

- Denotes New Works Stage 1
- Denotes New Works Stage 2
- Denotes New Timber Framed Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item

ROAD

MONSERRA

Winter Warming Winds

Road Noise

Summer Cooling Winds

Site Plan
1:200

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468

| Construction | | |
|---|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| suspended floor above garage: concrete (R0.6). | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| internal wall shared with garage: cavity brick wall (R0.67) | nil | |
| flat ceiling, flat roof: framed | ceiling: R1.08 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 693.6m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m ²) | 398.09m ² | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Building Design and Architectural Drafting

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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES

2 Monserra Road, Allambie is zoned R2 Low Density Residential.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.

2 Monserra Road, Allambie is not considered a heritage item.

Construction

Concrete & Timber Floors, Cladded Walls.

Roof Sheet Metal to have R1.08 Insulation.

Insulation to External Cladded Walls R1.7.

Refer to Engineers drawings for structural details.

All work to Engineers Specification and BCA.

Timber framing to BCA and AS 1684.

Termite Management to BCA and AS 3660.1.

Glazing to BCA and AS01288-2047.

Waterproofing to BCA and AS 3740.

New Lighting to have minimum of 40% compact fluorescent lamps.

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

The DA Application Only plans are for DA. Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans.

Basic

Basic Certificate Number A346068_03.

All Plans to be read in conjunction with Basic Certificate.

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.

Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Designer for construction.

Client
Nathan Brown

Project Name
Alterations & Additions

2 Monserra Road, Allambie

2100

Lot 15 Sec 10

DP207445

Site Plans - Site Plan

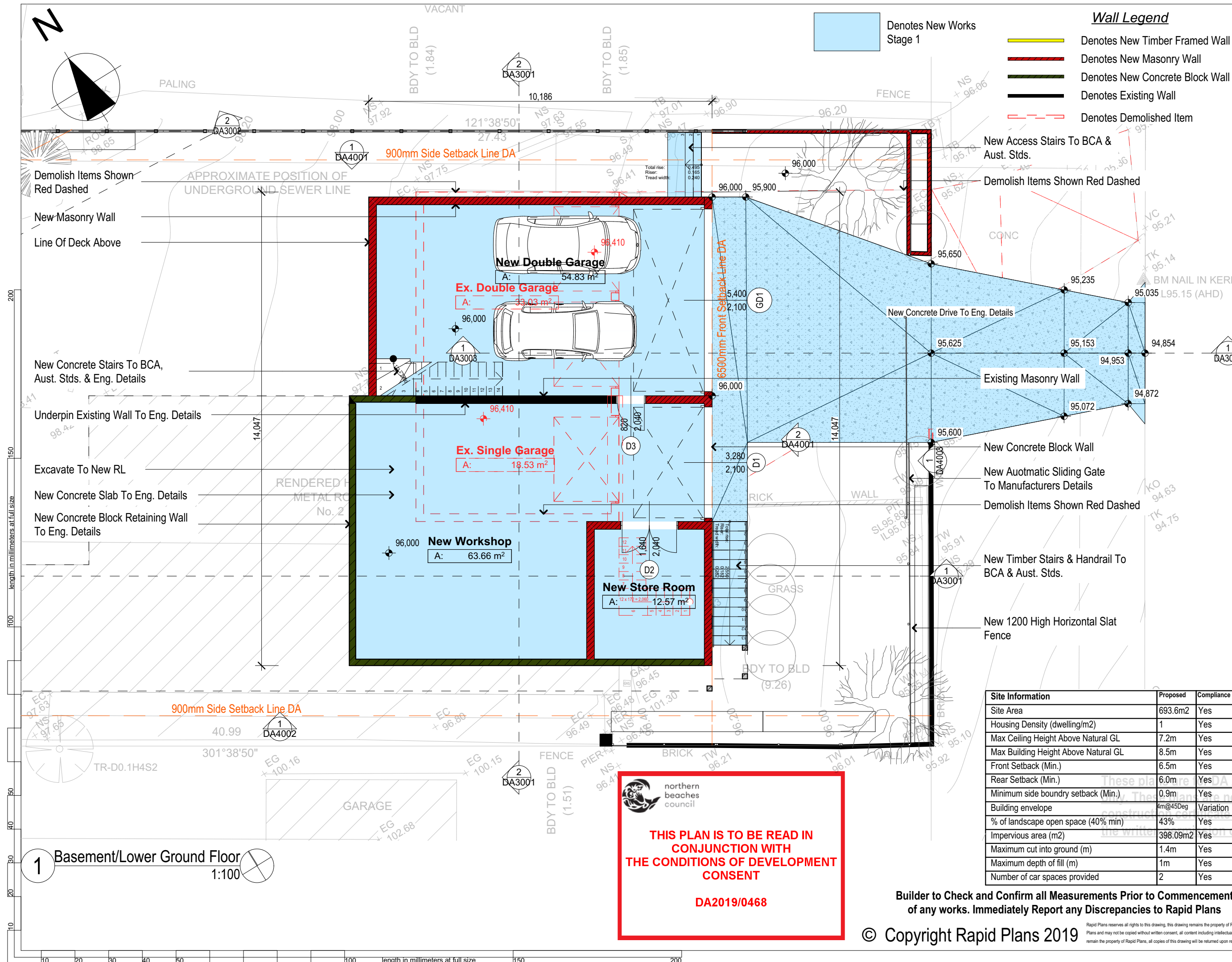
Site Plan

Scale: A3 as noted Date: 19-9-2019

Status: DA Rev1 Checked By: GBJ

Project No: RP0818BRO DA1003

Drawing No.





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Email : greg@rapidplans.com.au

BD&A BUILDING DESIGNERS AUSTRALIA NSW

NOTES

2 Monserra Road, Allambie is zoned R2 Low Density Residential.

All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue. 2 Monserra Road, Allambie is not considered a heritage item.

Construction

Concrete & Timber Floors, Cladded Walls.
Roof Sheet Metal to have R1.08 Insulation
Insulation to External Gladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Basic Certificate Number A346068_03
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North



DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Nathan Brown

Project Name: Alterations & Additions

2 Monserra Road, Allambie 2100

Lot 15 Sec 10

D.P. 2017445

Plans - Basement/Lower Ground Floor Plan

Basement/Lower Ground Floor

Scale: A3 as noted Date: 19-9-2019

Status: DA Rev1 Checked By: GBJ

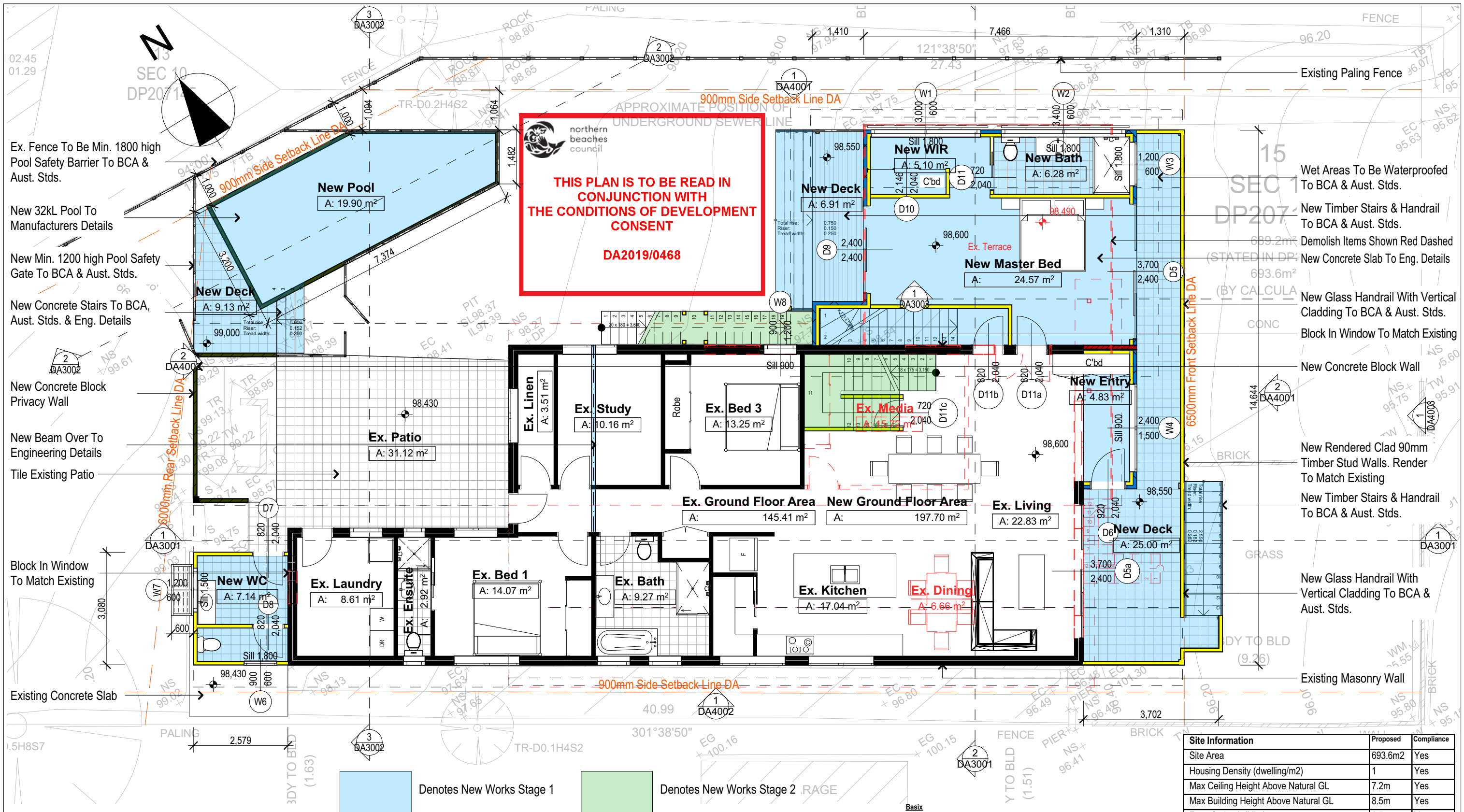
Project No: RP0818BRO Drawing No: DA2001

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 693.6m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m2) | 398.09m2 | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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1 Ground Floor Plan
1:100

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

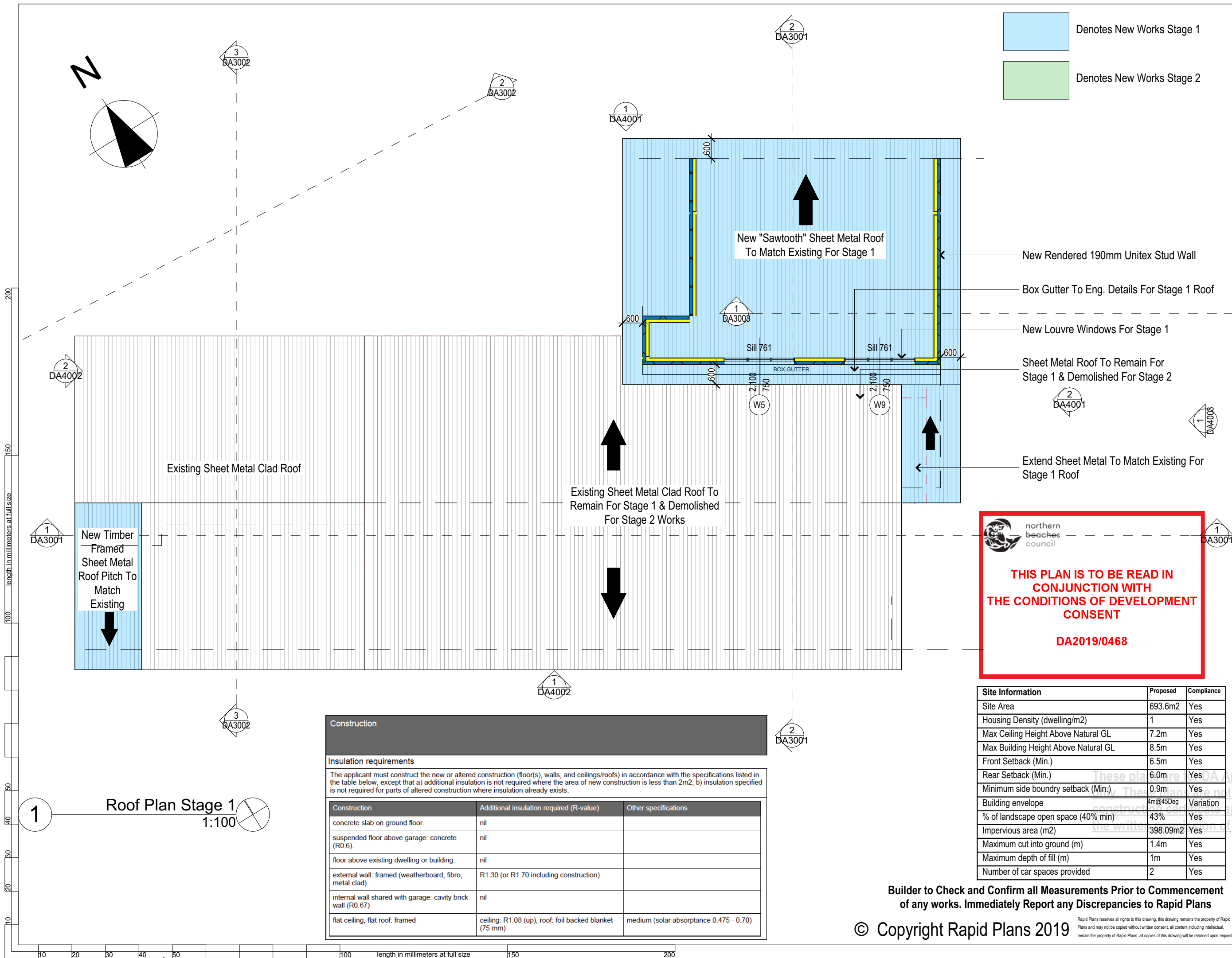
- Wall Legend**
- Denotes New Works Stage 1
 - Denotes New Works Stage 2
 - Denotes New Timber Framed Wall
 - Denotes New Masonry Wall
 - Denotes New Concrete Block Wall
 - Denotes Existing Wall
 - Denotes Demolished Item

NOTES
2 Monserra Road, Allambie is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basic Certificate
New Works to be constructed shown in Shaded/Blue
2 Monserra Road, Allambie is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans
Construction
Concrete & Timber Floors, Cladded Walls
Roof Sheet Metal to have R1.08 Insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix
Basix Certificate Number A346068_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m²,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 693.6m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m2) | 398.09m2 | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

DA2002





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Email : gregg@rapidplans.com.au




BUILDING
DESIGNERS
AUSTRALIA NSW

NOTES
2 Monserra Road, Allambie is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
2 Monserra Road, Allambie is not considered a heritage item.

Construction
Concrete & Timber Floors, Cladded Walls.
Roof Sheet Metal to have R1.08 Insulation
Insulation to External Cladded Walls R1.7.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS01288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying
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Basix
Basix Certificate Number A346068_03
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North 

DA APPLICATION ONLY
NOT FOR CONSTRUCTION

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Client
Nathan Brown
Project Name
Alterations & Additions
2 Monserra Road, Allambie
2100

Lot 15 Sec 10
D.P. 201445

Plans - Roof Plan Stage 1
Roof Plan Stage 1

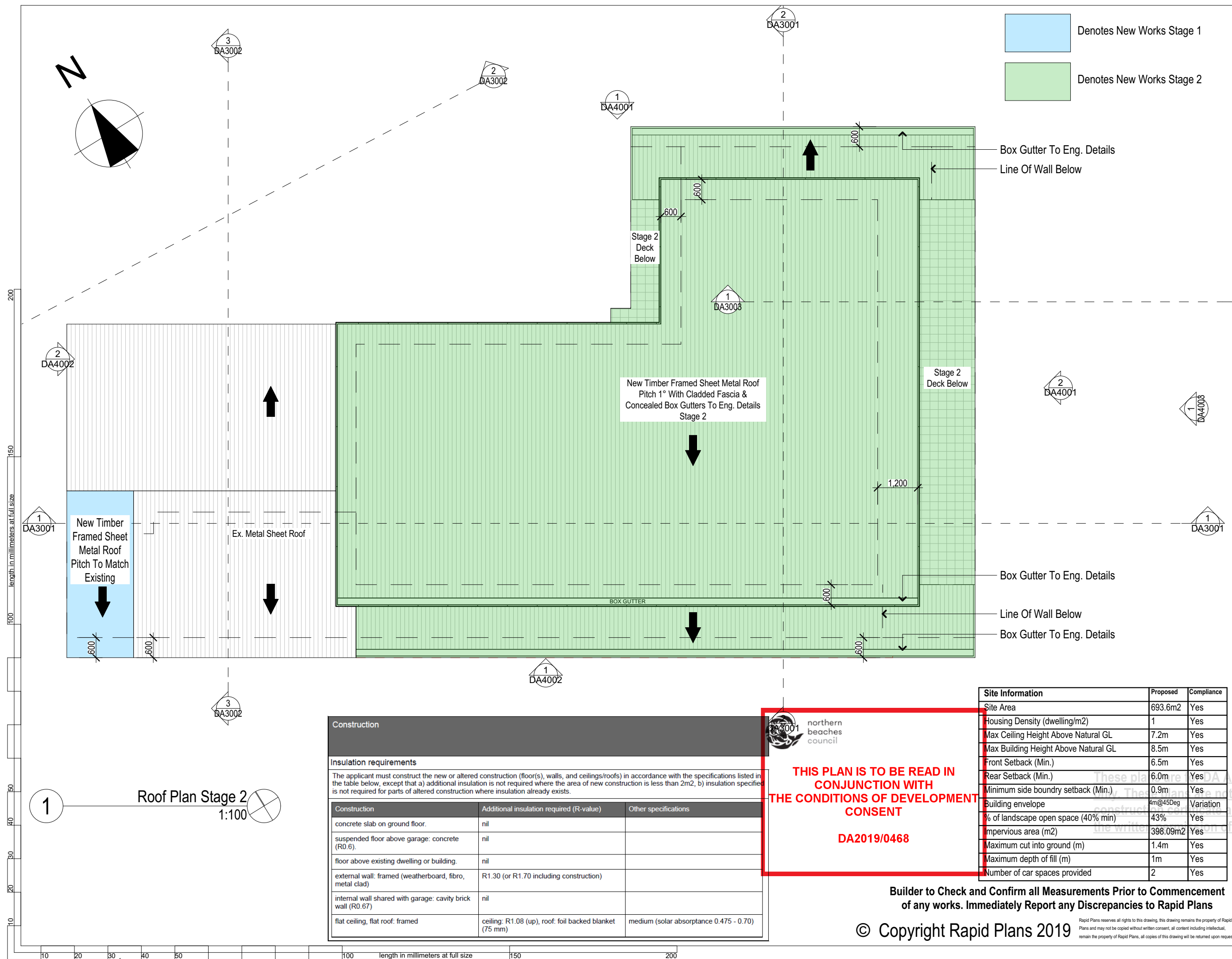
Scale: A3 as noted Date: 19-9-2019
Status: DA Rev1 Checked By: GBJ
Project No: RP0818BRO Drawing No: DA2004

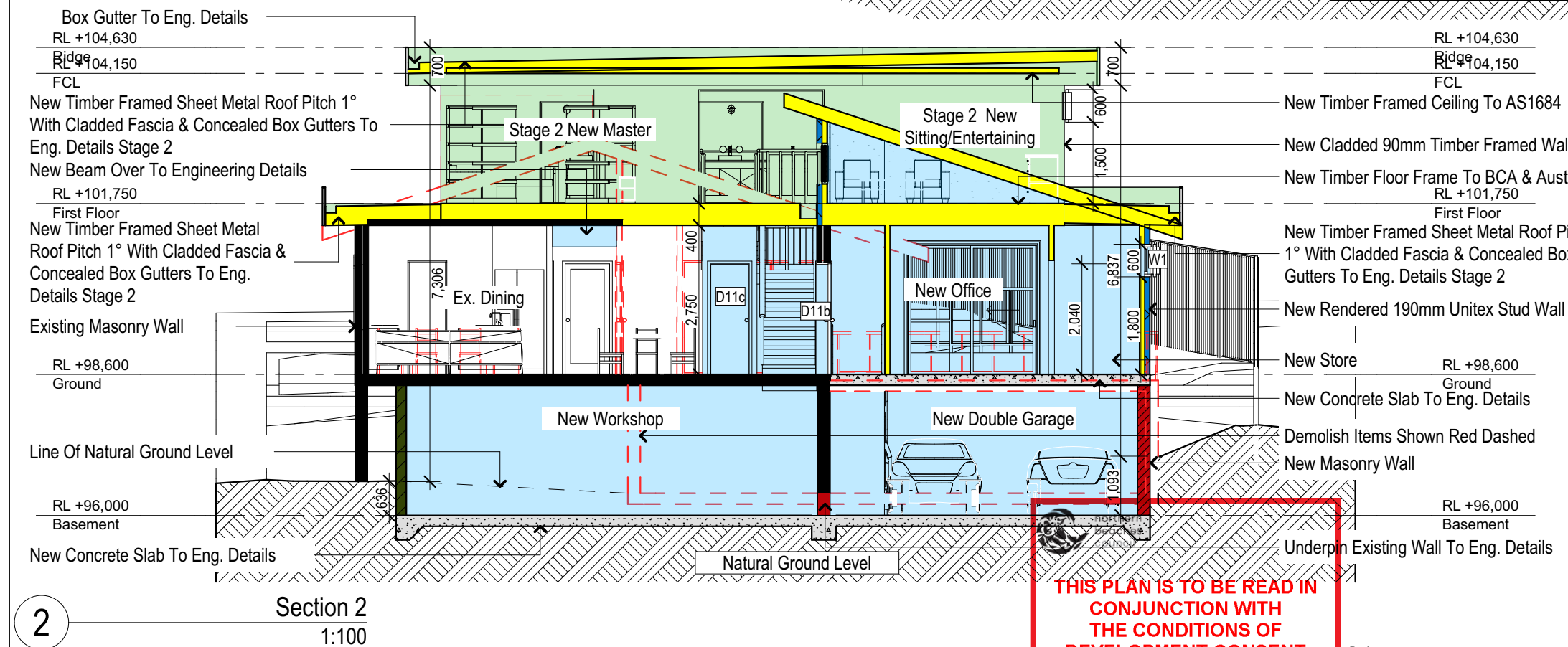
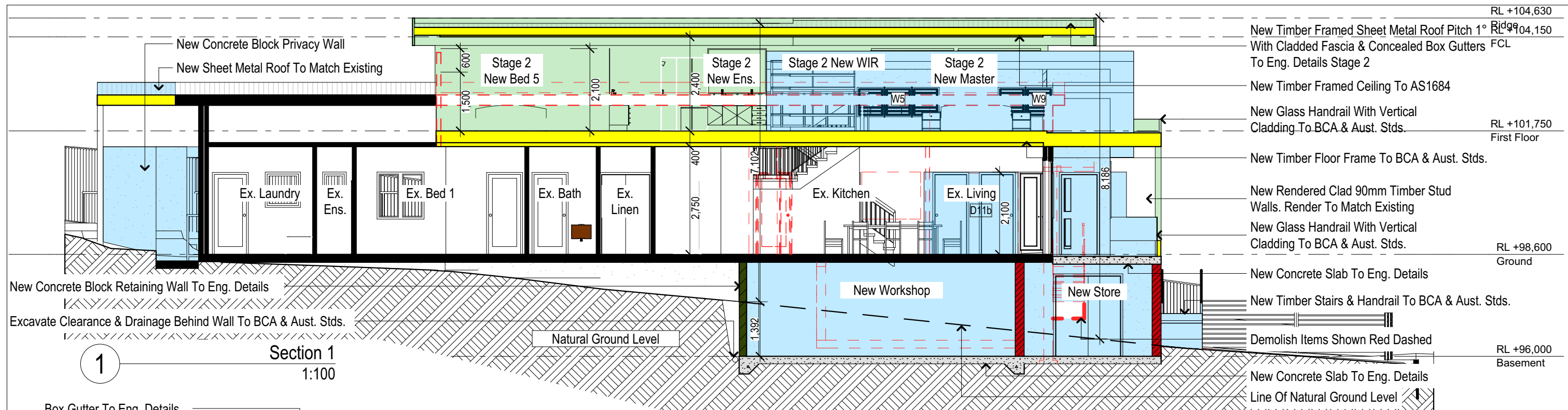
| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 693.6m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m ²) | 398.09m ² | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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| Construction | | |
|---|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| suspended floor above garage: concrete (R0.6). | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| internal wall shared with garage: cavity brick wall (R0.67) | nil | |
| flat ceiling, flat roof: framed | ceiling: R1.08 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 693.6m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m ²) | 398.09m ² | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

DA APPLICATION ONLY
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| Wall Legend | |
|-------------|---------------------------------|
| | Denotes New Timber Framed Wall |
| | Denotes New Masonry Wall |
| | Denotes New Concrete Block Wall |
| | Denotes Existing Wall |
| | Denotes Demolished Item |

NOTES

2 Monserra Road, Allambie is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
2 Monserra Road, Allambie is not considered a heritage item
Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

DA2019/0468

Construction
Concrete & Timber Floors, Cladded Walls
Roof Sheet Metal to have R1.08 insulation
Insulation to External Cladded Walls R1.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS01288-2047
Waterproofing to BCA and AS 3740
New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A346068_03

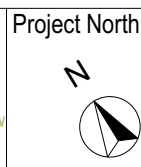
All Plans to be read in conjunction with Basix Certificate

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



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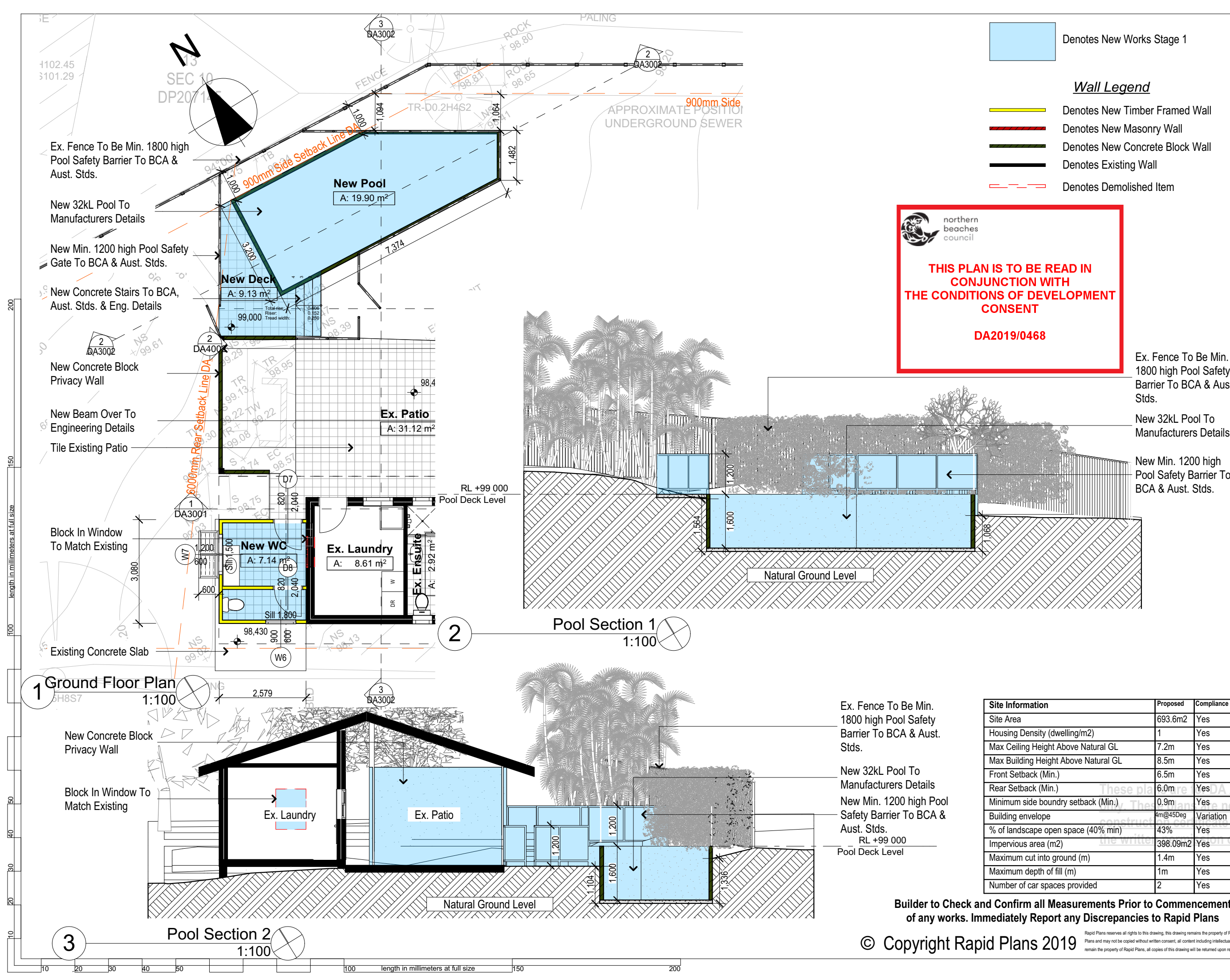
Client:
Nathan Brown

Client
Nathan Brown
Project Name
Alterations & Additions
2 Monserra Road, Allambie
2100

Lot 15 Sec 10 D.P.207145
Drawing Title:
Sections - Section 1
Section 1, Section 2

Scale: A3 as noted
Status: DA Rev1
Project No.
RP0818BRO

Date: 19-9-2019
Checked By: GBJ
Drawing No.
DA3001



- Denotes New Works Stage 1
- Denotes New Timber Framed Wall
- Denotes New Masonry Wall
- Denotes New Concrete Block Wall
- Denotes Existing Wall
- Denotes Demolished Item
- Denotes New Works Stage 1

Wall Legend

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468



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Mobile: 0414-945-024
Email : gregg@rapidplans.com.au

BUILDING DESIGNERS AUSTRALIA NSW

NOTES
2 Monserra Road, Allambie is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.
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Construction
Concrete & Timber Floors, Cladded Walls.
Roof Sheet Metal to have R1.02 Insulation.
Insulation to External Cladded Walls R1.7.
Refer to Engineers drawings for structural details.
All work to Engineers Specification and BCA.
Timber framing to BCA and AS 1684.
Termite Management to BCA and AS 3660.1.
Glazing to BCA and AS1288-2047.
Waterproofing to BCA and AS 3740.
New Lighting to have minimum of 40% compact fluorescent lamps.
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Certifying
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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.

Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client
Nathan Brown
Project Name
Alterations & Additions
2 Monserra Road, Allambie
2100

Lot 15 Sec 10
DP2017445

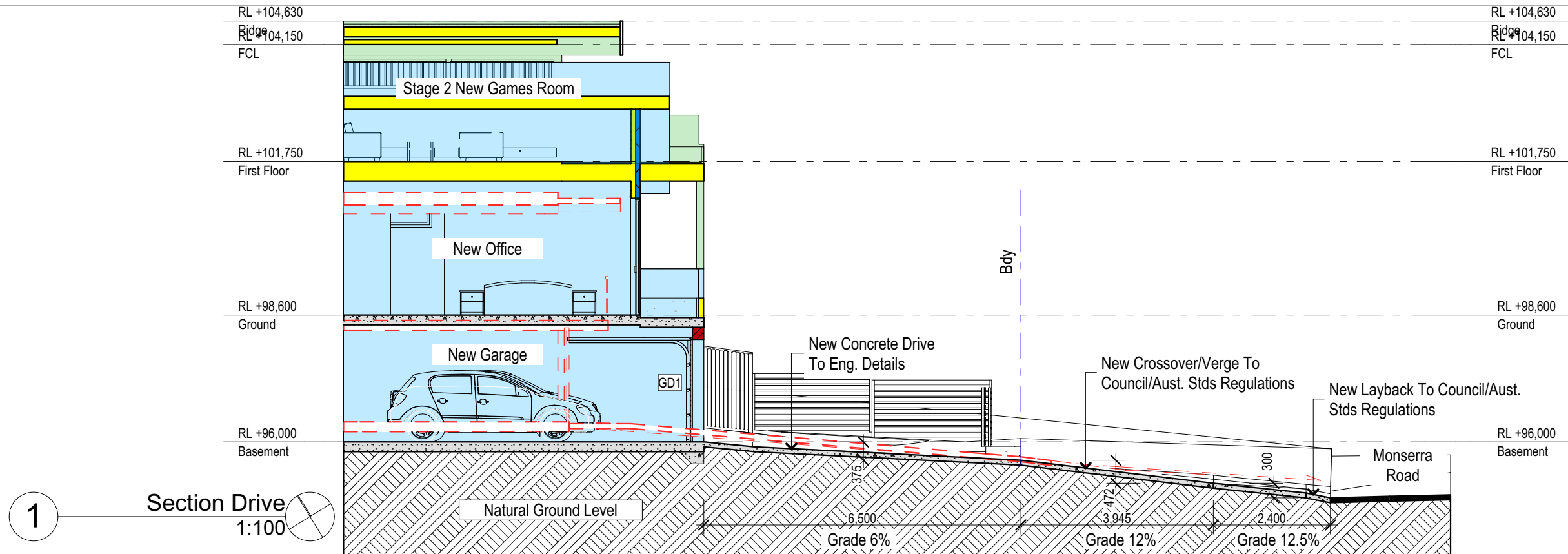
Sections - Pool Plan
Ground Floor Plan, Pool Section 1, Pool Section 2

| | |
|---------------------------------|------------------------------|
| Scale: A3 as noted | Date: 19-9-2019 |
| Status: DA Rev1 | Checked By: GBJ |
| Project No: RP0818BRO | Drawing No. DA3002 |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 693.6m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m2) | 398.09m2 | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

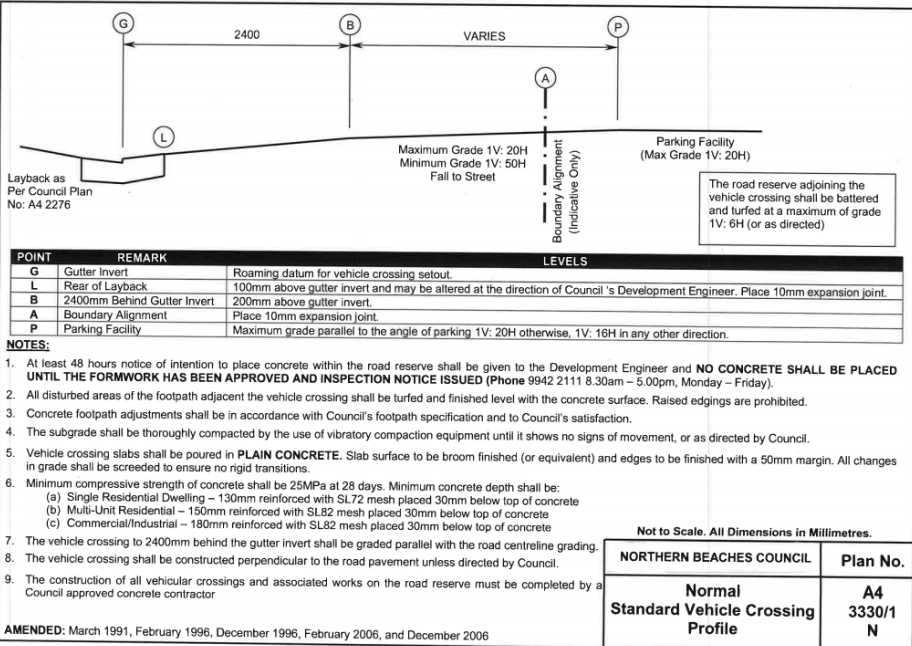
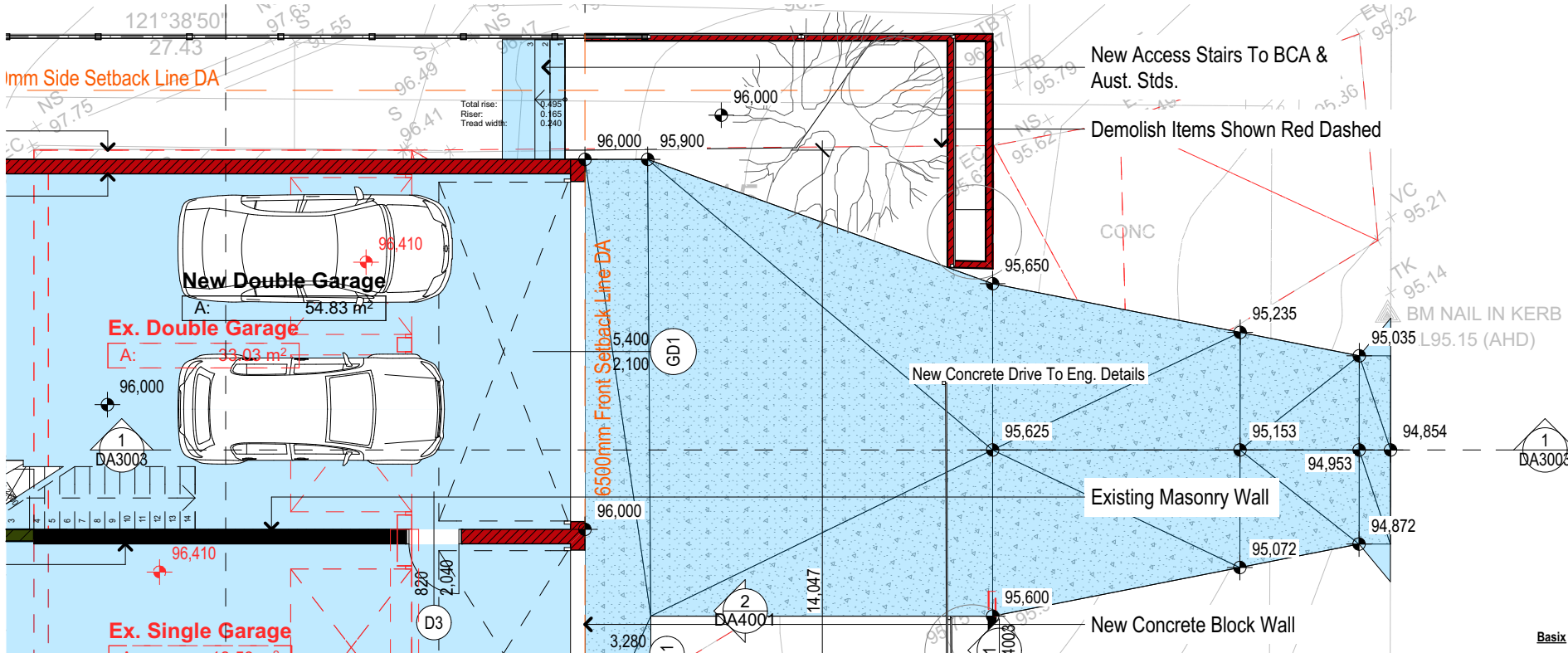


Denotes New Works Stage 1

Denotes New Works Stage 2

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468



1 Basement/Lower Ground Floor 1:100

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

NOTES

2 Monserra Road, Allambie is zoned R2 Low Density Residential

All Plans to be read in conjunction with Basix Certificate

New Works to be constructed shown in Shaded/Blue

2 Monserra Road, Allambie is not considered a heritage item

Certifying

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Construction

Concrete & Timber Floors, Cladded Walls

Roof Sheet Metal to have R1.08 Insulation

Insulation to External Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS1288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

Basix

Basix Certificate Number A346068_03

All Plans to be read in conjunction with Basix Certificate

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b) insulation specified is not required for parts of altered construction where insulation already exists.

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Relevant overshadowing specifications must be satisfied for each window and glazed door.

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Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

| Site Information | Proposed | Compliance |
|--|----------------------|------------|
| Site Area | 693.6m ² | Yes |
| Housing Density (dwelling/m ²) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m ²) | 398.09m ² | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |



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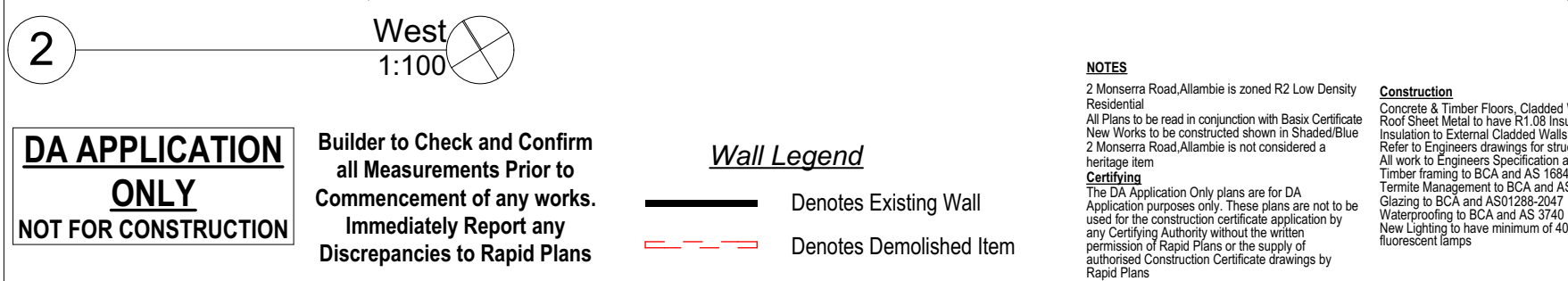
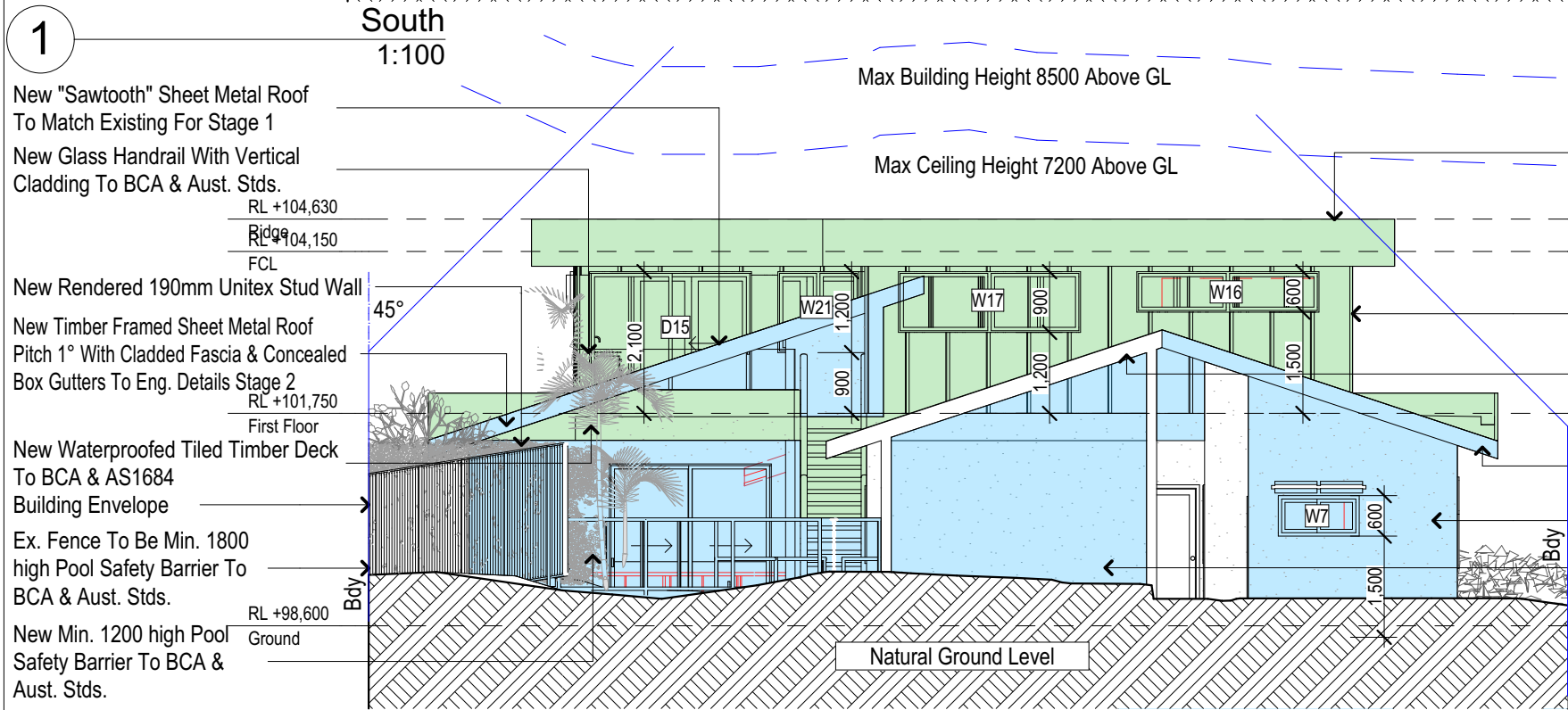
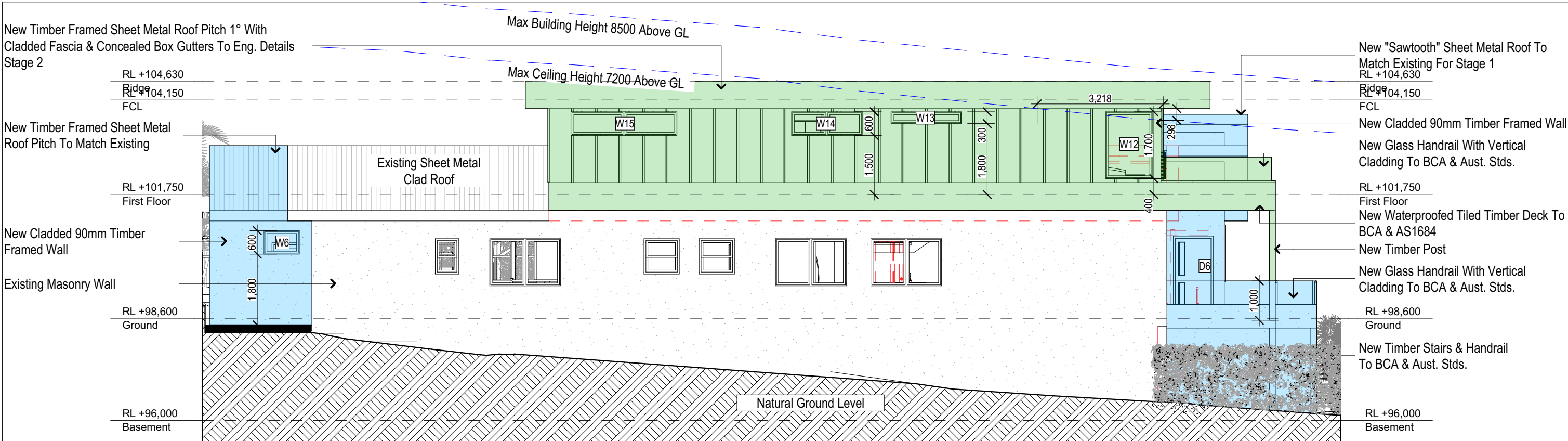
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Client
Nathan Brown
Project Name
Alterations & Additions
2 Monserra Road, Allambie
2100

Client
Nathan Brown
Project Name
Alterations & Additions
2 Monserra Road, Allambie
2100

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Project Name
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2 Monserra Road, Allambie
2100

Ground Floor



| Construction | | |
|--|--|---|
| Insulation requirements | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | |
| Construction | Additional insulation required (R-value) | Other specifications |
| concrete slab on ground floor. | nil | |
| suspended floor above garage: concrete (R0.6) | nil | |
| floor above existing dwelling or building. | nil | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.30 (or R1.70 including construction) | |
| internal wall shared with garage: cavity brick wall (R0.67) | nil | |
| flat ceiling, flat roof: framed | ceiling: R1.08 (up), roof: foil backed blanket (75 mm) | medium (solar absorptance 0.475 - 0.70) |

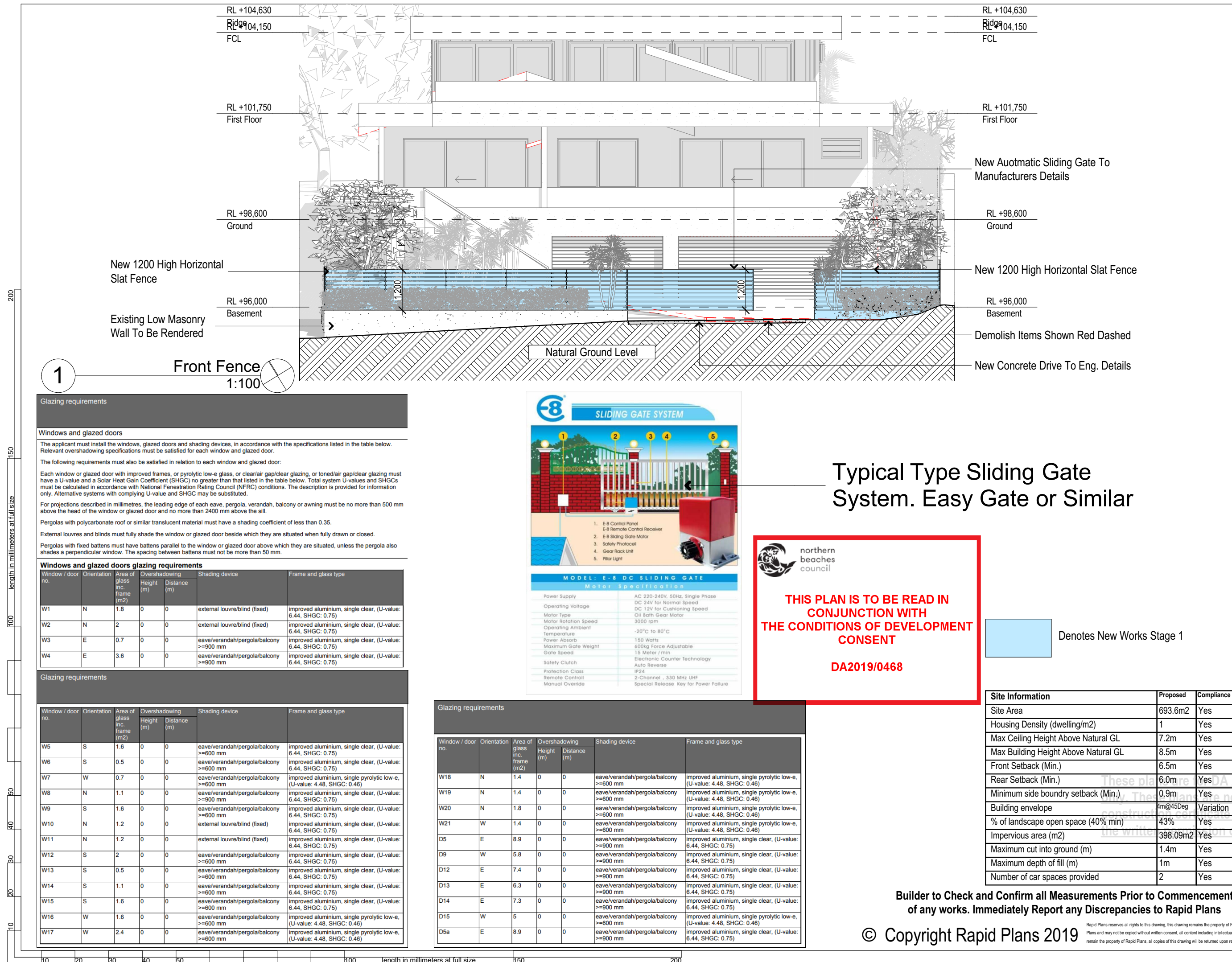
| | |
|--|---------------------------|
| | Denotes New Works Stage 1 |
| | Denotes New Works Stage 2 |

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 693.6m2 | Yes |
| Housing Density (dwelling/m2) | 1 | Yes |
| Max Ceiling Height Above Natural GL | 7.2m | Yes |
| Max Building Height Above Natural GL | 8.5m | Yes |
| Front Setback (Min.) | 6.5m | Yes |
| Rear Setback (Min.) | 6.0m | Yes |
| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m2) | 398.09m2 | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468

Basix
Basix Certificate Number A346068_03
All Plans to be read in conjunction with Basix Certificate
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below.
Relevant overshadowing specifications must be satisfied for each window and glazed door.
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door.



1 Front Fence 1:100

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door:

Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

External louvres and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

| Windows and glazed doors glazing requirements | | | | | |
|---|-------------|-------------------------------|--------------------------|----------------------------|--|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device |
| W1 | N | 1.8 | 0 | 0 | external louvre/blind (fixed) |
| W2 | N | 2 | 0 | 0 | external louvre/blind (fixed) |
| W3 | E | 0.7 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| W4 | E | 3.6 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |

Glazing requirements

| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device | Frame and glass type |
|-------------------|-------------|-------------------------------|--------------------------|----------------------------|--|---|
| W5 | S | 1.6 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W6 | S | 0.5 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W7 | W | 0.7 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W8 | N | 1.1 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W9 | S | 1.6 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W10 | N | 1.2 | 0 | 0 | external louvre/blind (fixed) | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W11 | N | 1.2 | 0 | 0 | external louvre/blind (fixed) | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W12 | S | 2 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W13 | S | 0.5 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W14 | S | 1.1 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W15 | S | 1.6 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single clear, (U-value: 6.44, SHGC: 0.75) |
| W16 | W | 1.6 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |
| W17 | W | 2.4 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm | improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46) |

MODEL: E-8 DC SLIDING GATE

Motor Specification

| | |
|-------------------------------|---------------------------------------|
| Power Supply | AC 220-240V, 50Hz, Single Phase |
| Operating Voltage | DC 24V for Normal Speed |
| Motor Type | DC 12V for Cushioning Speed |
| Motor Rotation Speed | Oil Bath Gear Motor 3000 rpm |
| Operating Ambient Temperature | -20°C to 80°C |
| Power Absorb | 150 Watts |
| Maximum Gate Weight | 600kg Force Adjustable |
| Gate Speed | 15 Meter / min |
| Safety Clutch | Electronic Counter Technology |
| Protection Class | Auto Reverse |
| Remote Control | IP24 |
| Manual Override | 2-Channel, 330 MHz UHF |
| | Special Release Key for Power Failure |

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468

Denotes New Works Stage 1

Typical Type Sliding Gate System. Easy Gate or Similar

| Glazing requirements | | | | | |
|----------------------|-------------|-------------------------------|--------------------------|----------------------------|--|
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing Height (m) | Overshadowing Distance (m) | Shading device |
| W18 | N | 1.4 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm |
| W19 | N | 1.4 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm |
| W20 | N | 1.8 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm |
| W21 | W | 1.4 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm |
| D5 | E | 8.9 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| D9 | W | 5.8 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| D12 | E | 7.4 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| D13 | E | 6.3 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| D14 | E | 7.3 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |
| D15 | W | 5 | 0 | 0 | eave/verandah/pergola/balcony >=600 mm |
| D5a | E | 8.9 | 0 | 0 | eave/verandah/pergola/balcony >=900 mm |

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
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| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
| Impervious area (m2) | 398.09m2 | Yes |
| Maximum cut into ground (m) | 1.4m | Yes |
| Maximum depth of fill (m) | 1m | Yes |
| Number of car spaces provided | 2 | Yes |

Builder to Check and Confirm all Measurements Prior to Commencement of any works. Immediately Report any Discrepancies to Rapid Plans

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Email : gregg@rapidplans.com.au

NOTES

2 Monserra Road, Allambie is zoned R2 Low Density Residential.

All Plans to be read in conjunction with Basix Certificate New Works to be constructed shown in Shaded/Blue.

2 Monserra Road, Allambie is not considered a heritage item.

Construction

Concrete & Timber Floors, Cladded Walls.

Roof Sheet Metal to have R1.00 Insulation

Insulation to External Cladded Walls R1.7

Refer to Engineers drawings for structural details

All work to Engineers Specification and BCA

Timber framing to BCA and AS 1684

Termite Management to BCA and AS 3660.1

Glazing to BCA and AS01288-2047

Waterproofing to BCA and AS 3740

New Lighting to have minimum of 40% compact fluorescent lamps

All workmanship and materials shall be in accordance with the requirements of Building Codes of Australia.

Certifying

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Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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| | |
|------------------------------------|---------------------------|
| Client | Nathan Brown |
| Project Name | Alterations & Additions |
| | 2 Monserra Road, Allambie |
| | 2100 |
| Lot 15 Sec 10 | |
| D.P. 2017445 | |
| Elevations - Elevation Front Fence | |
| Front Fence | |
| Scale: A3 as noted | Date: 19-9-2019 |
| Status: DA Rev1 | Checked By: GBJ |
| Project No: | Drawing No. |
| RP0818BRO | DA4003 |

NOTES
2 Monserra Road, Allambie is zoned R2 Low Density Residential.
All Plans to be read in conjunction with Basic Certificate New Works to be constructed shown in Shaded/Blue.
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Construction
Concrete & Timber Floors, Cladded Walls.
Roof Sheet Metal to have R1.08 Insulation
Insulation to External Cladded Walls R1.7
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Basic
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Project North

DA APPLICATION ONLY

NOT FOR CONSTRUCTION

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Client: Nathan Brown
Project Name: **Alterations & Additions**
2 Monserra Road, Allambie
2100

Lot 15 Sec 10
DP207145

Site Plans - Landscape Plan

Landscape Plan

Scale: A3 as noted Date: 19-9-2019

Status: DA Rev1 Checked By: GBJ

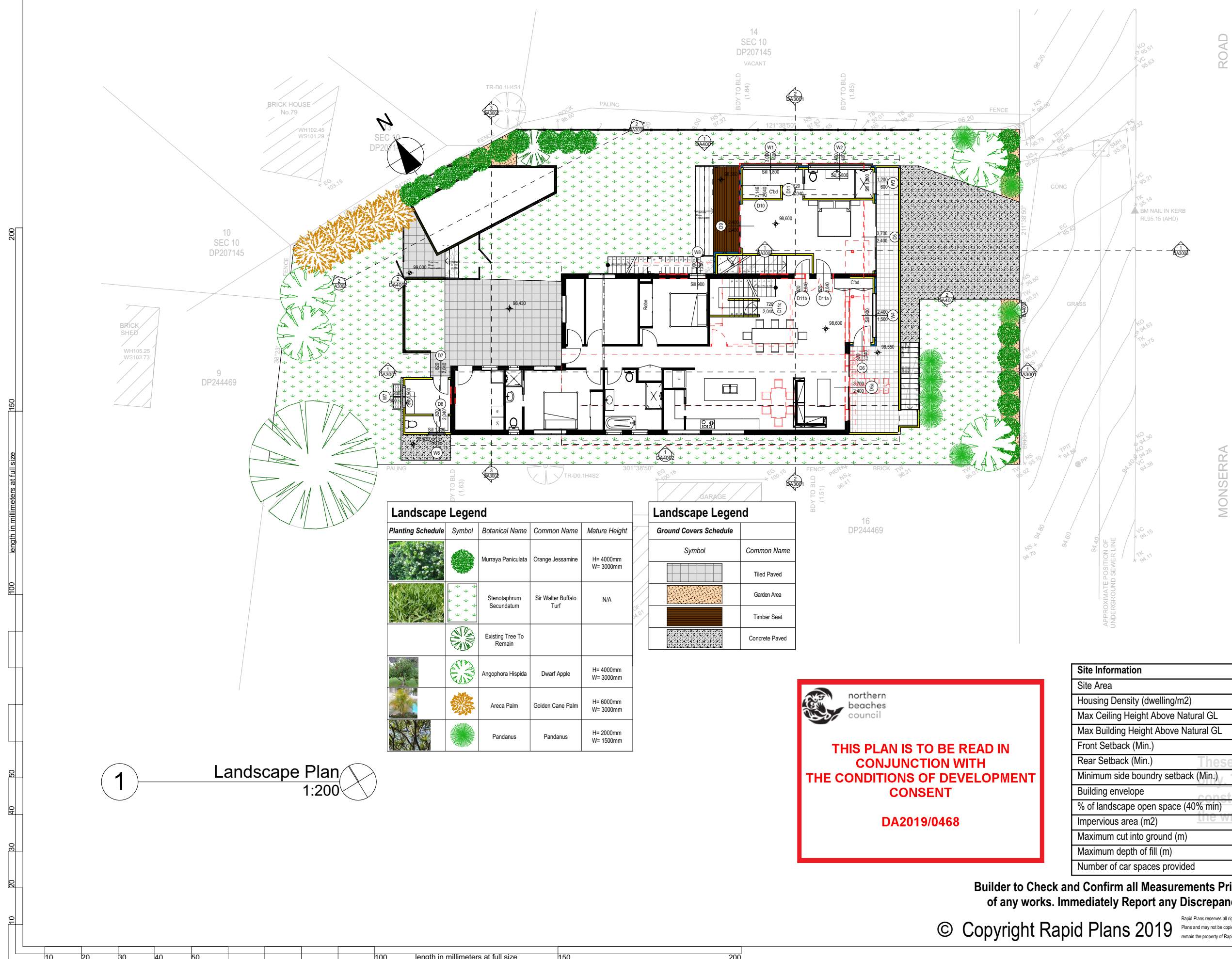
Project No: RP0818BRO Drawing No: DA1013

| Site Information | Proposed | Compliance |
|--------------------------------------|----------|------------|
| Site Area | 693.6m2 | Yes |
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| Minimum side boundary setback (Min.) | 0.9m | Yes |
| Building envelope | 4m@45Deg | Variation |
| % of landscape open space (40% min) | 43% | Yes |
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| Landscape Legend | | | | |
|-------------------|--------|-------------------------|-------------------------|------------------------|
| Planting Schedule | Symbol | Botanical Name | Common Name | Mature Height |
| | | Murraya Paniculata | Orange Jessamine | H= 4000mm W= 3000mm |
| | | Stenotaphrum Secundatum | Sir Walter Buffalo Turf | N/A |
| | | Existing Tree To Remain | | |
| | | Angophora Hispid | Dwarf Apple | H= 4000mm W= 3000mm |
| | | Areca Palm | Golden Cane Palm | H= 6000mm W= 3000mm |
| | | Pandanus | Pandanus | H= 2000mm W= 1500mm |

| Landscape Legend | |
|------------------------|----------------|
| Ground Covers Schedule | |
| Symbol | Common Name |
| | Tiled Paved |
| | Garden Area |
| | Timber Seat |
| | Concrete Paved |

Landscape Plan

1:200

1



THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

DA2019/0468