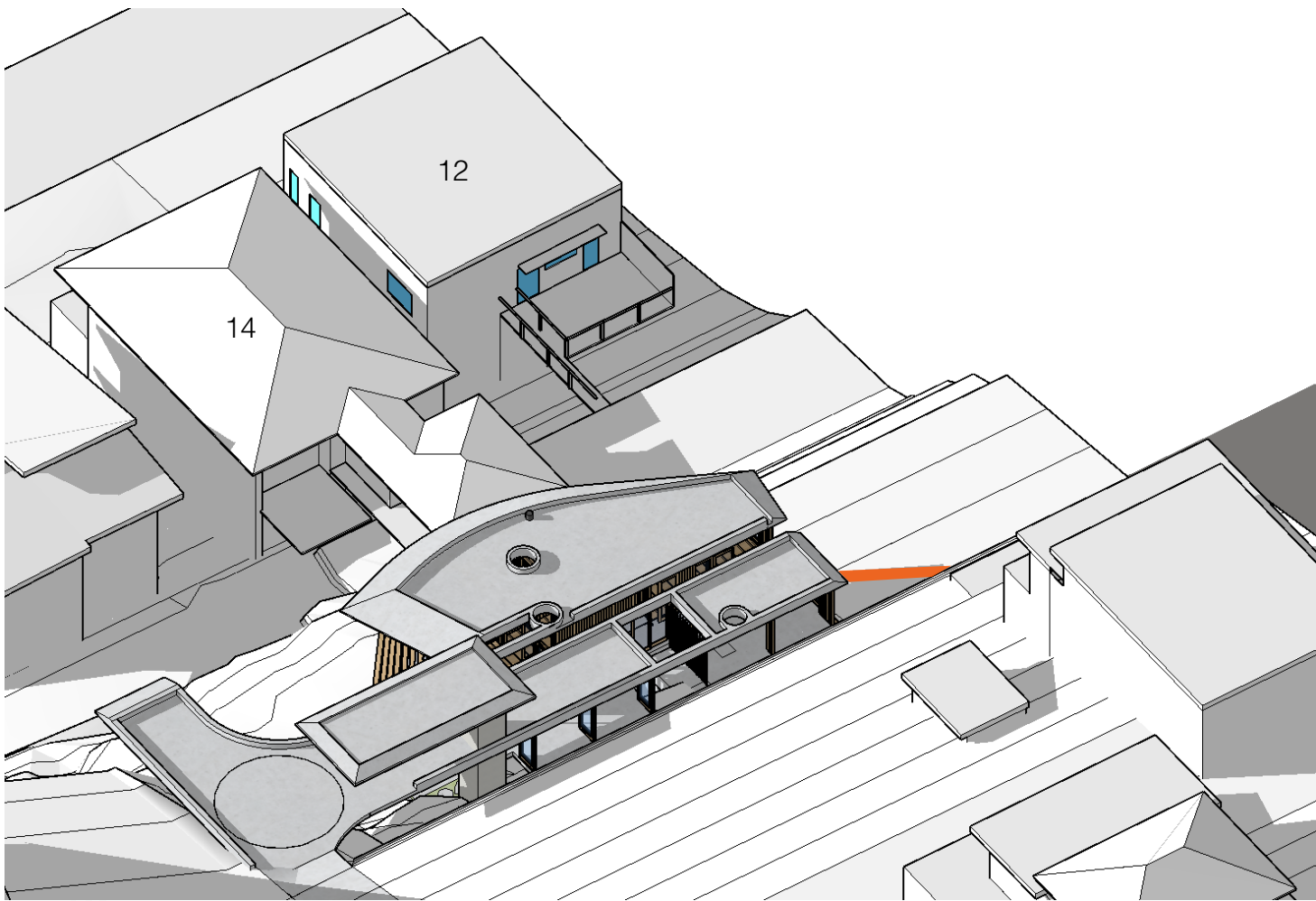
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Drawing

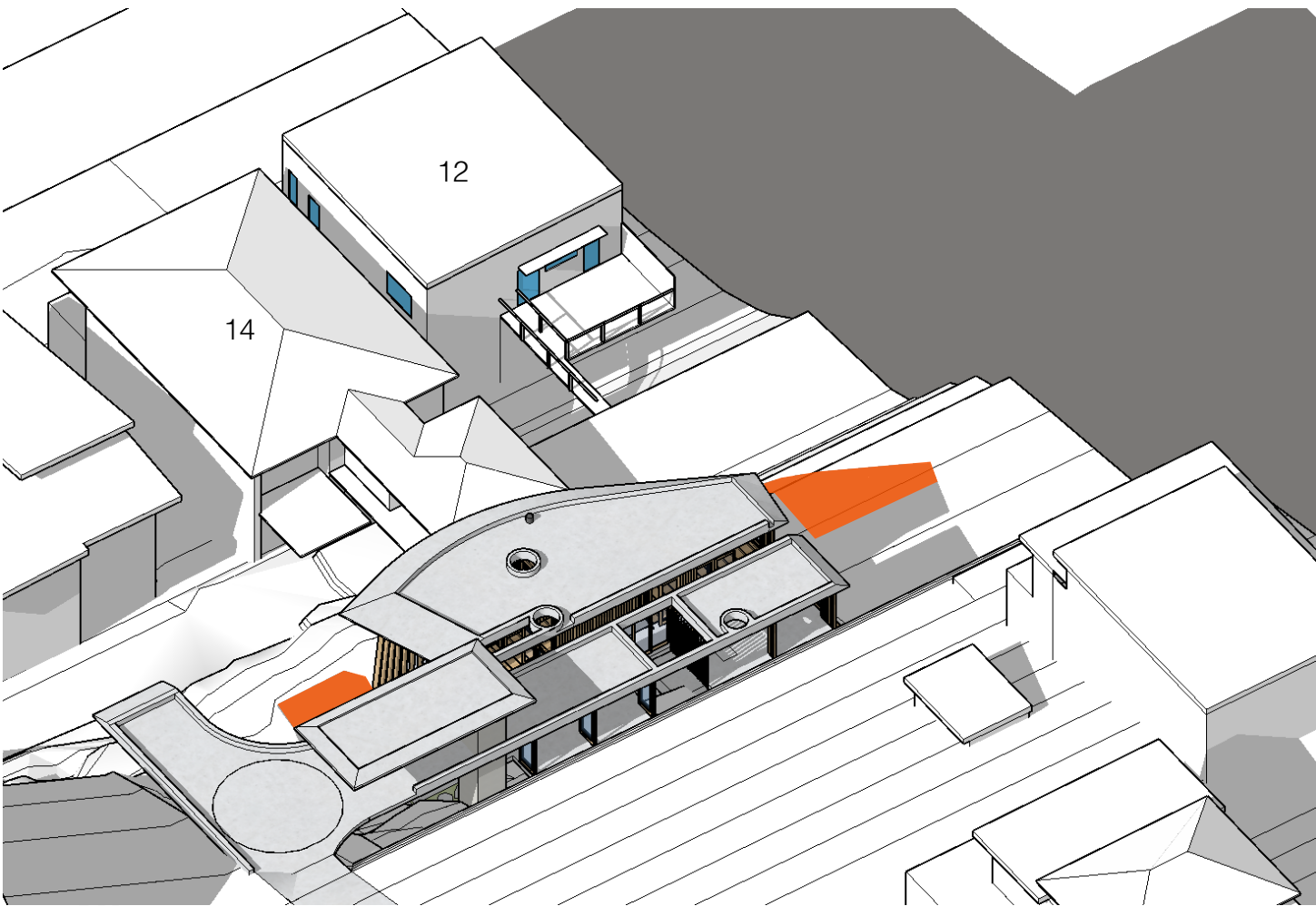
**Sun Shade Diagram-
Plan**

Issue
1
Drawing No.
DA 004

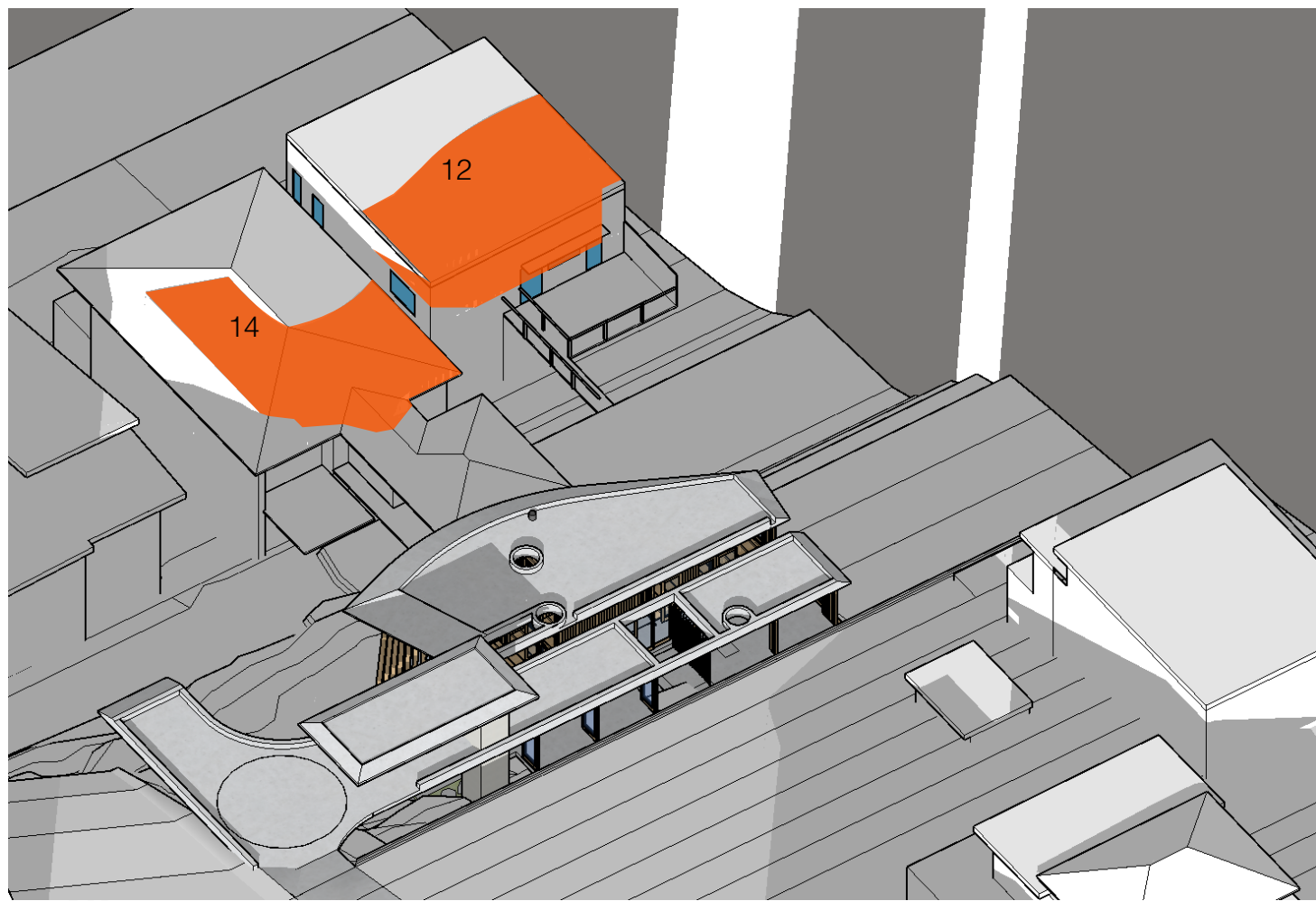
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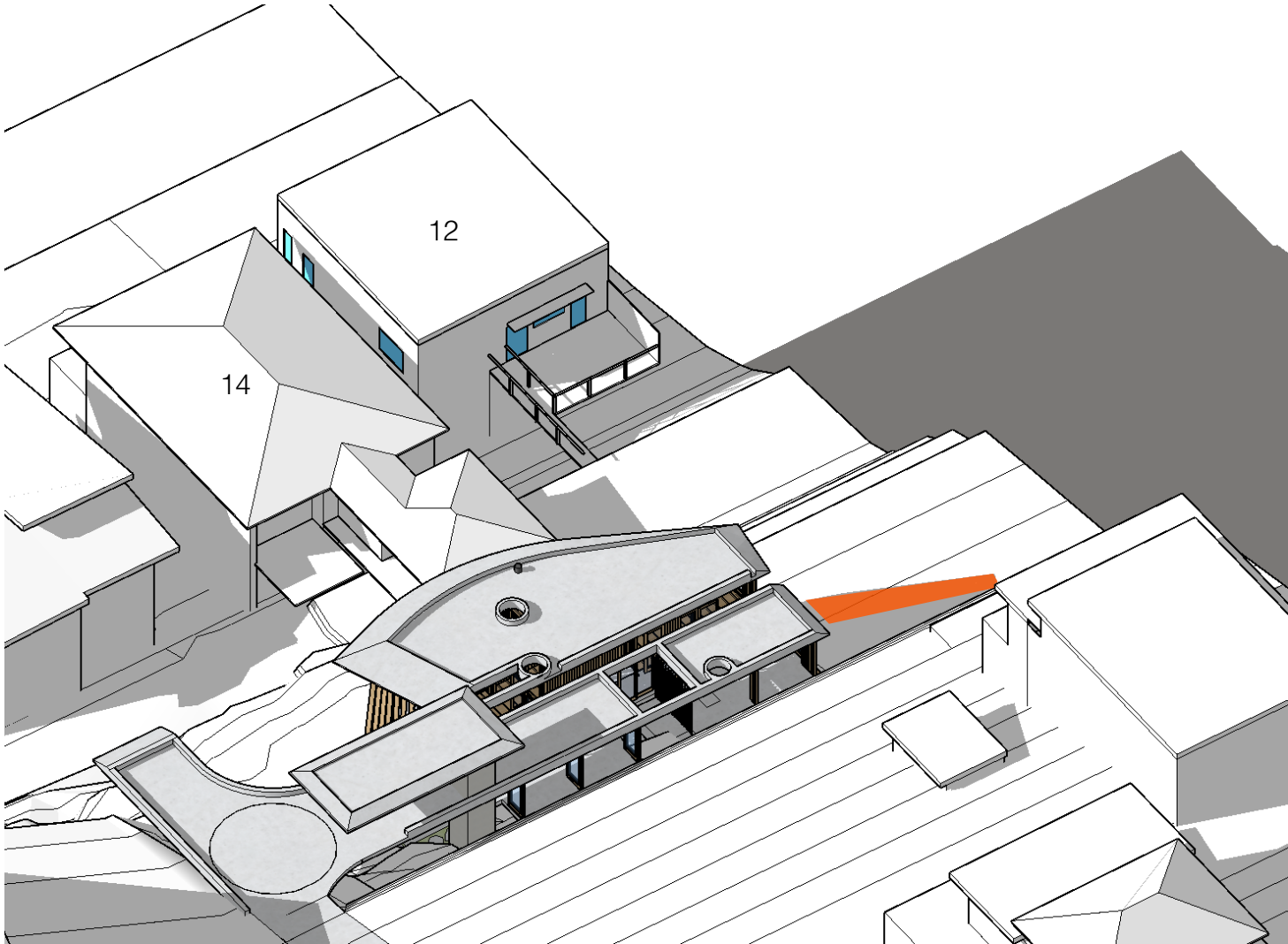
9:00AM
No additional shadows to neighbouring properties



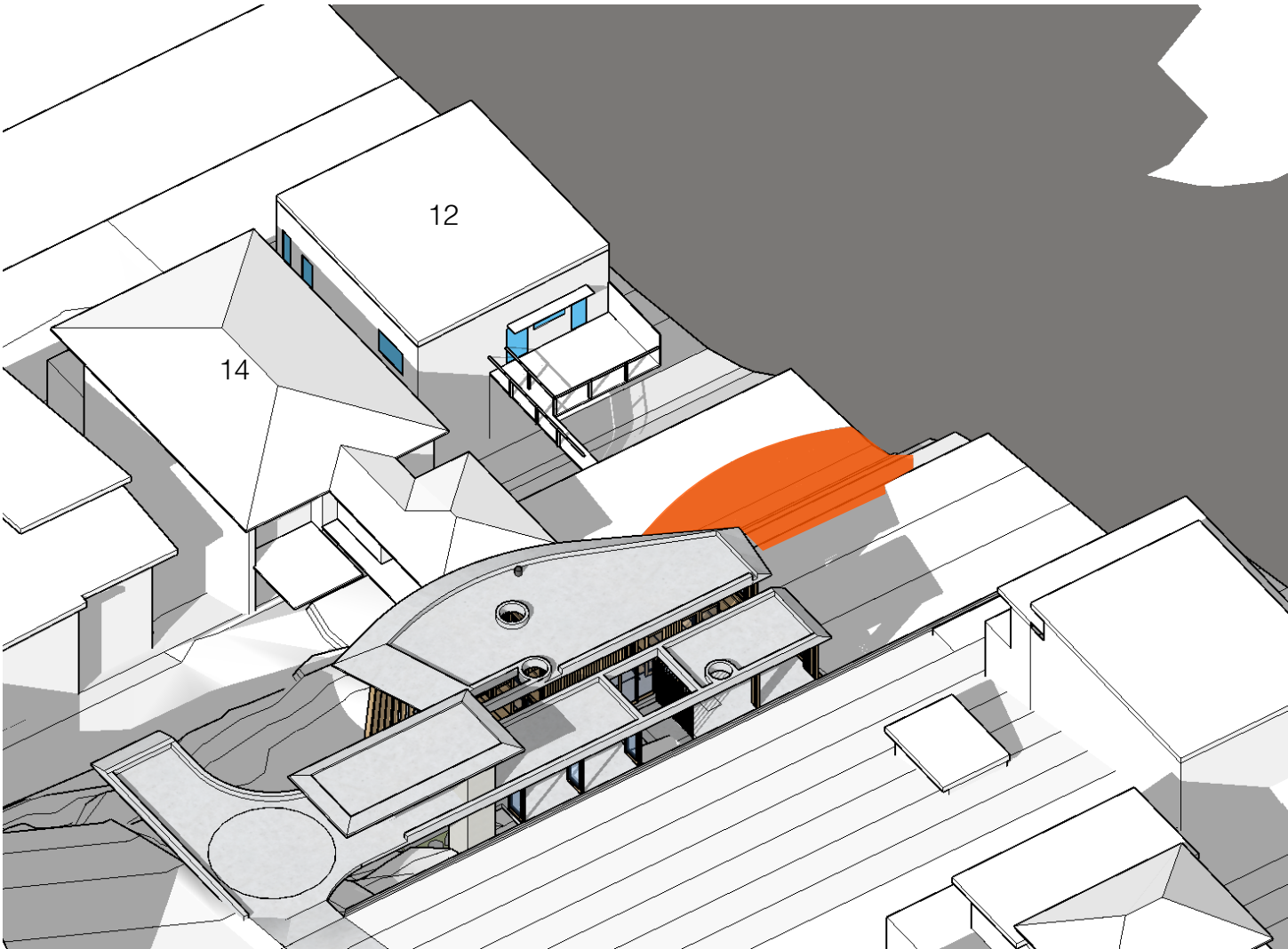
12:00PM
No additional shadows to neighbouring properties



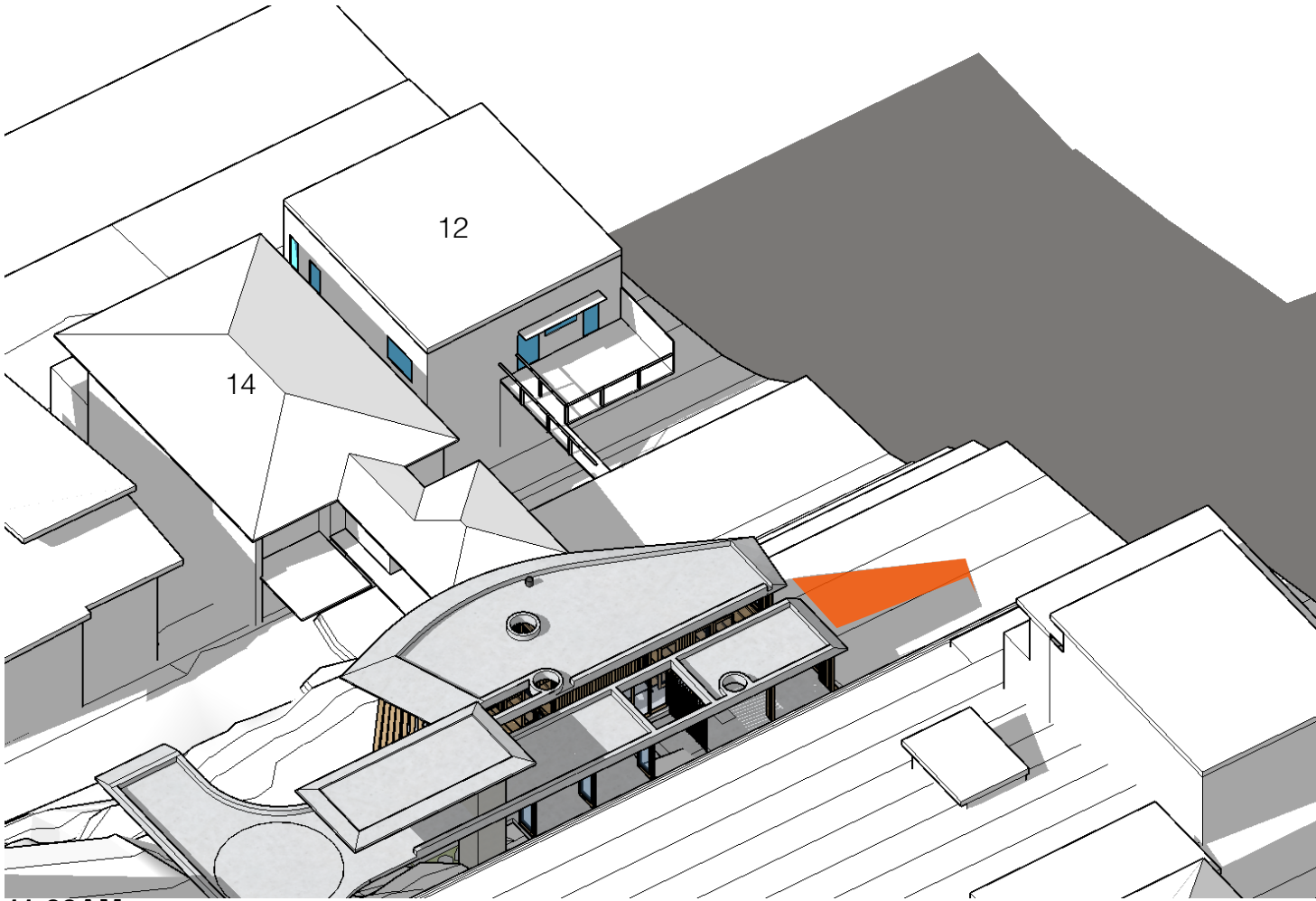
3:00PM
Additional shadows:
Roof of No. 14 Ellen Street
Roof of No. 12 Ellen Street



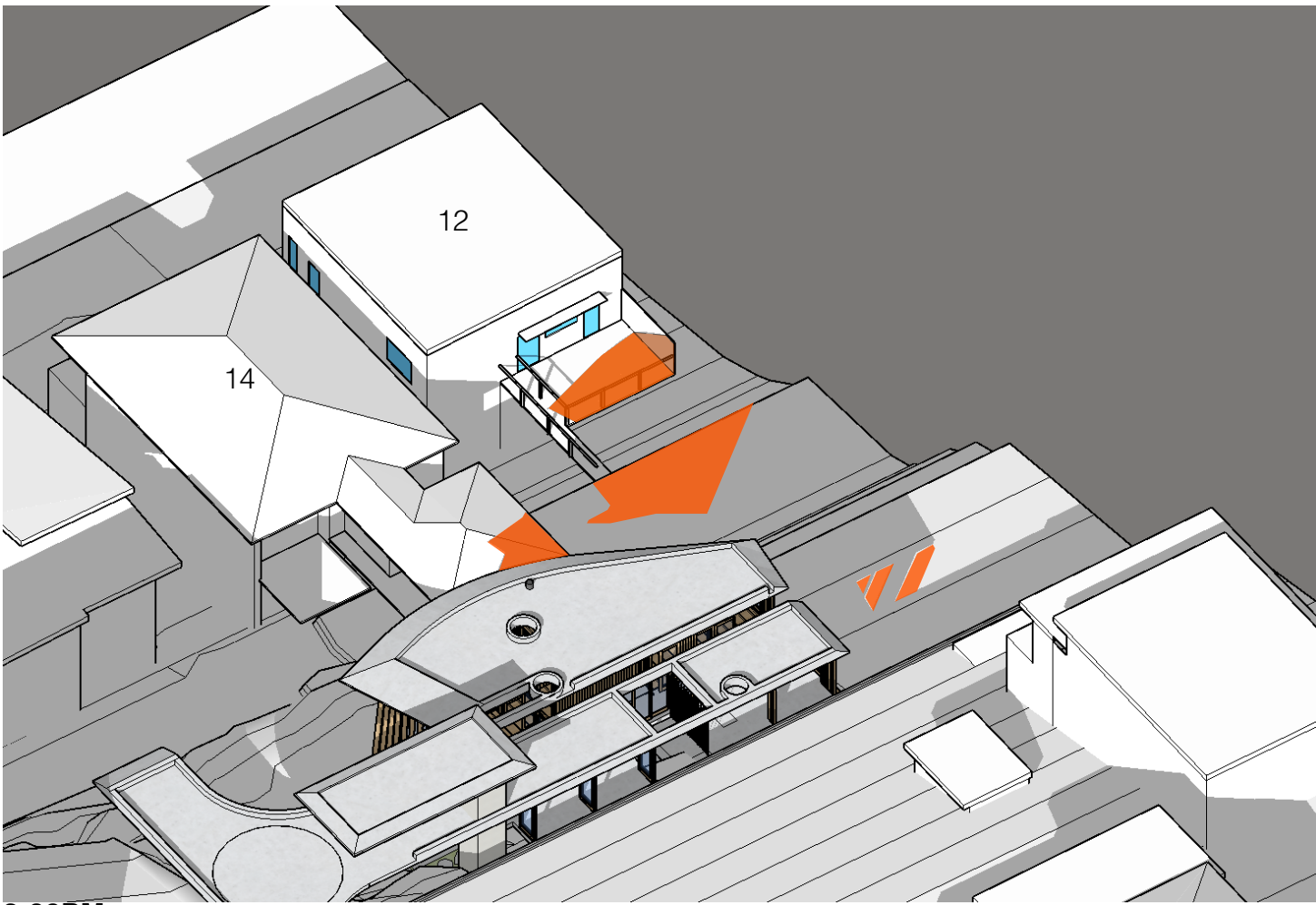
10:00AM
No additional shadows to neighbouring properties



1:00PM
No additional shadows to neighbouring properties
No. 12 Ellen Street rear deck has over 50% access to sunlight from 10:30AM to 1:50PM (3 hours 20 minutes)



11:00AM
No additional shadows to neighbouring properties



2:00PM
Additional shadows:
Rear deck of No. 14 Ellen Street
Rear deck of No. 12 Ellen Street, additional shadows for 50 minutes from 2:00PM to 2:50PM

Warringah DCP 2011
D6 Access to Sunlight: Requirements
1. Development should avoid unreasonable overshadowing any public open space.
2. At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.

SHADOW SUMMARY
No additional shadows to neighbouring properties
No. 12 Ellen Street rear deck has over 50% access to sunlight from 10:30AM to 1:50PM (3 hours 20 minutes)
No.16 - no change

EXISTING SHADOW
PROPOSED
ADDITIONAL
SHADOWS
TO
NEIGHBOURING
PROPERTIES

Project
I e d g e h o u s e
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Megan and Mark Aubrey
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Drawn By: RM Checked By: LW
Scale: at A1

Drawing
**Sun Shade Diagram-
Perspective**
Drawing No.
DA 005
Issue
1

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1 View Facing Curl Curl Beach (East)



2 North Eastern Rock View



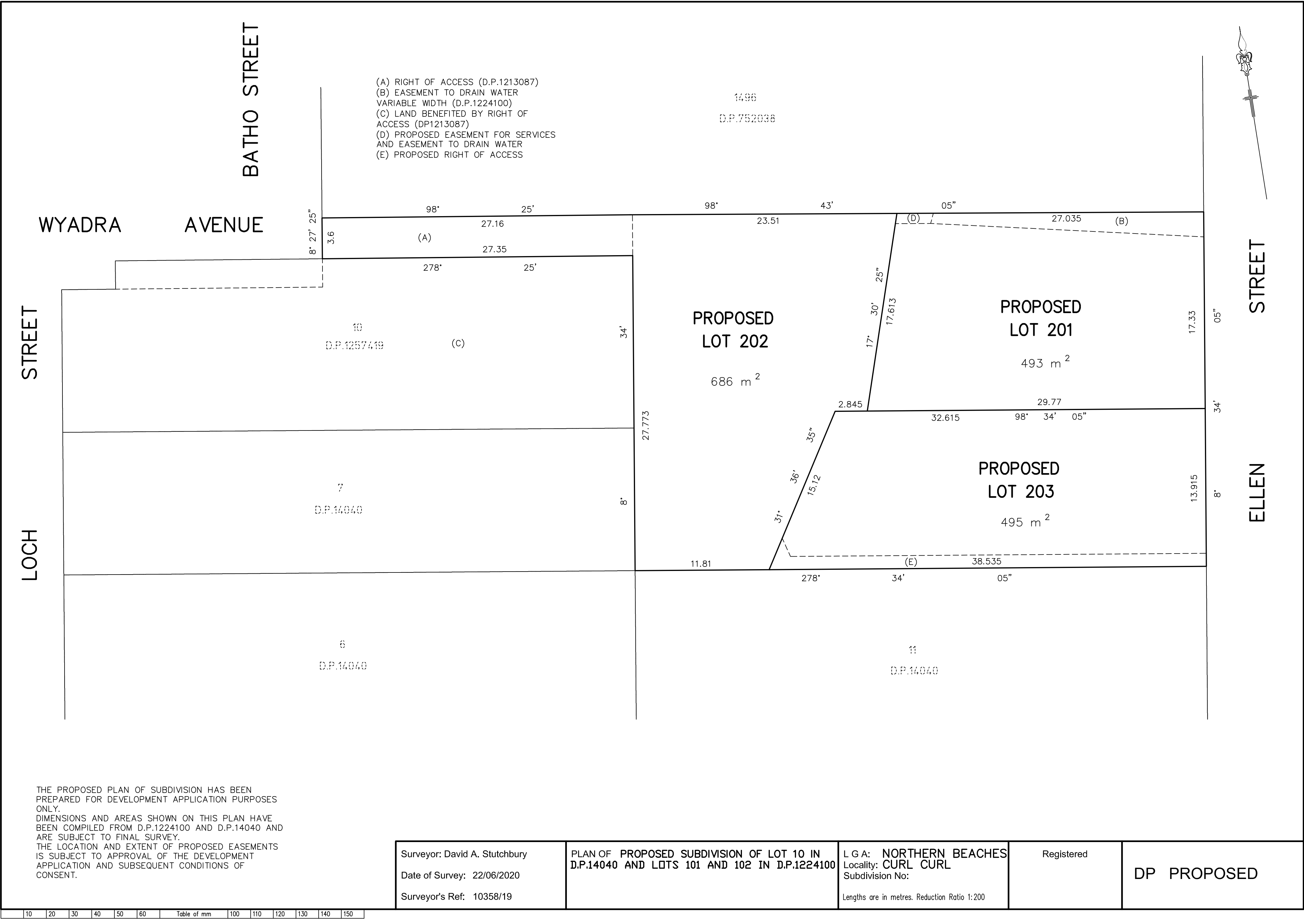
2 WYADRA AVENUE

NOTES

PLAN FORM 2 (A2)

WARNING: CREASING OR FOLDING WILL LEAD TO REJECTION

Sheet 1 of 1 sheets



1 Subdivision Plan
Scale: 1:200

PLOT DATE :24/3/22
FILE NAME: DA3 LH PLANS CURRENT v2022.vwx

DRAWING ISSUE

1 DA SET

11/9/22

NOTES

Project
I e d g e h o u s e
Client
Megan and Mark Aubrey

Project Address
2 Wyadra Avenue
Freshwater NSW 2096

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Drawn By:

Checked By:

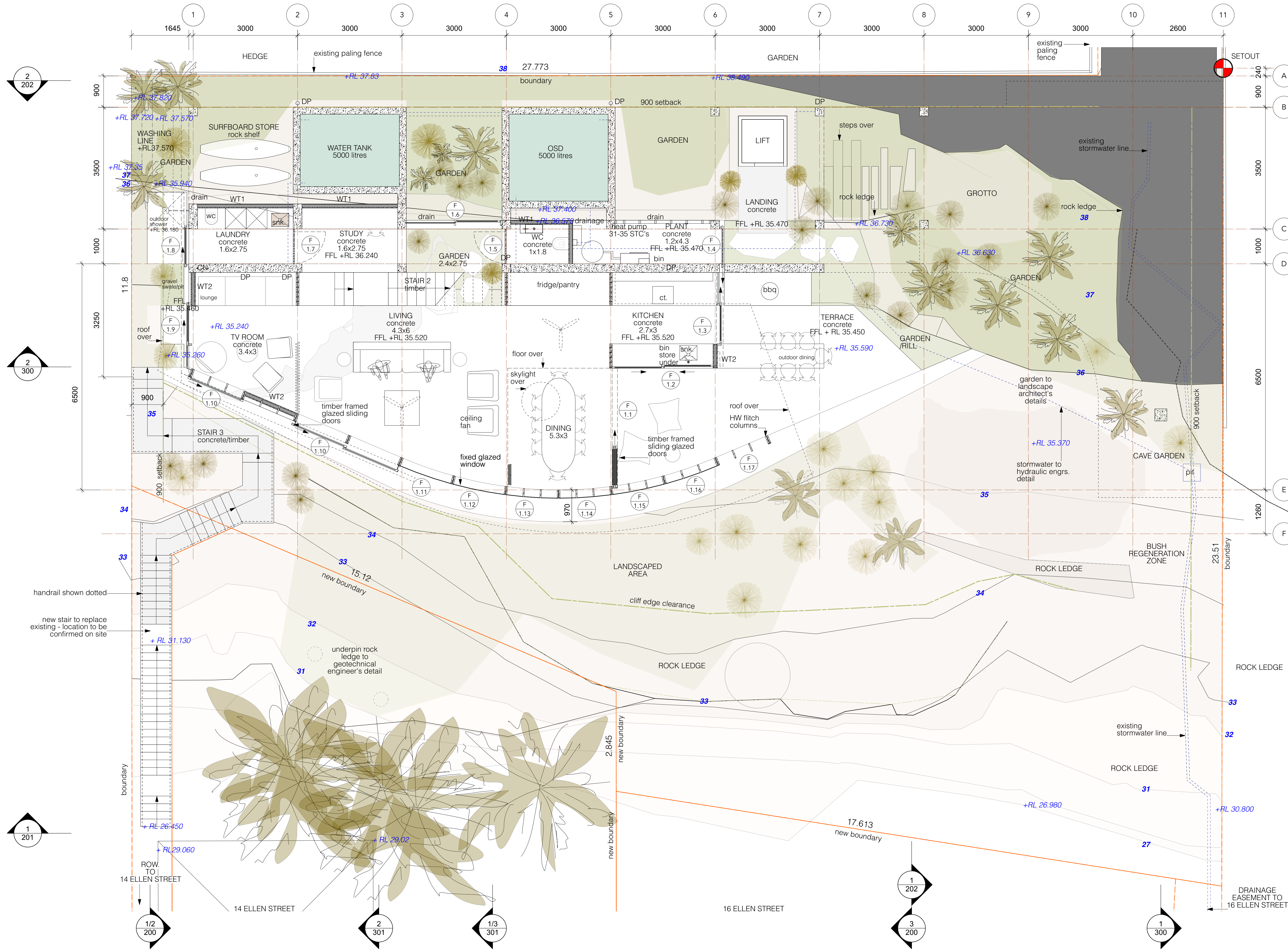
Scale: 1:100 at A1

Drawing
Subdivision Plan

Issue
1

Drawing No.
DA 008

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2
202

2
300

1
201

1/2
200

2
301

1/3
301

1
202

3
200

1
300

PLOT DATE: 24/3/22
FILE NAME: DA3 LH PLANS CURRENT v2022.vwx
DRAWING ISSUE

1 DA SET 15/9/22

NOTES

FINISHES LEGEND

- boundary
- brass
- concrete (elev.)
- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
- existing level
- +RL36.730 new level

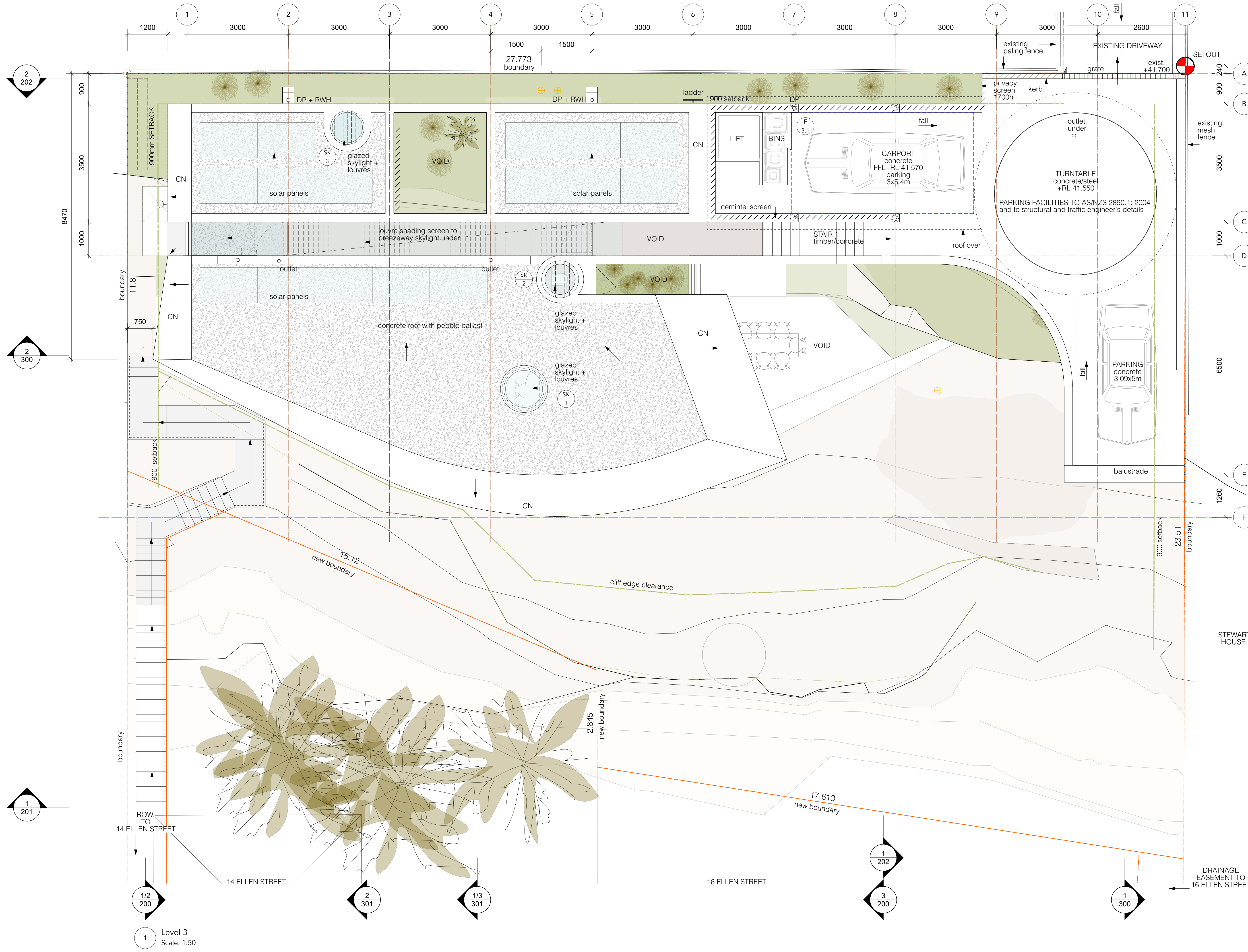
LEGEND

CB	Concrete Block
CL	Center-line
CH	Ceiling Height
CN	Concrete
CVS	Canvas
ex	Existing
EJ	Expansion Joint
FCL	Finished ceiling lvl.
FFL	Finished floor lvl.
FL	Flashing
FW	Floor Waste
G-F	Glazing - Fixed
G-O	Glazing - Operable
GL	Glass
GL-T	Glass translucent
INS	Insulation
HW	Hardwood
HWU	Hot Water Unit
LB-2	Lining Board Cemintel
MR	Mirror
MT20	Stainless Steel
MT30	Copper
MT40	Brass
MT41	Brass Mesh
MT70	Corten
MT80	Bronze Mesh
PF	Paint Finish
PLY	Plywood
PLY1	Formply
RD	Render
ST	Sandstone
TB	Timber
U/S	Under Side
VOS	Verify On Site
VP	Vent Pipe
WC	Toilet
WJ	Welded joint
WT1	Stud wall/Cemintel clad
WT2	Stud wall/HW clad

Project
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Drawing No.
DA 101



PLOT DATE: 24/3/22 FILE NAME: DA3 LH PLANS CURRENT v2022.vwx																																																																															
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1 DA SET	15/3/22																																																																														
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<h2 style="margin: 0;">FINISHES LEGEND</h2> <ul style="list-style-type: none"> --- boundary brass concrete (elev.) concrete block concrete topping (section) concrete (section) copper demolished existing works glass glass translucent gravel ground existing ground fill hardwood (section) sand sandstone (section) structural steel - section --- setbacks/site constraints <p style="margin-top: 10px;"> existing level +RL36.730 new level </p>																																																																															
<h2 style="margin: 0;">LEGEND</h2> <table style="width: 100%; border-collapse: collapse;"> <tbody> <tr><td>CB</td><td>Concrete Block</td></tr> <tr><td>CL</td><td>Center-line</td></tr> <tr><td>CH</td><td>Ceiling Height</td></tr> <tr><td>CN</td><td>Concrete</td></tr> <tr><td>CVS</td><td>Canvas</td></tr> <tr><td>ex</td><td>Existing</td></tr> <tr><td>EJ</td><td>Expansion Joint</td></tr> <tr><td>FCL</td><td>Finished ceiling lvl.</td></tr> <tr><td>FFL</td><td>Finished floor lvl.</td></tr> <tr><td>FL</td><td>Flashing</td></tr> <tr><td>FW</td><td>Floor Waste</td></tr> <tr><td>G-F</td><td>Glazing - Fixed</td></tr> <tr><td>G-O</td><td>Glazing - Operable</td></tr> <tr><td>GL</td><td>Glass</td></tr> <tr><td>GL-T</td><td>Glass Translucent</td></tr> <tr><td>INS</td><td>Insulation</td></tr> <tr><td>HW</td><td>Hardwood</td></tr> <tr><td>HWU</td><td>Hot Water Unit</td></tr> <tr><td>LB-2</td><td>Lining Board Cementel</td></tr> <tr><td>MR</td><td>Mirror</td></tr> <tr><td>MT20</td><td>Stainless Steel</td></tr> <tr><td>MT30</td><td>Copper</td></tr> <tr><td>MT40</td><td>Brass</td></tr> <tr><td>MT41</td><td>Brass Mesh</td></tr> <tr><td>MT70</td><td>Corten</td></tr> <tr><td>MT80</td><td>Bronze Mesh</td></tr> <tr><td>PF</td><td>Paint Finish</td></tr> <tr><td>PLY</td><td>Plywood</td></tr> <tr><td>PLY1</td><td>Formply</td></tr> <tr><td>RD</td><td>Render</td></tr> <tr><td>ST</td><td>Sandstone</td></tr> <tr><td>TB</td><td>Timber</td></tr> <tr><td>U/S</td><td>Under Side</td></tr> <tr><td>VOS</td><td>Verify On Site</td></tr> <tr><td>VP</td><td>Vent Pipe</td></tr> <tr><td>WC</td><td>Toilet</td></tr> <tr><td>WJ</td><td>Welded joint</td></tr> <tr><td>WT1</td><td>Stud wall/Cementel clad</td></tr> <tr><td>WT2</td><td>Stud wall/HW clad</td></tr> </tbody> </table> <div style="text-align: right; margin-top: 20px;"> </div>		CB	Concrete Block	CL	Center-line	CH	Ceiling Height	CN	Concrete	CVS	Canvas	ex	Existing	EJ	Expansion Joint	FCL	Finished ceiling lvl.	FFL	Finished floor lvl.	FL	Flashing	FW	Floor Waste	G-F	Glazing - Fixed	G-O	Glazing - Operable	GL	Glass	GL-T	Glass Translucent	INS	Insulation	HW	Hardwood	HWU	Hot Water Unit	LB-2	Lining Board Cementel	MR	Mirror	MT20	Stainless Steel	MT30	Copper	MT40	Brass	MT41	Brass Mesh	MT70	Corten	MT80	Bronze Mesh	PF	Paint Finish	PLY	Plywood	PLY1	Formply	RD	Render	ST	Sandstone	TB	Timber	U/S	Under Side	VOS	Verify On Site	VP	Vent Pipe	WC	Toilet	WJ	Welded joint	WT1	Stud wall/Cementel clad	WT2	Stud wall/HW clad
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<h2 style="margin: 0;">PETER STUTCHBURY ARCHITECTURE</h2> <p>5 / 364 Barrenjoey Road Newport NSW 2107 p. 9979 5030 f. 9979 5367 e. admin@peterstutchbury.com.au</p>																																																																															
Drawn By:	Checked By:																																																																														
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LEVEL 2 Plan																																																																															
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PLOT DATE: 24/3/22
FILE NAME: DA3 LH PLANS CURRENT v2022.vwx
DRAWING ISSUE

1 DA SET 15/3/22

NOTES

FINISHES LEGEND

- boundary
- brass
- concrete (elev.)
- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
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LEGEND

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1 201 1 202 3 200 1 300 2 301 1/2 200 1/3 301

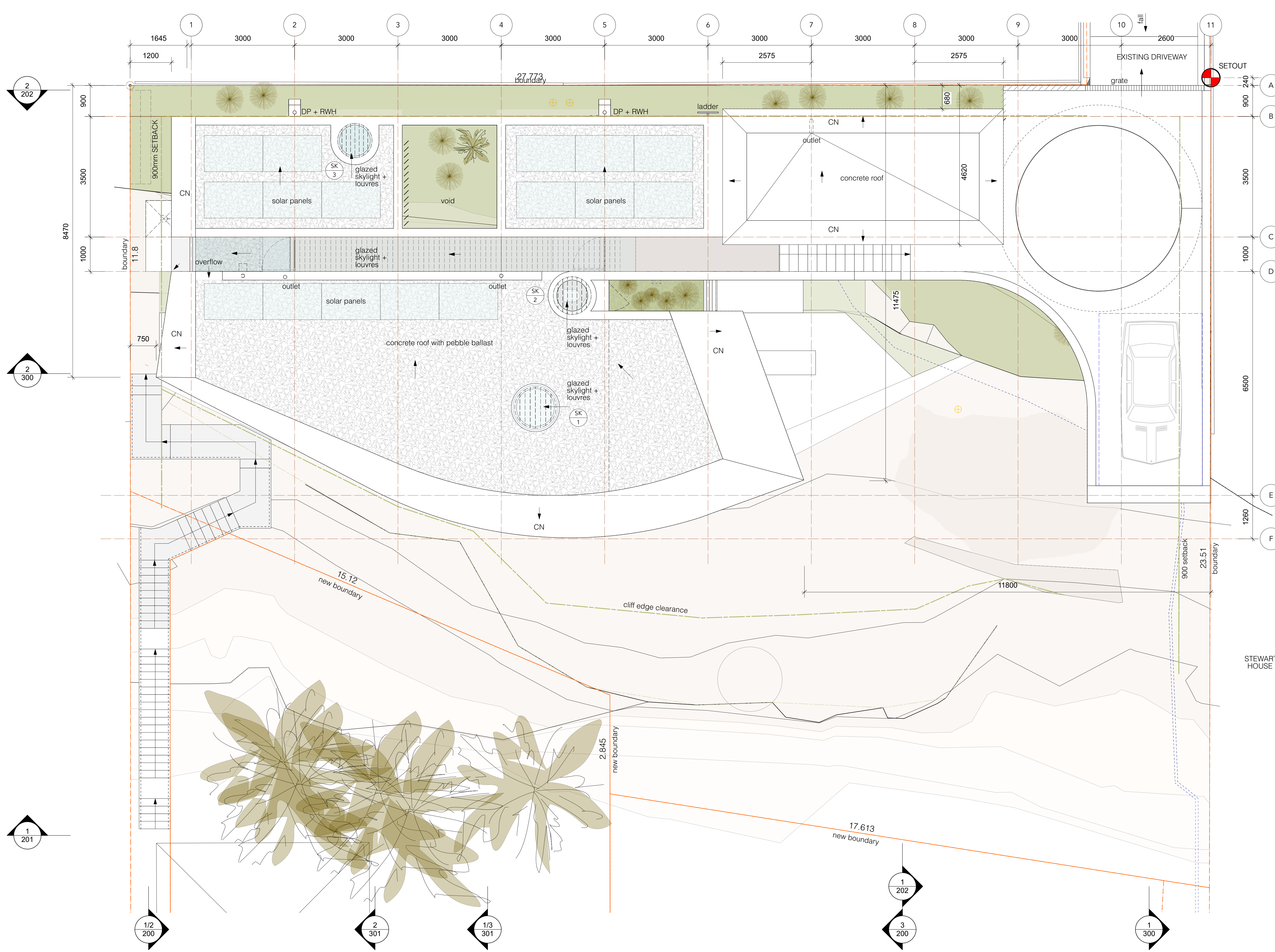
14 ELLEN STREET 16 ELLEN STREET

STEWART HOUSE

DRAINAGE EASEMENT TO 16 ELLEN STREET

LEVEL 3 Plan

DA 103



2
202

2
300

1
201

1/2
200

2
301

1/3
301

1
202

3
200

1
300

1
Roof Plan
Scale: 1:50

PLOT DATE : 24/3/22
FILE NAME : DA3 LH PLANS CURRENT v2022.vwx
DRAWING ISSUE

1 DA SET 15/9/22

NOTES

FINISHES LEGEND

boundary

brass

concrete (elev.)

concrete block

concrete topping (section)

concrete (section)

copper

demolished

existing works

glass

glass translucent

gravel

ground existing

ground fill

hardwood (section)

sand

sandstone (section)

structural steel - section

setbacks/site constraints

existing level

+RL36.730

new level

LEGEND

CB Concrete Block

CL Center-line

CH Ceiling Height

CN Concrete

CVS Canvas

ex Existing

EJ Expansion Joint

FCL Finished ceiling lvl.

FFL Finished floor lvl.

FL Flashing

FW Floor Waste

G-F Glazing - Fixed

G-O Glazing - Operable

GL Glass

GL-T Glass translucent

INS Insulation

HW Hardwood

HWU Hot Water Unit

LB-2 Lining Board Cemintel

MR Mirror

MT20 Stainless Steel

MT30 Copper

MT40 Brass

MT41 Brass Mesh

MT70 Corten

MT80 Bronze Mesh

PF Paint Finish

PLY Plywood

PLY1 Formply

RD Render

ST Sandstone

TB Timber

U/S Under Side

VOS Verify On Site

VP Vent Pipe

WC Toilet

WJ Welded joint

WT1 Stud wall/Cemintel clad

WT2 Stud wall/HW clad

Project
Edge house

Client
Megan and Mark Aubrey

Project Address
2 Wyadra Avenue
Freshwater NSW 2096

PETER STUTCHBURY ARCHITECTURE

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Newport NSW 2107
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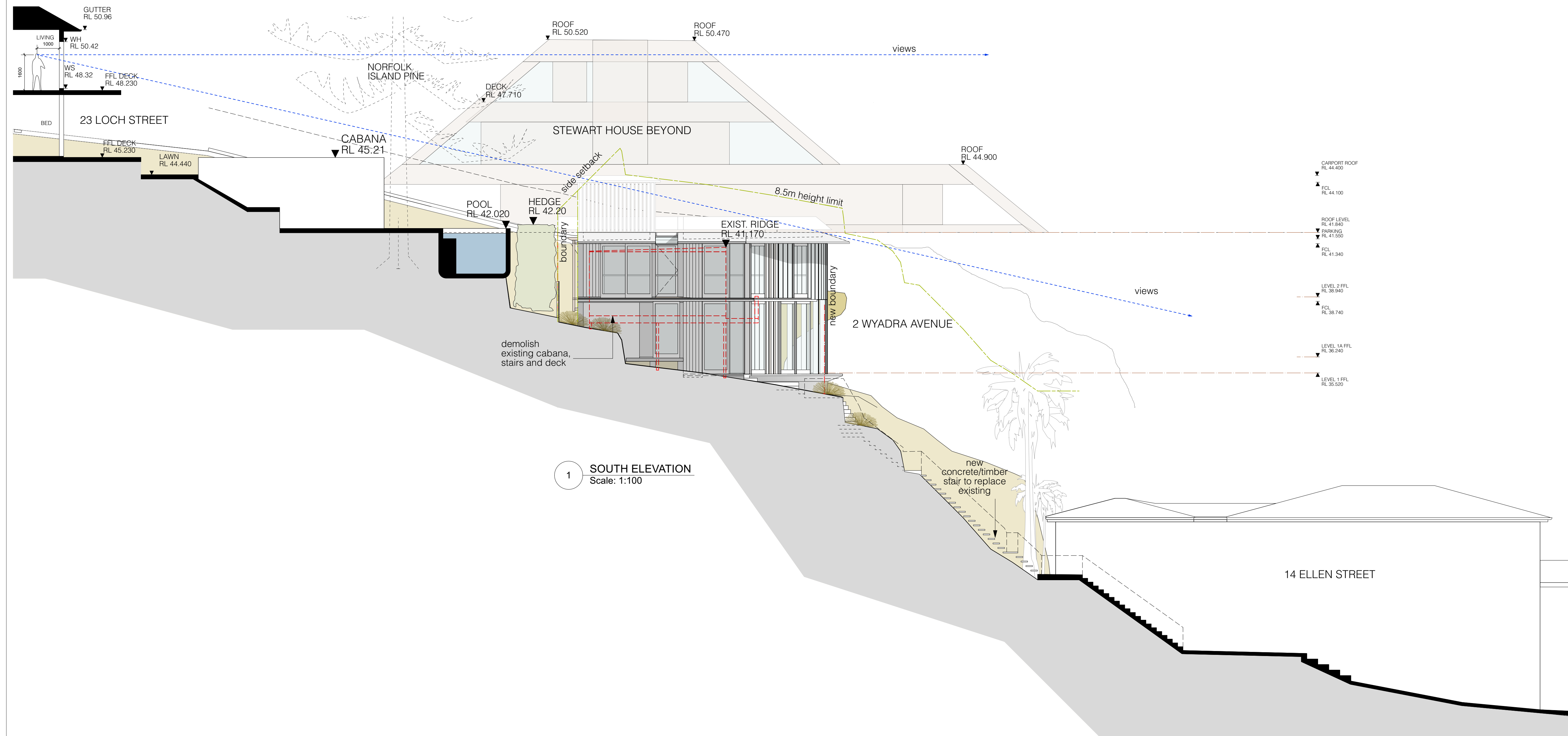
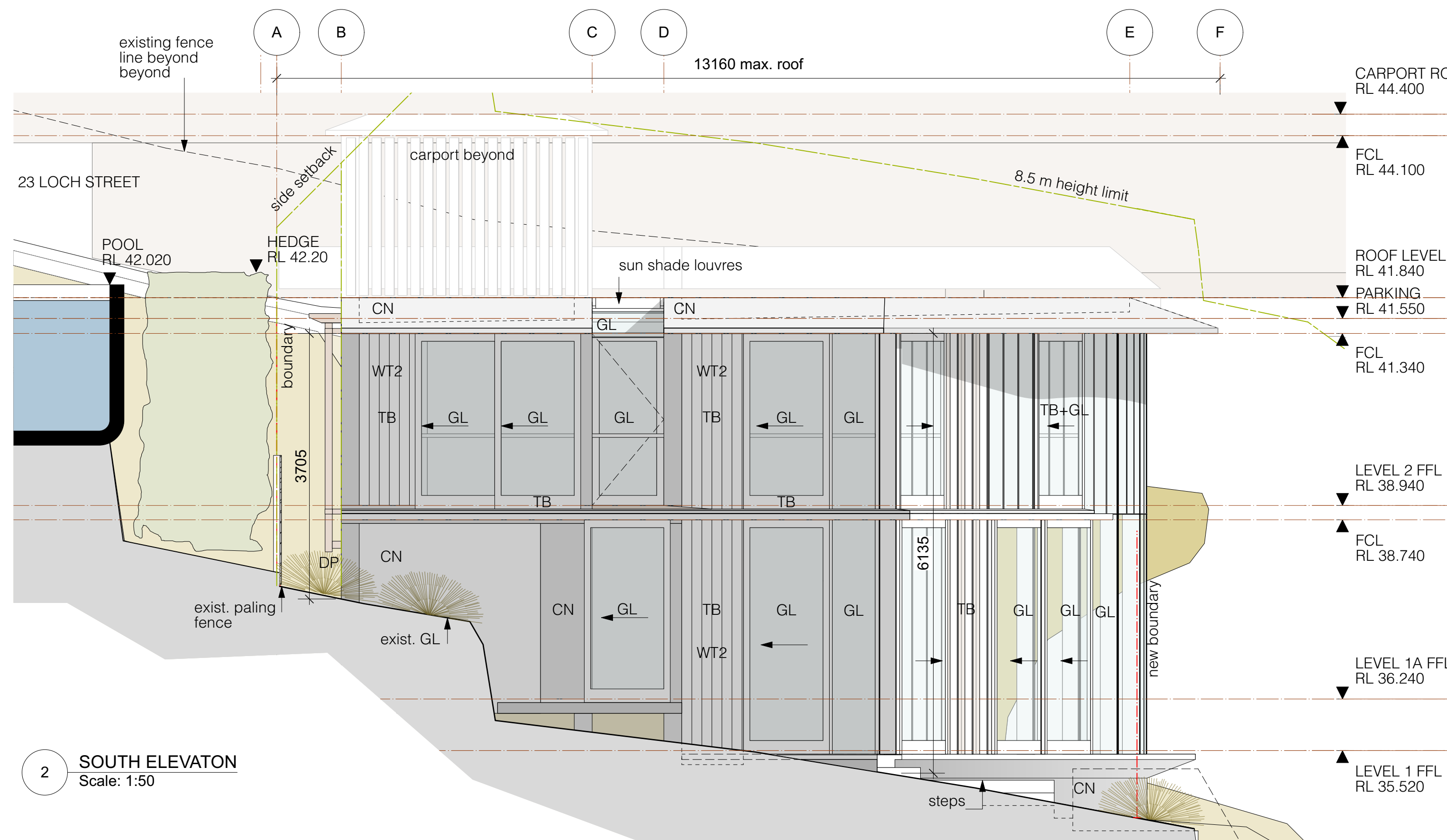
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Scale: at A1

Drawing No.
DA 104

Issue
1

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PLOT DATE :23/3/22
FILE NAME: DA3 LH ELEV/SECTIONS CURRENT
v2022.vwx
DRAWING ISSUE

1	DA ISSUE	15/3/22
---	----------	---------

FINISHES LEGEND

- | | |
|-----------|----------------------------|
| | boundary |
| | brass |
| | concrete (elev.) |
| | concrete block |
| | concrete topping (section) |
| | concrete (section) |
| | copper |
| | demolished |
| | existing works |
| | glass |
| | glass translucent |
| | gravel |
| | ground existing |
| | ground fill |
| | hardwood (section) |
| | sand |
| | sandstone (section) |
| | structural steel - section |
| | setbacks/site constraints |
| | existing level |
| +RL36.730 | new level |

LEGEND

- | | |
|------|-------------------------|
| CB | Concrete Block |
| CL | Center-line |
| CH | Ceiling Height |
| CN | Concrete |
| CV | Canvas |
| ex | Existing |
| EJ | Expansion Joint |
| FCL | Finished ceiling lvl. |
| FFL | Finished floor lvl. |
| FL | Flashing |
| FW | Floor Waste |
| G-F | Glazing - Fixed |
| G-O | Glazing - Operable |
| GL | Glass |
| GL-T | Glass translucent |
| INS | Insulation |
| HW | Hardwood |
| HWU | Hot Water Unit |
| LB-2 | Lining Board Cemintel |
| MR | Mirror |
| MT20 | Stainless Steel |
| MT30 | Copper |
| MT40 | Brass |
| MT41 | Brass Mesh |
| MT70 | Corten |
| MT80 | Bronze Mesh |
| PF | Paint Finish |
| PLY | Plywood |
| PLY1 | Formply |
| RD | Render |
| ST | Sandstone |
| TB | Timber |
| U/S | Under Side |
| VOS | Verify On Site |
| VP | Vent Pipe |
| WC | Toilet |
| WJ | Welded joint |
| WT1 | Stud wall/Cemintel clad |
| WT2 | Stud wall/HW clad |

Project
Ledge House
Client
Megan and Mark Aubrey
Project Address
2 Wyadra Avenue,
Freshwater NSW 2096

PETER STUTCHBURY ARCHITECTURE

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Newport NSW 2107

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Scale: _____ at A1

Issue	Drawing No.
1	DA 200

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19 LOCH STREET

23 LOCH STREET

25 LOCH STREET

STEWART HOUSE

PLOT DATE :23/3/22
FILE NAME: DA3 LH ELEV/SECTIONS CURRENT
v2022.vmx
DRAWING ISSUE

1 DA ISSUE

15/3/22

NOTES

FINISHES LEGEND

- boundary
- brass
- concrete (elev.)
- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
- existing level
- +RL36.730 new level

LEGEND

- | | |
|------|-------------------------|
| CB | Concrete Block |
| CL | Center-line |
| CH | Ceiling Height |
| CN | Concrete |
| CVS | Canvas |
| ex | Existing |
| EJ | Expansion Joint |
| FCL | Finished ceiling lvl. |
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| MT80 | Bronze Mesh |
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| WC | Toilet |
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| WT1 | Stud wall/Cemintel clad |
| WT2 | Stud wall/HW clad |

Project
Ledge House
Client
Megan and Mark Aubrey

Project Address
2 Wyadra Avenue,
Freshwater NSW 2096

PETER STUTCHBURY ARCHITECTURE

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Drawn By: BK

Checked By:

Scale: 1:50 at A1

Drawing

Elevation- East

Issue

1

Drawing No.

DA 201

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2 EAST ELEVATION AND NEIGHBOURS

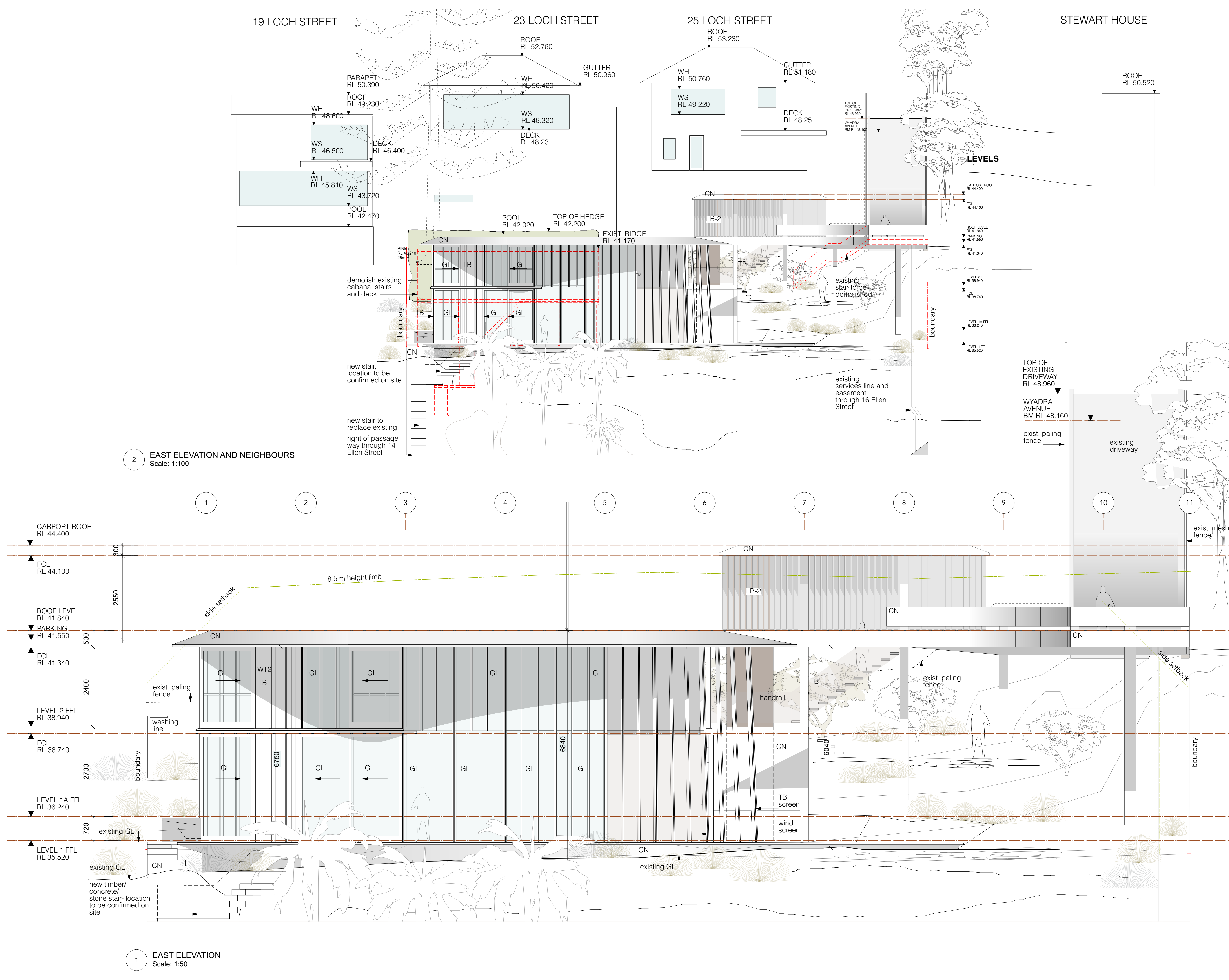
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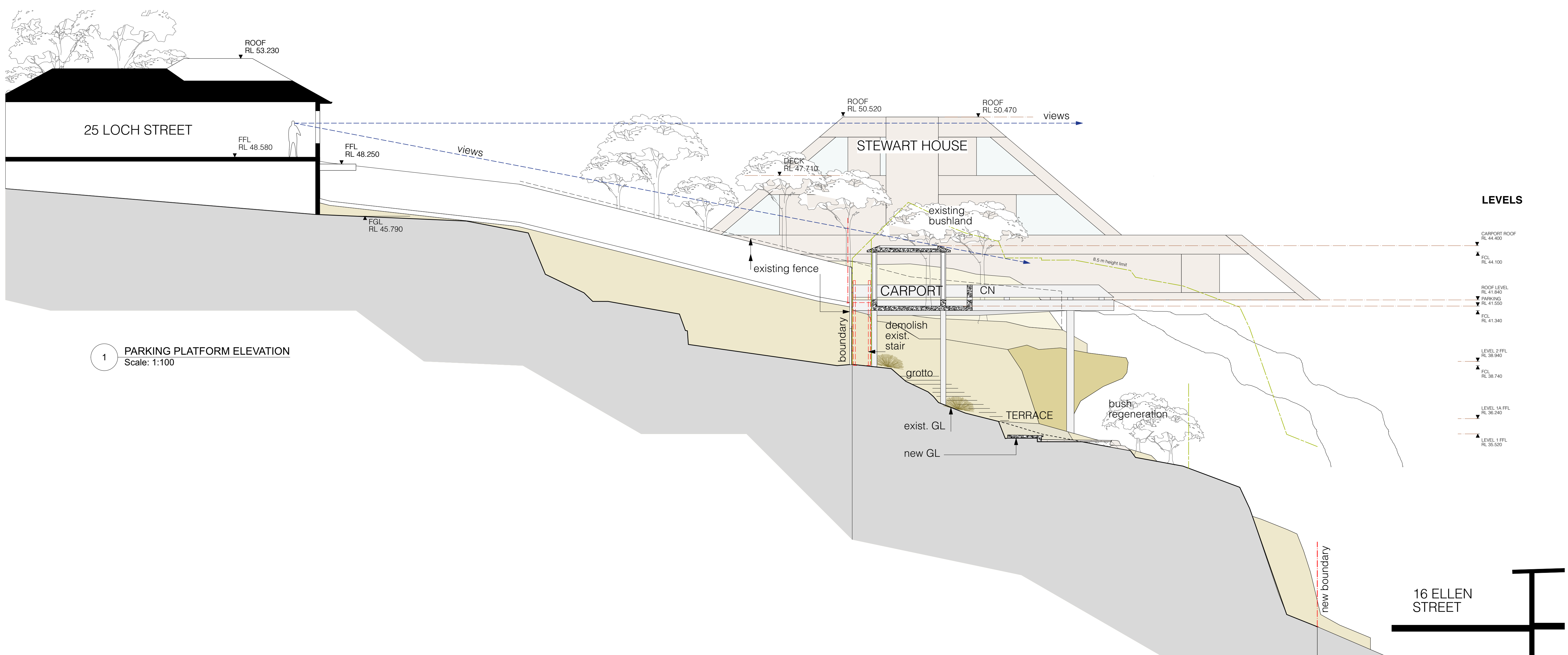
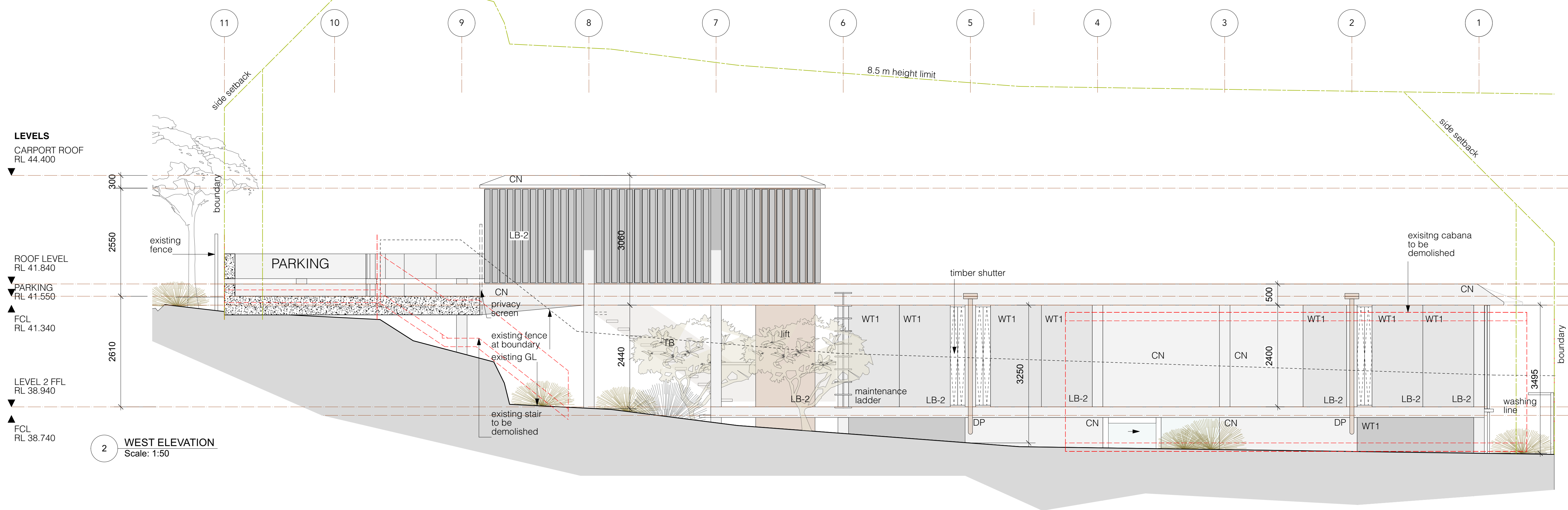
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EAST ELEVATION

Scale: 1:50





PLOT DATE :23/3/22
FILE NAME: DA3 LH ELEV/SECTIONS CURRENT
v2022.vmx
DRAWING ISSUE

1 DA ISSUE 15/3/22

NOTES

FINISHES LEGEND

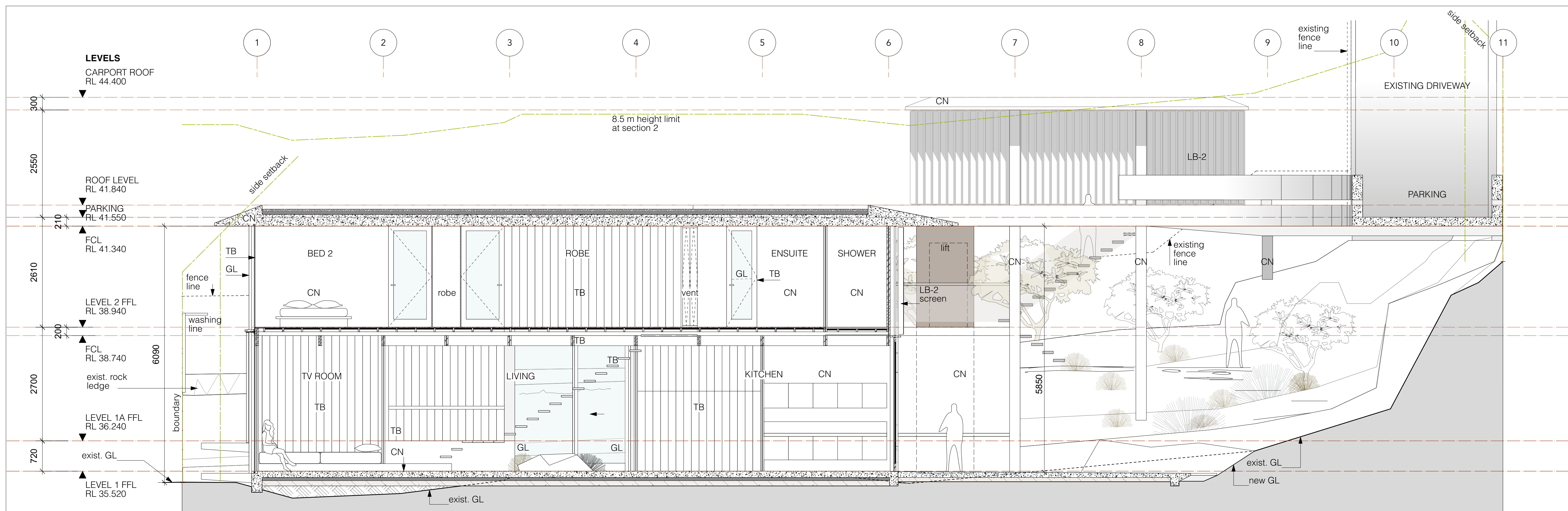
- boundary
- brass
- concrete (elev.)
- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
- existing level
- +RL36.730 new level

LEGEND

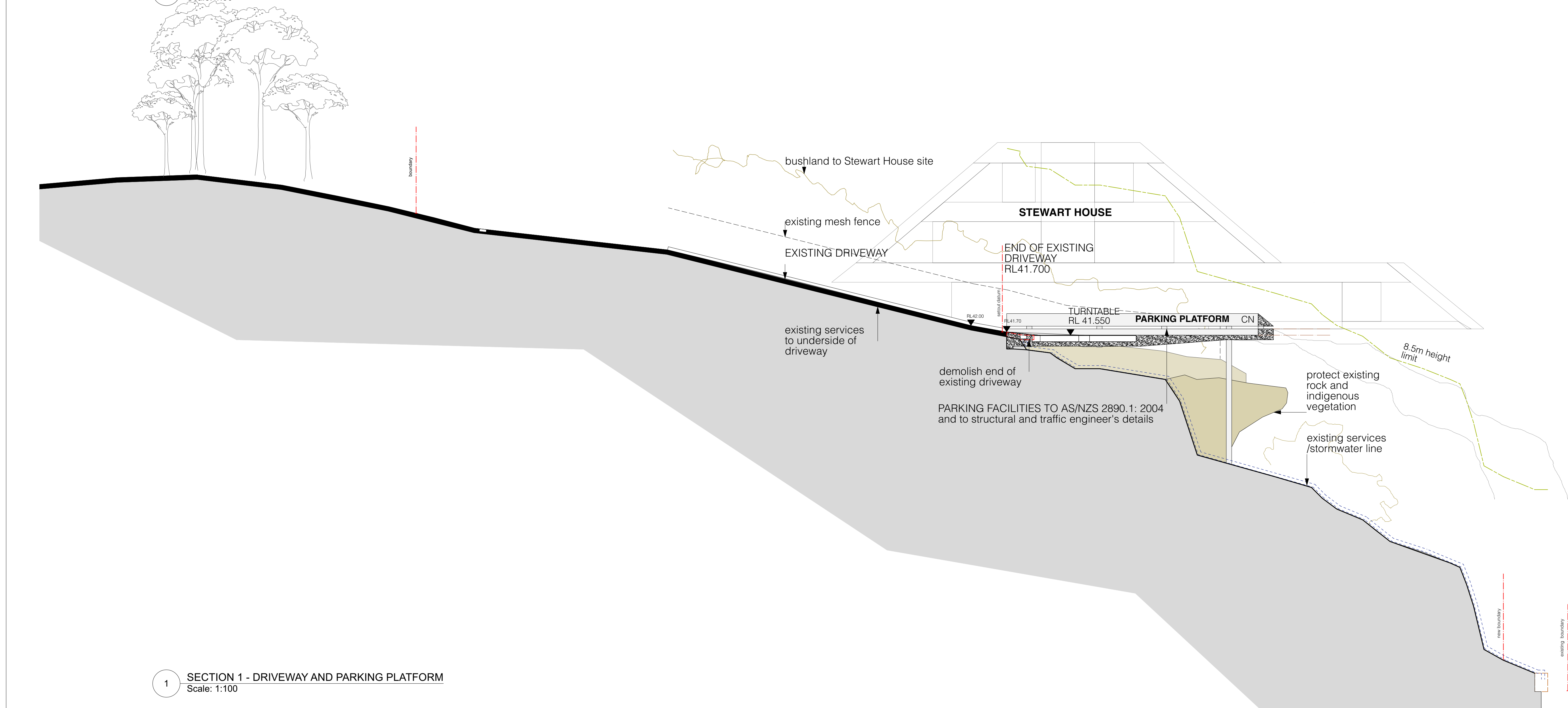
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CL	Center-line
CH	Ceiling Height
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CVS	Canvas
ex	Existing
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FCL	Finished ceiling lvl.
FFL	Finished floor lvl.
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MT70	Corten
MT80	Bronze Mesh
PF	Paint Finish
PLY	Plywood
PLY1	Formply
RD	Render
ST	Sandstone
U/S	Under Side
VOS	Verify On Site
VP	Vent Pipe
WC	Toilet
WJ	Welded joint
WT1	Stud wall/Cemintel clad
WT2	Stud wall/HW clad

Project
Ledge House
Client
Megan and Mark Aubrey
Project Address
2 Wyadra Avenue,
Freshwater NSW 2096
PETER STUTCHBURY ARCHITECTURE
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Newport NSW 2107
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e. admin@peterstutchbury.com.au
Drawn By: Checked By:
Scale: at A1
Drawing
Elevation-
West/Parking Platform
Issue
1
DA 202

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2 SECTION 2- LIVING/ DINING
Scale: 1:50



1 SECTION 1 - DRIVEWAY AND PARKING PLATFORM
Scale: 1:100

PLOT DATE :23/3/22
FILE NAME: DA3 LH ELEV/SECTIONS CURRENT
v2022.vmx
DRAWING ISSUE

1 DA ISSUE 15/03/22

NOTES

FINISHES LEGEND

- boundary
- brass
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- concrete (section)
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- glass translucent
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- sand
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- structural steel - section
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- existing level
- +RL36.730 new level

LEGEND

- CB Concrete Block
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- CN Concrete
- CVS Canvas
- ex Existing
- EJ Expansion Joint
- FCL Finished ceiling lvl.
- FFL Finished floor lvl.
- FL Flashing
- RW Floor Waste
- G-F Glazing - Fixed
- G-O Glazing - Operable
- GL Glass
- GL-T Glass translucent
- INS Insulation
- INS Insulation
- HW Hardwood
- HWU Hot Water Unit
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- MT30 Copper
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- WT1 Stud wall/Cemintel clad
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Project
Ledge House
Client
Megan and Mark Aubrey

Project Address
2 Wyadra Avenue,
Freshwater NSW 2096

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Drawn By: BK/LW

Checked By:

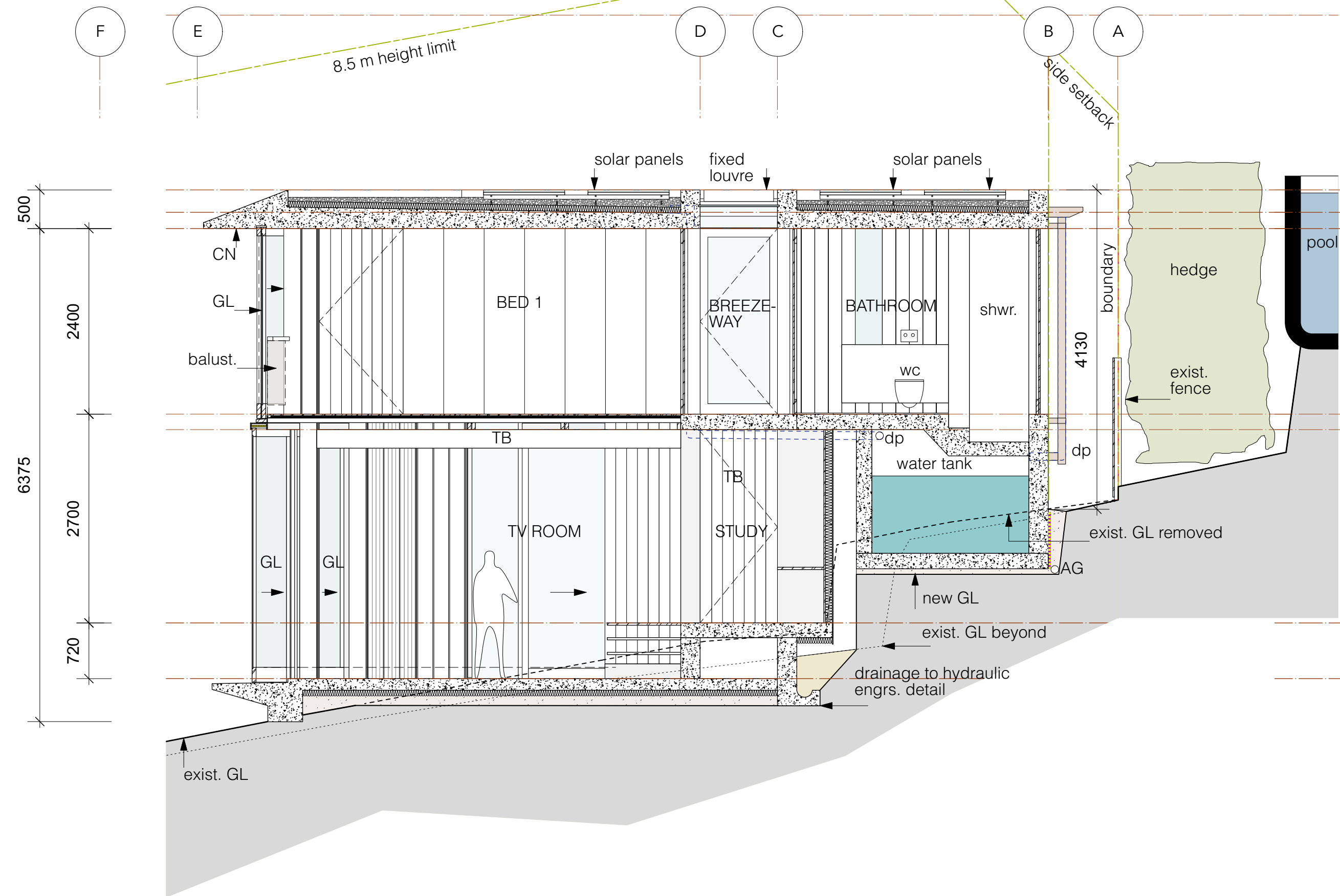
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Drawing

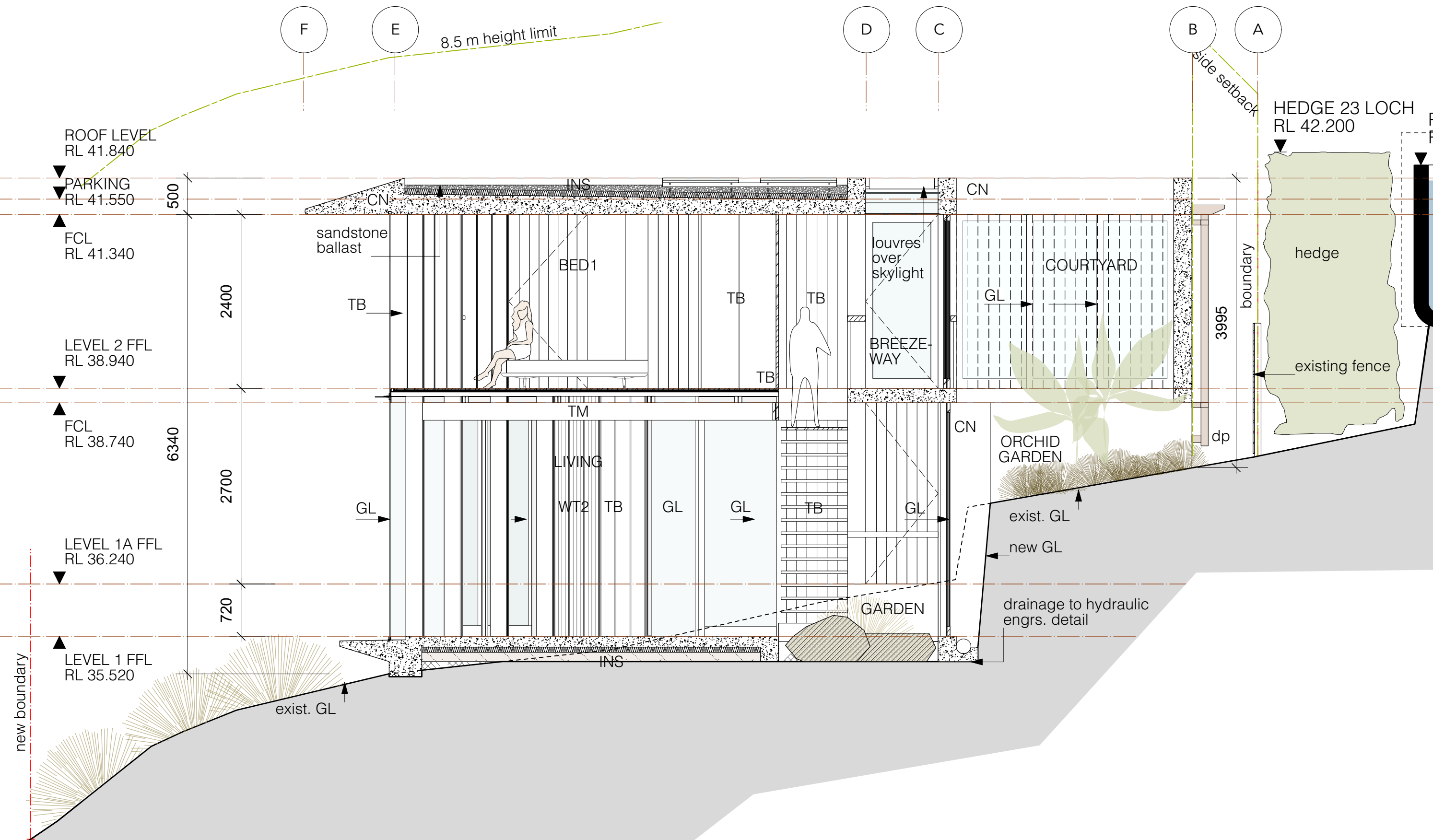
Section 1 / 2 Parking,
Long section

Issue
1
Drawing No.
DA 300

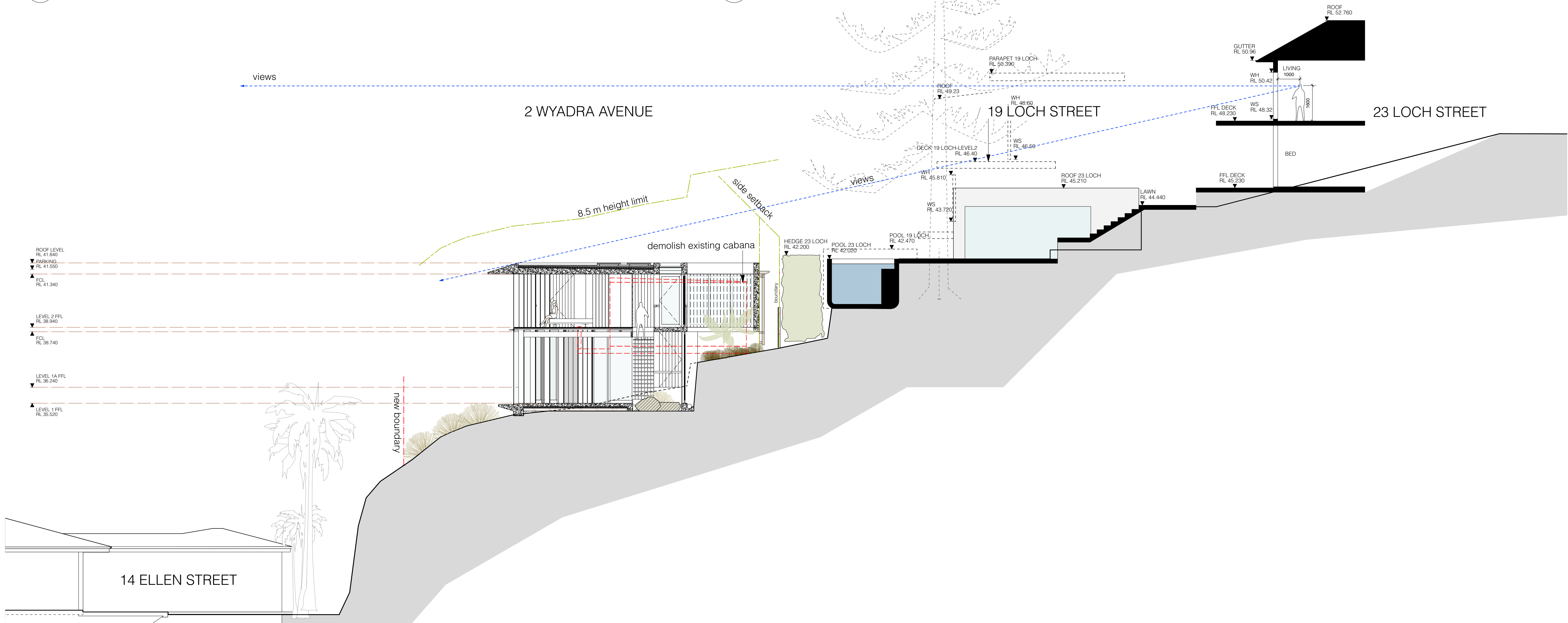
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2 SECTION 3- TV ROOM
Scale: 1:50



3 SECTION 4 - COURTYARD/ LIVING ROOM
Scale: 1:50



1 SECTION 4 - COURTYARD/ LIVING ROOM WITH NEIGHBOURS
Scale: 1:100

PLOT DATE :23/3/22
FILE NAME: DA3 LH ELEV/SECTIONS CURRENT
v2022.vmx
DRAWING ISSUE

1 DA ISSUE 15/3/22

NOTES

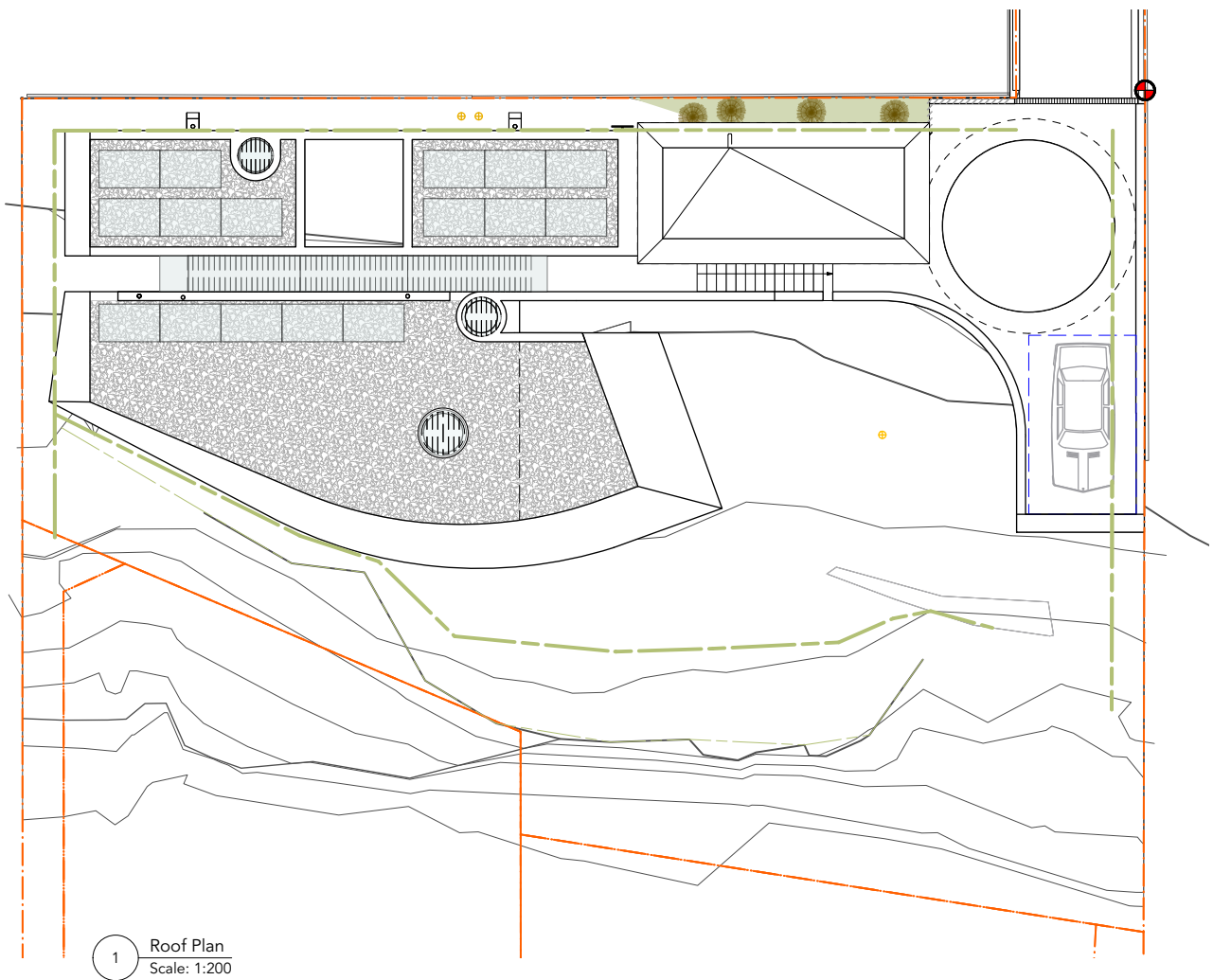
FINISHES LEGEND

- boundary
- brass
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- concrete block
- concrete topping (section)
- concrete (section)
- copper
- demolished
- existing works
- glass
- glass translucent
- gravel
- ground existing
- ground fill
- hardwood (section)
- sand
- sandstone (section)
- structural steel - section
- setbacks/site constraints
- existing level
- +RL36.730 new level

LEGEND

CB	Concrete Block
CL	Center-line
CH	Ceiling Height
CN	Concrete
CVS	Canvas
ex	Existing
EJ	Expansion Joint
FCL	Finished ceiling lvl.
FFL	Finished floor lvl.
FL	Flashing
FW	Floor Waste
G-F	Glazing - Fixed
G-O	Glazing - Operable
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MT41	Brass Mesh
MT70	Corten
MT80	Bronze Mesh
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PLY	Plywood
PLY1	Formply
RD	Render
ST	Sandstone
TB	Timber
U/S	Under Side
VOS	Verify On Site
VP	Vent Pipe
WC	Toilet
WJ	Welded joint
WT1	Stud wall/Cemintel clad
WT2	Stud wall/HW clad

Project
Ledge House
Client
Megan and Mark Aubrey
Project Address
2 Wyadra Avenue,
Freshwater NSW 2096
PETER STUTCHBURY ARCHITECTURE
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e. admin@peterstutchbury.com.au
Drawn By: BK/LW
Checked By:
Scale:1:50 at A1
Section 3/4
Courtyard/TV Room
Drawing No.
DA 301
Issue
1
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1 Roof Plan
Scale: 1:200

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e. admin@peterstutchbury.com.au



Project
Ledge House

Client
Megan and Mark
Aubrey

Project Address
2 Wyadra Avenue,
Freshwater NSW
2096

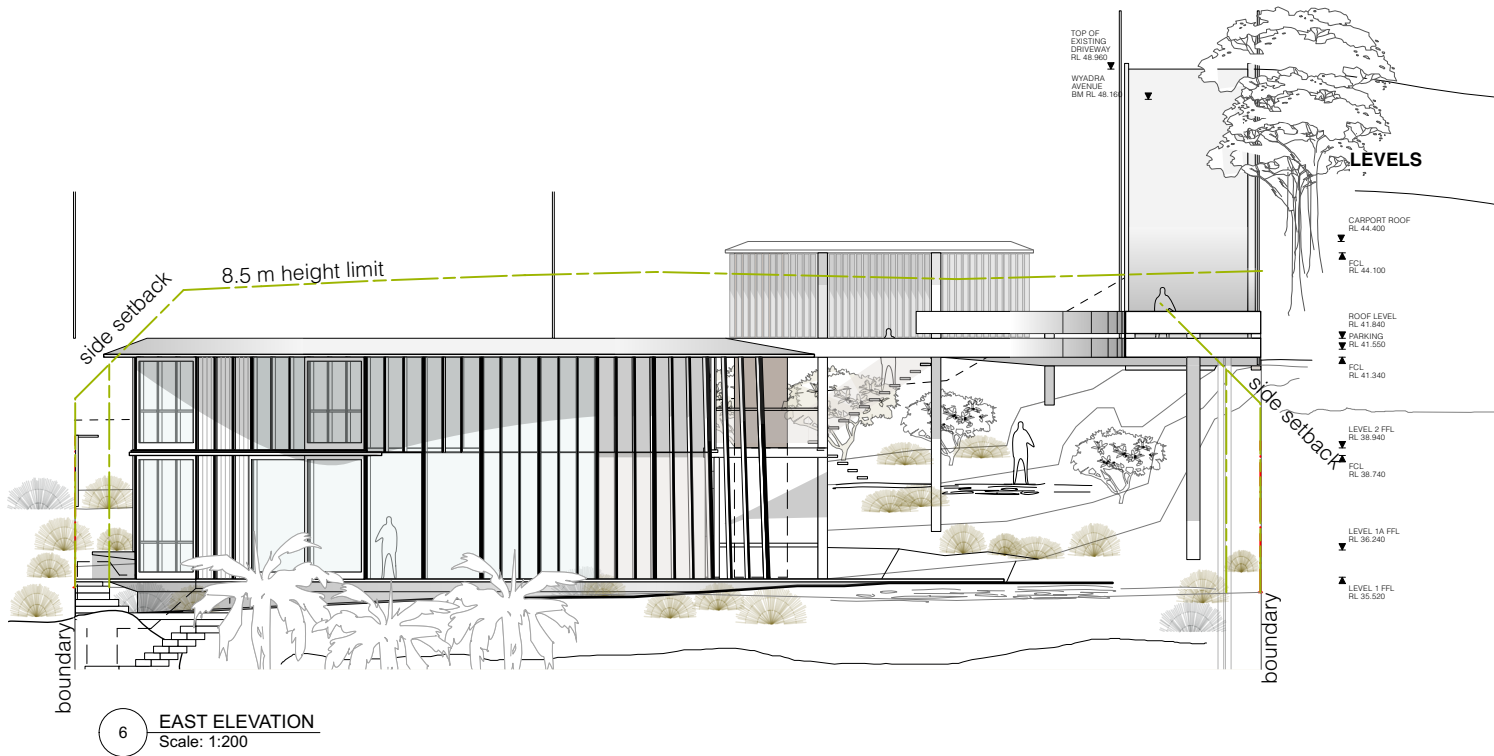
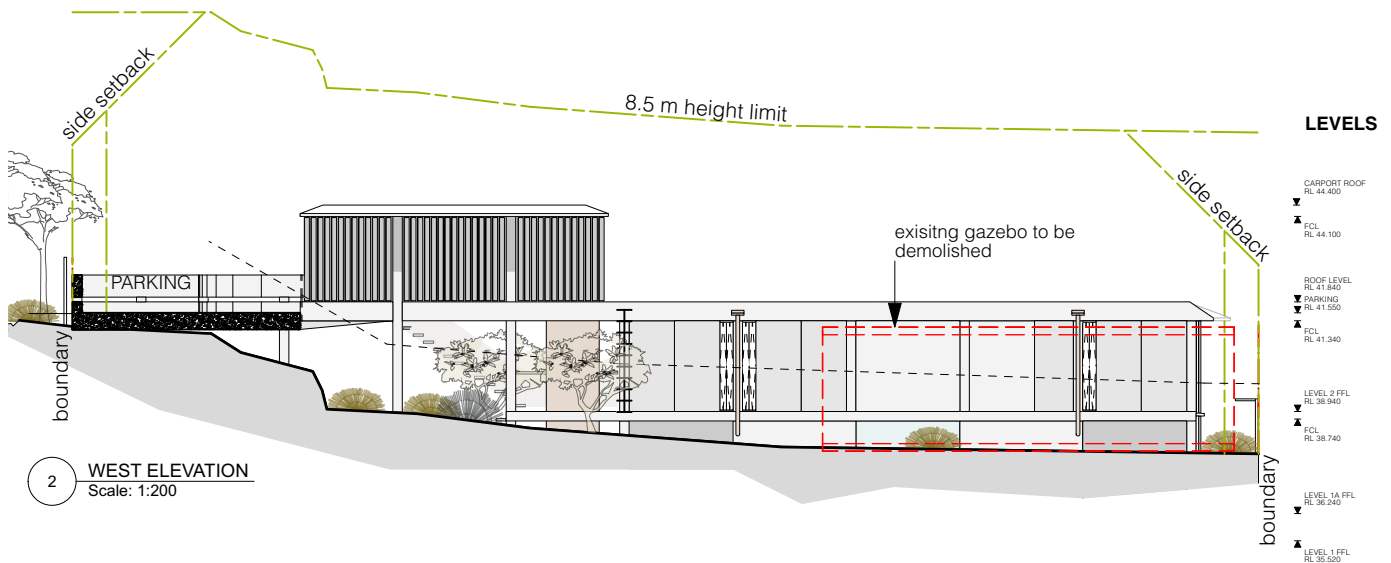
Drawn By:
RM
Scale: 1:200 at A4

Checked By:
BK

Drawing
Notification Plan
Roof Plan

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Issue
1



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Project
Ledge House

Client
Megan and Mark
Aubrey

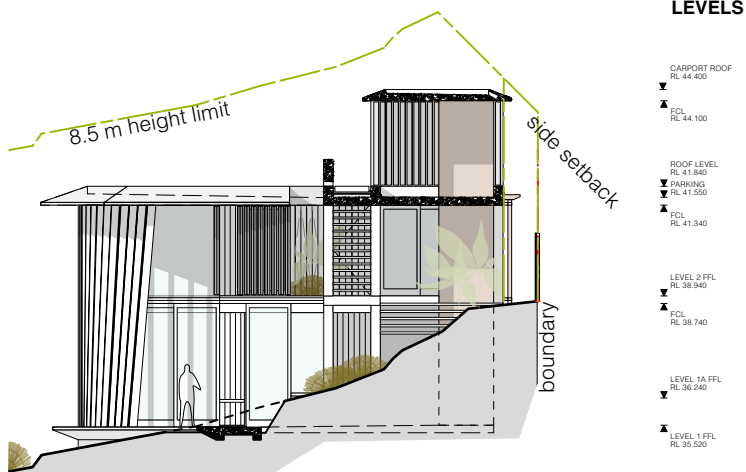
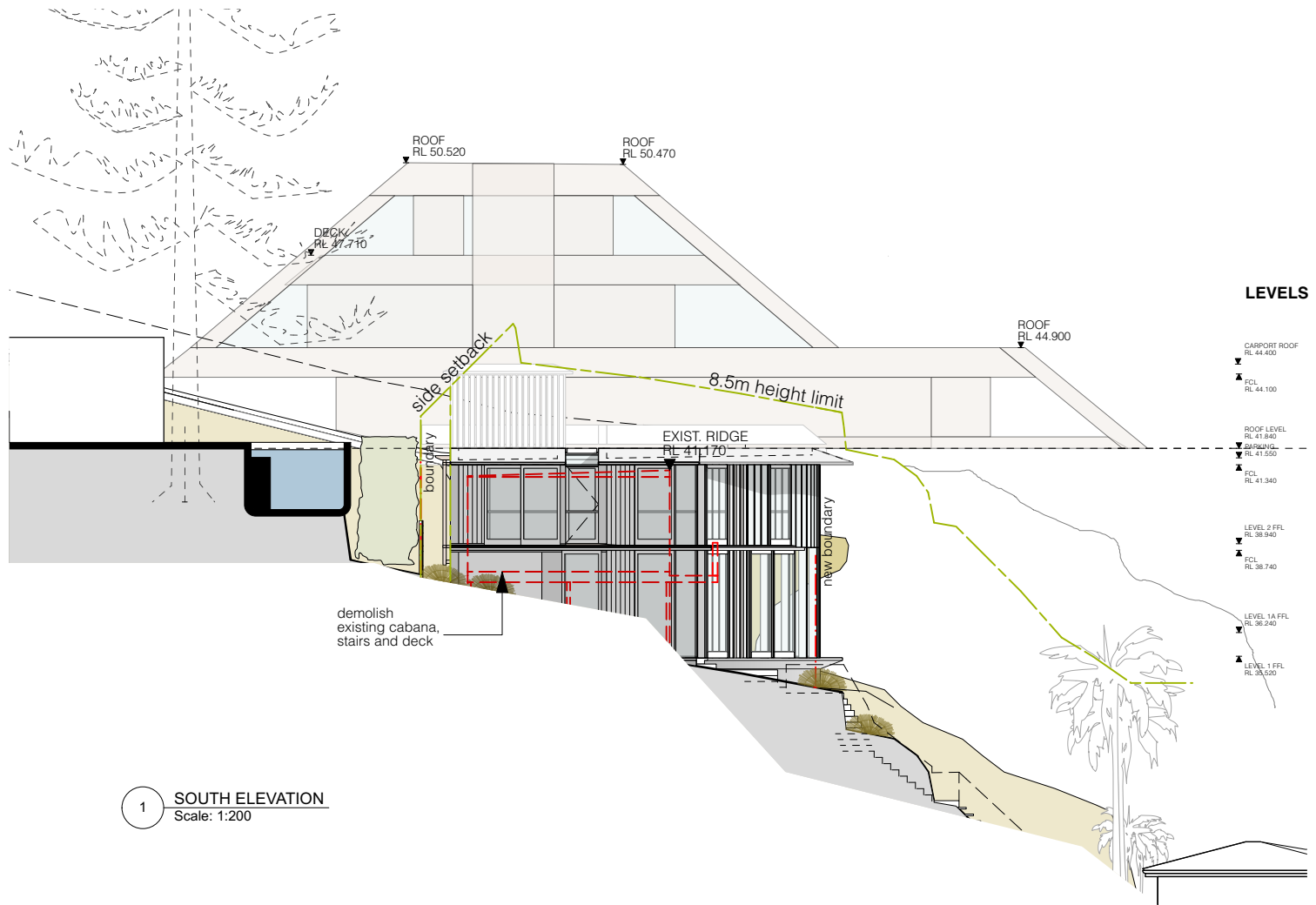
Project Address
2 Wyadra Avenue,
Freshwater NSW
2096

Drawn By:
RM
Scale: 1:200 at A4

Checked By:
BK

Issue
1

Drawing
Notification Plan
West and East
Elevations



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Project
Ledge House

Client
Megan and Mark
Aubrey

Project Address
2 Wyadra Avenue,
Freshwater NSW
2096

Drawn By:
RM
Scale: 1:200 at A4

Checked By:
BK

Issue
1

Drawing
Notification Plan
South and North
Elevations

LEDGE HOUSE

2 Wyandra Avenue
Freshwater, NSW 2096

LANDSCAPE DA PLANS

SHEET LIST

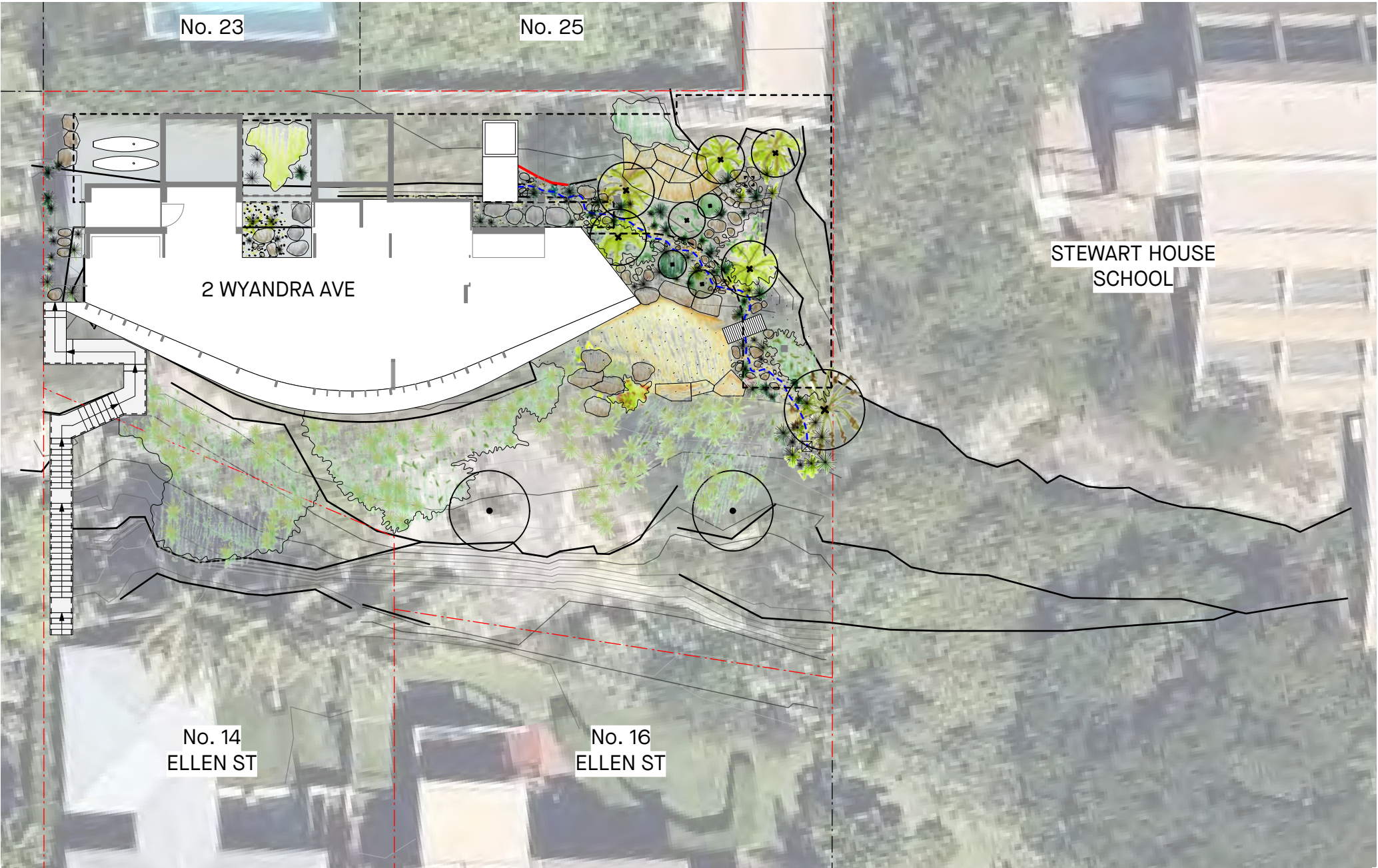
Sheet #	Sheet Title	Revision
LA-000	Cover sheet	A
LA-100	Site plan	B
LA-101	Section	B
LA-102	Entrance courtyard	A
LA-103	Design Principles	B
LA-104	Materials + Planting palette	A

LEGEND

- +RL 37.70

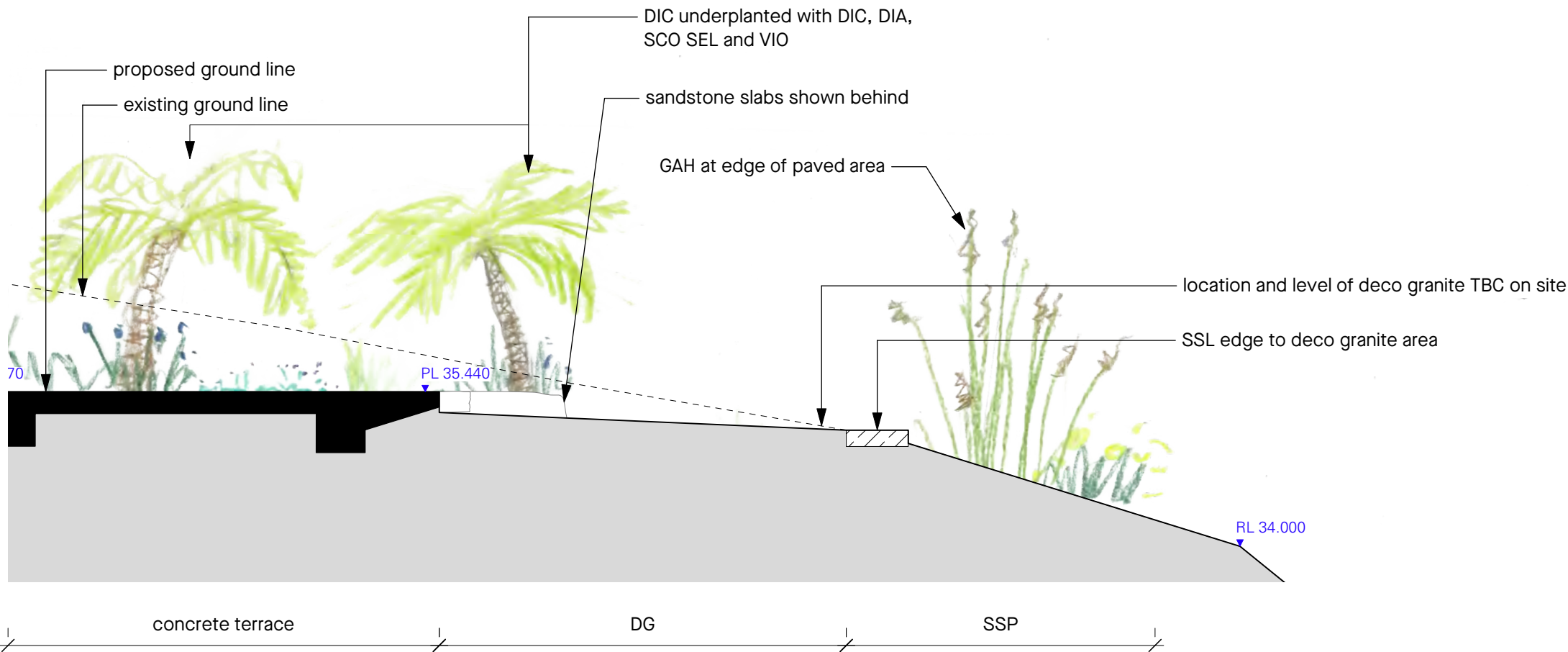
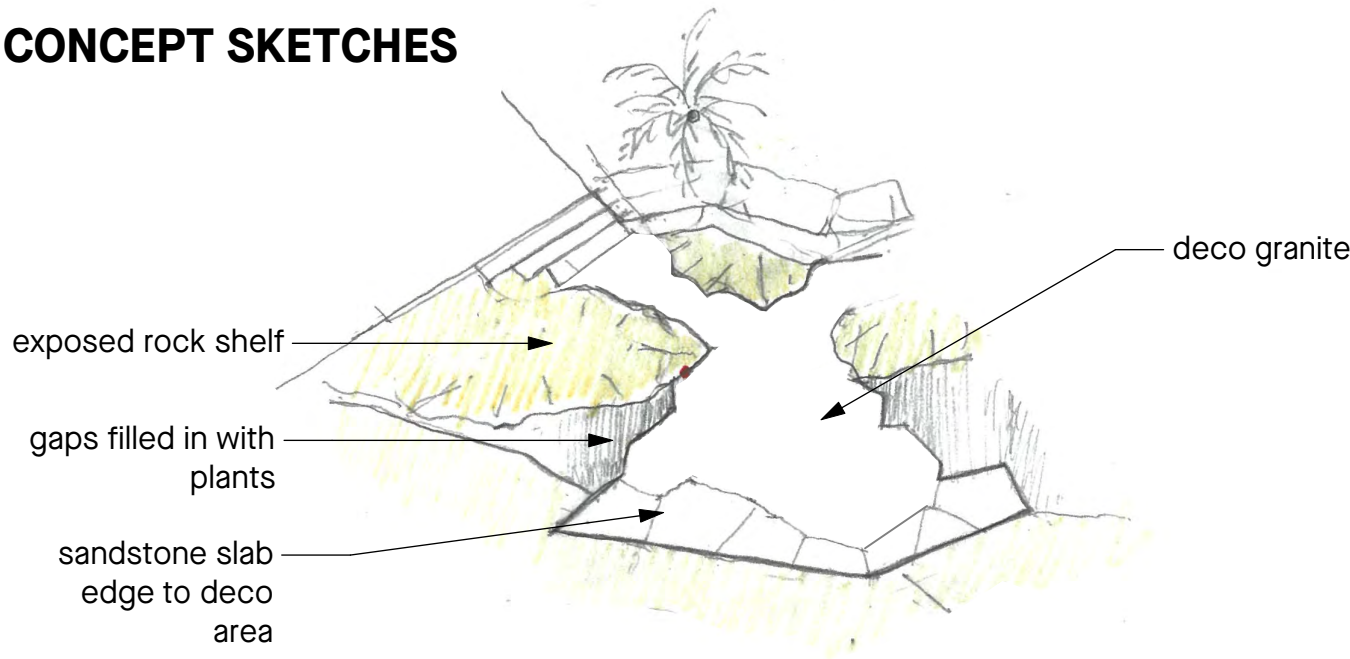
Existing level
- +PL35.470

Proposed level
- Boundary
- Ephemeral rill
- Existing tree
- Proposed tree



1 Site plan
LA-000 1:200

CONCEPT SKETCHES



1 Section 1 - Terrace
LA-101 Scale: 1:50

REV	DATE	STATUS	REASON FOR ISSUE	DRAWN
A	14/3/22	DA	DA Issue	AC
B	21/3/22	DA	DA issue v2	AC

GENERAL NOTES

- ALL DIMENSIONS IN MILLIMETRES
- CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCING WORK.
- USE FIGURED DIMENSIONS ONLY.
- DO NOT SCALE.
- COMPLY WITH RELEVANT AUTHORITY REQUIREMENTS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARD WHEN EXECUTING WORKS DESCRIBED IN THIS DRAWING.

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Jane Irwin Landscape Architecture

Studio 203
61 Marlborough Street
Surry Hills NSW
Australia 2010

61 2 92126957
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www.jila.net.au

ABN 62 120 299

DRAWING TITLE

Section

PROJECT

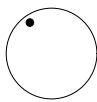
Ledge House

CLIENT

Megan and Mark Aubrey

ADDRESS

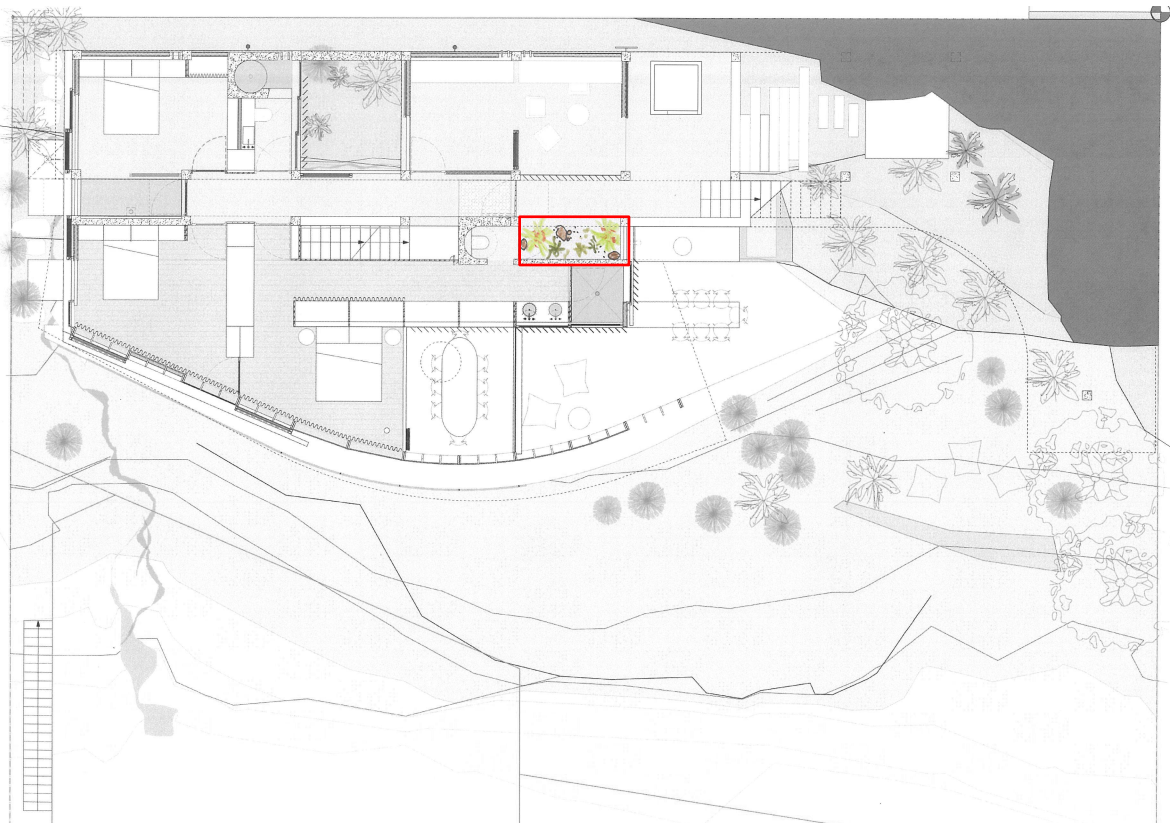
2 Wyandra Avenue, Freshwater, NSW 2096



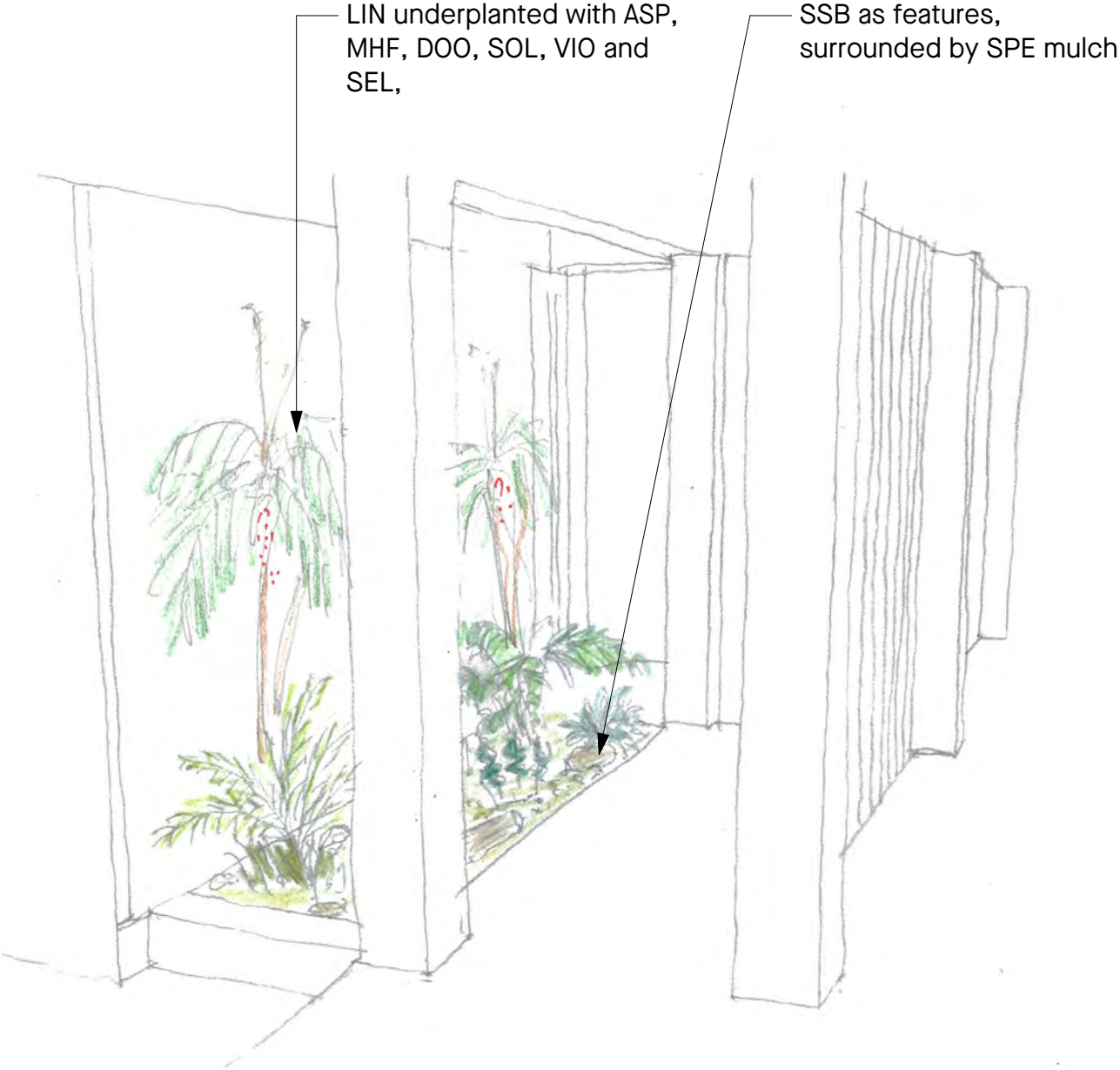
JOB NO.	220101
STAGE	DA
STATUS	DA
DRAWN	AC
CHECKED	JI
SCALE	1:50

DATE	21/03/2022
REV	A
DWG NO.	LA-101

ENTRANCE COURTYARD



1 Level 2 Key plan
LA-102 1:200



2 Entrance courtyard concept sketch
LA-102

DESIGN PRINCIPLES

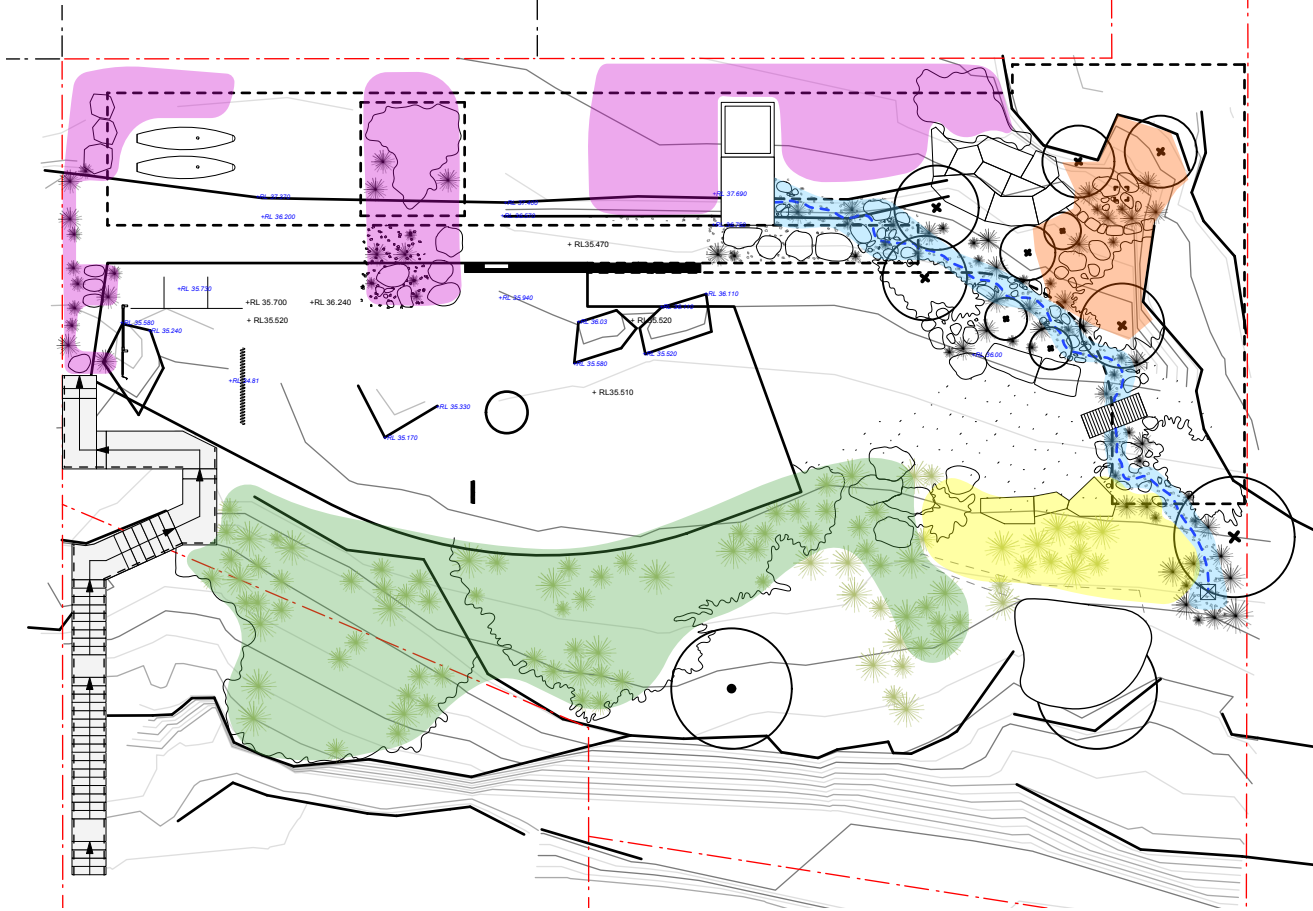
The intention of the landscape proposal is to restore the site and enhance its character through minimal intervention and to provide opportunity for infiltration and bio-remediation of the overland flows on the site.

The plant and materials palette draws directly from the site and the surrounding landscape to ensure a poetic connection to place.

This has led to 5 key design principles

- Restore native cliffscape
- Restore coastal ecology
- Create ephemeral rill
- Reveals rock shelf to create terrace
- Enhance rock shelf character

KEY PLAN



Enhance rock shelf character

- Native ferns, mosses and orchids planted on to existing rock shelf where possible.
- feature boulders in internal courtyards

Restore native cliff face

- Remove invasive weeds
- Use microclimate to encourage naturalisation of native ferns
- supplementary planting of native ferns and grasses



Reveal rock shelf to create terrace

- Minor earth works to reveal rock shelf beneath
- deco granite area responds to rock shelf to create terrace - location TBC on site.
- native planting into gaps around deco granite



Restore coastal ecology

- Remove invasive weeds
- plant endemic and native grasses and ground covers into gaps in rock shelf



Create ephemeral rill

- capture overland flow in pebble swale providing opportunity for minor infiltration
- local sandstone pebbles and spalls used to reflect existing site character
- native wet area plants filter water before leaving the site



REV	DATE	STATUS	REASON FOR ISSUE	DRAWN	GENERAL NOTES
A	14/3/22	DA	DA Issue	AC	<ul style="list-style-type: none">- ALL DIMENSIONS IN MILLIMETRES- CONFIRM ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCING WORK.- USE FIGURED DIMENSIONS ONLY.- DO NOT SCALE.- COMPLY WITH RELEVANT AUTHORITY REQUIREMENTS, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT AUSTRALIAN STANDARD WHEN EXECUTING WORKS DESCRIBED IN THIS DRAWING. <p>COPYRIGHT IN ALL DOCUMENTS AND DRAWINGS PREPARED BY JILA AND IN ANY WORK EXECUTED FROM THOSE DOCUMENTS AND DRAWINGS SHALL REMAIN THE PROPERTY OF JILA OR ON CREATION VEST IN JILA.</p>
B	21/3/22	DA	DA issue v2	AC	

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DRAWING TITLE
Design Principles

PROJECT
Ledge House

CLIENT
Megan and Mark Aubrey

ADDRESS
2 Wyandra Avenue, Freshwater, NSW 2096

JOB NO.	220101	DATE	21/03/2022
STAGE	DA	REV	A
STATUS	DA	DWG NO.	LA-103
DRAWN	AC		
CHECKED	Ji		
SCALE	1:200		

MATERIALS PALETTE



Sandstone Slab
Code: SSL
Description: Approx 1500x750x various thicknesses
Saw cut faces, rough cut edges, gaps in slabs to provide permeability.



Sandstone boulders
Code: SSB
Description: Approx 700x700
Salvaged from site and/or material to match site stone used as garden stone and in rill and as features in courtyard gardens.



Sandstone Spalls
Code: SSS
Description: 300-150mm
Salvaged from site and/or material to match site stone used as garden stone and in rill and as features in courtyard gardens.



Sandstone pebbles
Code: SPE
Description: 20mm pebbles
Used as drainage material in rill and as features in courtyard garden



Decomposed Granite
Code: DG
Description: Colour to match stone

PLANT PALETTE

Code	Botanical name	Common Name	Pot size	Density	Notes
PALMS					
LIN	<i>Linospadix monostachyos</i>	Walking Stick palm	300mm		Native
SHRUBS					
ACA	<i>Acacia suaveolens</i>	Sweet-scented Wattle	200mm		Curl Curl Ward Native plant list
DAR	<i>Darwinia fascicularis</i> var. <i>fascicularis</i>	Darwinia	200mm		Curl Curl Ward Native plant list
WES	<i>Westringia fruticosa</i>	Coast Rosemary	200mm		Curl Curl Ward Native plant list
PIM	<i>Pimelea linifolia</i>	Slender Rice Flower	200mm		Native
FERNS					
DIC	<i>Dicksonia australis</i>	Soft tree fern	2m trunk		Native
PAR	<i>Parablechnum wattsi</i>	Hard Water Fern	140mm		Native
PUM	<i>Pteris umbrosa</i>	Jungle Brake Fern	140mm		Native
ASP	<i>Asplenium australasicum</i>	Birds Nest Fern	140mm		Native
MHF	<i>Adiantum</i> spp.	Maiden Hair Fern	140mm		Native
GMH	<i>Adiantum formosum</i>	Giant Maiden Hair Fern	140mm		Native
DOO	<i>Doodia aspera</i>	Prickly Rasp Fern	140mm		
WILDFLOWERS					
FFL	<i>Actinotus helianthi</i>	Flannel Flower	140mm		Curl Curl Ward Native plant list
BOR	<i>Boronia ledifolia</i>	Sydney Boronia	200mm		Native
ENB	<i>Dillwynia retorta</i>	Eggs and Bacon	200mm		Curl Curl Ward Native plant list
VIO	<i>Viola hederacea</i>	Native Violet	140mm		Native
BUL	<i>Bulbine bulbosa</i>	Bulbine Lilly	140mm		Native
BOSS	<i>Bossiaea scalopendria</i>	Plank plant	140mm		Native
PAT	<i>Patersonia occidentalis</i>	Native Iris	140mm		Native
DAR	<i>Darwinia citriodora</i>	Darwinia 'Seaspray'	140mm		Native
DEN	<i>Dendrobium speciosum</i>	Sydney Rock Orchid	140mm		Native
GRASSES					
DIA	<i>Dianella congesta</i>	Blue Flax Lily	140mm	6 p/m2	Curl Curl Ward Native plant list
FIC	<i>Ficinia nodosa</i>	Knobby Club Rush	140mm	see plan	Curl Curl Ward Native plant list
GAH	<i>Gahnia aspera</i>	Saw Sedge	140mm		Curl Curl Ward Native plant list
THE	<i>Themeda australis</i>	Kangaroo Grass	140mm	6 p/m2	Curl Curl Ward Native plant list
POA	<i>Poa poiformis</i>	Coast Tussock Grass	140mm	6 p/m2	Native
CHO	<i>Chorizandra enodis</i>	Black bristle rush	140mm		Native
ISO	<i>Isolpepsis 'Live Wire'</i>		140mm		Native
GROUND COVERS					
DIC	<i>Dichonra repens</i>	Kidney Weed	140mm	7 p/m2	Native
SEL	<i>Selaginella</i> spp.		140mm	7 p/m2	Native

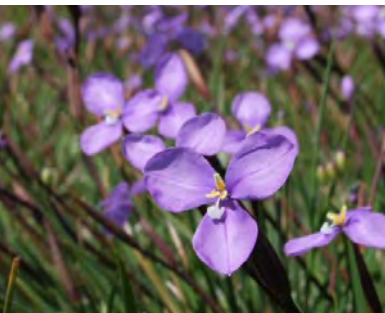
WILDFLOWERS



Dendrobium speciosum



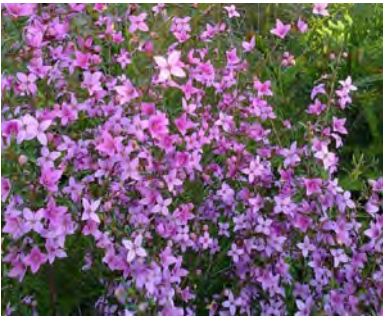
Actinotus helianthi



Patersonia occidentalis



Bulbine bulbosa



Boronia ledifolia



Darwinia citriodora

FERNS



Doodia aspera



Asplenium australasicum



Dicksonia antarctica

GRASSES



Dianella caerulea



Themeda australis

