



CONSTRUCTION CERTIFICATE APPLICATION

Made under the Environmental Planning and Assessment Act 1979 Sections 109C (1) (b), 81a (2) and 81a (4)

Pittwater Council

PO Box 882 Mona Vale NSW 1660
Tel (612) 9970 1111
Fax (612) 9970 7150
Internet www.pittwaterlga.com.au
Email pittwater_council@pittwater.nsw.gov.au

SITE DETAILS

Unit/Suite	Street No 88	Street PRINCE ALFRED PARADE - 1
Suburb NEWPORT	Lot No 108	Deposit /Strata Plan 13457.

DEVELOPMENT CONSENT

Development Application No N0316/07	Determination Date
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APPLICANT DETAILS

Name/Company GAYU R NICHOLS	Contact Person -
Postal Address 14 BRAY STREET NORTH SYDNEY 2060 AUSTRALIA	Contact Numbers Phone (H/B) 02 99238707 Mobile 0412 335052 Fax 02 9918 0227
Signature of Applicant <i>G. Nichols</i>	Date 4/07/07.

OWNERS DETAILS

Name AS ABOVE	If Company, contact person
Postal Address	Contact Numbers Phone (H/B) Mobile Fax

As the owner of the land to which this application relates I consent to this application I also give consent for the authorised Council Officer to enter the land to carry out inspections

Signature of Owners <i>G. Nichols</i>	Date 4/07/07
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If more than one owner every owner must sign If the owner is a company the form must be signed by an authorised director and the common seal must be stamped on this application
If the property has been recently purchased written confirmation from the purchaser's Solicitor must be provided
If the contracts have been exchanged for the purchase of the land the current owner is to sign the application

R 225574 21/10/07

DEVELOPMENT DETAILS

Type of Work	<input checked="" type="checkbox"/> Building Work
OR	
	<input type="checkbox"/> Subdivision Work
Description of proposal – (Provide brief, concise details)	
DOUBLE BLOCK WORK; WITH CONCRETE ROOF GARAGE.	

WHO WILL BE DOING THE BUILDING WORKS?

<input type="checkbox"/> Owner Builder	
Owner Builders Permit No	
Copy of Owner Builders permit attached	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – to be provided with Notice of Commencement Form
<i>If you are an Owner-Builder for the residential building work exceeding \$5000 you must apply for a permit at NSW Office of Fair Trading, 1 Fitzwilliam Street, Paramatta NSW 2150 Australia Tel 61 2 98950111 Fax 61 2 9895 0222</i>	

OR

<input type="checkbox"/> Licensed Builder	
Builder's License Number	
Name of Builder	Phone
Contact person	Mobile
Address	Fax
Insurance Company	Insurance Certificate attached
	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No – to be provided with Notification of Commencement form
<i>If you are using a licensed builder for residential building work exceeding \$12,000 you must obtain Home Building Act Insurance A certificate of insurance must be provided with this application or submitted with the Notification of Commencement form</i>	

VALUE OF PROPOSED DEVELOPMENT

Value of Works	\$ ^{44,000} 22,000	(including full cost of labour and materials)
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DO YOU NEED TO PAY THE BUILDING INDUSTRY LONG SERVICE LEVY?

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
<i>Only required if the development involves building works exceeding \$25,000 00</i>	

OFFICE USE ONLY

Fee Type	Cashier's Code	Fee Amount
Construction Certificate Application Fee	TCER	900-90
Long Service Levy Fee	QLSL	154
Driveway/Street Levels	ESTR 74 <i>(see form)</i>	74 <i>(see form)</i>
Sec 94 Contributions		
Bonds/Guarantees		
Other Fees		
TOTAL		
Date of Receipt	Receipt No	Accepted By

PRIVACY AND PERSONAL INFORMATION PROTECTION NOTICE

Purpose of collection	To enable Council as the consent authority to assess your proposal
Intended recipients	Council Staff and any other relevant government agency that may be required to assess the proposal
Supply	The information is required by legislation
Consequence of Non-provision	Your application may not be accepted, not processed or rejected for lack of information
Storage	The Pittwater Council will store details of the application and any subsequent decision in a register that can be viewed by the public
Retention period	Hard copies of the application will be destroyed after 7 years and electronic records will be kept indefinitely
Please contact Council if this information you have provided is incorrect or changes	

STATISTICAL RETURN FOR AUSTRALIAN BUREAU OF STATISTICS

What is the area of the land?	Area in square metres	5216 m ²	
Gross floor area of existing building?	Area in square metres	NIL	
<i>If no existing building write 'NIL'</i>			
What is the existing building or site used for at present?	Main uses	RESIDENTIAL	
	Other uses		
Does the site contain a dual occupancy?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	
Gross floor area of proposed building?	Proposed floor area in square metres	4493 m ²	
What will the proposed building to be used for?	Main uses	GARAGE	
	Other uses		
How many dwellings			
Are pre existing at this property?	Dwellings	1	
Are proposed to be demolished?	Dwellings	1	
Are proposed to be constructed?	Dwellings	1	
How many storeys will building consist of?	Storeys	1 1/2	
What are the main building materials?			
Walls		Roof	
Full Brick	<input type="checkbox"/>	Aluminium	<input type="checkbox"/>
Brick veneer	<input type="checkbox"/>	Concrete or slate	<input checked="" type="checkbox"/>
Concrete masonry	<input checked="" type="checkbox"/>	Tile	<input type="checkbox"/>
Steel	<input type="checkbox"/>	Fibrous cement	<input type="checkbox"/>
Fibrous cement	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Timber/weatherboard	<input type="checkbox"/>	Other	<input type="checkbox"/>
Cladding-aluminium	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Curtain glass	<input type="checkbox"/>		
Other	<input type="checkbox"/>		
Unknown	<input type="checkbox"/>		
Floor		Frame	
Concrete	<input checked="" type="checkbox"/>	Timber	<input type="checkbox"/>
Timber	<input type="checkbox"/>	Steel	<input type="checkbox"/>
Other	<input type="checkbox"/>	Other	<input type="checkbox"/>
Unknown	<input type="checkbox"/>	Unknown	<input type="checkbox"/>

APPLICANTS CHECK LIST

<p>Note This list is intended as a guide to the type of information to be submitted Some items may not be required and Section B of the Conditions of Development Consent for the building works may specify further additional information required with submission of your Construction Certificate Application</p>	
<p>Application Form –</p>	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Owners Consent <input checked="" type="checkbox"/> Applicant's Signature <input checked="" type="checkbox"/> Long Service Levy <input checked="" type="checkbox"/> Driveway/Street levels Application
<p>Supporting Documentation - (3 copies of each)</p>	<ul style="list-style-type: none"> <input checked="" type="checkbox"/> Architectural Plans <input checked="" type="checkbox"/> Quick Check Plans endorsed by Sydney Water <input checked="" type="checkbox"/> Construction Specifications for Building Works <input checked="" type="checkbox"/> Structural Engineer s Plans <input type="checkbox"/> Structural/Geotechnical Certificates <input type="checkbox"/> Landscape Plans <input checked="" type="checkbox"/> Driveway Level Plans <input type="checkbox"/> On-site Stormwater Detention Plans <input type="checkbox"/> Drainage Plans on Site Storm Management <input checked="" type="checkbox"/> Erosion and Sediment Management Plan <input type="checkbox"/> Sydney Water Quick Check Plans <input type="checkbox"/> Subdivision Work Plans <input checked="" type="checkbox"/> Schedule of External Finishes/Colours <input checked="" type="checkbox"/> Fire Safety Measures Schedule <input checked="" type="checkbox"/> Form No 2 – “Geotechnical Risk Management Policy for Pittwater” <input type="checkbox"/> Details and location of fencing for Swimming Pool to comply with AS 1926-1986 “Fences and Gates for Private Swimming Pools” <input type="checkbox"/> Specifications for construction of buildings in Bushfire-prone areas <input type="checkbox"/> Security Deposit / Section 94 contributions

**PITTWATER COUNCIL
DEVELOPMENT DIVISION
FILE NOTE**

RECORD OF MEETING/ENQUIRY/TELEPHONE CALL/COMPLAINT

Date 2/10/07 File No N0316

Participants Shan Lyons

Address 83 Prince Alfred

Driveway Application for Cosmetre driveway
has been paid and sent to Urban Infrastructure

Officers Signature 

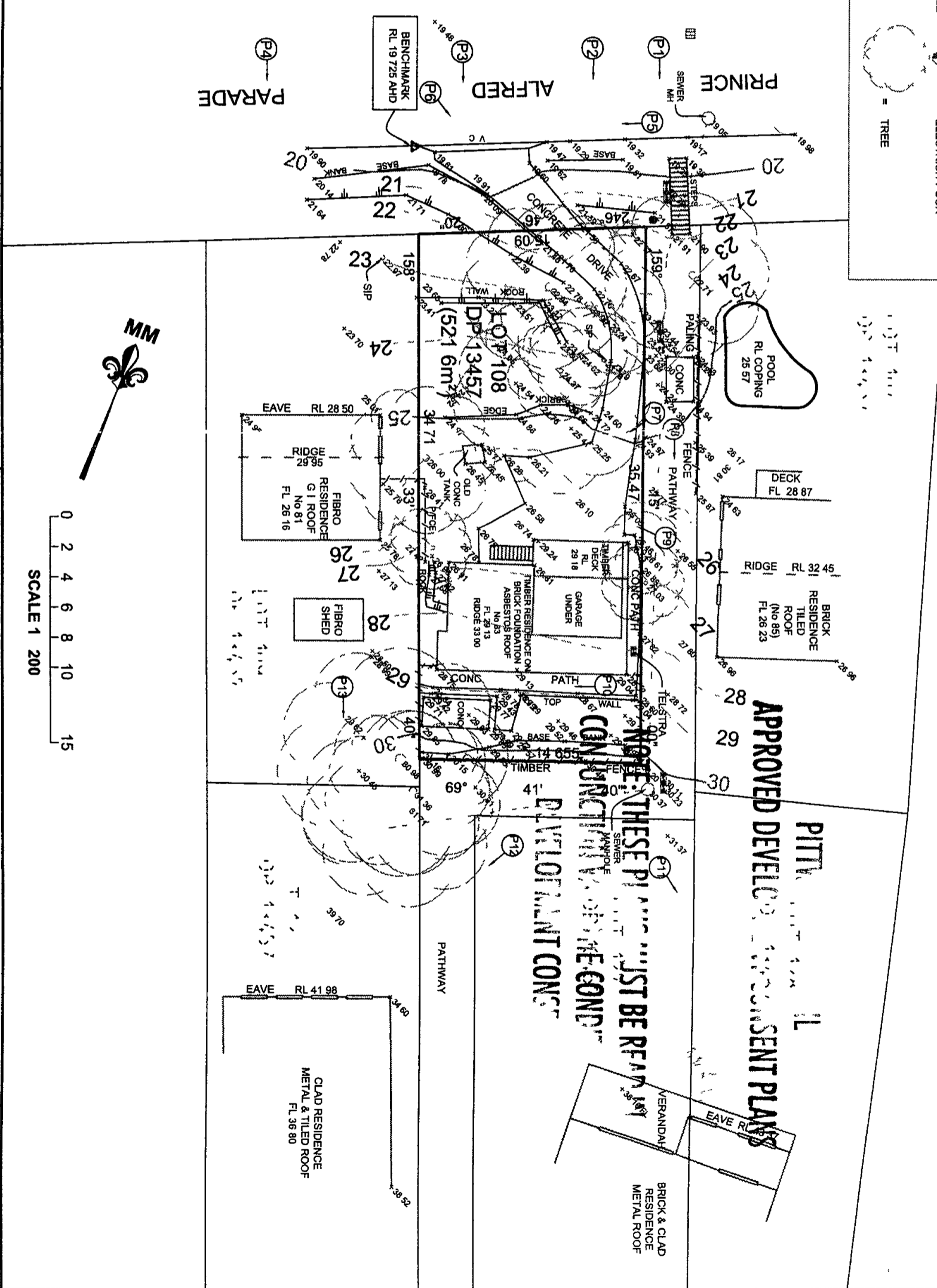


LEGEND

	= WATER METER		= BENCH MARK
	= TELSTRA PIT		= GAS METER
	= SIGN		= SEWER MAN HOLE
	= SEWER VENT		= ELECTRICITY BOX
	= POWER POLE		= FENCE LINE
			= HYDRANT
			= SEWER INSPECTION POINT
			= STOP VALVE
			= TREE

NOTES

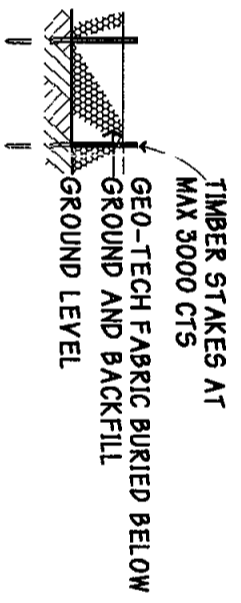
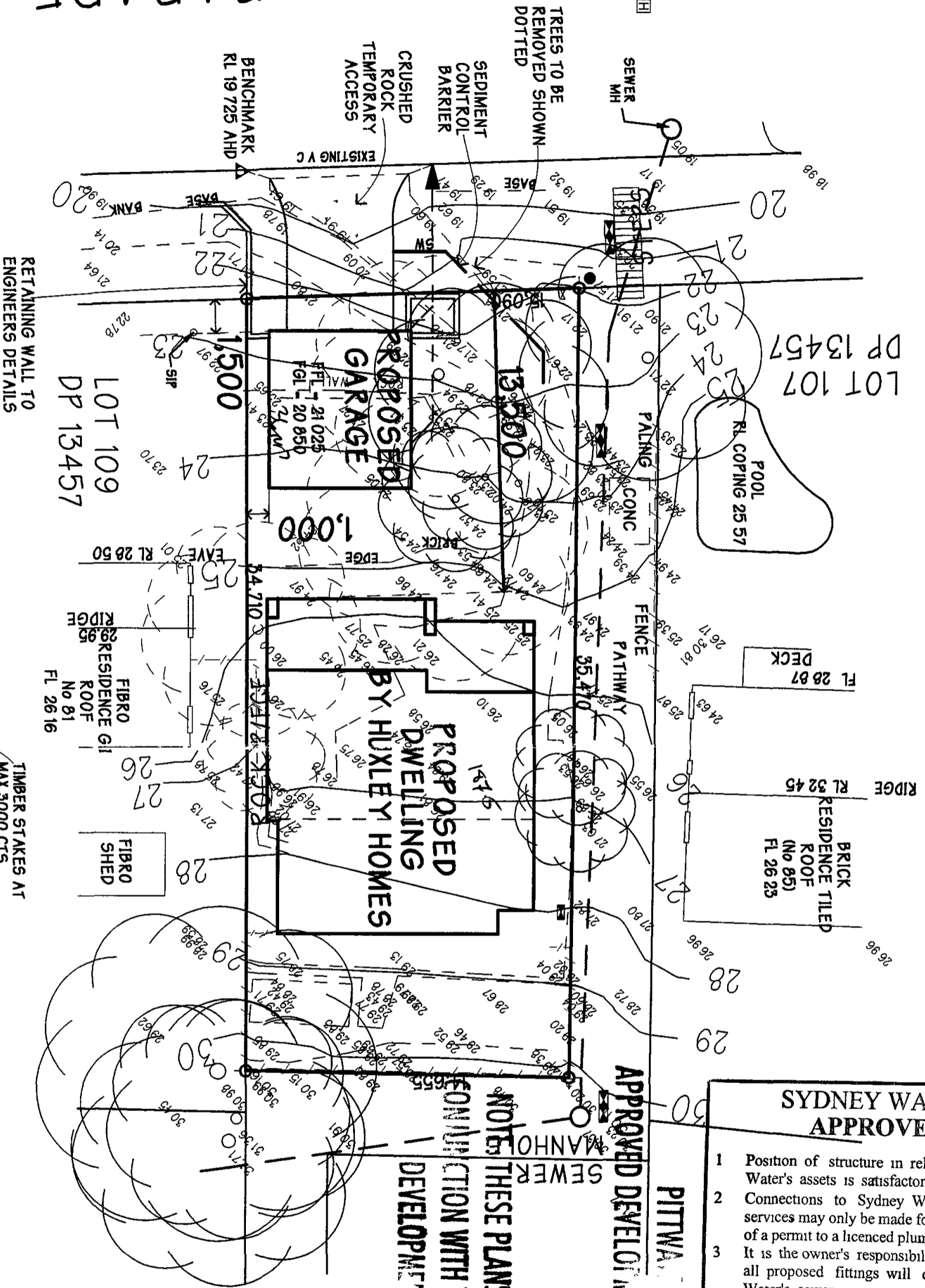
- Bearings and distances are by 'Tide and/or' Deed only. This detail survey is not a survey as defined by the Surveyors Act 1929. If any construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
- Relationship of improvements to boundaries is diagrammatic only. Where offsets are critical they should be confirmed by further survey.
- Contours shown depict the topography except at spot levels shown. They do not represent the exact level at any particular point. Services shown hereon have been determined from visual evidence only.
- Prior to any demolition excavation or construction on the site the relevant authority should be contacted to establish detailed location and depth.
- Australian Height Datum was established from SSM24994 RL 21 175.
- Tree locations are accurate to +/- 0.30m.
- The information is only to be used at a scale accuracy of 1:200.



SURVEYED CN/GG		LGA PITTWATER	
DRAWN G GIBSON		DATUM AHD	
CHECKED G GIBSON		LOCALITY NEWPORT	
PATH C:\My documents\AUTOCAD\15359 Detail		DATE 02/03/2007	
TIERMAN NEWTON RICHMOND PTY LTD CONSULTING SURVEYORS P0 BOX 282 RICHMOND NSW 2753 PHONE 02 4578 2649 FAX 02 4578 2611 EMAIL tnp@pnc.com.au			
CLIENT		NICHOLLS	
PROJECT DETAIL AND CONTOUR SURVEY OVER LOT 108 DP13457 (No 83) PRINCE ALFRED PARADE NEWPORT			
SCALE 1 200		SCALE 1 200	
HUXLEY REF No 23225		PLAN REF 15359	

PRINCE ALFRED PARADE

SITE PLAN 1:200



SYDNEY WATER APPROVED

- 1 Position of structure in relation to Sydney Water's assets is satisfactory
 - 2 Connections to Sydney Water sewer/water services may only be made following the issue of a permit to a licenced plumber/drainier
 - 3 It is the owner's responsibility to ensure that all proposed fittings will drain to Sydney Water's sewer
 - 4 Any Plumbing and/or Drainage Work to be carried out in accordance with the Sydney Water Act 1994, AS 3500 and the NSW Code of practice
 - 5 Gulches, Inspection Shafts and Boundary Traps shall not be placed under any Roof, Balcony, Verandah, Floor or other cover unless otherwise approved by Sydney Water
- Property No 3447214

Reece St Leonards,
 Quick Check Agent on behalf of
 SYDNEY WATER

Per *Reece* 7,09,07

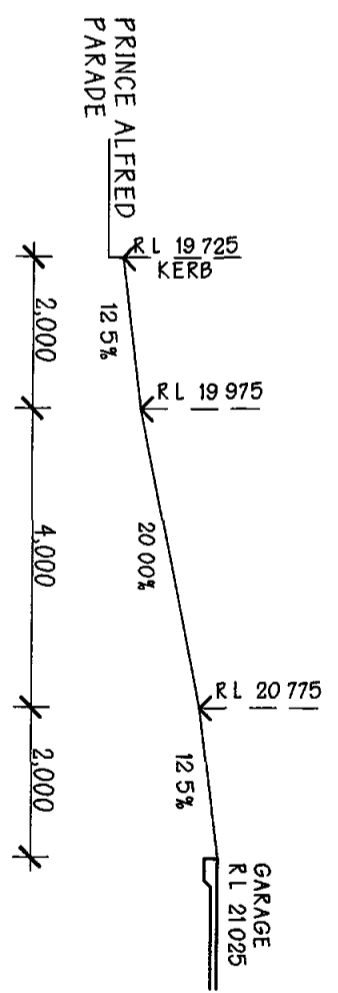
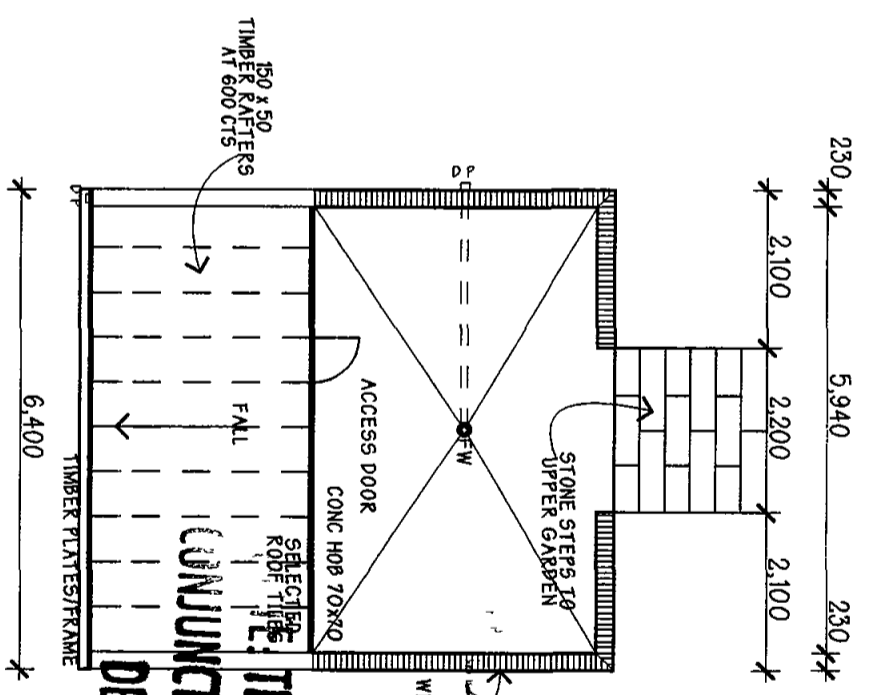
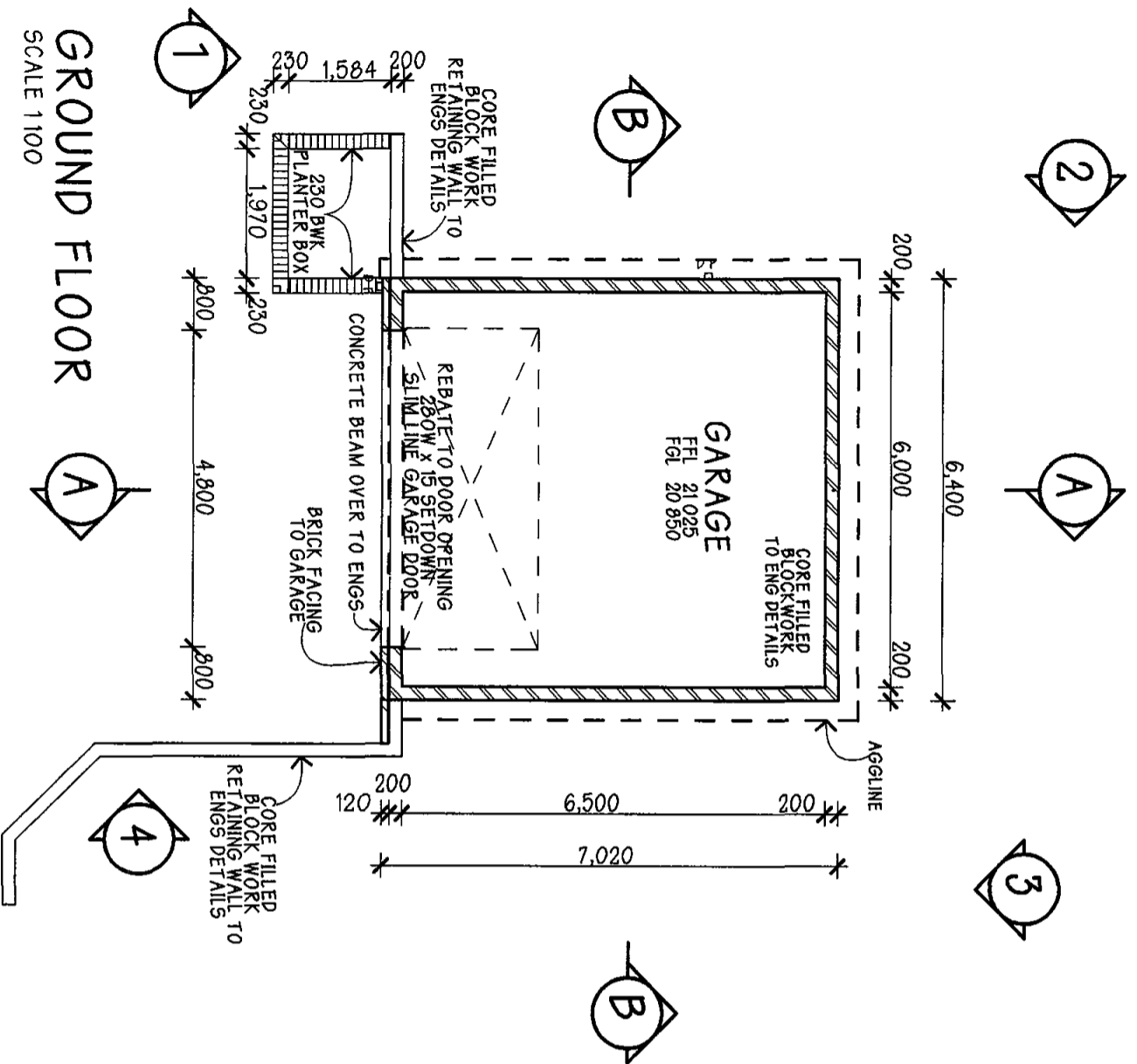
NOTE: THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

APPROVED DEVELOPMENT CONSENT AREA 521 Gm²

PITWATER COUNCIL LOT 108

PROPOSED BLOCK GARAGE AT LOT 108 No 85 PRINCE ALFRED PARADE NEWPORT BEACH	
FOR MS NICHOLLS DP 13457	
HAND	SCALE
SHEET 1 OF 3	1:200 1:100 1:50 1:20 1:10
DRAWN	AREA
BH	GARAGE 44.93
DATE	
14.05.07	





WATER COUNCIL
DEVELOPMENT CONSENT PLANS

THESE PLANS MUST BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

PROPOSED BLOCK GARAGE
 AT LOT 108 No 83 PRINCE ALFRED PARADE
 NEWPORT BEACH

FOR MS NICHOLLS

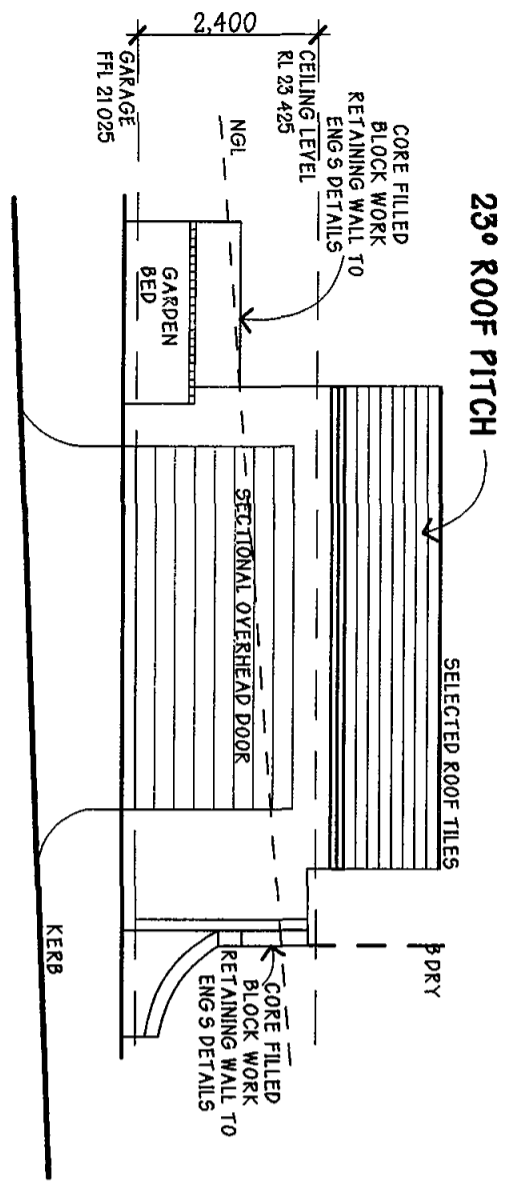
HAND	D P 13457	SCALE	1:200 1:100 1:50 1:20 1:10
DRAWN	BH	AREA	GARAGE 44.93
DATE	14 05 07		

GROUND FLOOR PLAN 1:100

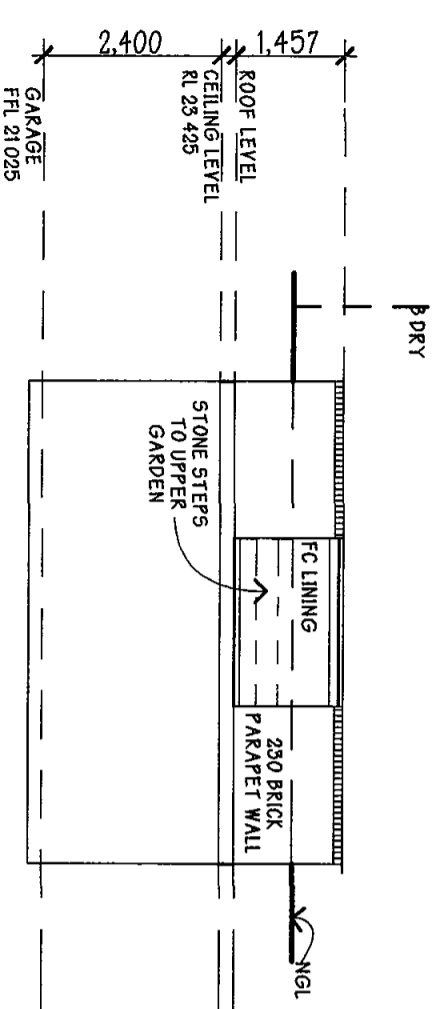
DRIVEWAY PROFILE
SCALE 1:100

COBONN DESIGN

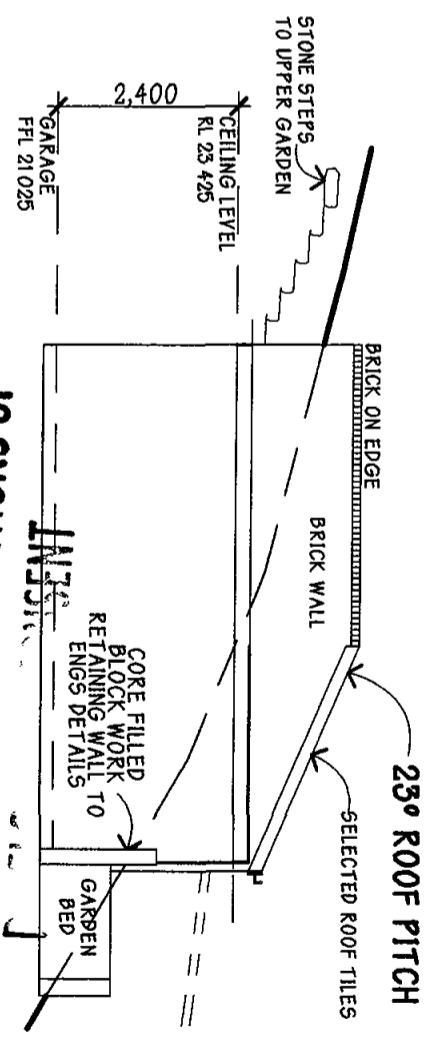
Ph: 9833 0460



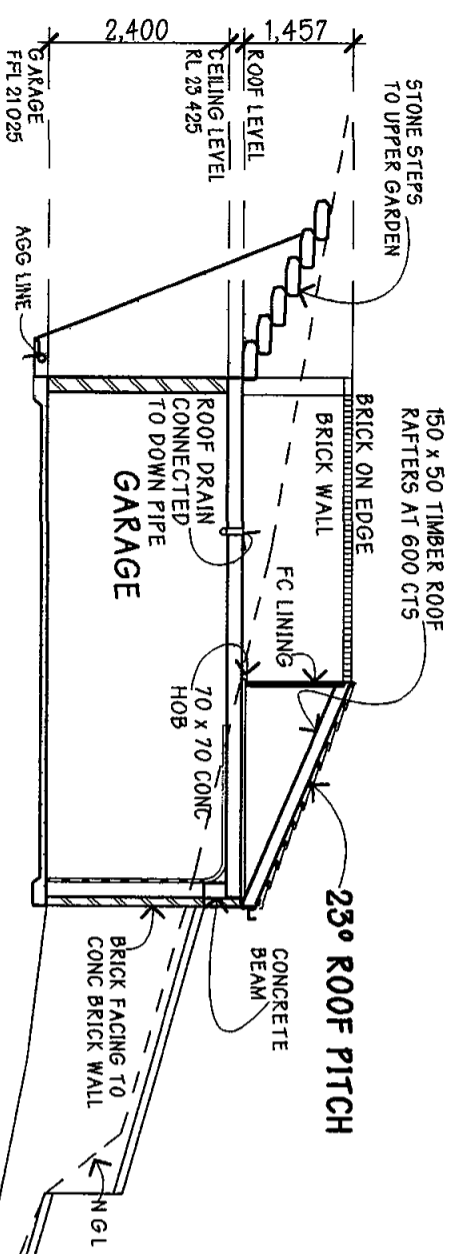
NORTH ELEVATION 1



SOUTH ELEVATION 3

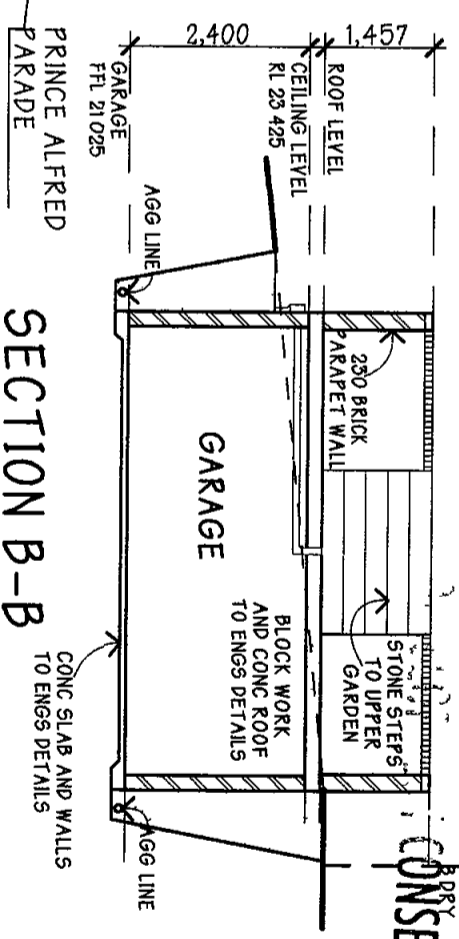


WEST ELEVATION 4



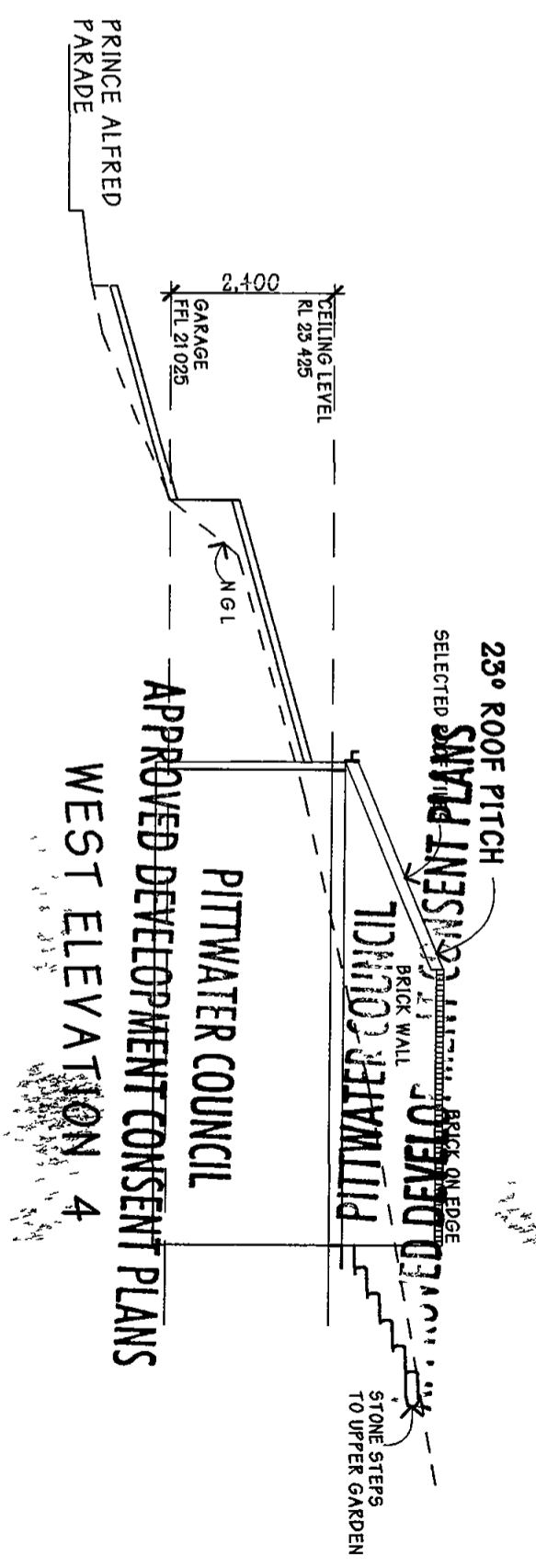
SECTION A-A

NOTE
CONCRETE ROOF WALLS AND
FLOOR SLAB TO ENGS DETAILS



SECTION B-B

CONC SLAB AND WALLS
TO ENGS DETAILS



NOTE: THESE PLANS MUST BE READ IN
CONJUNCTION WITH THE
CONSENT CONDITIONS OF
THE DEVELOPMENT CONSENT

PROPOSED BLOCK GARAGE
AT LOT 105 No 83 PRINCE ALFRED PARADE
NEWPORT BEACH

FOR MS NICHOLLS
D/P 13457

HAND	SHEET 1 OF 3	SCALE	AREA
DRAWN	BH	1:200 1:100 1:50 1:20 1:10	GARAGE 44.93
DATE	14.05.07		

ELEVATIONS 1:100

COBORN DESIGN
PH: 9838 0460



Pittwater Council
Information for Access Driveway Profiles
1 July 2006 – 30 June 2007

To Ms Gay Nicholls
Postal Address 83 Prince Alfred Parade
NEWPORT NSW 2106

Date 01 November 2006

Receipt No 203814
Amount \$66 00

ACCESS DRIVEWAY PROFILE AT 83 Prince Alfred Parade, Newport NSW 2106

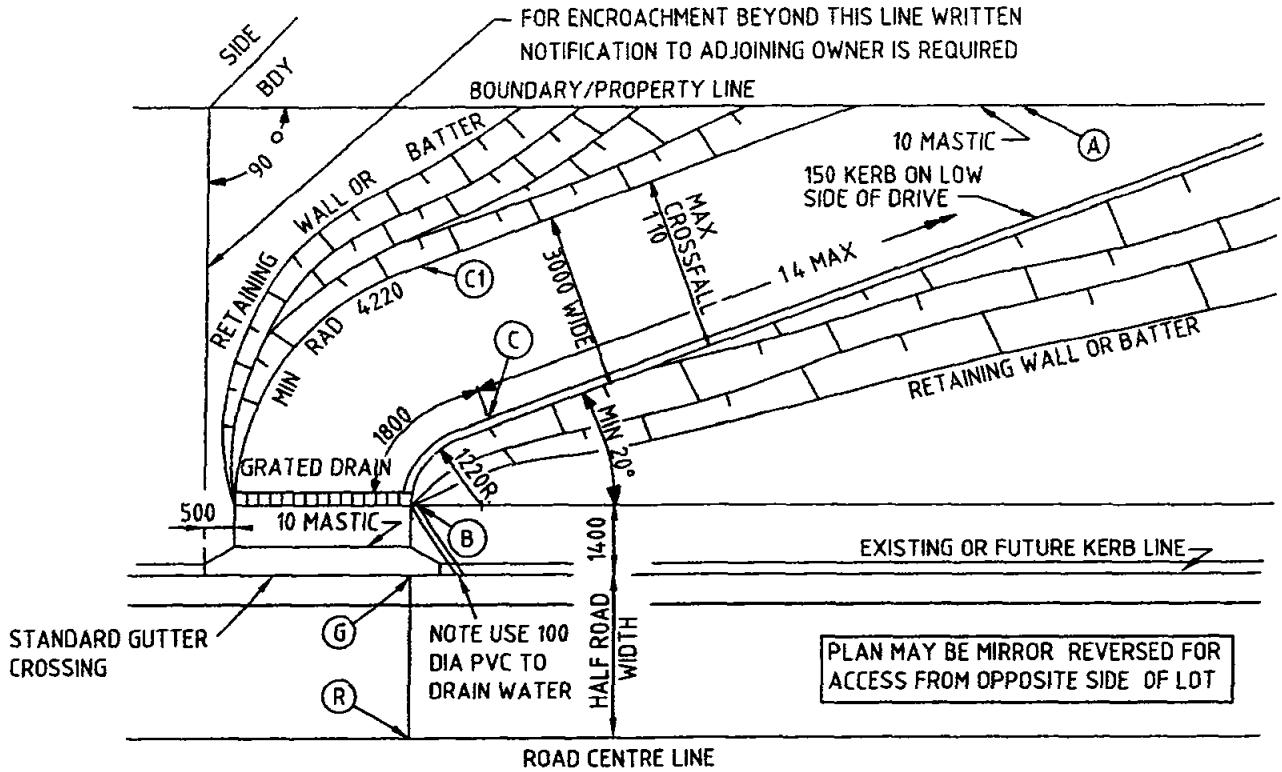
- The proposed vehicular access driveway profile shall be as per the enclosed plan **MHLS**
- **Type of Construction** Domestic
- **Slab Construction** Vehicular access slab **10 0m** long, **5 5m** wide at gutter crossing to **3 5m** wide at the boundary
- Council will only permit an absolute maximum gradient of 25% (1 in 4) measured at any point on the driveway and that an ease may be required for access into the car stand area, carport or garage Refer to relevant attached profile
- All work within the road reserve (including excavation) in connection with the above, is to be carried out by authorised Contractors only,
- Quotations for the work specified above should be obtained from any of the contractors on Council's list and should be for the whole of the work stated,
- Construction of vehicular access will be strictly in accordance with the profile supplied, and
- A formwork inspection by Council is required prior to construction (Provide minimum 24 hours notice)

- 1 NOTE THAT THIS INFORMATION SHEET DOES NOT CONSTITUTE AN APPROVAL TO COMMENCE OR PROCEED WITH ANY WORK ON SITE**
- 2 A SECTION 139 CONSENT UNDER THE ROADS ACT – 1993 IS REQUIRED (FORM UI203)**
- 3 FAILURE TO OBTAIN SUCH CONSENT PRIOR TO COMMENCING WORK WILL INCUR A PENALTY**


Sigr Melders
ASSETS / RESTORATIONS OFFICER
Telephone 9970 1348

MAXIMUM HIGH LEVEL SKEW (MHLS)

FOR USE ONLY FOR SINGLE DWELLING OR DUAL OCCUPANCIES



POINT	REMARKS	LEVELS
R	ROAD CENTRELINE	
G	INVERT OF GUTTER	
B	1400 FROM KERB FACE	130 ABOVE G"
C	3200 FROM KERB FACE	NOT HIGHER THAN 440 ABOVE G
C1	6900 FROM KERB FACE	MIN 440 MAX 740 ABOVE G
A	BOUNDARY	EASE REQUIRED AT GRADE CHANGE

NOTES

- To be read in conjunction with Pittwater 21 Development Controls
- Retaining wall & batter slopes to comply with Geotechnical Risk Management Policy for Pittwater
- Does not cater for towed vehicles or vehicles with tow bars



PITTWATER COUNCIL

Standard Driveway Profile
MAXIMUM HIGH LEVEL SKEW

PLAN No
PWC-DW04
REV No B
DATE 5/9/05



Pittwater Council

List of Council Approved Contractors 1st July 2006 – 30 June 2007 Vehicle Footpath Crossings & Associated Works

- The following contractors are authorised to carry out the above construction within the road reserve in the Pittwater Council area. No other persons are permitted to carry out excavation or any other part of this work.
- Please note that the contractors are specifically recommended as vehicle footpath crossing contractors only and in some instances the contractors may not hold a Builder's Licence or a Restricted Builder's Licence.

Company Name	Address1	Address2	Phone	Mobile
4DV Constructions Pty Ltd	670A Twelfth Avenue	ROSSMORE NSW 2717		0417 458 664
A K Concrete Solutions Pty Ltd	164 Madagascar Drive	KINGS PARK NSW 2148	9837 8322	0412 392 355
Acacia Paving	71 Smith Avenue	ALLAMBIE NSW 2100	9939 3917	0414 397 055
Action Concreting & Const Pty Ltd	P O Box 521	COLLARROY NSW 2097	9982 2135	0414 355 772
A-Grade Concrete	PO Box 6142	NARRAWEENA NSW 2100	9982 2616	0410 565 777
Anton Constructions Pty Ltd	730 Ounmbah Creek Road	PALMGROVE OURIMBAH NSW 2258	4362 9605	0418 236 651
Antonio Tomaino	97 Wyadra Avenue	NORTH MANLY NSW 2099	9938 3841	0422 994 938
The Bree Concreting	29 Seaview Avenue	NEWPORT NSW 2106	9997 8840	0415 183 146
Ben Papandrea	8/6 Cohen Street	FAIRLIGHT NSW 2094	9948 3713	0422 849 111
Brook Concrete P/L (Bomanite)	26 Adderton Road	TELOPEA NSW 2117	9638 2926	0418 218 671
Capano Concrete Pty Ltd	40 Rowley Street	SMITHFIELD NSW 2164	9604 8715	0409 838 238
Coastline Concrete Pty Ltd	47 Blighs Road	CROMER NSW 2099	9982 4805	0412 278 507
C-side Concreting & Pump Hire Pty Ltd	43 Wesley Street	ELANORA HEIGHTS NSW 2101	9913 1653	0404 872 111
Cubic Concrete	12A Linden Street	MOUNT DRUITT NSW 2770		0407 016 064
Cunneen and Mayne Building Construction	PO Box 6558	BAULKHAM HILLS BC 2153	9680 7081	0409 455 937
D Spencer & Associates	7/1 Manna Close	MOUNT KURING-GAI NSW 2080	9457 0332	0425 212 570
Danscapes Pty Ltd	PO Box 764	CARINGBAH NSW 1495	9523 3335	0416 107 283
Florino John	Lot 4 Oxford Falls Road	OXFORD FALLS NSW 2100	9453 5637	0415 296 978
Foster Civil Contracting Constructions Pty Ltd	PO Box 7278	KARIONG NSW 2250	4376 1081	0418 213 248 0418 427 879
Forks Concrete	PO Box 983	MONA VALE NSW 2103	9997 3999	0418 225 871
G & D Concrete Pty Ltd	58 Parkes Road	COLLARROY NSW 2097	9982 4780	0418 644 887
H J Bellamy & Sons Pty Ltd	P O Box 541	COLLARROY NSW 2097	9981 4137	0418 280 904
Ingleside Landscaping Pty Ltd	145 Wirreanda Road	Ingleside nsw 2101	9450 2404	0408 296 359
Kakoda Concrete Pty Ltd	32 Aldinga Road	WAMBERAL NSW 2260	4384 2460	0421 342 177
Kelpie Concrete Pty Ltd	20 Spring Road	CURL CURL NSW 2096	9905 8398	0418 164 604
Leo Concreting Pty Ltd	PO Box 99	QUAKERS HILL NSW 2763	4574 0296	0410 442 667
Lloyd Drilling and Underpinning Constructions Pty Ltd	17 Ilya Avenue	BAYVIEW NSW 2104		
Luchs Concrete Pty Ltd	15 Milpera Place	CROMER NSW 2099	9982 8739	0411 879 257
Matlock Landscapes and Design Pty Ltd	3 Rooke Court	KELLYVILLE NSW 2155	8824 8353	0412 366 588
Paton Concrete Works	PO Box 1149	NEWPORT NSW 2106	9979 2791	0407 011 907
Newborn Concrete & Landscaping	24A Holt Street	NORTH RYDE NSW 2113		0425 323 333
Newport Concrete	PO Box 108	NEWPORT NSW 2106	9997 5686	0407 068 716
Nick Johnston Landscapes Pty Ltd	14/1-3 Jubilee Avenue	WARRIEWOOD NSW 2102	9979 8885	0414 645 334

Company Name	Address1	Address2	Phone	Mobile
Nicsons Concrete Pty Ltd	6 8 Redfern Street	WETHERILL PARK NSW 2164	9756 5533	
Northern Beaches Homes	PO Box 1070	NEWPORT NSW 2106		0416 124 663
North Shore Paving Co Pty Ltd	16 Moore Avenue	LINDFIELD WEST NSW 2080	9416 8455	0418 269 697
Northcrete Concreting Pty Ltd	8 David Road	COLLARROY PLATEAU 2097	9971 7868	0418 239 958
Northshore Formwork & Concreting Pty Ltd	30 Nimbey Avenue	NARRAWEENA NSW 2099	9981 4390	0418 169 365
Northside Formwork & Constructions Pty Ltd	PO Box 168	MONA VALE NSW 1660	9997 6363	0411 529 004
Pavecrete Pty Ltd	PO Box 710	AVALON NSW 2107	9913 8500	0418 772 799
Pave On Line Pty Ltd	232 Coreen Avenue	PENRITH NSW 2750	4721 2566	0438 212 563
Performance Concrete Service	Unit 23/10-12 Jenkins Street	COLLARROY NSW 2097		0414 182 553
Peter Yorke Landscapes Pty Ltd	32 Sydney Road	WARRIEWOOD NSW 2102	9944 6598	0414 997 644
PRC Constructions Pty Ltd	14 Buena Vista Avenue	MONA VALE NSW 2103	9940 1019	0410 303 806
Rahneh Constructions Pty Ltd	11/1 Hordern Place	CAMPERDOWN NSW 2050	9517 9755	0415 224 504
Richie Concrete Pty Ltd	1 Cathcart Street	FAIRFIELD NSW 2165	8704 4608	0412 124 262
S & E Cavalieri Pty Ltd	29 Quinlan Parade	MANLY VALE NSW 2093	9948 5442	0412 285 301
Shorecent Concreting Pty Ltd	18A Pine Avenue	BROOKVALE NSW 2100	9944 0860	0402 853 921
Spaghetti Concretors Pty Ltd	24 Hillcrest Road	BEROWRA NSW 2081	9456 0456	0419 479 59
Superb Landscaping Pty Ltd	12 Donohoes Avenue	MULGOA NSW 2745	4773 9417	0411 224 466
T B R H Concreting and Landscaping P/L	P O Box 2078	NORMANHURST NSW 2076	9489 2620	0413 072 702
Tea Tree Landscaping and Paving (NSW) Pty Ltd	511 Calf Farm Road	MOUNT HUNTER NSW 2570	4654 5804	0413 555 278
The Gardenmakers Pty Ltd	Unit 4/1 Vuko Place	WARRIEWOOD NSW 2101	9970 7600	
Topform Construction	PO Box 704	MONA VALE NSW 1660	9997 2295	0418 266 375
Vallone Constructions Pty Ltd	1987 Pittwater Road	BAYVIEW NSW 2104	9999 5579	0419 808 222
Walter Wellington & Co Pty Ltd	PO Box 87	COLLARROY NSW 2097	9982 6335	0414 614 119

Builders who wish to carry out their own work only (No quotes)

Gubler & Associates Pty Ltd	49 Careel Head Road	NORTH AVALON NSW 2107	9918 2896	
Lamrock Builders	PO Box 76	AVALON NSW 2107	9918 7037	0418 406 221



Pittwater Council

Form No UI 203

Consent by Road Authority for Work in Road Reserve

Section 139 – Roads Act 1993

1 July 2006 - 30 June 2007

PLEASE PRINT

Applicant _____

Postal Address _____ Postcode _____

Phone (W) _____ (M) _____

Property Address _____

Subject to the payment of the appropriate fee, the Applicant is hereby permitted to construct the driveway (and/or associated work) as detailed below, in strict accordance with the **CONDITIONS** overleaf

I/We the undersigned agree to abide by the said conditions

Applicant's Signature

Date

FEES (includes GST)

Consent for access driveway construction only (includes 2 site inspections) per allotment for residential single and dual occupancy	\$132 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for residential single and dual occupancy which includes any of retaining structures, stairs or landscape treatment	\$330 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for other than residential single and dual occupancy	\$154 00
Consent for access driveway construction only (includes 2 site inspections) per allotment for other than residential single and dual occupancy which includes any of retaining structures, stairs or landscape treatment	\$440 00

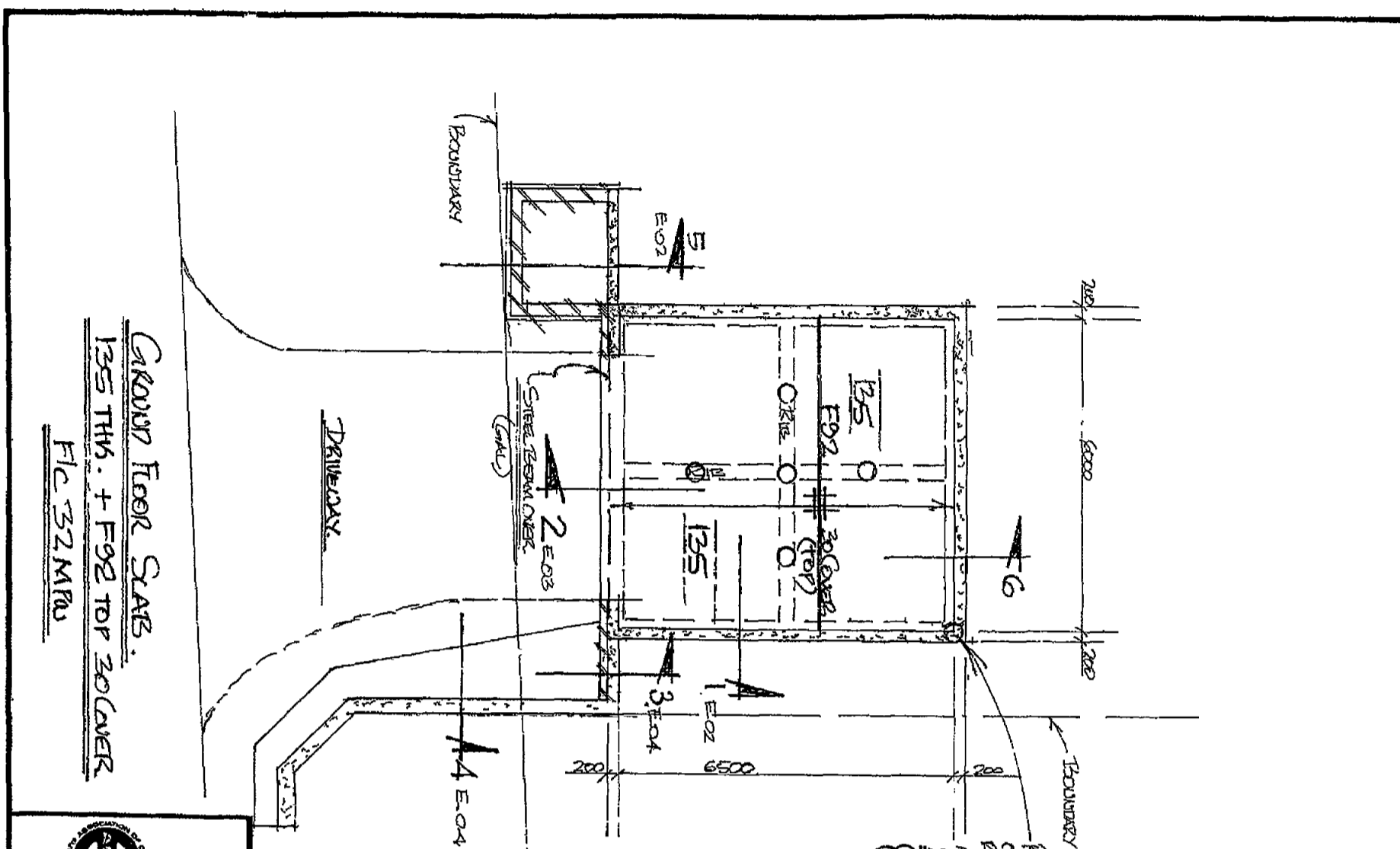
NOTE TO CUSTOMER SERVICE PHOTOCOPY APPLICATION FORM AND STAPLE WITH RECEIPT FOR CUSTOMER S RECORD

Office Use Only	Form No UI 203	
CODE ESTR	1 7 06 - 30 6 07	FEE PAID \$
Late Fee \$600 when work commenced prior to issue of Consent		
RECEIPT NO	ISSUED BY	DATE

SECTION 139 – ROADS ACT 1993

CONDITIONS OF CONSENT

- 1 The Applicant shall, at all times, keep indemnified Council from and against all actions, suits, proceedings, losses, costs, damages, changes, claims and demands in any way arising out of or by reason of anything done or omitted to be done by the Applicant in respect of the work in question
- 2 The Applicant, at all times for the duration of this Consent, will not interrupt or otherwise disturb the traffic flow on the road without first obtaining the consent of Council
- 3 The applicant shall make good any damage caused to the property of any person or any property of Council by reason of the carrying out of any work by the Applicant under the Conditions of this Consent
- 4 Should the Applicant fail to comply with any of these conditions or any requirement of Council as provided then this Consent shall permanently lapse and any part of the work remaining within the road at that time shall be deemed to be an obstruction or encroachment under Section 107 of the Roads Act 1993
- 5 This Permit/Consent receipt must be held on the job and produced to any officer of Council when called upon
- 6 ***All work within the Road Reserve (including excavation) is to be carried out by Council Authorised Contractors only***
- 7 Construction of the vehicular access is to be strictly in accordance with the profile supplied
- 8 A formwork inspection and approval by Council is required prior to construction of the driveway



GROUND FLOOR SLAB.
 135 THY. + F92 TOP 20 COVER
 FLC 32 MPa

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 CONSULTING STRUCTURAL ENGINEERS
 AON 003 004 857
 39-41 HARRIS ST, FAIRFIELD 2165
 PH 736 7966

APPROVED BY	B.T. SYME
DATE	28/6/07
CHKD	BTS
DATE	
APPROVED BY	B.T. SYME
DATE	

PROJECT	FOR MS NICHOLS LOT108/83 RINDGE ALFRED BL NEWPORT BEACH
TITLE	STRUCTURAL DETAILS
REV	REV A 14/9/07
DRG No	E01
JOB No	25259
SCALE	D001
SHEET	OF A

NOTE: EXHIBIT TO BE ADVISED FOR INSPECTOR PURPOSES

EXPECTED ROCK BEARING OR CONCRETE TO ROCK ALL AROUND AND ASSHOUND 100# REBAR (REINFORCED)
 300# REBAR @ 1000% MAX
 SEE ALSO E02A, E04, AND E06A

CONCRETE NOTES

- FOR GENERAL AND CONCRETE NOTES REFER TO DRAWING
- FOR CONCRETE SPECIFICATIONS REFER TO STANDARD FLOOR CONCRETE SLAB 1
- 28 DAY STRENGTH SHALL BE 32 MPa AS NOTED
- 300# REBAR @ 1000% MAX
- ALL CONCRETE SHALL BE PLACED AND VIBRATED TO THE FULL DEPTH AND COMPACTED TO THE FULL DEPTH
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LOCKWORK NOTES

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GENERAL NOTES

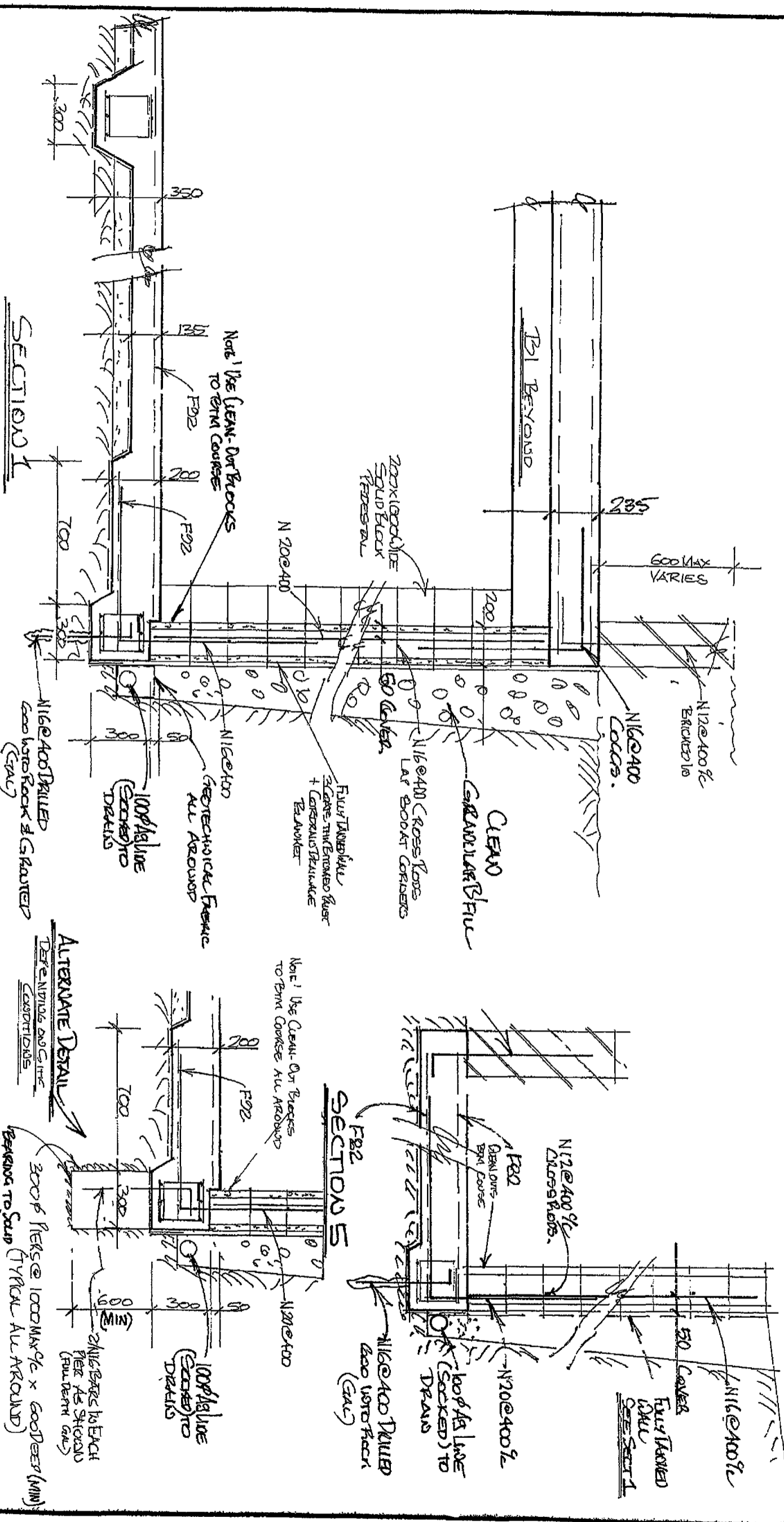
- This drawing to be read in conjunction with the Architectural Drawings and Specifications. All construction to be carried out as per the relevant Australian codes. For all conditions on site during construction, refer to the relevant Australian codes and AS/NZS 1170.1.
- Strip top soil and vegetation. Bench site by cut & fill to required level. Fill to be placed as per AS2870(6.4.2) and in layers of 150mm thick using multiple passes of excavator. Proceeding with any further works. Certified compacted building platforms as per AS2870(6.4.2) are an alternative to the above. The actual preparation of the Building Platform to this specification is not the responsibility of the Engineer.
- Engineers drawings are signed & issued on the understanding that the builder maintains in force proper and adequate contract works insurance and public liability insurance, during the full course of the construction, and/or any requirements period. Claims of damage to any adjacent property or building is not the responsibility of the Engineer.
- Provide WELSH DOCK 30/45 chairs
- Cops, piers to be correctly located by contractor and are adapted to achieve an even bearing as required by Engineer and site conditions
- 400mm dia to clay bearing (300KPa) at 2000mm c/c. 500mm dia to shale/rock bearing (700KPa) at 2000mm c/c. Use 0.2mm polythene (high impact) Damp proof membrane make waterproof at all joints and drainage pipes etc. Site to be properly drained to eliminate surface & subsoil water flow
- It is the responsibility of the contractor to ensure Par tops are clean & free of foreign matter prior to the laying of the Membrane and Concrete slab. Engineer's Spot check does not release the Contractor from this responsibility.
- Concrete 32 MPa at 28 days 80mm slump & to be cured immediately following the concrete pour. All concrete to be mechanically vibrated during pour. No additional water is to be added to Concrete on Site. Keep slab continuously wet for 7 days min. plastic or wax liquid sprays may be used. Extra precautions such as the use of evaporative retarders (Aliphatic Alcohols) are recommended during hot weather concrete pours to help avoid thermal related slab cracking. "M. POWER ASK"
- THIS DRAWING IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER
- Minimum ground bearing capacity 100 KPa
- Lap - Fabric - one square + 25mm
- Trench Mesh - 40 * bar dia (500mm)
- Steelwork design as per AS4100 Steel Structures
- Code and AS1770 Dated and Live Loads
- Bridle floor coverings to be laid on a suitable flexible type bedding system & supplied with Control Joints at 4000c/c max. Alternatively fabric F-92 to be used, as if advised by builder.
- Slab design as per AS2870 1996 Code for Residential Slabs and Footings and in accordance with Engineering Principles, AS 3600(6.4.2) & AS 2870(6.4.2)

I am a qualified Civil & Structural Engineer. I hold the following qualifications: M. Eng. Sc. F.I.E. Aust. N.P.S. C. & S. Civil No. 149788. Further I am appropriately qualified to certify the geotechnical component of this project.

I hereby state that the geotechnical content of these plans or details comply with the conditions of development consent and the provisions of the Building Code of Australia and/or appropriate Aust. alien/industry code of practice.

JACK HODGSON 26/11/07

Signature: *[Signature]*
 Date: 26/11/07



PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer I hold the following qualifications M Eng Sc FIE Aust N Per 3 Civil & Structural No 149788 Further I am appropriately qualified to certify the geotechnical component of the project

I hereby state that the geotechnical content of these plans or details comply with the conditions of development consent and the provisions of the Building Code of Australia and/or appropriate Australian/Industry standards

Name: JACK HODGSON
 Date: 26/11/07
 Signature: [Handwritten Signature]

BARRY T. SYME & ASSOCIATES PTY LTD
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 ACN 003 084 957
 38-41 HARRIS ST, FAIRFIELD 2165
 PH 728 7986

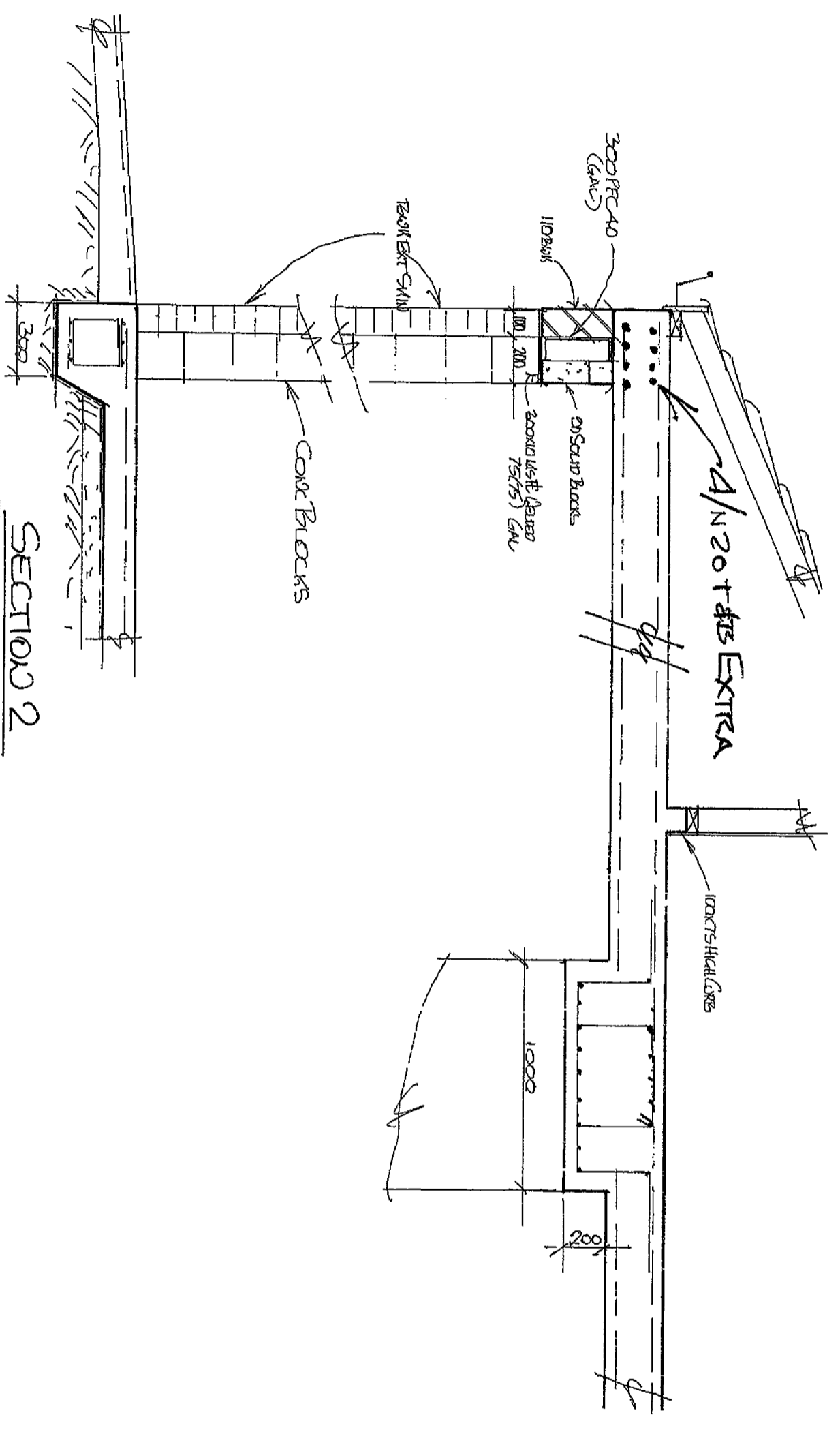
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DATE	28/5/07
APPROVED	BT SYME
	BE ME AUST

PROJECT: FOR. Mc NICHOLS AT LOT 108, 1083 WILKINSON RD, NEWPORT BEACH

TITLE: STRUCTURAL DETAILS

REV "A" 14/9/07

SCALE	DOGT
JOB No	25259
DRG No	E02
REV	A
SHEET OF	



SECTION 2

I, LAWRENCE WENTWORTH, a qualified Civil & Structural Engineer, hold the following qualifications in accordance with the Engineering Act 1993 and the Engineering (Professional Engineers) Regulations 2000. I am a qualified Civil & Structural Engineer, holding the following qualifications in accordance with the Engineering Act 1993 and the Engineering (Professional Engineers) Regulations 2000. Further, I am a registered Professional Engineer under the provisions of the Professional Engineers Act 1993 and the Engineering (Professional Engineers) Regulations 2000. I hereby state that the technical content of these plans or details comply with the provisions of the Building Code of Australia and/or the provisions of the Building Code of Australia and/or appropriate Australian standards.

Name: JACK HODGSON
 Date: 26/9/07
 Signature: *Jack Hodgson*

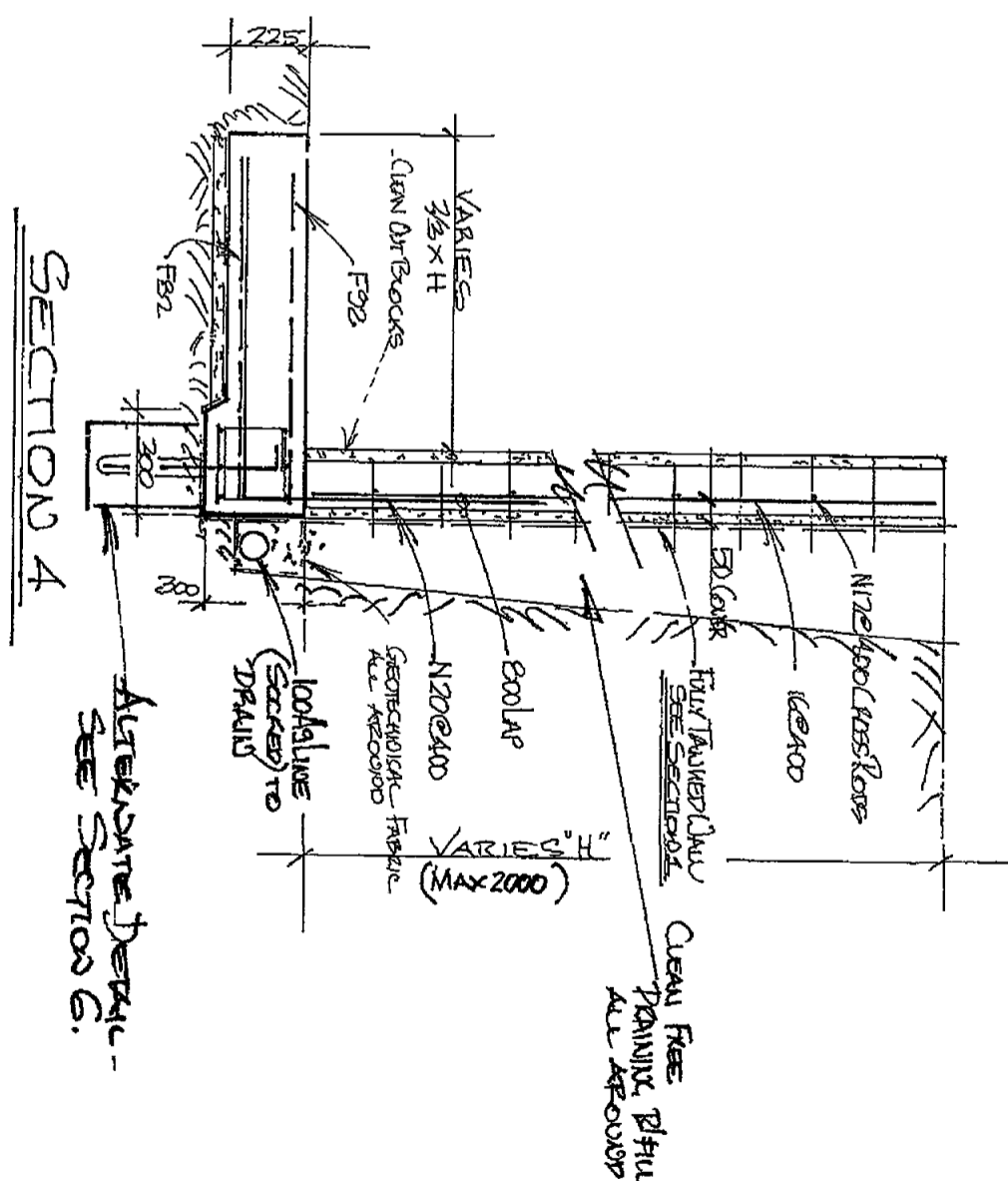
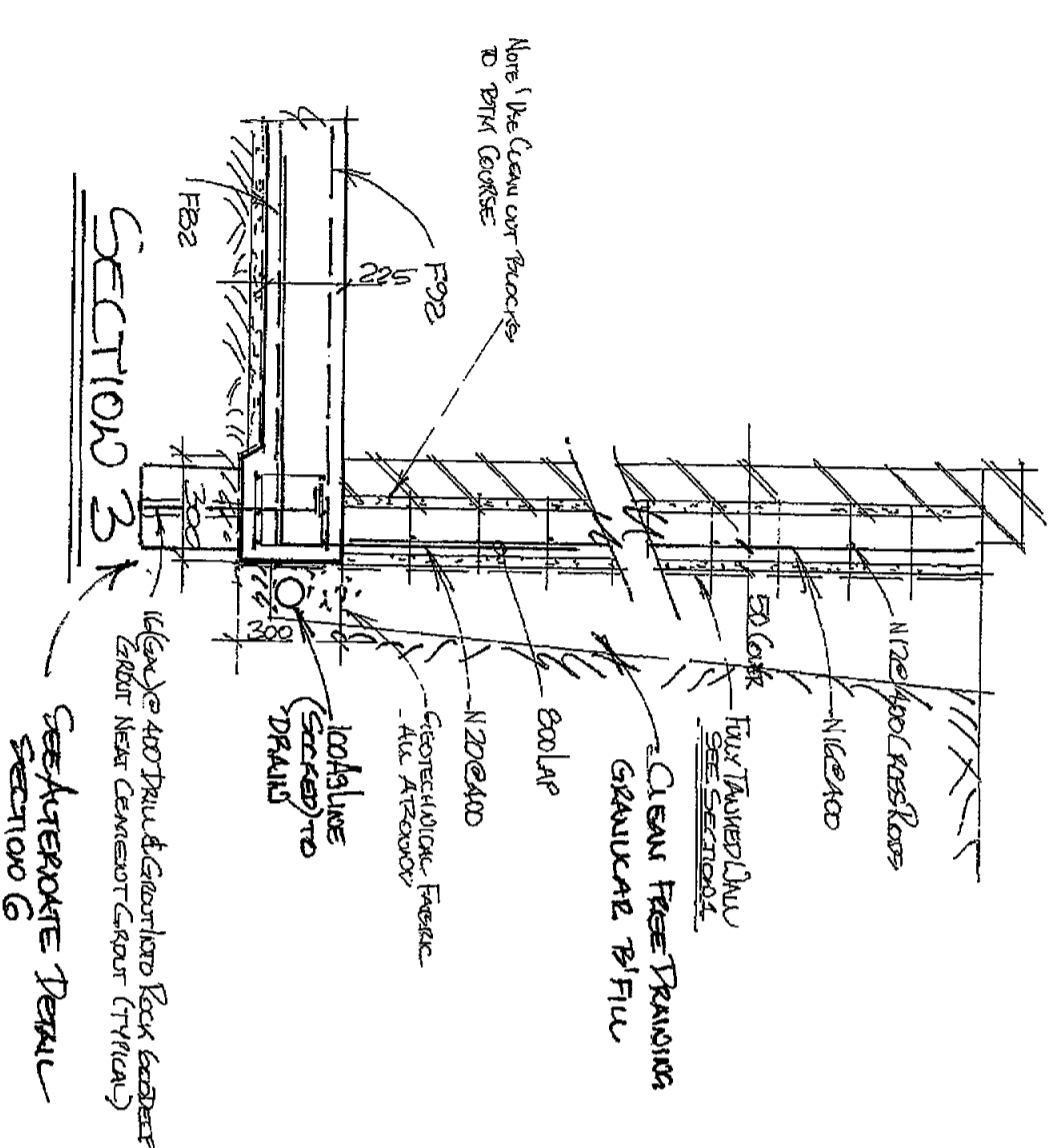
BARRY T. SYME & ASSOCIATES PTY LTD
 CONSULTING STRUCTURAL ENGINEERS
 A/CN 083 094 357
 39-41 HARRIS ST,
 FAIRFIELD 2165
 PH 726 7696

DRWN	BTS
CHKD	-
DATE	28/5/07
APPROVED	<i>[Signature]</i>
B.T. SYME	
BEHME AUST	

PROJECT
 FOR: Ms NICHOLLS
 AT: Lot 108 N 85 RIVER ALFRED Rd
 : NEWPORT BEACH

TITLE
 STRUCTURAL DETAILS
 Rev "A" 14/9/07

SCALE	1:200
JOB No	25259
DRG No	E-03
SHEET OF	1 OF 1
REV	A



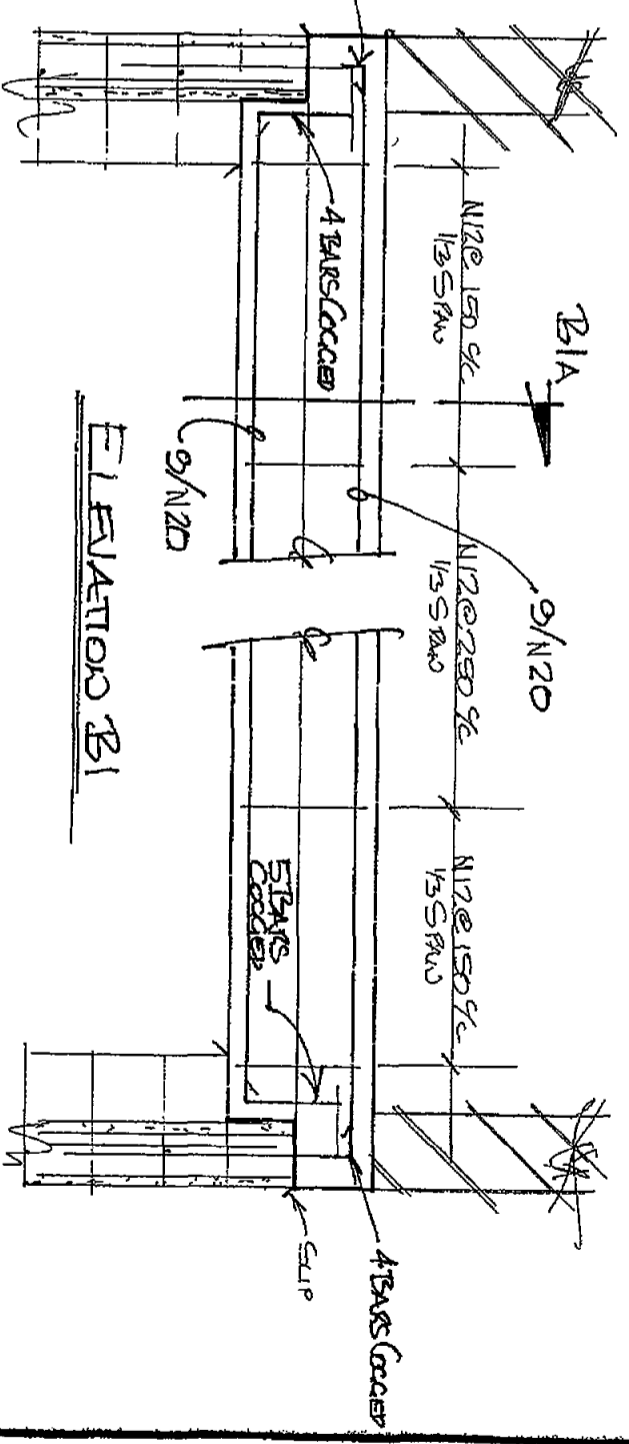
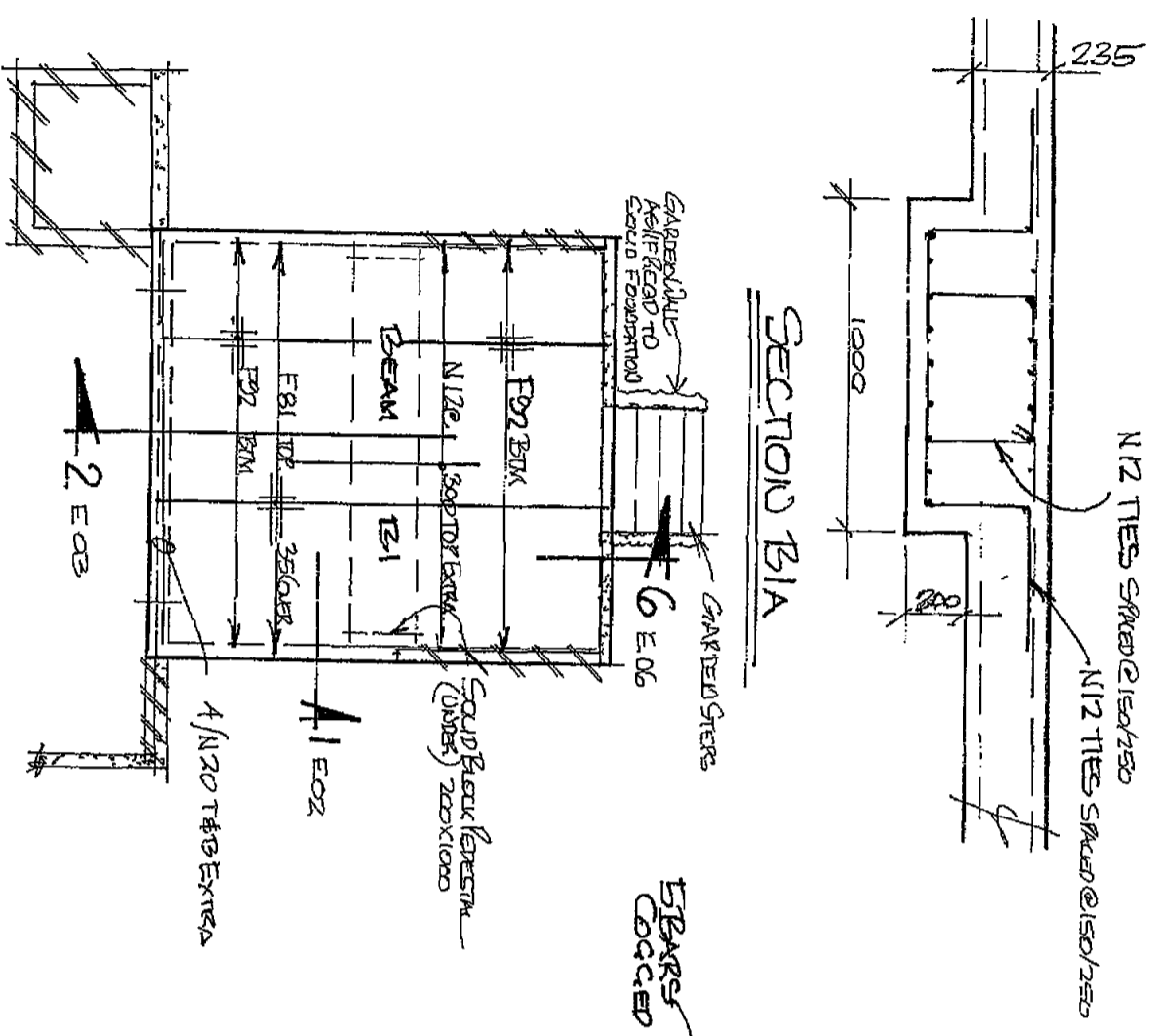
PLANNING DOCUMENT CERTIFICATION
 I am a qualified Civil & Structural Engineer. I hold the following
 Registrations: M. Eng. STRUT. AUSTRALIAN REGISTERED CIVIL & STRUCTURAL
 No. 149788. Further I, in appropriate/ qualified to certify the
 geotechnical component of the project.

I hereby state that the geotechnical content of these plans or
 details comply with the conditions of development consent and
 the provisions of the Building Code of Australia and/or
 appropriate Australian/industry standard.

JACK HODGSON 26/9/07
 Name Date
 Signature

BARRY T. SYME & ASSOCIATES PTY LTD
 CONSULTING STRUCTURAL ENGINEERS
 AON 003 094 357
 30-41 HARRIS ST, FARFIELD 2185
 PH 726 7666

DRWN	BS	PROJECT	FOR: Ms NICHOLS AT LOT 88 83 RIMMEL RD NEWPORT BEACH	SCALE	As Shown
CHKD		TITLE	STRUCTURE DETAILS REV A 14/9/07	JOB No	25253
DATE	28/5/07	APPROVED	B.T. SYME	DRG No	E-04
		BE ME AUST		REV	A.
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ROOF SLABS

236-THK + E.C. 32MM

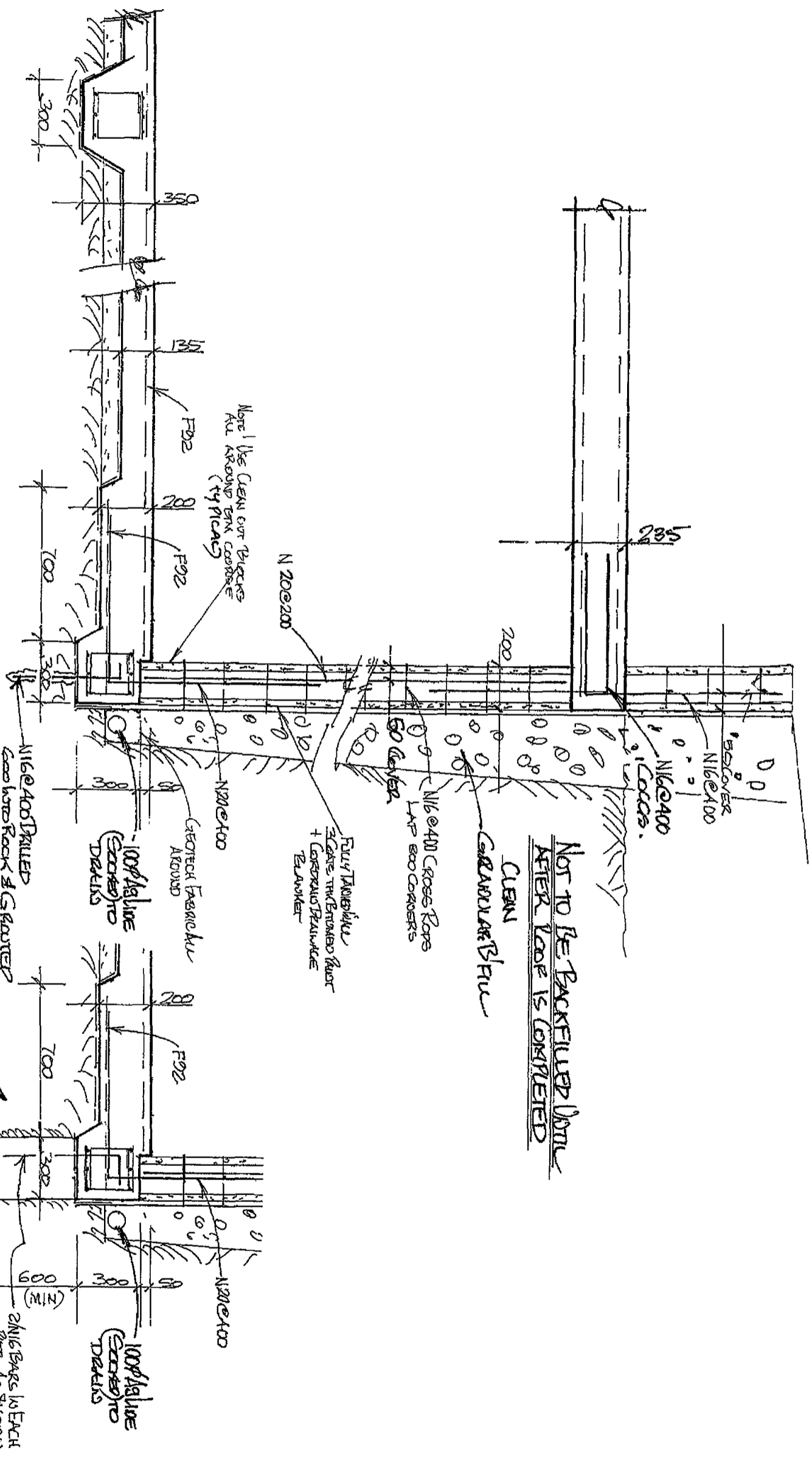
PLAIN OR REINFORCED CONCRETE
 I am a qualified Civil & Structural Engineer. I hold the following
 qualifications: 236-THK + E.C. 32MM
 No. 149788 Further I am appropriately qualified to certify the
 geotechnical component of the project.
 I hereby state that the general context of these plans or
 details comply with the provisions of development consent and/or
 the provisions of the Building Code of Australia and/or
 appropriate Australian industry standards.
 JACK HODGSON
 26/9/07
 Date
 Signature

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 CONSULTING STRUCTURAL ENGINEERS
 AON 003 084 357
 39-41 HARRIS ST., FAIRFIELD 2165
 PH 728 7886

DRAWN	BTS
CHKD	-
DATE	24/9/07
APPROVED	B.T. SYME
	BE.MIE.AUST.

PROJECT
 FOR: Ms DICHONIS
 AT: LOT 108/1085 RIVERA ALFRED RD.
 NEEDROBT BEACH
 TITLE
 STRUCTURAL DETAILS
 REVISED 14/9/07

SCALE	1:20
JOB No	257259
BRG No	
REV	A
SHEET	05
OF	



NOT TO BE BACKFILLED UNTIL AFTER WORK IS COMPLETED

PLAN OR DOCUMENT CERTIFICATION

I am a qualified Civil & Structural Engineer. I hold the following qualifications M. Eng. Sc. F.I.E. Aust. P. Per 3 Civil & Structural No. 149788. I am an appropriately qualified to certify the geotechnical component of the project.

I hereby state that the content of these plans or details comply with the code of development consent and the provisions of the Building Code of Australia and/or appropriate Australian standards.

Name: JACK HODGSON
 Date: 26/9/07
 Signature: [Handwritten Signature]

BARRY T. SYME & ASSOCIATES PTY LTD
 CONSULTING STRUCTURAL ENGINEERS
 AON 003 094 357
 39-41 HARRIS ST, FAIRFIELD 2165 PH 726 7896

APPROVED BY	DATE
[Signature]	28/5/07
DATE	CHKD
28/5/07	-
DATE	DRWN
28/5/07	BTS

PROJECT: FOR MRS NICHOLS - AT LOT 100 N 83 PRIME ALFRED RD - NEWPORT BEACH.
 TITLE: STRUCTURAL DETAILS.
 Rev "A" 14/9/07

SCALE	DRG No	REV
1:50	25259	A
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SPECIFICATION

PROPOSED CAR GARAGE
AT
LOT 108, NO. 83 INDP 13457
PRINCE ALFRED PARADE
NEWPORT

FOR MS G NICHOLLS

INDEX

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1. GENERALLY

- 1.01 **Extent of the Works:** Shall be governed by the Contract Tender Letter and Working Drawings.
- 1.02 **Provide:** Means the supply and complete building in of specified materials, fittings, etc.
- 1.03 **Regulations and Notices:** The Contractor is to comply with the Building Code of Australia, the relevant State appendix thereto; and/or any amendments thereto; the requirements of Legally Constituted Authorities for Local Government and/or for services to the extent as provided for in the Contract Tender Letter. The Contractor is to give all notices, obtain all permits and pay all fees required by such Authorities. Damage/Security deposits are to be paid by the Owner.
- 1.04 **Insurance:** Insurance of the works against fire will be effected by the Contractor. The Contractor shall at his own expense adequately insure against Public Risk and arrange indemnification in respect of his liability under the Workers' Compensation Act of New South Wales.
- 1.05 **Labour and Materials:** The Contractor is to provide all labour, materials, fittings and plant required to construct and complete the building as specified in the Contract Tender Letter. Materials to be the standard specified. Workmanship in each trade to be performed by tradesman of that particular trade and in conformity with current good building practice.
- Notwithstanding that certain materials may herein after be specified, the Contractor reserves the right to substitute and/or alter any materials herein, however, they must comply with the relevant ordinances and/or Lending Authority concerned and be of no less a quality than the material they are substituting.
- 1.06 **Set Out & Dimensions:** The Contractor is to set out and maintain the work substantially in accordance with the drawing. Figured dimensions on plans are to be taken in preference to scale measurements. Unless otherwise stated all dimensions are nominal i.e. dimensions are to structural elements and do not include finished surfaces such as plasterboard tiling etc.

- 1.07 **Plans and Specification:** If any alterations, amendments or variations to the said plans and specifications are required by any Governmental or semi-Governmental Authority the cost of such alterations, amendments or variations shall be charged to the Owner's account.
- 1.08 **Additional Work:** Should any additional work (as distinct from authorised extras and variations) not allowed for, or included in, or specifically excluded from the Contract Sum or this Specification, be required to be carried out because of site conditions, requirements of the Lending Authority and/or Statutory Authority, the cost of such work shall be to the Owner's account.
- 1.09 **Final Payment:** Final payment shall be by bank cheque on completion and before occupation. The Contractor shall not, under any circumstances, release the keys for the building until all outstanding monies have been paid by the Owner to the Contractor.
- 1.10 **Survey:** The Contractor shall allow the provisional sum as scheduled for the following survey work; (a) block peg out; (b) house set out; (c) identification survey when foundation walls complete; (d) final survey on completion of gutter and eaves. The Contractor shall not be responsible for maintenance of any survey pegs after the final survey is completed.
- 1.11 **Water:** Where water is available within two (2) metres of the property boundary, the Contractor will be responsible for all costs (except for excavation of rock) associated with connecting the water to the site. Where water is not available or the Supply Authority's main is further than two (2) metres from the property boundary, all costs associated with bringing water or the water service to the site shall be to the Owner's account. Unless otherwise specified in the tender, the contract includes up to ten (10) lineal metres of 19 mm water service from the main to the building.
- If water is not available the Owner shall, at the Owner's expense, supply adequate water to the site for construction purposes.
- 1.12 **Council's Footpath:** The Contract Sum does not include repair of damage to Council's kerb and gutter/footpath/roads or any private right-of-way/driveway caused by construction vehicles and/or work and the Contractor accepts no responsibility for damage to same. Should the Contractor be required to repair such damage, the cost shall be to the Owner's account.
- 1.13 **Existing Structures:** The Contractor (unless specified in the Contract Tender Letter) shall not be required to protect, repair or otherwise maintain any existing fences, structures, driveways or the like and the Contractor accepts no responsibility for any damage caused to same during the construction period.
- 1.14 **Access:** All weather access and storage must be available for delivery of materials by heavy vehicles onto the site and to within two (2) metres of the works. In particular, access must be available around the entire perimeter of the works for concrete delivery trucks to pour the floor slab. Any additional cost incurred by the Contractor through inadequate access or storage shall be to the Owner's account. Should inclement weather and/or inadequate site conditions cause, in the Contractor's estimation at the time, the pouring of the foundation floor slab to be impracticable without the use of a concrete pump, then the Contractor reserves the right to use such concrete pump and the cost of thereof is to be charged to the Owner's account.
- 1.15 **Provisional Allowances:** Works for which Provisional Allowances are listed at the end of this Specification will be charged at the scheduled rate or where no rate is provided at the Contractor's cost plus 10% for overheads, supervision and 10% for profit, and adjusted against the Provisional Allowance.
- 1.16 **Prime Cost Items:** Unless stated otherwise in the Tender, the Contractor shall supply and fix all P.C. items shown on the working drawings and/or detailed in the Tender.
- 1.17 **Items to be Supplied by Owner:** For all items, stated in the Tender, to be supplied by the Owner or where during the construction of the dwelling it is agreed between the Owner and the Contractor that the Owner shall supply any particular item, it is the responsibility of the Owner to arrange payment for, delivery of and protection (and/or insurance) against damage and theft of all these items. Delivery is to be made when requested by the Contractor, to the site.

1.18 Finish as an Exhibition Home: The Contractor shall endeavour at all times to duplicate the finish and fittings in the corresponding exhibition home. However, the Contractor will not be held responsible for changes which occur due to variations in building practice and changes in the models of various fittings or materials.

1.19 Selections by Owner: If materials become unavailable during the course of the Building Work, the Contractor must notify the Owner and provide a recommendation for alternative materials. The Owner must provide the Contractor with the instructions within five (5) Working Days failing which the Contractor may make a substitution. Any substituted materials shall be charged as Prime Cost items in accordance with this Clause.

2. EXCAVATOR

2.01 Site: Unless allowed for in the contract sum, the owner is to clear the building site and grub all stumps, roots, etc. to a minimum distance of two (2) metres outside the building line or to the boundaries of the allotment, whichever is the less. Unless specifically allowed for in the contract sum the removal from site of roots, stumps, trees, undergrowth, excess fill and rubbish already on site is not the responsibility of the Contractor, but shall be stacked on site for removal by the Owner.

2.02 Rock or Shale: The Contractor shall allow for all excavation to be in clay or soil. Should rock, shale or any other material requiring the use of a compressor or other plant, be encountered during construction, the Owner shall pay extra for excavation and removal of such material and shall be charged at the Contractor's invoiced cost of labour and hire of compressor and/or other plant or equipment plus 10% for overheads and supervision and 10% for profit or as provided for in the Contract Tender Letter.

2.03 Trenches: Excavate for all footings, beams to raft slab, etc., to secure solid even bearing throughout. Should it be necessary to excavate deeper than 350 mm to secure solid bottoms and even bearing throughout, the additional cost shall be charged to the Owner's account or as provided for in the Contract Tender Letter.

2.04 Excess Fill: If piling or excavation is required the removal or spreading of excess filling resulting from such work shall be the responsibility of the Owner; if, however, such work is allowed for in the Provisional Allowances, the cost thereof shall be adjusted in accordance with Clause 1.15 hereof.

3. CONCRETOR

3.01 General: All concrete is to be ready mixed from an approved supplier. Compression strength of concrete shall be as noted in the Engineer's drawings.

3.02 Footings: Provide concrete footings in accordance with Engineer's details unless provided otherwise in the Contract Tender Letter.

SHOULD ADDITIONAL FOOTINGS OR PIERING BE REQUIRED BY SITE CONDITIONS, COUNCIL, LENDING AUTHORITY OR ENGINEER, THE ADDITIONAL COST SHALL BE TO THE OWNER'S ACCOUNT.

3.03 Filled or Unstable Ground: If, upon commencement of the works, the nature of the ground is considered unsuitable for the footing system shown on the drawings, then the Contractor shall engage a Structural Engineer to advise on the re-design of the footing system and construct same in accordance with the details provided by the Engineer. The cost of engaging the Engineer along with any additional work shall be charged to the owner's account. Refer Building Agreement.

3.04 Concrete Floor Slabs: Construct a concrete floor on the ground in accordance with the Engineer's detailed drawings; surface to be suitable to lay carpet. Where required provide concrete floors to bathroom, laundry external patios, terraces, garage and carport.

3.05 **Concrete Slabs - Wet Area:** Screed the concrete with a fall to outlets, or level as required and trowel the surface to floors of external patios, terraces and laundry where applicable to smooth and even finish

3.06 **Paths:** Provide concrete paths if provided for in the Contract Tender Letter and indicated on plan. Lay Paths to even grades, true lines and curves. Provide joints in the paths at a maximum spacing of 2000 mm with bitumen impregnated felt jointing strips.

4. **PROTECTION FROM SUBTERRANEAN TERMITES**

4.01 **Barrier:** Protect the structural elements to the work with a proprietary system which has current accreditation with the Australian Building Code Board, in accordance with AS.3660 1

4.02 **Certificates:** The Contractor is to provide a Certificate in accordance with Australian Standard 3660 1

4.03 It is incumbent upon the Owner to have the house inspected at least annually by a competent pest control operator and to comply with the operators advice.

THE OWNER'S FAILURE TO COMPLY WITH THIS CLAUSE WILL VOID ANY WARRANTY GIVEN IN RELATION TO THE CERTIFICATE.

5 **BRICKLAYER**

5.01 **General:** All brickwork is to be accurately bonded, carried up true and plumb in level courses to various heights and thickness as shown on plans. Bricks of clay and/or shale origin are to be sound, hard and well burnt.

5.02 **Face Bricks:** Face bricks to be used for all wall and piers to exposed elevation(s). The Contractor shall endeavour to obtain bricks as selected by the Owner; however, if bricks supplied by the Manufacturer are not to the approval of the Owner, any dispute regarding colour, size, quality, etc. shall be between the Owner and the Manufacturer and the Contractor will be indemnified by the owner for any costs involved as a result of such dispute.

The quantity of bricks the Builder is to allow shall be calculated at the rate of 52 bricks per square metre of brick wall area.

Where special bricks are selected which result in the quantity used being in excess of the quantity so calculated, the additional cost of material and labour shall be charged to the Owner's account.

If bricks selected have to be hand blended on site, the cost to do this work shall be charged to the Owner's account.

Common Bricks may be used for all other work.

5.03 **Mortar and Joining.** Mortar shall comply with AS 3700 or Part 3.3.1 BCA 96 Housing Provisions. Joint tolerances shall be in accordance with AS 3700.

Coloured Mortar: Under no condition does the Contractor guarantee, nor does the Contractor accept responsibility for, the shade or the uniformity of colour where used in mortar.

5.04 **Engaged Piers:** To be as shown on the drawings.

- 5.05 **Dampcourse:** In concrete slab-on-ground construction a continuous cavity flashing shall be provided to the perimeter of the building, built in and securely fixed to the external wall, carried downward and across under the external leaf of brickwork. Weep holes to be provided at a maximum 1000 mm centres. Where an external cavity wall extends above an internal portion of the building, either a through flashing or a cavity gutter shall be provided immediately above the surface of the lower abutting section to prevent water penetration to lower walls or areas.
- 5.06 **Veneer Wall:** To be 110 mm brickwork providing a clear cavity of 25 mm from timber frame. Build in 3 mm galvanised veneer ties placed no further apart than 600 mm horizontally and 600 mm vertically. The brick veneer is to be kept 10 mm clear below roof framing and/or eaves lining and 10mm clear of window sills. All mortar joints on inside faces of walls are to be flush with brickwork. All mortar droppings are to be removed from wall ties and cavity before internal linings are fixed.
- 5.07 **Arch Bars and Angle Irons:** Brickwork over openings is to be supported on primed or galvanised mild steel bars or angles.
- 5.08 **Flashing:** Build in all flashing under window frames and above openings and meter box where required. Provide all necessary weep holes.
- 5.09 **Cleaning:** Clean all exposed brickwork with diluted spirits of salt and/or specified approved cleaner wash down with clean water and leave free from cement and mortar stains.

6 **STRUCTURAL FRAMING**

- 6.01 **Timber:** Timber framing and flooring sizes shall conform to the Light Timber Framing Code AS1684 or AS7120.1.
- 6.02 **Steel:** Steel framing shall conform to the Manufacturers recommendations and AS3623.
- 6.03 **Roof Framing:** Slope of roof is to be as shown on plan. All roof members are to be seated on plates with roof loads transferred to the footings. Provide all rafters, hips, valleys, etc. as appropriate with all sizes and stress grades in accordance with AS1684 for timber and AS3623 for steel.
- 6.04 **Flooring:** Where shown on working drawings, cover floor joists with platform flooring in accordance with manufacturer's directions.
- 6.05 **Floor Sander:** Timber sheet flooring, where required is to be machine sanded to an even surface.

7 **TIMBER FRAMED GROUND FLOORS**

- 7.01 **Generally:** Where timber floors are shown on the drawings, the following clauses shall apply.
- 7.02 **Concrete Footings:** Provide concrete strip footings in accordance with the requirements of the Building Code of Australia/or the Engineer's details.
- 7.03 **Foundation Walls:** On concrete footings, build brick foundation walls to thicknesses shown on plans, up to the level of underside of the floor bearers. Build 230 x 110 mm engaged piers to support floor bearers and elsewhere as indicated on plans.
- 7.04 **Sleeper Piers:** Provide 230 x 230 mm brick sleeper piers built up off 350 x 350 x 150mm concrete pad footing or two courses 350 x 350mm brickwork. If any pier exceeds 1500 mm in height, the additional lower portion of that pier is to be 350 x 350 mm on 470 x 470 x 150 mm concrete pad or two courses 470 x 470 mm brickwork.
- 7.05 **Floor Level:** To comply with the drawings so as to provide not less than 200 mm from ground surface at any part to the underside of the floor bearers.
- 7.06 **Access:** Provide access under floors as shown on plan.

- 7.07 **Ventilation:** To foundation walls at a height immediately under bearers, build in 230 x 150 mm vents at 1500 mm centres. Similarly, ventilation is to be provided under verandahs and/or suspended concrete floor slabs and no section of the underfloor area shall be constructed in such a manner that it will hold still pockets of air.
- 7.08 **Dampcourse:** On all brick work and piers, at the level of the underside of floor bearers, provide an approved dampcourse. The dampcourse material is to be in long lengths, lapped 150 mm at joints and full width at intersections.
- 7.09 **Vermin Proofing.** In brick veneer, provide 10 mm mesh galvanised bird-wire built into brickwork taken across cavity and secured to bottom plate.
- 8 **JOINER**
- 8.01 **Generally:** Joinery material is to be MDF or timber of durable species, seasoned and free of those defects which might affect its appearance and durability. All to be accurately cut and fitted and securely fixed.
- 8.02 **Jamb Linings and Doors:** To all internal door openings provide door jamb linings. Jamb linings with planted on stops may be used. Provide doors as specified. Accurately fit to door jamb linings; hang front, rear and other doors, unless specified elsewhere with two 85 mm steel butt hinges. External doors to be as selected. Furnish with selected lock and furniture. Internal doors to be as selected of suitable width. Furnish with selected latch and furniture. External double doors are to be rebated together and suitably weathered. Provide where shown on plan, sliding door frame(s) complete with fittings and doors of selected width and furnish with selected furniture. Provide aluminium doors and frames, if shown on plan.
- 8.03 **Windows:** Provide windows from approved supplier and install these frames strictly in accordance with the manufacturer's recommendations.
- 8.04 **Architraves:** Provide architraves to all door, window and other openings internally.
- 8.05 **Skirting:** Provide skirting to all rooms except tiled areas.
- 8.06 **Kitchen Cupboards and Vanities:** Provide properly constructed floor and wall cupboards in position and to dimensions indicated on plan. Floor cupboards to have raised floors with tow space under front face. Cover top of floor cupboards with materials as selected. Provide doors as selected. Doors to be accurately fitted and hung and furnished with selected catches and handles.
- 8.07 **Built-in Cupboards:** Frame up and fix cupboard(s) in position and to dimensions shown on plan, provide particle board shelves 10 mm minimum thickness. Provide doors as selected and furnish with selected catches and handles.
- 9 **ROOFER**
- 9.01 **Tiles:** Cover the roof of the dwelling with first quality roofing tiles as selected. The tiles are to be fixed to approved battens of sizes appropriate to the spacing of rafters/trusses in accordance with manufacturer's recommendations. Cover hips and ridges with capping and all necessary starters and apex caps. Cappings and verge tiles are to be well bedded on lime mortar and neatly pointed with coloured cement mortar
- 9.02 **Steel Roof Decking.** Where shown on plan, provide and install a steel deck roof together with accessories all in accordance with the manufacturer's instructions.

10 PLUMBER

- 10.01 Eaves Gutter: Provide 110 x 0.6 mm guttering to all eaves. Set in position with sufficient fall to downpipes and secure with brackets, if required, spaced at a maximum 1200 mm.
- 10.02 Downpipes: Provide downpipes as required. Connect each pipe to gutter and roof water drains and secure to walls at a maximum spacing of 2700 mm, minimum of two (2) each downpipe.
- 10.03 Valley Gutters: Selected valley gutters are to be fixed to valley boards with edges beaded, well lapped at joints. (Approved ribbed valleys may be fixed without valley boards.)
- 10.04 Flashing: Flash around chimney stacks, exhaust flues and wherever required with approved material dressed well down onto roof slopes and taken up vertical faces at least 75 mm. Wedge stepped flashing into brickwork with approved material and point with cement mortar.
- 10.05 Sanitary Plumber: Sewered and unsewered areas. Fit bath, basin, kitchen sink, wash tub, pan and floor grate to shower recess, in positions shown on plan. Provide waste pipes with traps to the above fittings and connect to the drainage system. The whole of the work to be performed in accordance with the rules and requirements of the Authority for water and sewerage.
- 10.6 Floor Wastes: Provide overflow outlet in bathroom and separate W.C. floors. Fit grating and wastes.
- 10.7 Water Service: Allow to connect a 19 mm mains cock to the supply main and two (2) metres of 19 mm pipe to the metering position within the property. Provide a stop cock and garden tap. Allow the length scheduled of 19 mm pipe to the house. Branch off with 19 mm pipe to hot water unit and with 12 mm pipe to bath, breaching piece to shower, basins, laundry tub, washing machine and kitchen sink. Properly secure all piping and provide flange at internal wall faces. Terminate over fittings with approved high pressure taps and with high pressure hose cocks to garden points. Provide for fixing cistern and hot water unit. Provide one garden tap on rear wall of house and one at meter position.

If there is no town water and a tank is required, provide one garden tap only attached to external wall of house.

Extend from hot water unit with pipe to points over bath, basins, showers, kitchen sink, laundry tub and washing machine. Terminate at these points with taps or cocks as required. Provide inlet stop cock to hot water unit.

11. DRAINER

- 11.01 Sewered Areas: Provide a drainage system from W.C. pan and from wastes of all fittings and connect to the sewer main, all to be in accordance with the rules and requirements of the relevant Authority. Provide at least one gully outside the building.
- 11.02 Septic System: Where applicable, provide and install a septic system to the requirements of the Local Authority and in accordance with the manufacturer's instructions.
- 11.03 Storm Water Drains: Provide 90 mm P.V.C. stormwater drains laid to an even and regular fall so as to have a minimum cover of 150 mm. Drains to discharge into street gutter where possible. Where outlets are shown within the site they are to discharge at least 3000 mm clear of the building into rubble packed sumps. Should on-site storage be required, work to be done in accordance with approved hydraulics detail such work to be to the Owners Account unless provided for in the Contract Sum.

- 11.04 **Additional Requirements:** Should site conditions make it necessary to supply, in order to satisfy the appropriate Authorities, additional backvents, concrete encasing of drainage lines, sewer boundary traps, cast iron drainage wastes and any other requirements, such items shall be additional to the contract sum. The tender sum does not include excavation in rock or shale or the removal of excess filling resulting from the drainage installation and should such work be required, it shall be additional to the contract sum.

Where a Provisional Allowance is included in the tender for external drainage then the work executed shall be adjusted against the Provisional Allowance included in the contract sum and calculated at the rates scheduled or where no rate is provided, at the Contractor's invoiced cost plus 10% for overheads and supervision and 10% for profit.

12. ELECTRICIAN

- 12.01 **General:** Provide all labour and materials necessary for the proper installation of electricity service in accordance with the appropriate S.A.A. rules and the requirements of the Local Supply Authority. Arrange with the Supply Authority for the connection from supply mains to meter board. Should connection of the mains be underground or special brackets or additional poles be required, the extra cost shall be charged to the Owner's account. Provide for the proper installation and connect scheduled number of light and power points in positions to be indicated. Connect all appliances indicated on plan to local Authority's requirements.
- 12.02 **Meter Box:** Provide box to enclose meters in accordance with the requirements of the Authority concerned.
- 12.03 **Smoke Detectors:** Provide smoke detectors to AS3786 and connect to mains power supply.

13. WALL AND FLOOR TILER

- 13.01 **Walls:** Supply and fix ceramic wall tiles to the extent shown on the detail drawings or mentioned in the tender documents.

Tiles are to be fixed with approved adhesive to AS2358, to a backing of approved materials.

- 13.02 **Floors:** Cover the floor surfaces indicated on the plan with selected ceramic floor tiles:-
- a) Wet Areas - on a bed of mortar consisting of three (3) parts of sand and one (1) part of cement.
 - b) Living Areas - fix with an approved adhesive to AS2358.
- 13.03

General: SHADE VARIATION IS AN INHERENT FACTOR IN THE MANUFACTURE OF CERAMICS, PARTICULARLY IN DECORATIVE EFFECTS.

All ceramic tiles are subject to crazing. The degree of craze resistance varies from tile to tile, depending on the type of product and the method of fixing. No tiles are guaranteed against crazing. Fully glazed floor tiles with a high gloss finish are very susceptible to scratching during normal building operations; the Contractor does not guarantee that such scratching will not occur nor will the Contractor be responsible for any rectification thereof.

- 13.04
- 14 **Waterproofing Wet Areas:** Use a proprietary system which is approved for use in wet areas, shower recess bases, associated floors and wall/floor junctions which are to be tiled

14.01 INTERNAL WALL LININGS

General: Line all walls, except to wet areas with Gypsum plaster board. To wet areas approved water repellent sheets shall be used. Fit approved water proofing angle to internal corners of shower recesses

- 14.02 **Gypsum Plaster Board.** Fix horizontally with full length sheets, end joints to be staggered, to ceiling heights. Sheets are to have recessed edges and be minimum 10 mm thick when fixed to studs spaced at up to 600 mm centres. Fixing is to be with galvanised clouts and/or approved adhesive and to be strictly in accordance with the Manufacturer's recommendations and AS2589. Internal and external angles from floor to ceiling to be set.
- 14.03 **Ceiling Fixer:** Provide Gypsum plaster board to all ceilings. Sheets to have recessed edges and to be a minimum of 10 mm thick in accordance with AS2588-1983. Fixing is to be with galvanised clouts and/or approved adhesive and be strictly in accordance with the Manufacturer's recommendations and AS2589.
- 14.04 **Cornice:** Set corners or provide 90 mm cove cornices to ceilings as required, properly fixed and set at all angles. Cornices to be in full wall lengths where practicable.

15. **GLAZIER**

- 15.01 **General.** All glass to be in accordance with AS1288 and installed in a tradesmanlike manner. Clean all glass on completion of work.

16. **PAINTER**

- 16.01 Generally all paint used shall be of a quality suitable for the purpose intended and the application shall be as per the manufacturer's recommendations. The colours used shall be as per Colour Schedule. All surfaces to be painted shall be properly prepared to manufacturer's recommendations.

17. **COMPLETION**

- 17.01 The building is to be completed in every trade. Sashes and doors to be eased, locks oiled and all plant, surplus building materials and rubbish removed from the site. Gutter and drains to be cleared and the building generally to be left clean and fit for occupation.

18. **PRIME COST AND PROVISIONAL ITEMS**

- 18.01 **PC Items:** Unless stated otherwise in the Tender, the Builder shall supply and fix all P.C. Items shown on working drawings and/or detailed in Tender at no adjustment to the Owner.

18.02 **Provisional Allowances**

(i) Included in the Contract Tender Sum there may be PROVISIONAL ALLOWANCES for works detailed in the Tender letter.

(ii) In addition, and unless otherwise stated in the Contract Tender letter, the following PROVISIONAL ALLOWANCES are also included in the Contract Tender Sum:

- 1 Wall and floor tile allowance: (per square metre)
- 2 Face brick allowance (per 1,000 face bricks delivered to site)
- 3 Engineer's supervision and provision of Certificates
- 4 Surveyor's cost for set out, check and Final Survey and Certificates

18.03 Schedule of Rates - Unless specified otherwise in the Contract Tender letter, the following schedule of rates shall apply to items of work which are not specifically included in the Contract Tender letter:-

(i) Water Service - If the following work is required and such work is not specifically included in the tender letter, then such work shall be charged at the following rates:

- | | |
|---|----------|
| 1. Extend water service across road | \$319.00 |
| 2. Road boring (only chargeable if developers conduit is not available) | \$297.00 |
| 3. Minimum charge for compressor if rock is encountered in 1. or 2. | \$550.00 |
| 4. Additional 19mm water service (per metre) | \$22.00 |

(ii) Road Excavation - Excavation of rock or shale, if encountered, shall be charged at invoiced cost of labour and hire of compressor and/or other plant or equipment plus 10% for overheads and supervision and 10% profit. The minimum charge for rock excavation shall be: \$550.00

(iii) Piering - If not included in Contract Tender Letter as a Fixed Price Item, if required by Structural Engineer, Principal Certifying Authority or Lending Authority, shall be additional to the Contract Sum, and charged at invoiced cost of labour, material, hire of boring machine, and/or other plant or equipment, plus 10% for overhead and supervision and 10% for profit and the cost of this work to be adjusted against the Provisional Allowance, if any, included in the Tender Sum.

(iv) Occupation Certificate - Provision of Occupation Certificate issued under the Environmental Planning and Assessment Act 1979 under section 109C (b) and 109H if required by Owner or Lending Authority. \$150.00

18.04 G.S.T.: The above prices include G.S.T.

18.05 Exclusions: Unless specifically mentioned in the Contract Tender Letter, the following items are not included in the Contract Tender Sum.

1. Car Tracks; Paths
2. Fences
3. Landscaping; Watering Systems
4. Removal of spoil from the site
5. Floor Coverings; Ceramic Tiles to Living Areas and Front Porch/Verandah
6. Burglar Alarms; C-Bus Minder System
7. Light Fittings; Curtains; Decorator Items
8. Pergolas; Courtyards, Barbeques
9. Dishwasher
10. Air Conditioning
11. Insulation - wall and ceilings

BARRY T. SYME & ASSOCIATES PTY LTD

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PO Box 279 FAIRFIELD 1860
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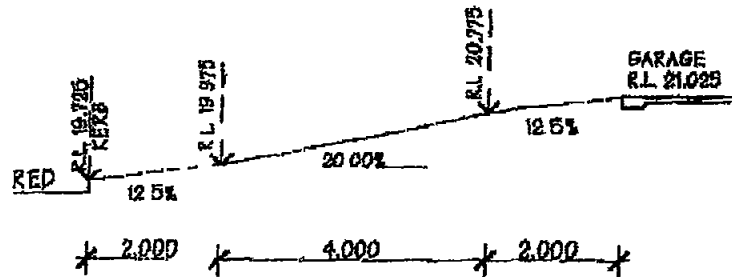
BARRY SYME B.E. M.I.E. Aust. CP.Eng (Reg)
NPER STRUCTURAL



PHONE 9726 7666
FAX 9728 4376

PREPARED	BTS	14/9/07	DETAILS MS NICHOLLS.	PAGE 1 OF 1
CHECKED		1/1	LOT 108/10 ⁰³ PRINCE ALFRED ^{DR}	JOB No. 75259

DRIVEWAY GRADIENT
ENDORSED BY BARRY T. SYME



DRIVEWAY PROFILE
SCALE 1:100

[Signature]
14/9/07

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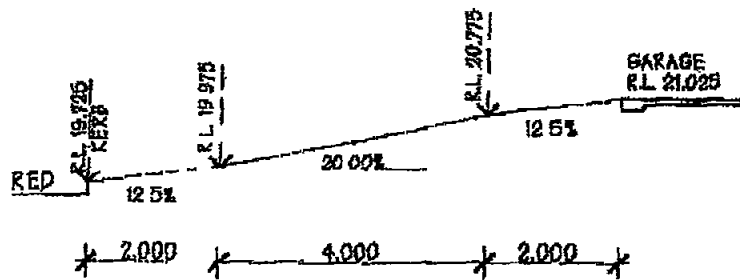
BARRY SYME B.E. M.I.E. Aust CP Eng (Reg)
NPER STRUCTURAL



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PREPARED	BTS	14/9/07	DETAILS MR NICHOLLS	PAGE 1 OF 1
CHECKED		1/1	LOT 108/10 ⁰ BS PRINCE ALFRED	JOB No. 25259

DRIVEWAY GRADIENT
ENDORSED BY BARRY SYME



DRIVEWAY PROFILE
SCALE 1:100

[Signature]
14/9/07

BARRY T. SYME & ASSOCIATES PTY LTD

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DX 25080 FAIRFIELD NSW

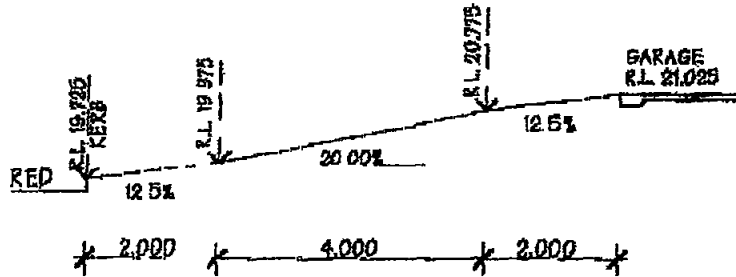
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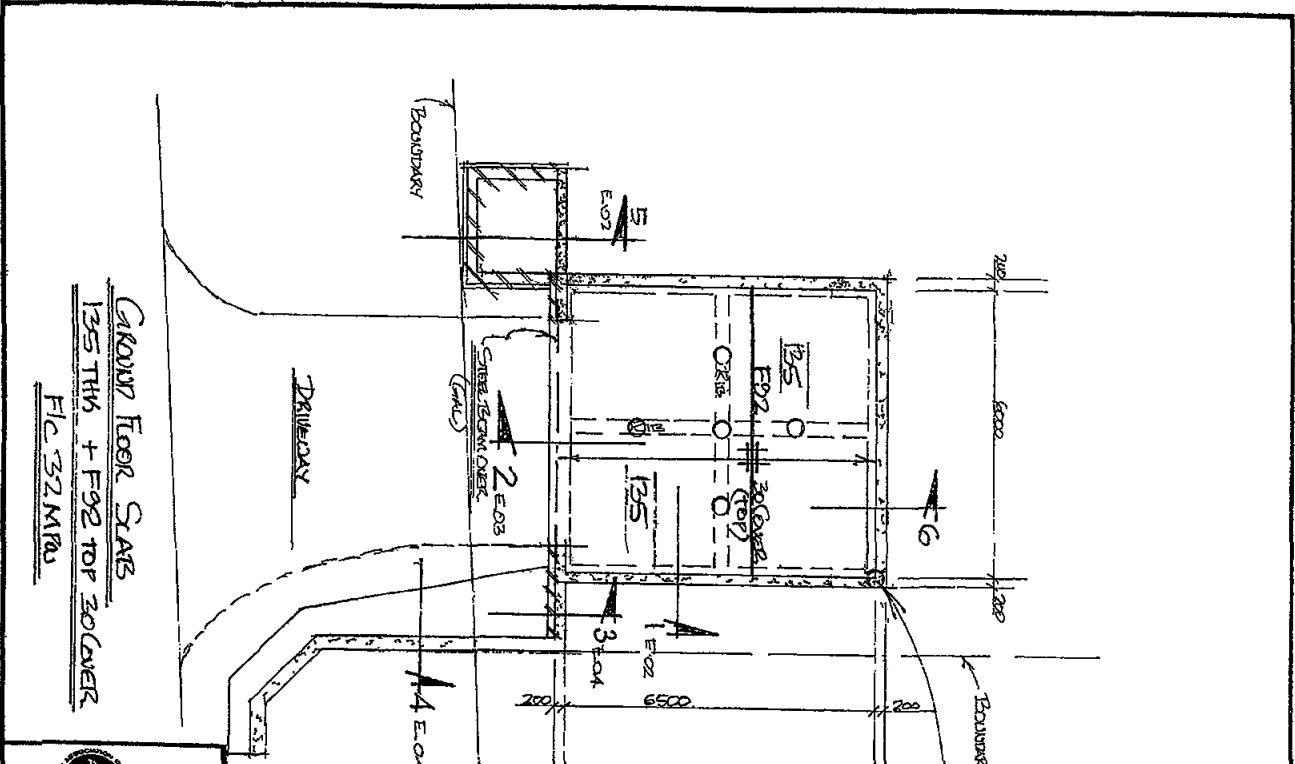
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CHECKED		1 1	LOT 108/10 ^o B3 PRINCE ALFRED ^o	JOB No. 75259

DRIVEWAY GRADIENT
ENDORSED BY BARRY T. SYME



DRIVEWAY PROFILE
SCALE 1:100

[Signature]
14/9/07



GROUND FLOOR SLAB
 135 TH4 + F92 TOP ZOCOMER
 FILE 32 MRA

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 ACN 003 094 357
 39-41 HARRIS ST
 FAIRFIELD 2165
 PH 728 7885

APPROVED	DATE	CHKD	DRWN
S T SYME	28/6/07		RTS
BE MIE AUST			

PROJECT	TITLE	SCALE
MS NICHOLS LOT 102/83 RIVERVIEW RD NEARPORT BEACH	STRUCTURAL DETAILS REV A 14/9/07	DRAWN DOROT
JOB No	DRG No	REV
252259	E01	A
SHEET	OF	

Approved for construction by the A.S. Lic. of the State of Queensland, Licence No. 12007, on the 14/9/07. The Plan is for the Building Work Construction.

NOTE! ENGINEER TO BE ADVISED FOR INSPECTION PURPOSES

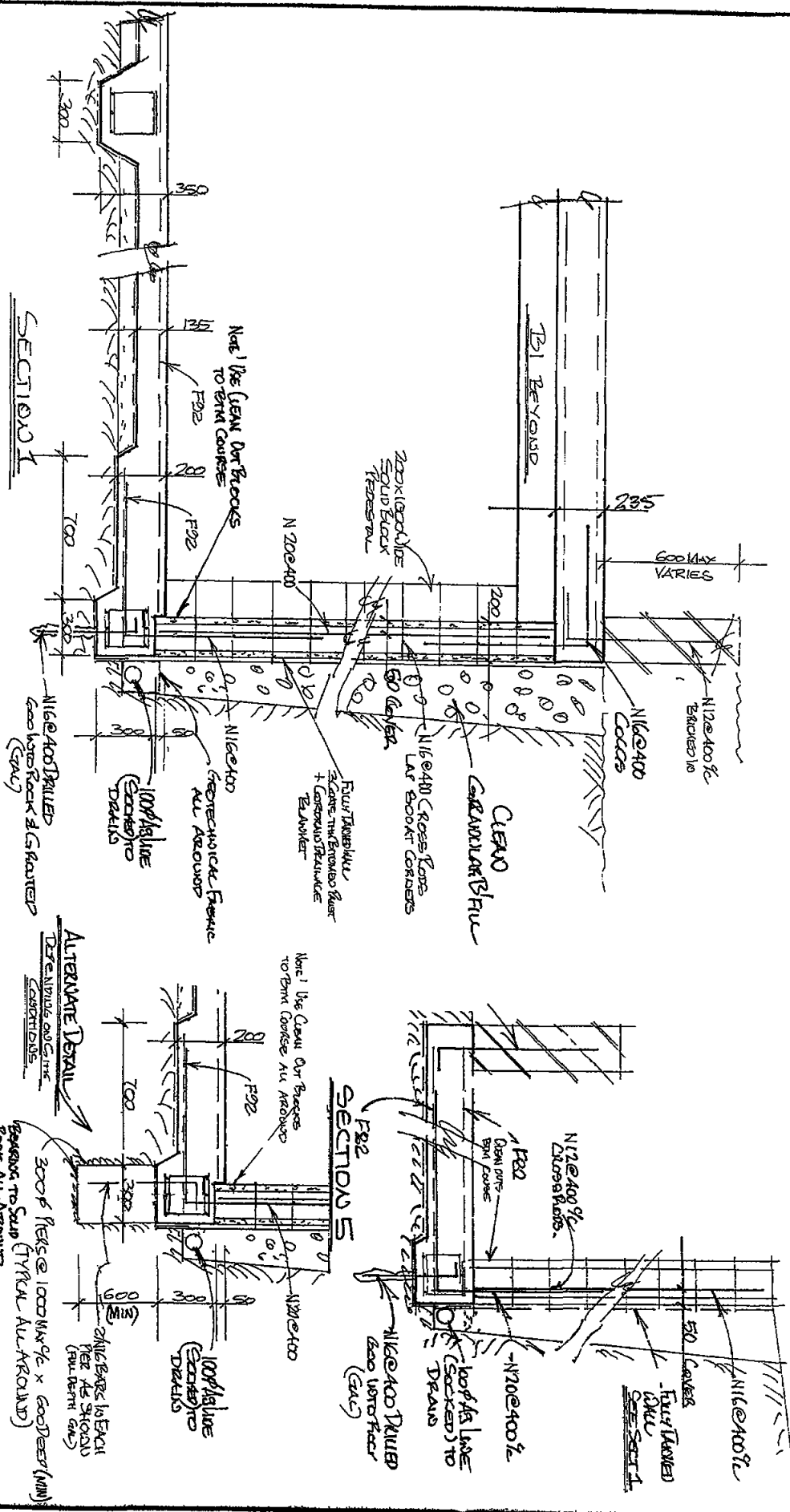
EXPECTED
 ROCK BREAKING
 OR CORNER RIEKS TO
 ROCK ALL AROUND AND
 ASSIGNED INSTRUMENTS
 (RISKS WILL NEED TO BE
 REVALUED)
 300P REINFORCED
 SEE ALSO E02A, E04A,
 APP E.06A

CONCRETE NOTES

1. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUSTRALIAN STANDARD AS 3600-2001.
2. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUSTRALIAN STANDARD AS 3600-2001.
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15. ALL CONCRETE SHALL BE CAST AND CURED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUSTRALIAN STANDARD AS 3600-2001.

GENERAL NOTES

1. This drawing is to be read in conjunction with the Architectural Drawing and Specifications for the building. The Engineer is not responsible for the design of the building or the construction of the building.
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9. The Engineer is not responsible for the design of the building or the construction of the building.
10. THE DRAWING IS SOUND SUBJECT TO CORRECTION OF AMBIGUITY ISSUED BY ENGINEER.
11. Minimum ground bearing capacity 100 kPa
12. Lap - Fabric - one square + 25mm
 - Bars - 500mm
 - Bars - 40 x bar dia (500 min)
13. Reinforcement design as per AS1170 Dead and Live Loads
14. Grade floor concrete to be laid on a suitable flexible type Alternative Fabric F427 to be used as per manufacturer's instructions
15. Slab design as per AS2870-1998 Code for Reinforced Concrete Slabs and Footings and in accordance with Engineering Principles and section 3 & 4 of AS2870 1998.



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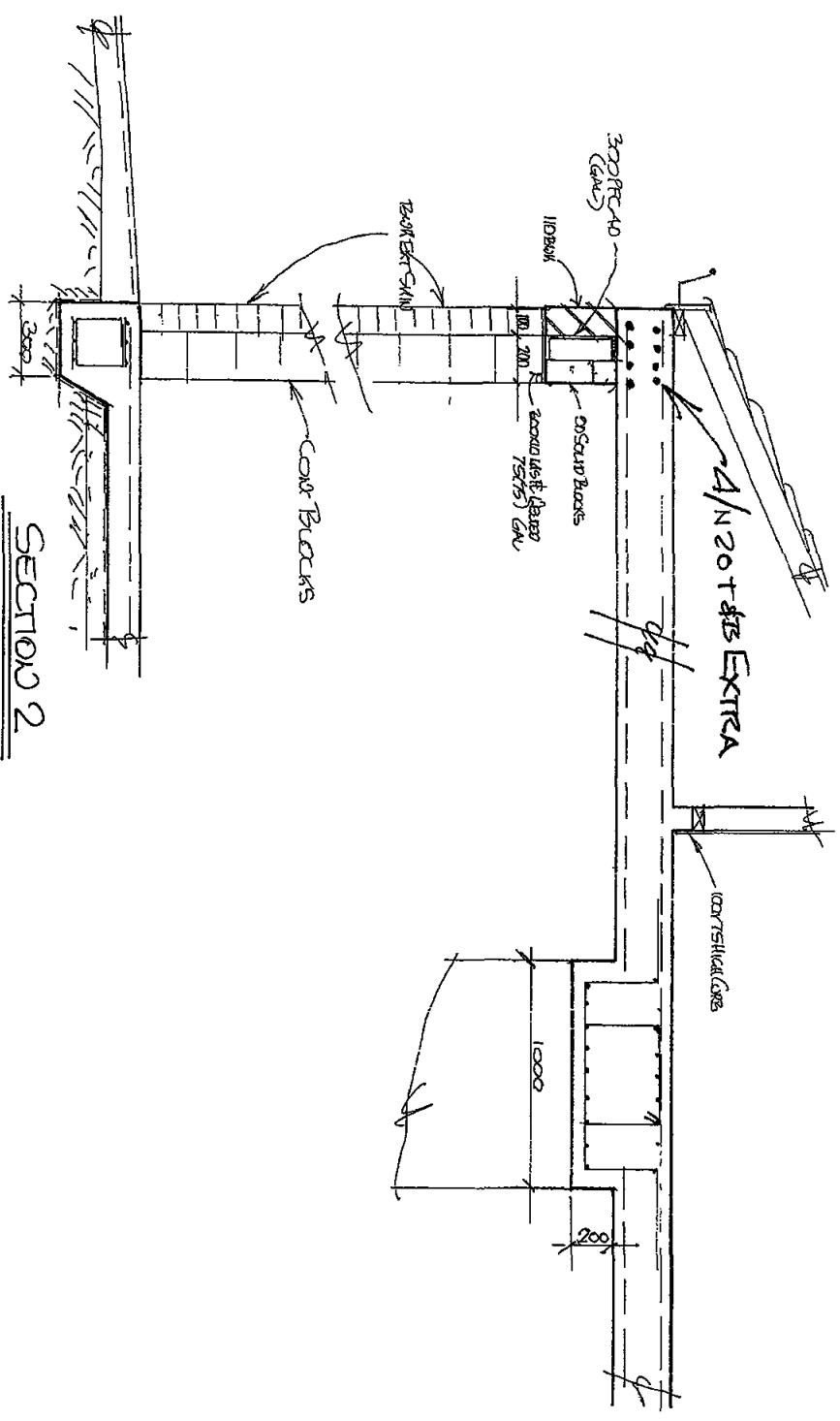
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CHKD	
DATE	28/5/07
APPROVED	
B T SYME	
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PROJECT
FOR. Ms NICHOLS
 AT LOT 108, 1083 MANEKAHARA RD
 NEWPORT BEACH

TITLE
STRUCTURAL DETAILS

REV "A" 14/2/07

SCALE	DO-07
JOB No	25259
DRG No	E02
REV	A
SHEET	OF



SECTION 2

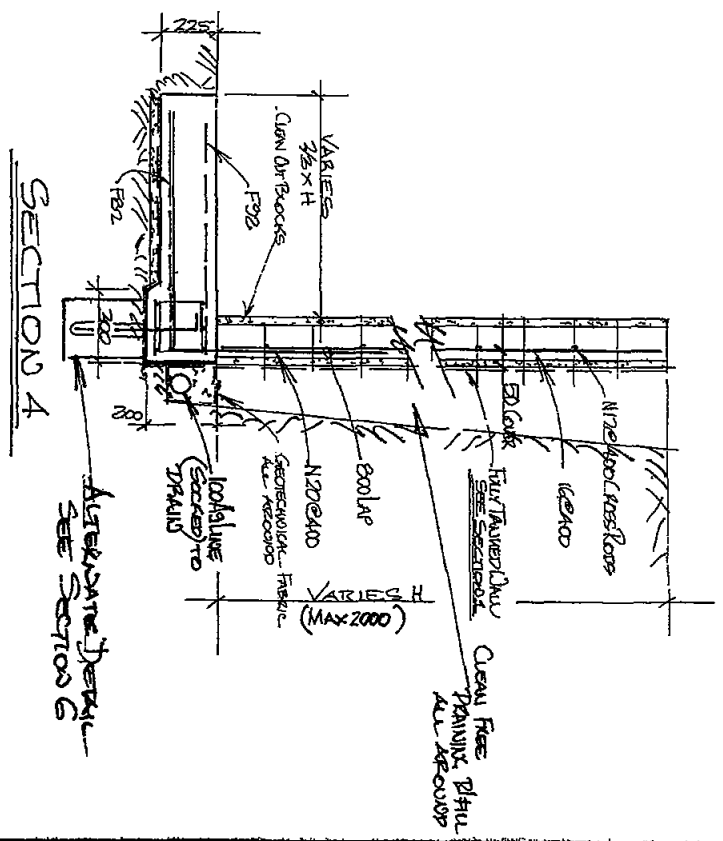
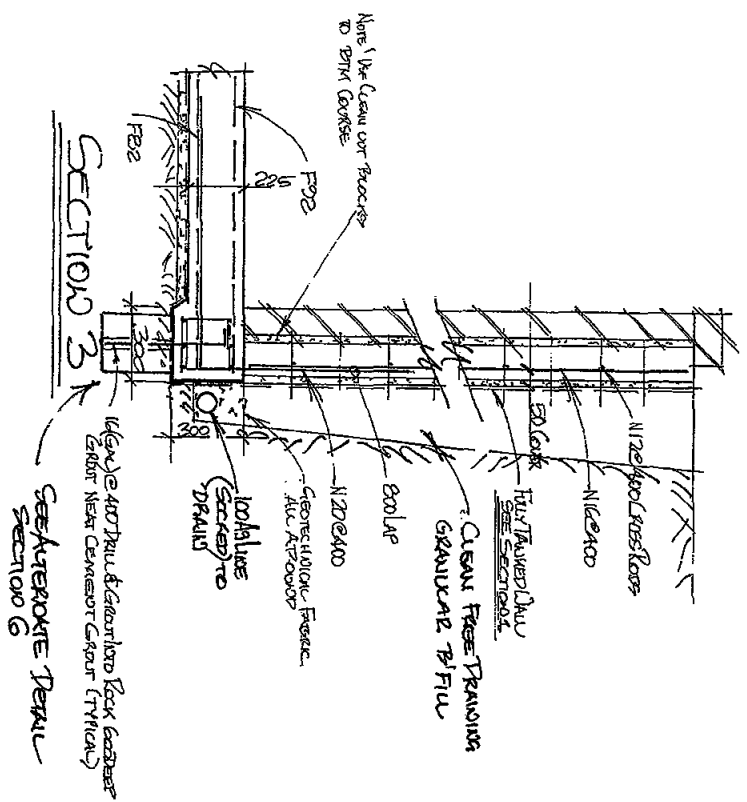
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 CONSULTING STRUCTURAL ENGINEERS
 ACN 003 094 357
 99-41 HARRING ST
 FAIRFIELD 2165
 PH 178 7686

DRWN	BTS
CHKD	-
DATE	24/5/07
APPROVED	[Signature]
B.T SYME	
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PROJECT
 FOR: Ms NICHOLLS
 AT Lot 108 NBS FRINGE ALERED BL
 NEWPORT BEACH

TITLE
 STRUCTURAL DETAILS
 Rev A 14/9/07

SCALE	1:100
JOB No	25259
DRG No	E03
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REV	A

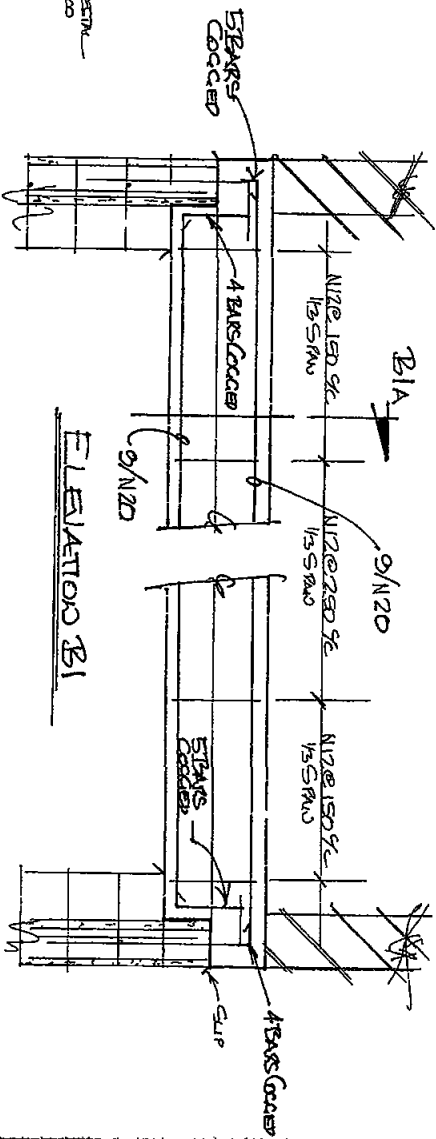
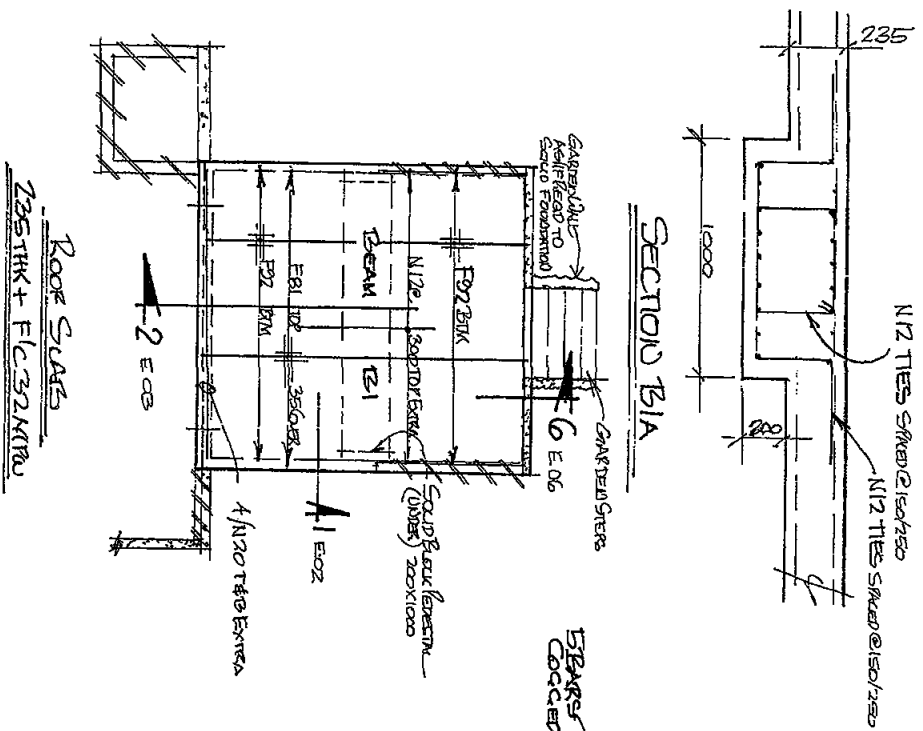


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 CONSULTING STRUCTURAL ENGINEERS
 ACN 008 094 357
 39-41 HARRIS ST
 PARKFIELD 2165
 PH 728 7686

DRWN	EGS
CHKD	
DATE	28/9/07
APPROVED	B.T. SYME
BY	BE MIE AUST

PROJECT: Ms NICHOLAS FOR LOT 28 OF 83 RINDLEKREY Rd NEAR PORT BEACH
 TITLE: STRUCTURE DETAILS
 REVISED: 14/9/07

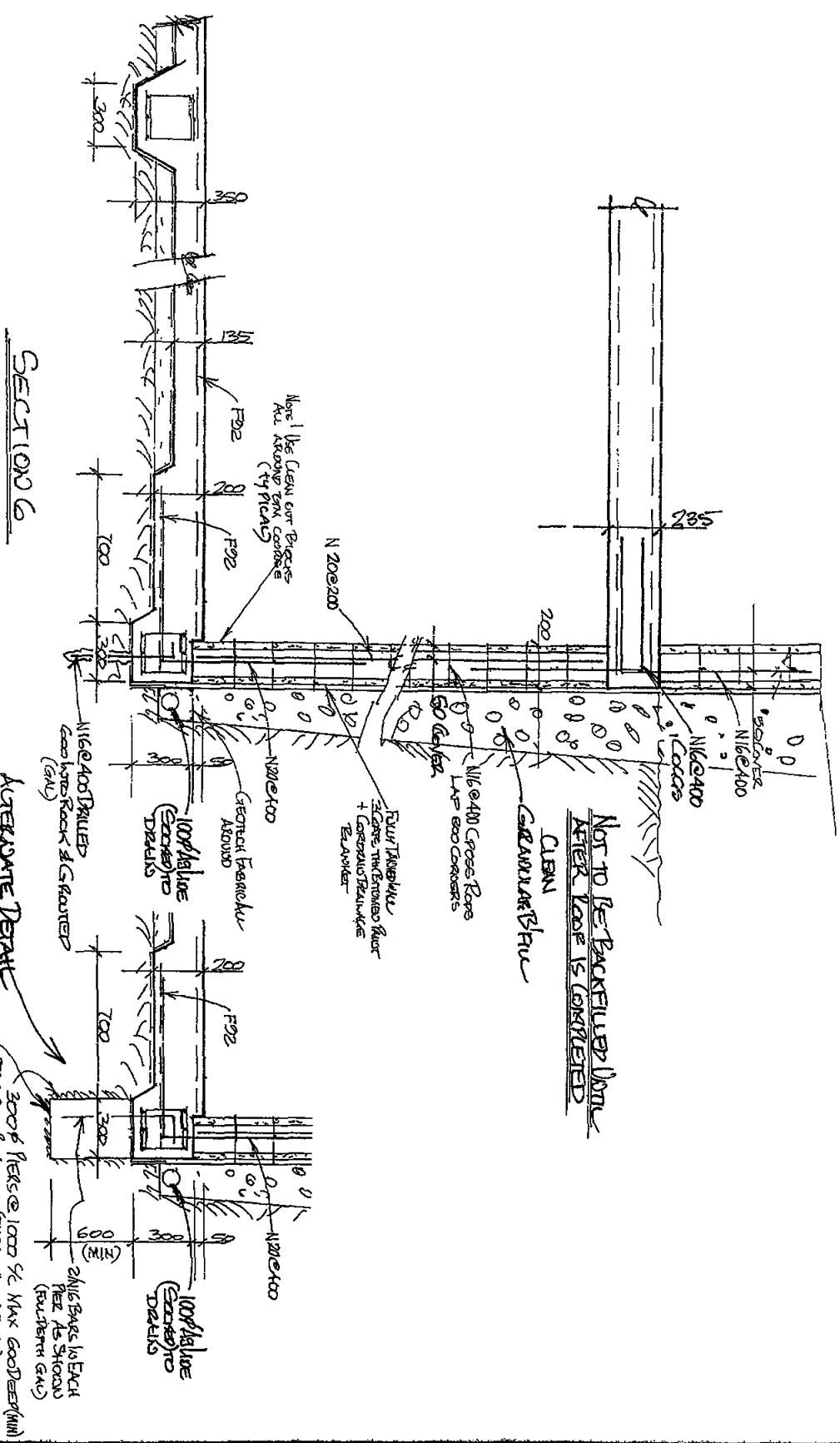
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JOB No	25253
DRG No	E04
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REV	A



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ACN 003 084 357
39-41 HARRIS ST
FAIRFIELD 2165
PH 726 7666



DRWN	BIT	PROJECT	SCALE
CHKD	-	FOR: Ms Dehollis AT LOT 108/1185 FAIRFIELD RAIL NEIGHBOR BEACH	DOBT
DATE	24/5/07	TITLE	JOB No 25259
APPROVED	<i>[Signature]</i>	STRUCTURAL DETAILS	BRG No
BE: MIE AUSTR		REV A	REV
		REV A	SHEET OF



SECTION G

ALTERNATE DETAIL

200# REIN @ 1000 SL MAX GOOD REEF (MIN)

200# REIN @ 1000 SL MAX GOOD REEF (MIN)
 REEF AS SHOWN (FOURTH FROM GND)

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 CONSULTING STRUCTURAL ENGINEERS
 AON 003 004 387
 38-41 HARRIS ST
 FAIRFIELD 2165
 PH 726 7898

DRWN	BTS
CHKD	-
DATE	28/5/07
APPROVED	B T SYME
BEHIND ALST	

PROJECT
FOR MRS NICHOLS
 AT LOT 108N 83 RIVER ALFRED RD
 NEAR POINT BEACH

TITLE
STRUCTURAL DETAILS
 REV "A" 14/9/07

SCALE	1:20
JOB No	25253
DRG No	E06
SHEET OF	A

BARRY T. SYME & ASSOCIATES PTY LTD

CONSULTING STRUCTURAL ENGINEERS

PO BOX 279, FAIRFIELD 1860



BARRY T SYME B E M I E Aust CPEng (Reg)
NPER STRUCTURAL
A B N 66 010 374 865
PHONE 9726 7666
FAX 9728 4376

14th September, 2007

Our Job **25259**

Ms Nicholls
Lot 108 No 83 Prince Alfred Parade
NEWPORT BEACH NSW 2106

STRUCTURAL CERTIFICATE

RE **LOT 108 NO 83 PRINCE ALFRED PARADE NEWPORT BEACH**
Driveway & Access to Property

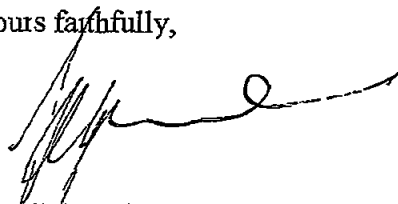
Please be advised that engineers assessment of the means of access to and within the site, has been carried out by the Engineer. The driveway and means of access complies with Council Policy DCP No E3 "Driveways and Internal Roadways", and AS 2890 1993

The driveway grading is indicated on the architects drawings on the attached sketch and is not greater than the maximum allowable 20% and the driveway minimum width is not less than 3m

Considering the above I am satisfied that the driveway design is within the parameters of the above codes

Should you have any queries whatsoever, please do not hesitate to contact the writer at any time

Yours faithfully,


BARRY T SYME

GEOTECHNICAL RISK MANAGEMENT POLICY FOR PITTSWATER
FORM NO 2 - To be submitted with detailed design for construction certificate

Development Application for GAYN RUTH NIEMENHIS
 Name of Applicant

Address of site 83 PRINCE ALFRED PDE NEWPORT

Declaration made by Structural or Civil Engineer in relation to the incorporation of the Geotechnical issues into the project design

I BARRY SYME on behalf of BARRY SYME & ASSOCIATES P/L
 (present name) (trading or company name)

on this the 19/9/07
 (date)

certify that I am a Structural or Civil Engineer as defined by the Geotechnical Risk Management Policy for Pittswater. I am authorized by the above organization/company to issue this document and to certify that the organization/company has a current professional indemnity policy of at least ~~\$500,000~~. I also certify that I have prepared the below listed structural documents in accordance with the recommendations given in the Geotechnical Report for the above development.

The Writer Holds PI Insurance of \$5 MILLION + \$4.5 MILLION IN THE
 (CERT OF CURRENCY ATTACHED) - AGGREGATE

Geotechnical Report Details

Report Title RISK ANALYSIS AND MANAGEMENT FOR PROPOSED REPLACEMENT
 Report Date HOUSE AT 83 PRINCE ALFRED PDE NEWPORT DATED
 Author JACK HODGSON CONSULTANTS P/L 26/6/07

Structural Documents List

STRUCTURAL DETAIL LIST
2.5289/E.01A, E.02A, E.03A, E.04A, E.05A, E.06A
ALL DATED REV "A" 14/9/07

I am also aware that Pittswater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified.

BARRY SYME [Signature] 19/9/07
 (name) (signature)

Declaration made by Geotechnical Engineer or Engineering Geologist in relation to Structural Drawings

I prepared and/or technically verified the abovementioned Geotechnical Report as per Form 1 dated 29/6/07 and now certify that I have viewed the above listed structural documents prepared for the same development. I am satisfied that the recommendations given in the Geotechnical Report have been appropriately taken into account by the structural engineer in the preparation of these structural documents.

I am aware that Pittswater Council relies on the processes covered by the Geotechnical Risk Management Policy, including this certification as the basis for ensuring that the geotechnical risk management aspects of the proposed development have been adequately addressed to achieve an "Acceptable Risk Management" level for the life of the structure taken as at least 100 years unless otherwise stated and justified in the Report and that reasonable and practical measures have been identified to remove foreseeable risk.

Signature [Signature]
 Name JACK HODGSON
 Chartered Professional Status MENSC FIE AUST
 Membership No 149788

Waste Management Plan

CONSTRUCTION & USE OF PREMISES

Outline of Proposal

Site Address *LOT 10B NO 83 PRINCE ALFRED PDE NEWPORT*

Applicants Name & Address

*MS RAY NICHOLLS
NO 14 BRAY STREET NORTH SYDNEY 2060*

Buildings and other structures currently on site *EXISTING DWELLING TO BE DEMOLISHED & A NEW RESIDENCE TO BE CONSTRUCTED BY NICHOLLS HOMES - UNDER SEPARATE APPLICATION*

Brief description of Proposal

CONCRETE BLOCK WITH BRICK FACED DOUBLE GARAGE AND ASSOCIATED RETAINING WALLS

The details on this form are the intentions for managing waste relating to this project

For and on behalf of

MS. NICHOLLS

Signature of Applicant

Date

SECTION ONE – DEMOLITION STAGE

Materials On-Site		DESTINATION		
		REUSE & RECYCLING	DISPOSAL	
Estimated Waste Materials	Estimated Volumes (m ²)	* ON-SITE specify proposed reuse or on-site recycling methods	* OFF-SITE specify contractor and recycling outlet	* specify contractor and landfill site
Excavation Material		 # / X 		
Green Waste				
Bricks				
Concrete				
Timber – Please specify				

Materials On-Site		DESTINATION		
		REUSE & RECYCLING		DISPOSAL
Estimated Waste Materials	Estimated Volumes (m ²)	* ON-SITE specify proposed reuse or on-site recycling methods	* OFF-SITE specify contractor and recycling outlet	* specify contractor and landfill site
Plasterboard		7/1A		
Metals- Please specify				
Other - please specify				

SECTION TWO – CONSTRUCTION STAGE

Materials On-Site		DESTINATION		
		REUSE & RECYCLING	DISPOSAL	
Estimated Waste Materials	Estimated Volumes (m ³)	ON-SITE * specify proposed reuse or on-site recycling methods	OFF-SITE * specify contractor and recycling outlet	* specify contractor and landfill site
Excavation Material	120 m ³		To be taken to Collex, 716-752 Wallgrove Road, HORNLEY PARK NSW 2164 for recycling	N/A
Green Waste	140 m ³	To be chipped and mulched on site and stored for reuse in landscaping, including stumps and trunks	To be taken to Collex, 716-752 Wallgrove Road, HORNLEY PARK NSW 2164 for recycling	N/A
Bricks	0.5 m ³	To be separated and collected on site and removed at roof tile stage	To be taken to Concrete Recyclers, 14 Thackeray Street, CAMELLIA NSW 2142 or Eco-Cycle 152 Newton Street, WETHERILL PARK NSW 1851, for crushing and recycling	
Concrete	0.5 m ³	To be separated and collected on site and removed at roof tile stage	To be taken to Concrete Recyclers, 14 Thackeray Street, CAMELLIA NSW 2142 or Eco-Cycle 152 Newton Street, WETHERILL PARK NSW 1851, for crushing and recycling	
Timber – Please specify	25 m ³		To be taken to Collex, 716-752 Wallgrove Road, HORNLEY PARK NSW 2164 for recycling	

Materials On-Site		DESTINATION		
		REUSE & RECYCLING	DISPOSAL	
Estimated Waste Materials	Estimated Volumes (m ³)	ON-SITE * specify proposed reuse or on-site recycling methods	OFF-SITE * specify contractor and recycling outlet	* specify contractor and landfill site
Plasterboard	N/A	To be separated and removed from site	To be collected by Boral Plasterboard and returned to Camellia Plant to be recycled into plasterboard products	
Metals – Please specify	Brick straps etc	To be separated and removed from site	To Sell & Parker 45 Tattersall Rd, BLACKTOWN NSW 2148 or RecycleCorp 230 Toongabbie Rd, GIRRAWEE NSW 2145 for recycling	N/A
Other – Please specify	Plastic bottles, cardboard boxes, lunch wrapping	To be placed in bins on site	To be taken to All Types of Rubbish Suite 1 Level 1, 888 Bourke Street WATERLOO NSW 2017, separated from recyclable materials, then taken to a registered landfill outlet as dictated by All Types of Rubbish	

SECTION THREE – USE OF PREMISES

TYPE OF WASTE TO BE GENERATED	EXPECTED VOLUME PER WEEK	PROPOSED ON-SITE STORAGE AND TREATMENT FACILITIES	DESTINATION
Please specify For example glass, paper, food wastes offcuts, etc	* litres or m ³ * See Appendix A for estimates	For example * waste storage and recycling area * garbage chute * on-site composting * compaction equipment	* recycling * disposal * specify contractor
Recyclables 1 Paper } 2 Food Waste } 3 Glass & Plastic Bottles }	60L	Temporary storage bin in kitchen cupboard Recycle collection containers positions on-site Compost bin on-site	To landfill site by Council Waste Contractors

SECTION FOUR – ON-GOING MANAGEMENT

The Owner will be responsible for transferring the materials to the waste storage and recycling area bins located on-site

29-MAR-2007 12:40 FROM RUPPL SYDNEY

TO 99600100

P 01/01



RESOURCE
Underwriting Pacific Pty Ltd
ABN 51 081 379 224 AFS 119 No 247340

CERTIFICATE OF CURRENCY TO WHOM IT MAY CONCERN

This is to certify that the details outlined below are current as at 29 March 2007

THE INSURED BARRY T SYME & ASSOCIATES PTY LTD

PROFESSIONAL BUSINESS. Engineer

CERTIFICATE NUMBER 06N-008-B1906-10011181

TYPE OF INSURANCE* Professional Indemnity Insurance

PERIOD OF INSURANCE: 28 March 2007 to 28 September 2008
4:00pm Local Standard Time

LIMIT OF LIABILITY \$1,500,000 each and every claim and \$4,500,000 in the aggregate any one Period of Insurance

EXCESS* \$20,000 each and every claim (Costs inclusive net of input tax credits)

EXTENSIONS* As Per Contract Wording and/or Endorsements attaching to and forming part of the Certificate


RETROACTIVE DATE. Unlimited excluding known claims and circumstances

SECURITY. 100% Lloyd's Underwriters

All Certificates of Currency are issued by Resource Underwriting Pty Ltd on the basis that any Contract of Insurance referred to in a Certificate of Currency can be legally cancelled at any time for non payment of premium

Any inquiries on this issue must be directed to the Insured or the Broker

*For and on behalf of
certain Underwriters at Lloyd's
Per Contract No. 99600122
29 March 2007*



LLOYD'S Acting on behalf of certain Underwriters at Lloyd's

Melbourne	8 th Floor, 22 William Street, Melbourne VIC 3000	Tel	(03) 2629 5444	Fax:	(03) 8614 6488	Email:	info@ruppl@ruppl.com.au
Sydney	Suite 504, 46 Market Street Sydney NSW 2000 PO Box Q155, Sydney NSW 1230	Tel	(02) 9279 3422	Fax:	(02) 9279 4344	Website:	www.ruppl.com.au