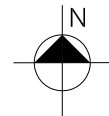


PROPOSED ADDITION AND RENOVATION FOR
Meher House Trust
12 KALIANNNA CRESCENT, BEACON HILL, NSW, 2100
LOT 3 DP 526750

CAVE URBAN Pty Ltd

ABN 99156120393

SITE ANALYSIS + SITE PLAN + LANDSCAPING



SCALE : 1:200
DATE : 23 NOVEMBER 2020
DWG NO. : 1
DRAWN BY : Angel

73A Bulkara Road Bellevue Hill NSW 2023

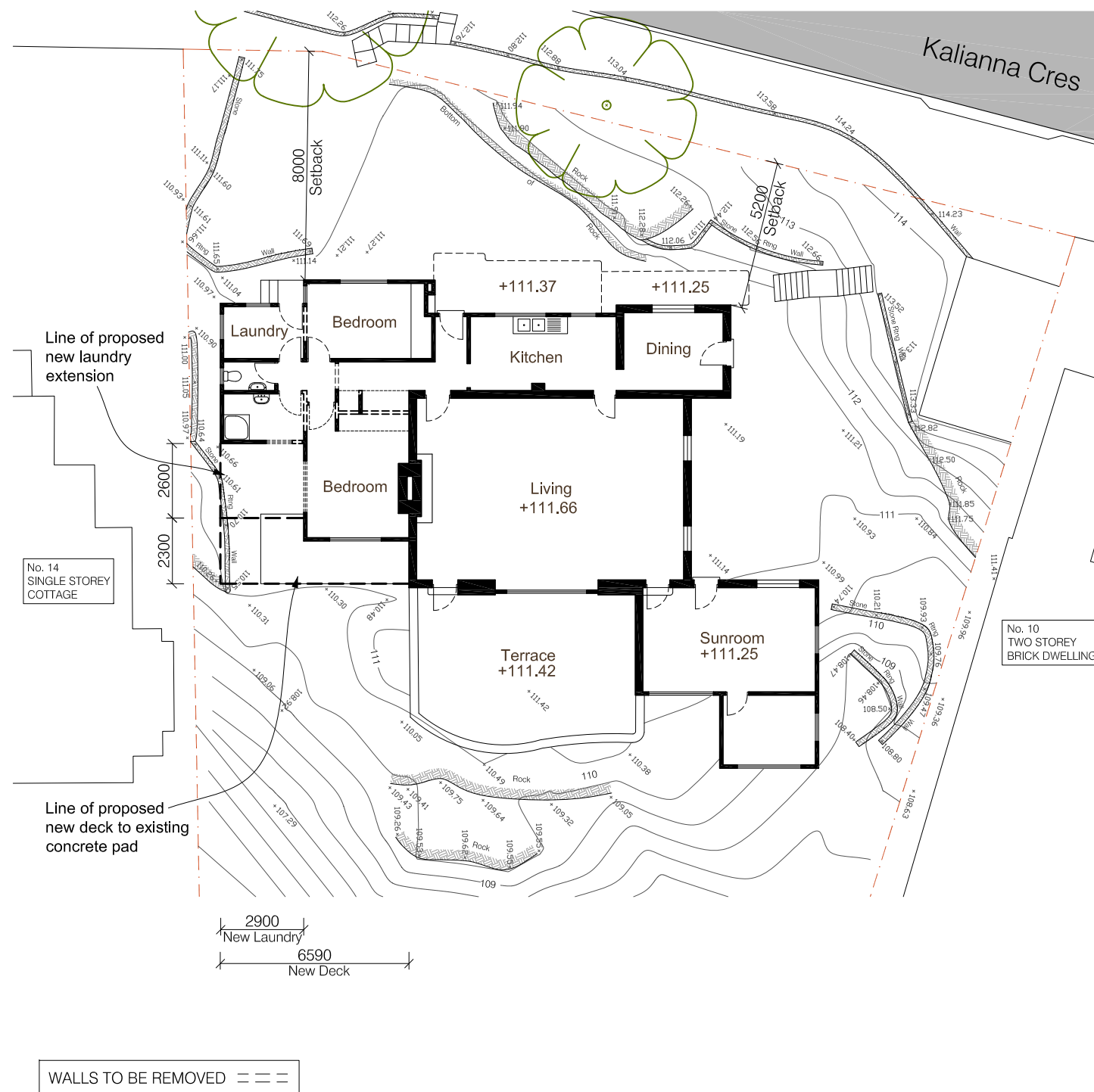
Proposed new deck to existing
concrete pad shown dotted

+ 6 1 0409 907 259



Cave Urban

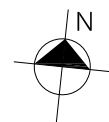
nici@caveurban.com



PROPOSED ADDITION AND RENOVATION FOR
Meher House Trust
 12 KALIANNA CRESCENT, BEACON HILL, NSW, 2100
 LOT 3 DP 526750

CAVE URBAN Pty Ltd

ABN 99156120393

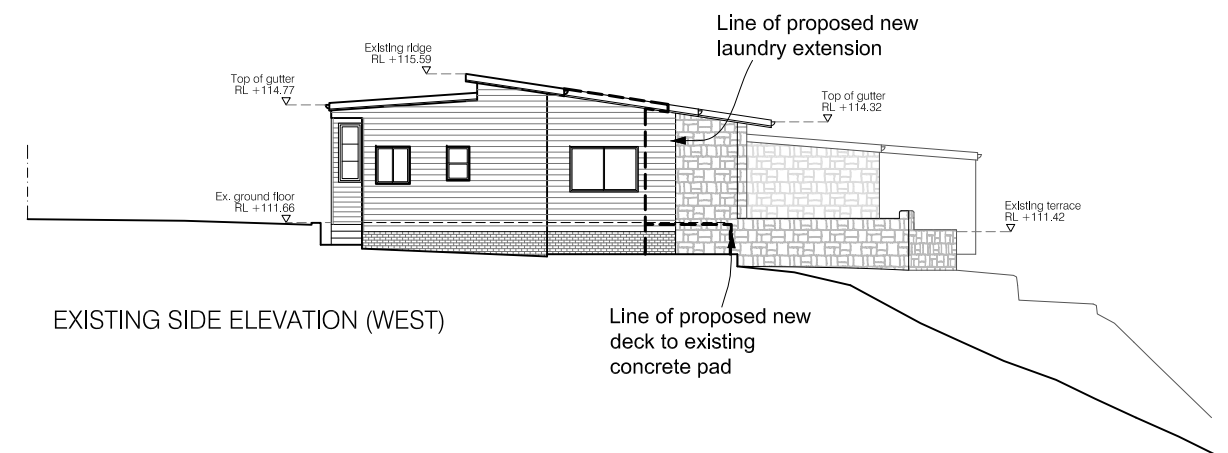


73A Bulgara Road Bellevue Hill NSW 2023

EXISTIN PLAN & ELEVATIONS +
 DEMOLITION
 SCALE : 1:200
 DATE : 23 NOVEMBER 2020
 DWG NO. : 2
 DRAWN BY : Angel



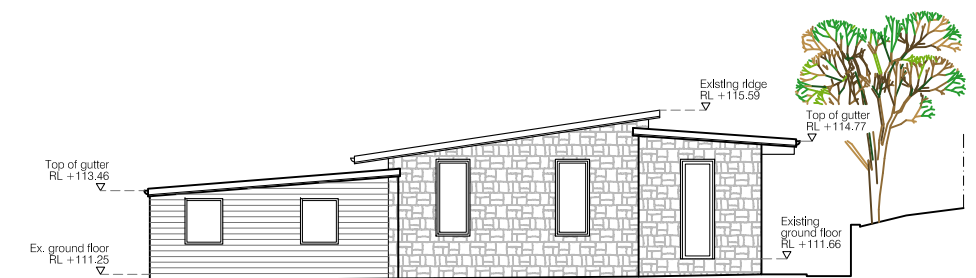
EXISTING FRONT ELEVATION TO KALIANNA CRESCENT (NORTH) - NO CHANGES



EXISTING SIDE ELEVATION (WEST)



EXISTING REAR ELEVATION (SOUTH)



EXISTING SIDE ELEVATION (EAST) - NO CHANGES



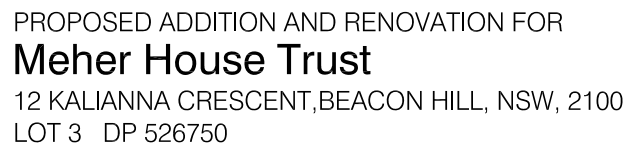
Cave Urban

nici@caveurban.com

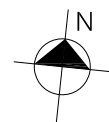
+ 61 0409 907 259

Diagram illustrating the layout of a house:

- The top part shows a horizontal line with two segments:
 - Kitchen: 2800
 - Living room: 4370
- Below the Living room segment, there is another horizontal line with two segments:
 - Toilet: 900
 - Toilet: 1650



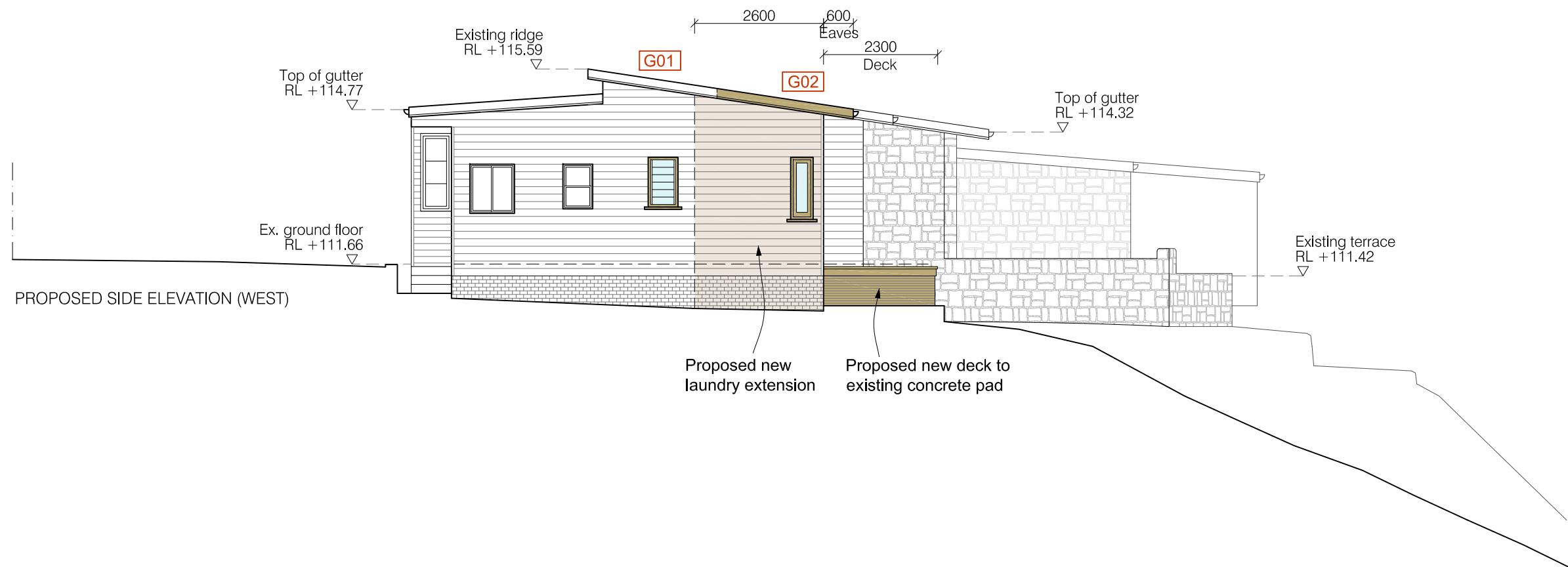
PROPOSED
GROUND FLOOR
SCALE : 1:100
DATE : 23 NOVEMBER 2020
DWG NO. : 3
DRAWN BY : Angel



- 
- Cave Urban
nicipi@caveurban.com



PROPOSED REAR ELEVATION (SOUTH)



PROPOSED SIDE ELEVATION (WEST)

PROPOSED ADDITION AND RENOVATION FOR
Meher House Trust
 12 KALIANNA CRESCENT, BEACON HILL, NSW, 2100
 LOT 3 DP 526750

CAVE URBAN Pty Ltd

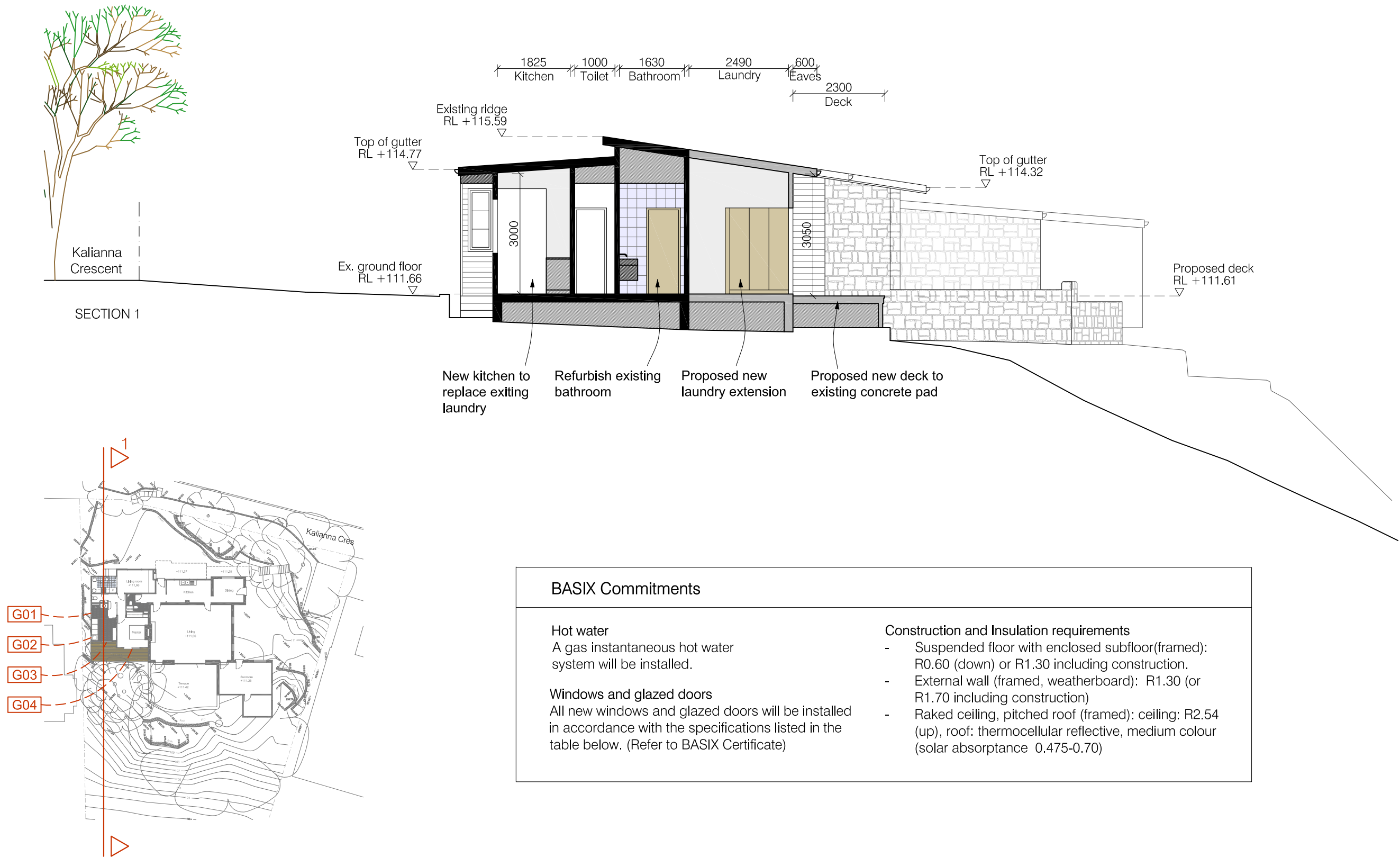
ABN 99156120393

73A Bulkara Road Bellevue Hill NSW 2023

PROPOSED
 ELEVATIONS
 SCALE : 1:100
 DATE : 23 NOVEMBER 2020
 DWG NO. : 4
 DRAWN BY : Angel


Cave Urban
 nici@caveurban.com

+ 61 0409 907 259



BASIX Commitments

Hot water

A gas instantaneous hot water system will be installed.

Windows and glazed doors

All new windows and glazed doors will be installed in accordance with the specifications listed in the table below. (Refer to BASIX Certificate)

Construction and Insulation requirements

- Suspended floor with enclosed subfloor(framed): R0.60 (down) or R1.30 including construction.
- External wall (framed, weatherboard): R1.30 (or R1.70 including construction)
- Raked ceiling, pitched roof (framed): ceiling: R2.54 (up), roof: thermocellular reflective, medium colour (solar absorptance 0.475-0.70)

PROPOSED ADDITION AND RENOVATION FOR
Meher House Trust
 12 KALIANNA CRESCENT, BEACON HILL, NSW, 2100
 LOT 3 DP 526750

CAVE URBAN Pty Ltd

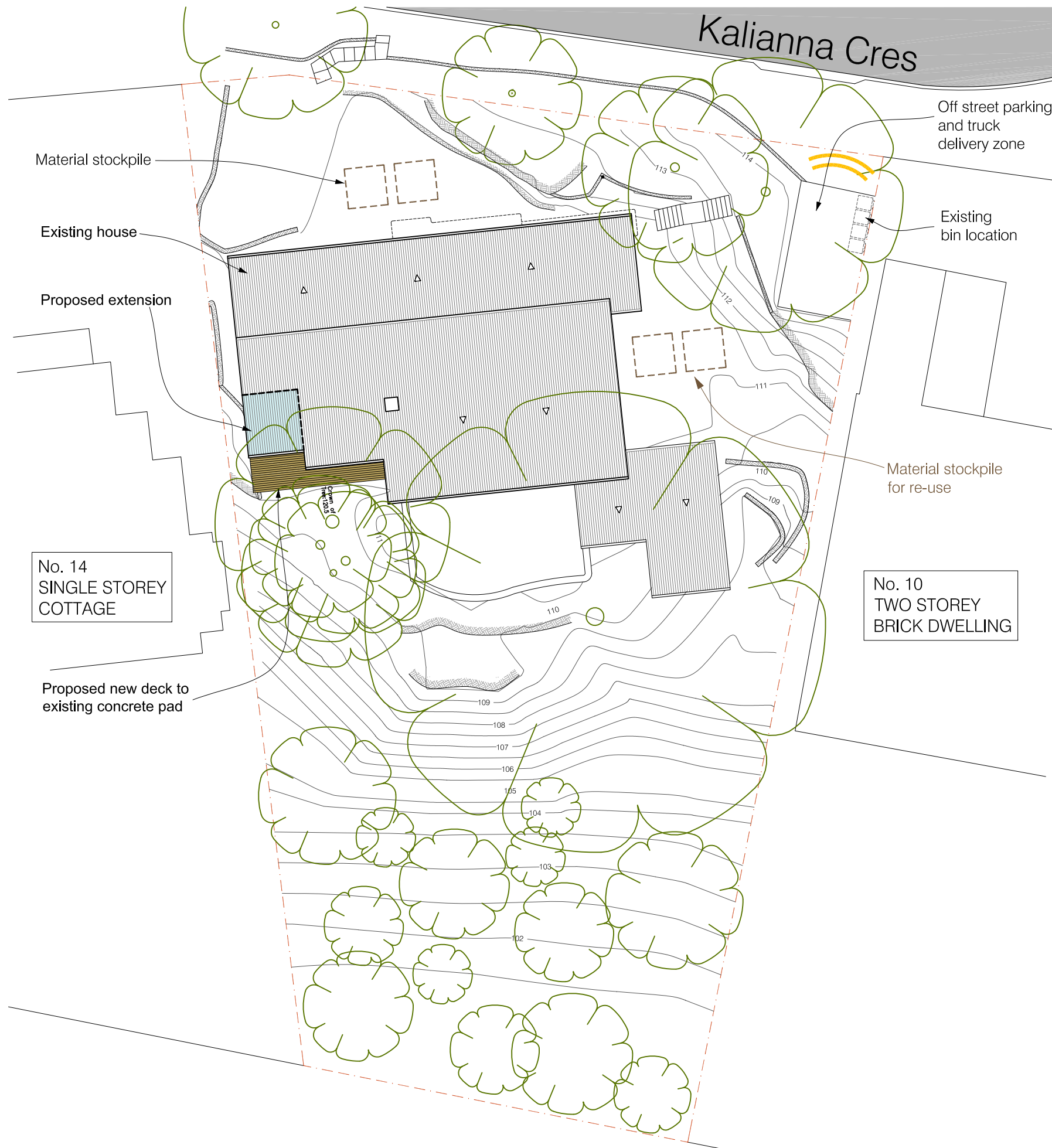
ABN 99156120393

PROPOSED SECTION +
 BASIX COMMITMENTS
 SCALE : 1:100
 DATE : 23 NOVEMBER 2020
 DWG NO. : 5
 DRAWN BY : Angel

73A Bulkara Road Bellevue Hill NSW 2023

+ 61 0409 907 259


Cave Urban
 nici@caveurban.com



WASTE STORAGE AREA DESIGN REQUIREMENTS

The design of the Waste Storage Area will:

- Be a designated area within the property to accommodate Council's allocated number of waste and recycling containers.
- Be practical and free of obstructions.
- Have a minimum area for 4 containers per dwelling.
- Be in accordance with the BCA, relevant AS and legislation detailed in Chapter xii of Waste Management Guidelines

WASTE STORAGE AREA LOCATION REQUIREMENTS

The location of the Waste Storage Area will:

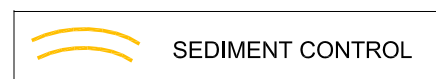
- Permit easy, direct and convenient access for the residents.
- Be incorporated entirely within the site boundary and not visible to the public.
- Be no closer than 3m from any dwelling openings.
- Be clear of any stormwater system and prevent waste water from entering the stormwater system.

NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER WHO MUST ENSURE SECURITY OF SITE AGAINST UNAUTHORIZED ENTRY
- EXISTING OFF STREET PARKING CAN BE USED BY TRADESPEOPLE AND TRUCKS DELIVERIES.
- COUNCIL APPROVAL MUST BE OBTAINED PRIOR TO THE PLACEMENT OF ANY MATERIALS ON THE FOOTPATH
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS, AND DUST AND NOISE CONTROLLED
- ROADS AND FOOTPATH TO BE SWEEPED DAILY, INCLUDING ENSURING VEHICLES LEAVING THE SITE ARE FREE OF SPREADABLE SEDIMENT AND ARE SUITABLY COVERED
- WASH EQUIPMENT IN AN AREA OF SITE THAT DOESN'T DRAIN INTO THE STORMWATER SYSTEM
- ALL WASTE STREAMS ARE TO BE STORED SEPARATELY ON SITE AND VEHICLES LOADED ON SITE ONLY
- RECYCLABLE OR REUSABLE MATERIALS SHOULD BE STORED SEPARATELY AND IF NOT RECYCLABLE THEN DISPOSED OF WITHIN COUNCIL GUIDELINES
- ALL DEMOLITION WORK TO BE CARRIED IN ACCORDANCE WITH AS2601 INCLUDING WORKSAFE CODE OF PRACTICE FOR REMOVAL OF ASBESTOS
- REQUIRED SERVICES DISCONNECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE RELEVANT AUTHORITIES
- ALL CONTRACTORS AND SUB-CONTRACTORS MUST BE MADE AWARE OF THESE REQUIREMENTS BY THE PERSON ACTING ON THIS CONSENT
- CONSTRUCTION OF WASTE STORAGE AREA COMPLIES THE NORTHERN BEACHES COUNCIL WASTE MANAGEMENT GUIDELINES.

TREE PROTECTION

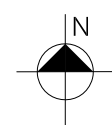
- PROTECTIVE FENCE TO BE INSTALLED AROUND ALL EXISTING VEGETATION AREA
- SEDIMENT CONTROL MEASURES TO BE INSTALLED
- TREES ARE TO BE RETAINED AND MAINTAINED DURING CONSTRUCTION



PROPOSED ADDITION AND RENOVATION FOR
Meher House Trust
 12 KALIANNA CRESCENT, BEACON HILL, NSW, 2100
 LOT 3 DP 526750

CAVE URBAN Pty Ltd

ABN 99156120393



WASTE MANAGEMENT SITE PLAN
 SCALE : 1:200
 DATE : 23 NOVEMBER 2020
 DWG NO. : 6
 DRAWN BY : Angel

73A Bulgara Road Bellevue Hill NSW 2023



Cave Urban

nici@caveurban.com

+ 61 0409 907 259