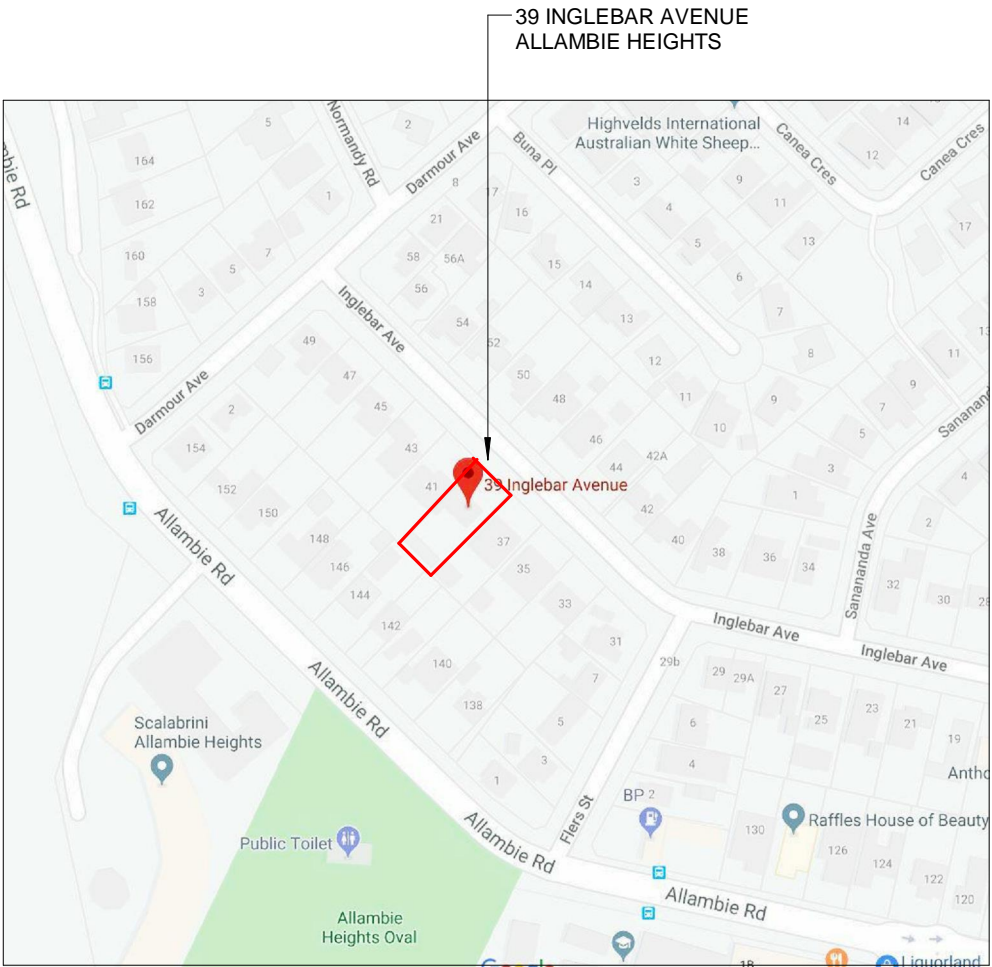


PROJECT: NEW DWELLING
ADDRESS: 39 INGLEBAR AVE
ALLAMBIE HEIGHTS

LOT #: 6
DP #: 246804

DRAWING LIST

DRAWING No	DRAWING NAME	REVISION	DATE
A01	COVER SHEET	G	22/01/2020
A02	EXISTING SURVEY PLAN	G	22/01/2020
A03	SITE PLAN	G	22/01/2020
A04	LANDSCAPE PLAN	G	22/01/2020
A05	GROUND FLOOR PLAN	G	22/01/2020
A06	FIRST FLOOR PLAN	G	22/01/2020
A07	ELEVATIONS	G	22/01/2020
A08	ELEVATIONS	G	22/01/2020
A09	SECTIONS	G	22/01/2020
A10	DEMOLITION PLAN	G	22/01/2020
A11	SHADOW DIAGRAM	G	22/01/2020
A12	EROSION & SEDIMENT PLAN	G	22/01/2020
A13	SITE ANALYSIS	G	22/01/2020
A14	BASIX COMMITMENT	G	22/01/2020
A15	WASTE MANAGEMENT	G	22/01/2020
A16	DRIVEWAY DETAIL	G	22/01/2020
A17	CONCRETE SLAB PLAN	G	22/01/2020



DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
D	UPDATED SURVEY AND RL'S	01/11/2019
E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020

DIMENSIONS INCLUDE CLADDING THICKNESS

NOTE:

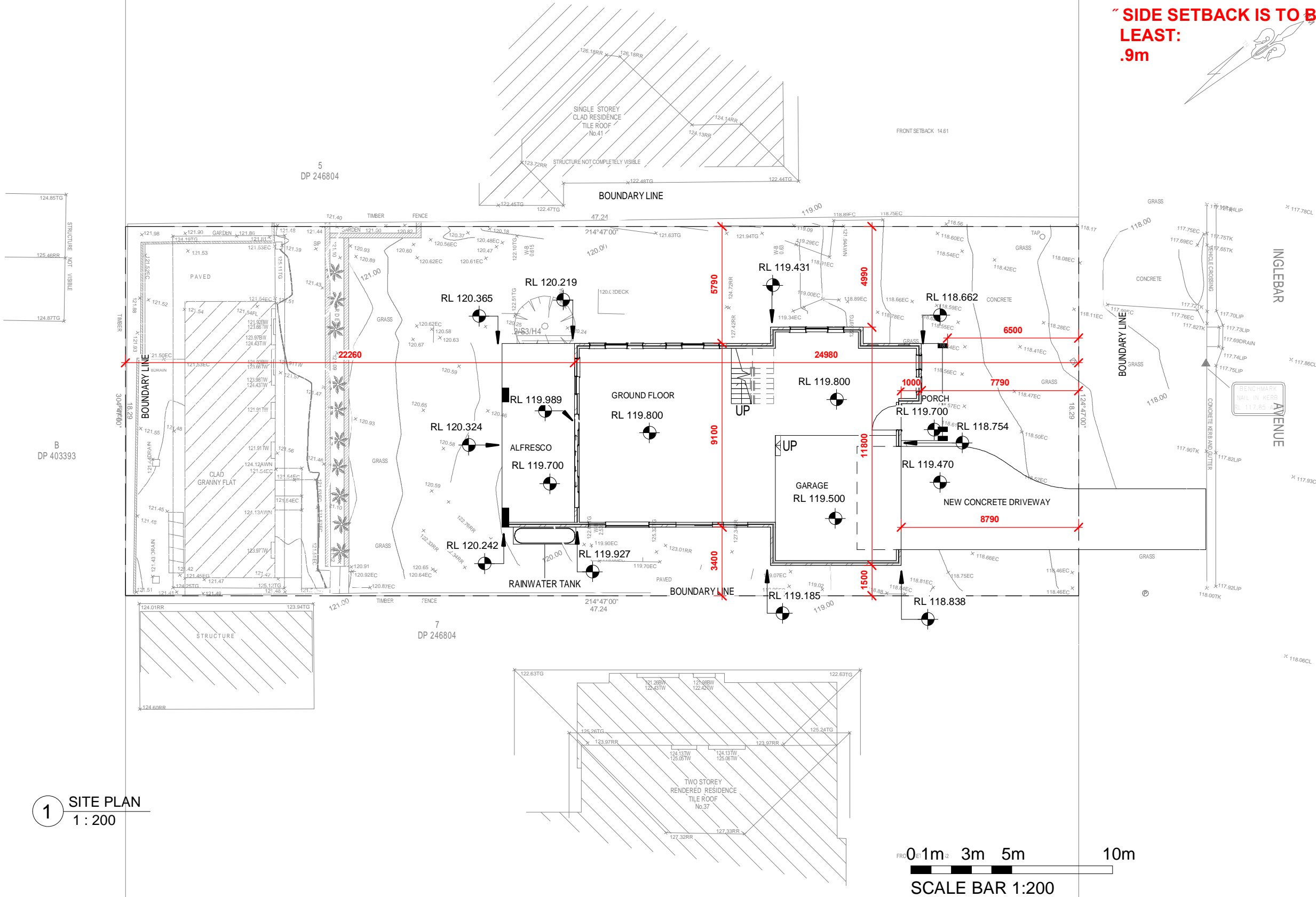
" FRONT SETBACK IS TO BE AT LEAST: 6.5m

" SIDE SETBACK IS TO BE AT LEAST: .9m

PROPOSED FLOOR SPACES		
NAME	AREA	%

ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
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E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020



1 SITE PLAN
1 : 200

0 1m 2 3m 5m 10m
SCALE BAR 1:200

G.J. Gardner. HOMES
Builders Details

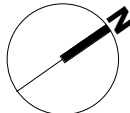
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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
SITE PLAN
SCALE: 1 : 200

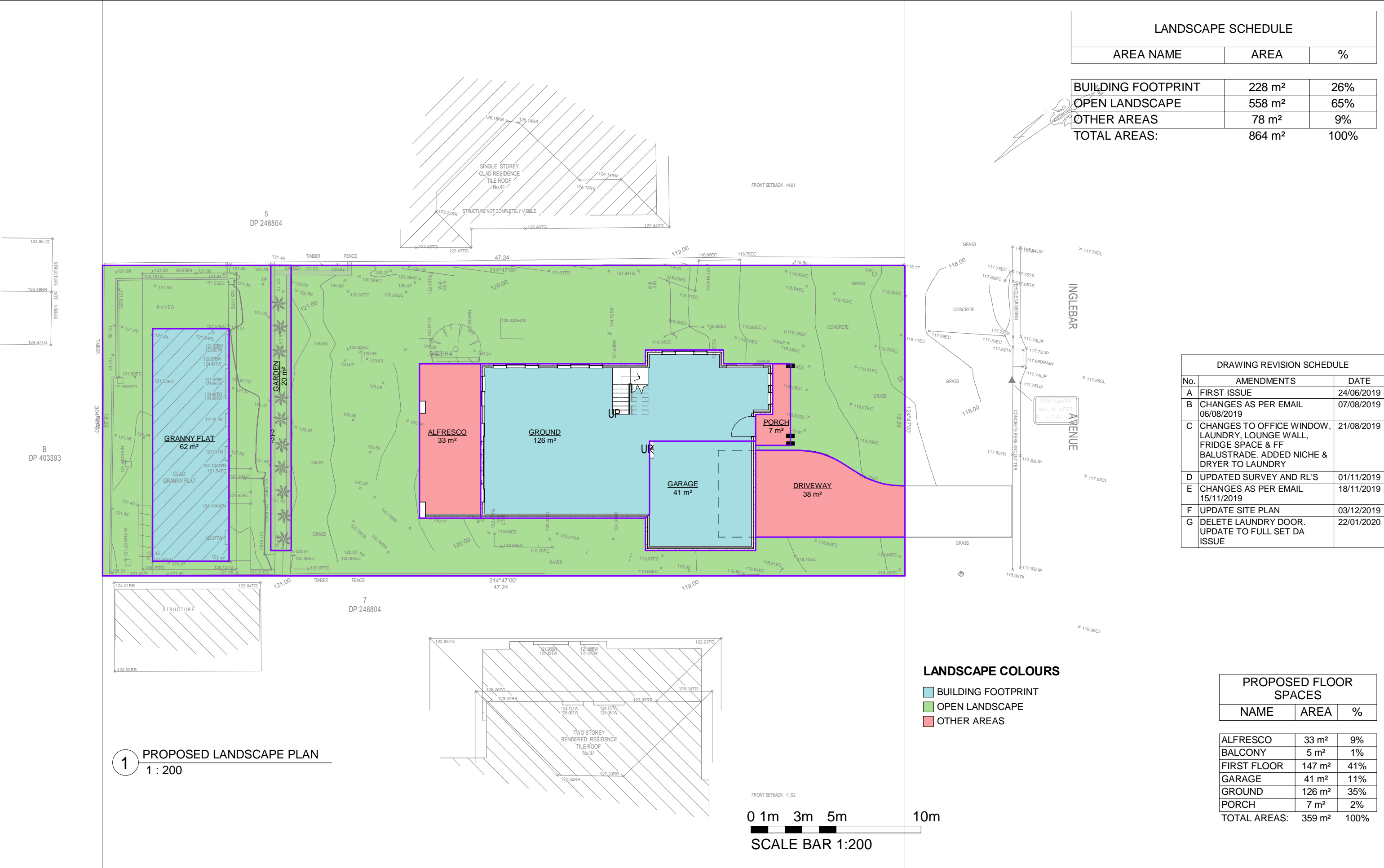
PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: A3
SHEET No: A03
REVISION: G
DATE: 22/01/2020
JOB NO: 230256
STAGE: DA
DRAWN: NF
GJGN093



I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:



REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DIMENSIONS ARE TO FRAME
SIZE ONLY

STAIRS

FLOOR TO FLOOR = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 250mm

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
C	CHANGES TO OFFICE WINDOW, LAUNDRY, LOUNGE WALL, FRIDGE SPACE & FF BALUSTRADE. ADDED NICHE & DRYER TO LAUNDRY	21/08/2019
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PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	33 m ²	9%
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FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

WINDOW SCHEDULE

Code	Width	Height
W01	700	2200
W02	700	2200
W03	2170	600
W04	2650	1800
W05	2650	2060
W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

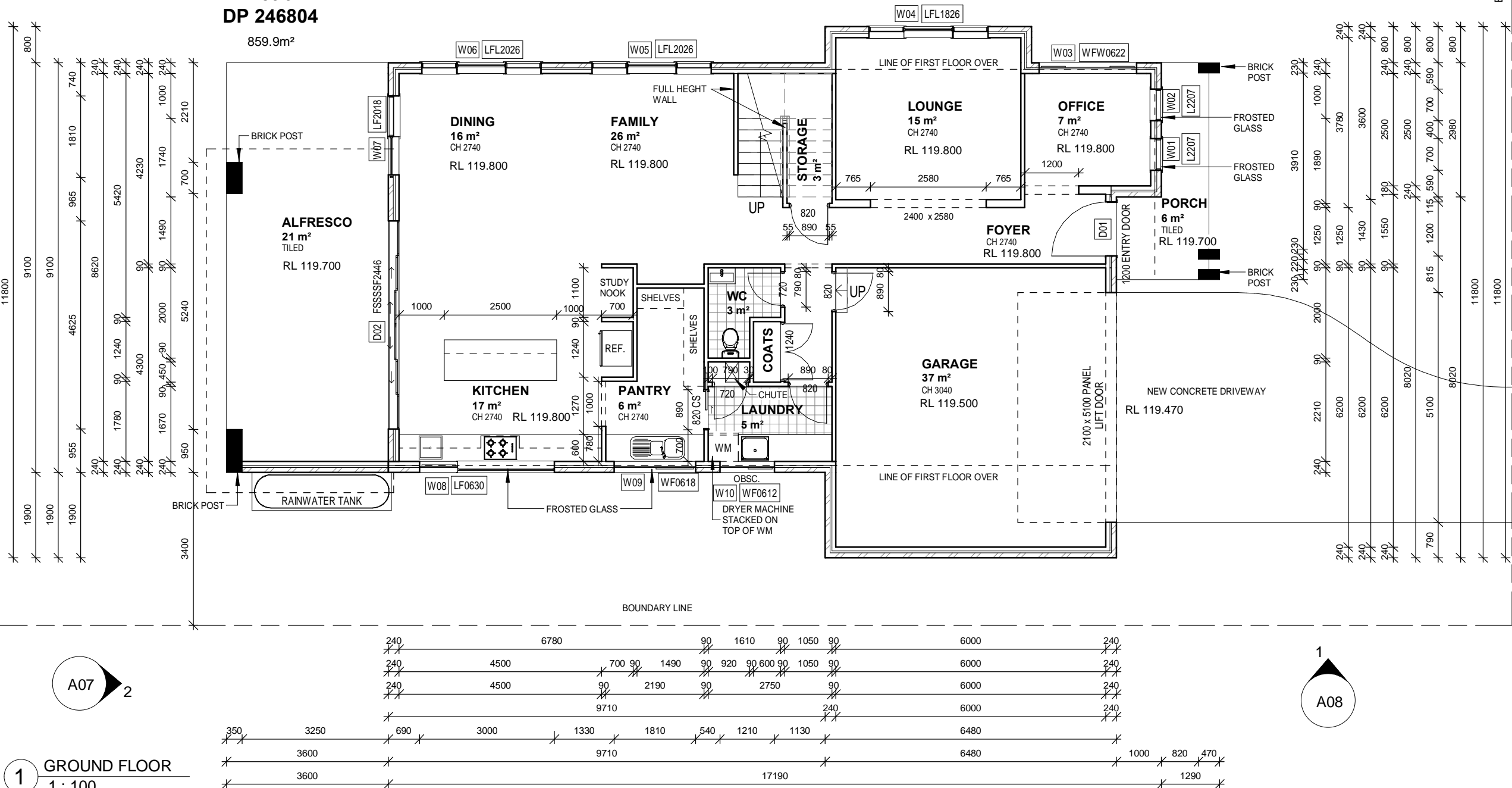
DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

Lot 6
DP 246804

859.9m²



0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

1 GROUND FLOOR
1 : 100

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DRAFTERS:



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5 CELEBRATION DRIVE
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

GROUND FLOOR PLAN

SCALE: 1 : 100

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3

SHEET No:

A05

REVISION:

G

DATE:

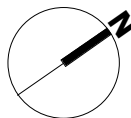
22/01/2020

JOB NO: 230256

STAGE: DA

DRAWN: NF

GJGN093



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BUILDER SIGNED: DATE:

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RISERS = 178.8mm
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A	FIRST ISSUE	24/06/2019
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PROPOSED FLOOR
SPACES

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BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%

TOTAL AREAS: 359 m² 100%

WINDOW SCHEDULE

Code	Width	Height
W01	700	2200
W02	700	2200
W03	2170	600
W04	2650	1800
W05	2650	2060
W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

DOOR SCHEDULE

Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

G.J. Gardner. HOMES
Builders Details

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DRAFTERS:



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5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

FIRST FLOOR PLAN

SCALE: 1 : 100

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3

SHEET No:

A06

REVISION:

G

DATE:

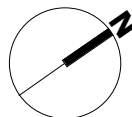
22/01/2020

JOB NO: 230256

STAGE: DA

DRAWN: NF

GJGN093

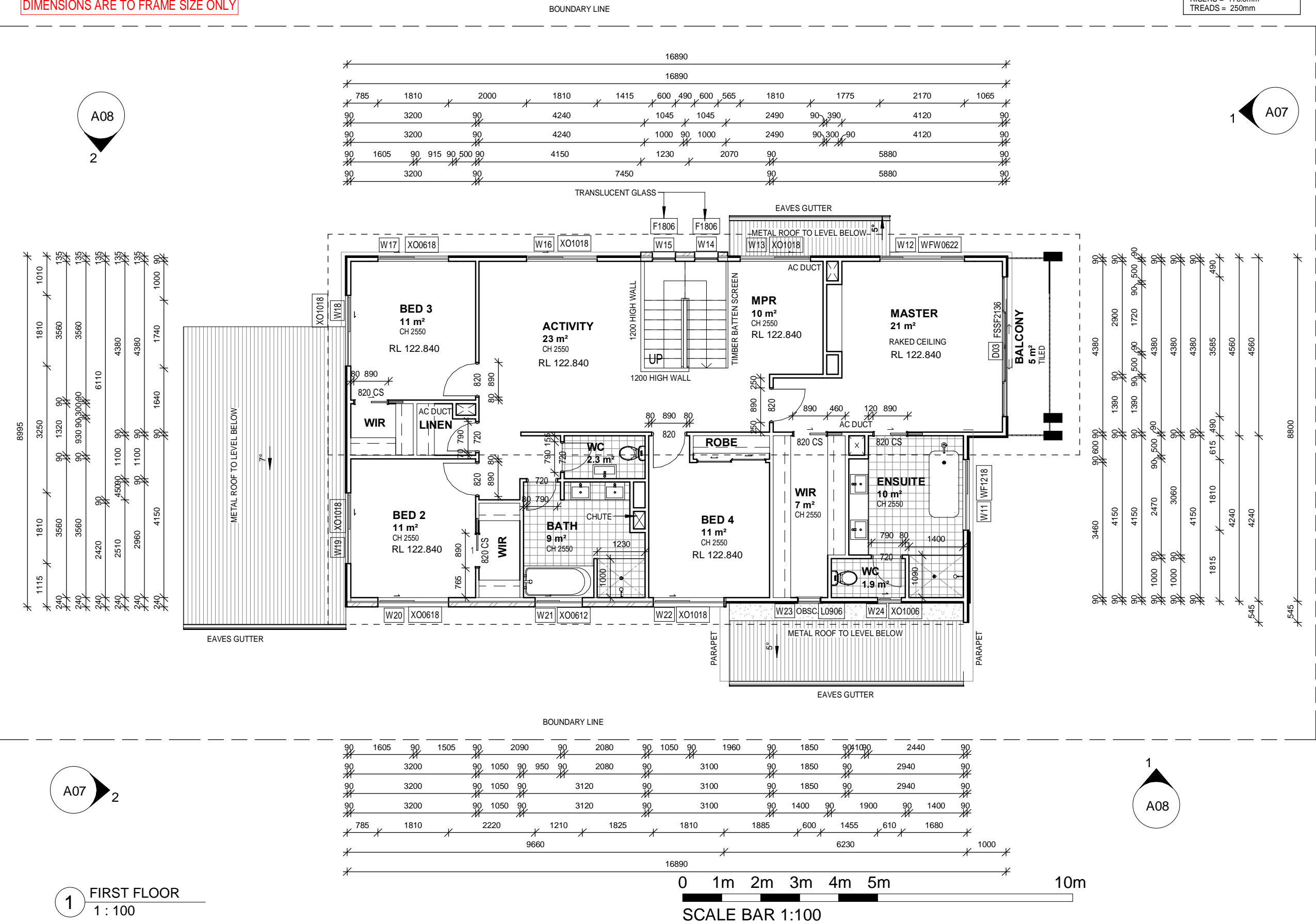


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OWNER SIGNED: DATE:

OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:



REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 127.237 ROOF PEAK

RL 125.390 UF CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

RL 119.500 GARAGE

1 FRONT ELEVATION
1 : 100

RL 127.237 ROOF PEAK

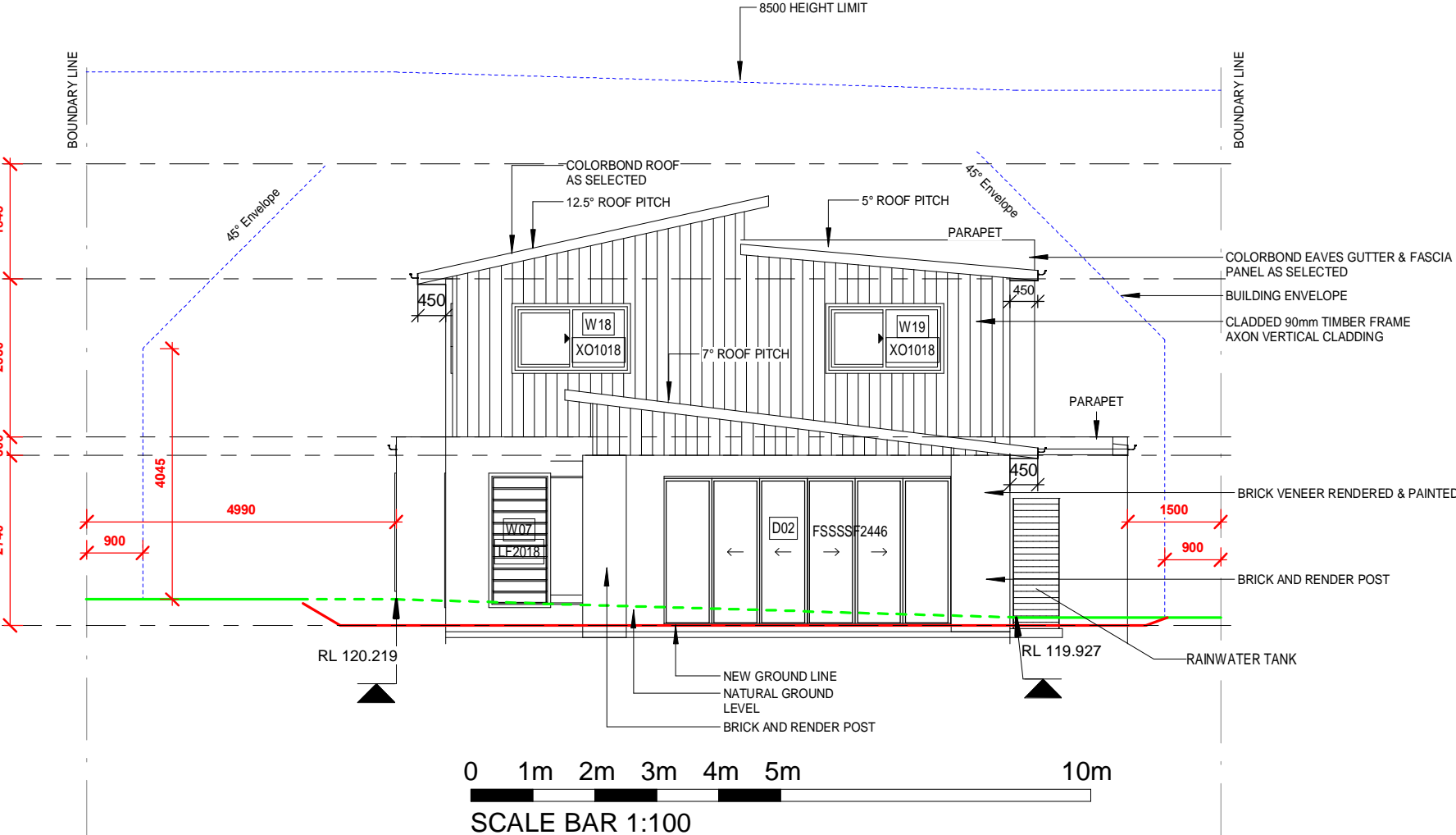
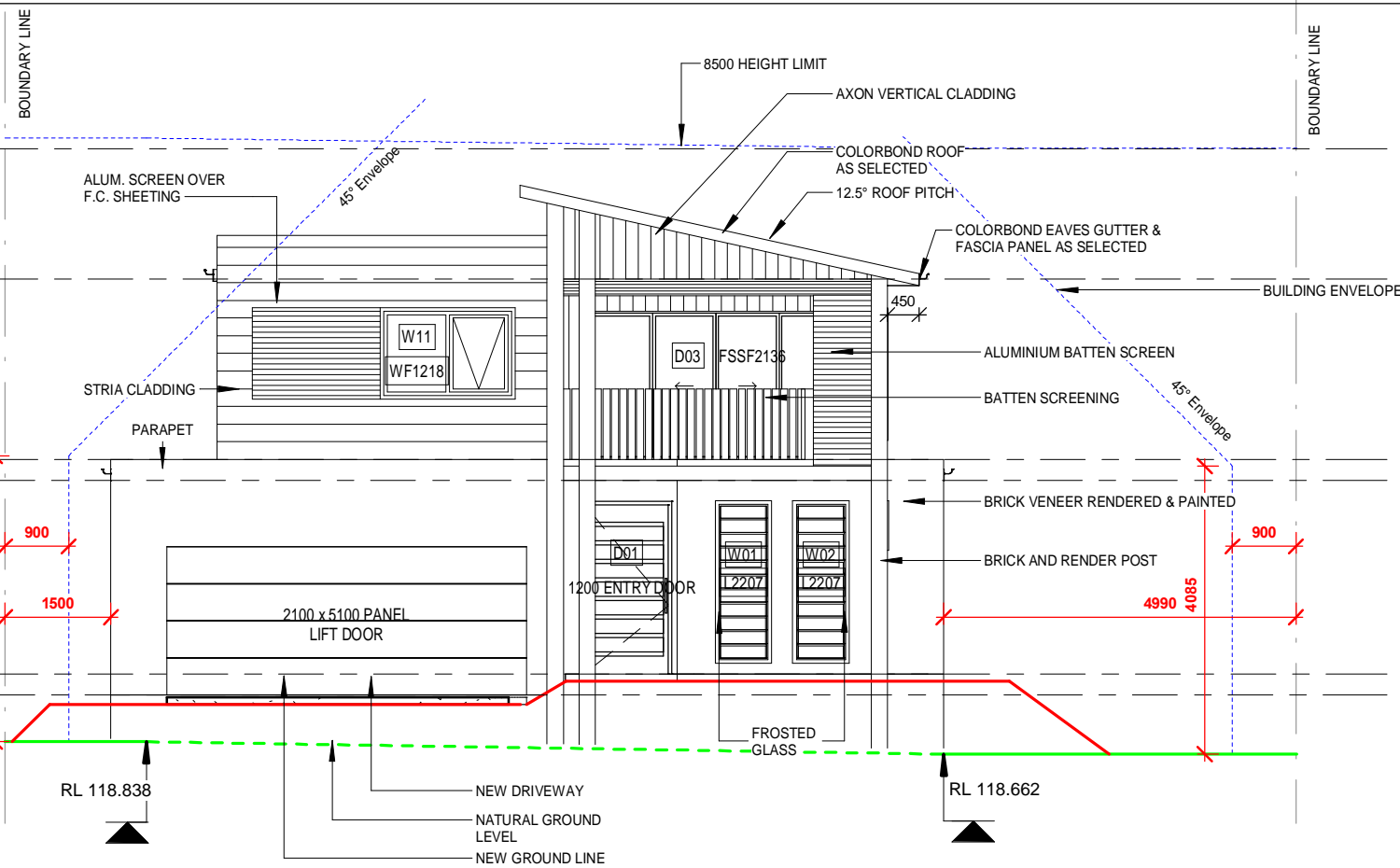
RL 125.390 UF CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

2 REAR ELEVATION
1 : 100



DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
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G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020

PROPOSED FLOOR SPACES		
NAME	AREA	%

ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

WINDOW SCHEDULE		
Code	Width	Height

W01	700	2200
W02	700	2200
W03	2170	600
W04	2650	1800
W05	2650	2060
W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030

Grand total: 24

DOOR SCHEDULE		
Code	Width	Height

D01	1200	2400
D02	4626	2400
D03	3584	2100

Grand total: 3

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G.J. Gardner. HOMES
Builders Details

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DRAFTERS:
KJR
SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: **A3** SHEET No: **A07** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

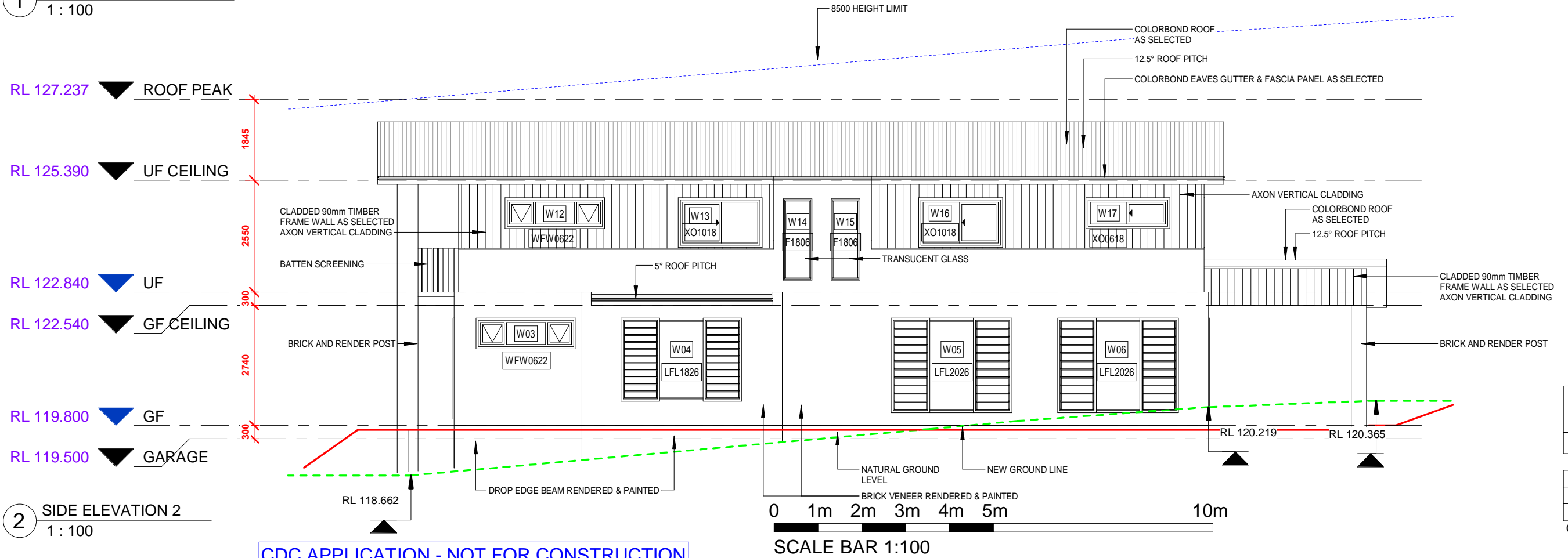
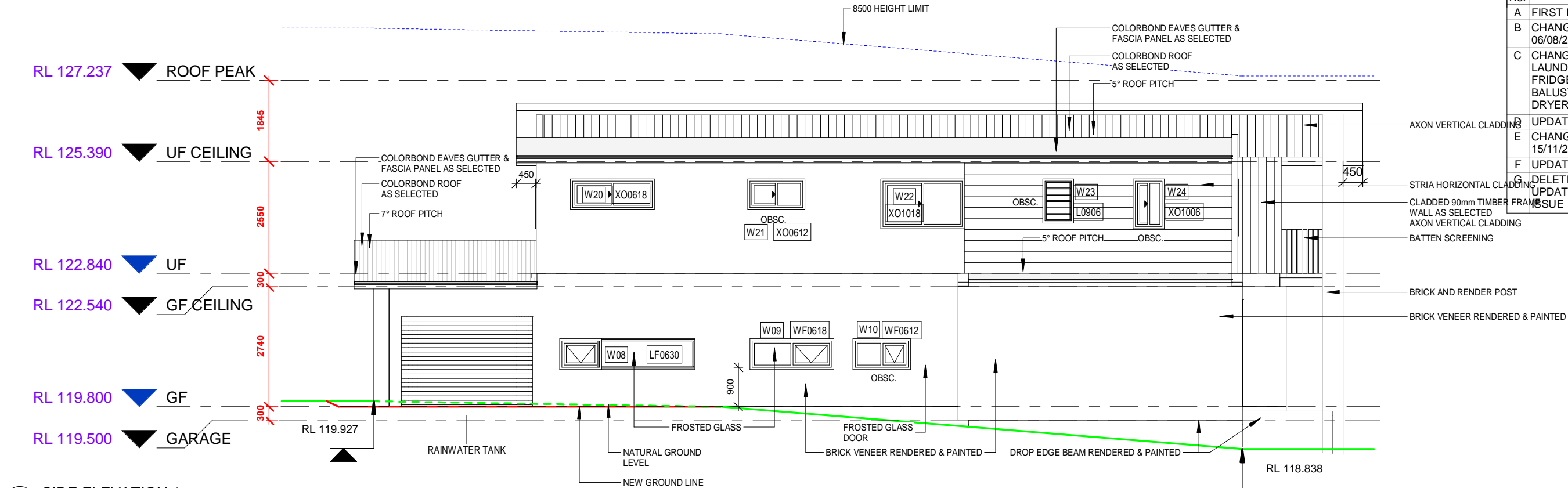
REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
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F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO PROPOSED ISSUE	22/01/2020

PROPOSED FLOOR SPACES		
NAME	AREA	%
ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

WINDOW SCHEDULE		
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W06	2650	2060
W07	905	2060
W08	3000	600
W09	1810	600
W10	1210	600
W11	1810	1200
W12	2170	600
W13	1810	1030
W14	600	1800
W15	600	1800
W16	1810	1030
W17	1810	600
W18	1810	1030
W19	1810	1030
W20	1810	600
W21	1210	600
W22	1810	1030
W23	600	900
W24	610	1030
Grand total: 24		

DOOR SCHEDULE		
Code	Width	Height
D01	1200	2400
D02	4626	2400
D03	3584	2100
Grand total: 3		



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5 CELEBRATION DRIVE
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
ELEVATIONS
SCALE: 1 : 100

PROJECT:
**39 INGLEBAR AVE
ALLAMBIE HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A08** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093

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OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

REFER TO COLOUR SELECTION FOR BATHROOM
AND LAUNDRY FINAL LAYOUT & FINISHES

RL 127.237 ROOF PEAK

RL 125.390 UF CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

RL 119.500 GARAGE

A SECTION A-A
1 : 100

COLORBOND ROOF
AS SELECTED
5° ROOF PITCH
COLORBOND
EAVES GUTTER &
FASCIA PANEL AS
SELECTED

RAINWATER TANK

RL 119.185

BED 4

ACTIVITY

LAUNDRY

FOYER

FAMILY

STORAGE

NATURAL GROUND
LEVEL
DROP EDGE BEAM

RL 119.431

8500 HEIGHT LIMIT

STAIRS

FLOOR TO FLOOR = 3040mm
No. of RISERS = 17
RISERS = 178.8mm
TREADS = 250mm

DRAWING REVISION SCHEDULE

No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
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E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020

1 KEY PLAN
1 : 500

RL 127.237 ROOF PEAK

RL 125.390 UF CEILING

RL 122.840 UF

RL 122.540 GF CEILING

RL 119.800 GF

RL 119.500 GARAGE

B SECTION B-B
1 : 100

COLORBOND ROOF
AS SELECTED
7° ROOF PITCH

BRICK POST

ALFRESCO

DINING

FAMILY

FOYER

PORCH

NEW GROUND LINE

NATURAL GROUND
LEVEL

RL 118.754

COLORBOND ROOF
AS SELECTED
12.5° ROOF PITCH

CLADDED 90mm TIMBER FRAME
WALL AS SELECTED

BRICK POST

BATTEN SCREENING

BRICK POST

BRICK VENEER

DROP EDGE BEAM

PROPOSED FLOOR SPACES

NAME	AREA	%
ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

0 1m 2m 3m 4m 5m 10m
SCALE BAR 1:100

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DRAFTERS:



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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON

2 STOREY SWELLING

DRAWING TITLE:

SECTIONS

SCALE: As
indicated

PROJECT:

39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE:

A3 A09

REVISION:

G

DATE: 22/01/2020

JOB NO: 230256

STAGE: DA

DRAWN: NF

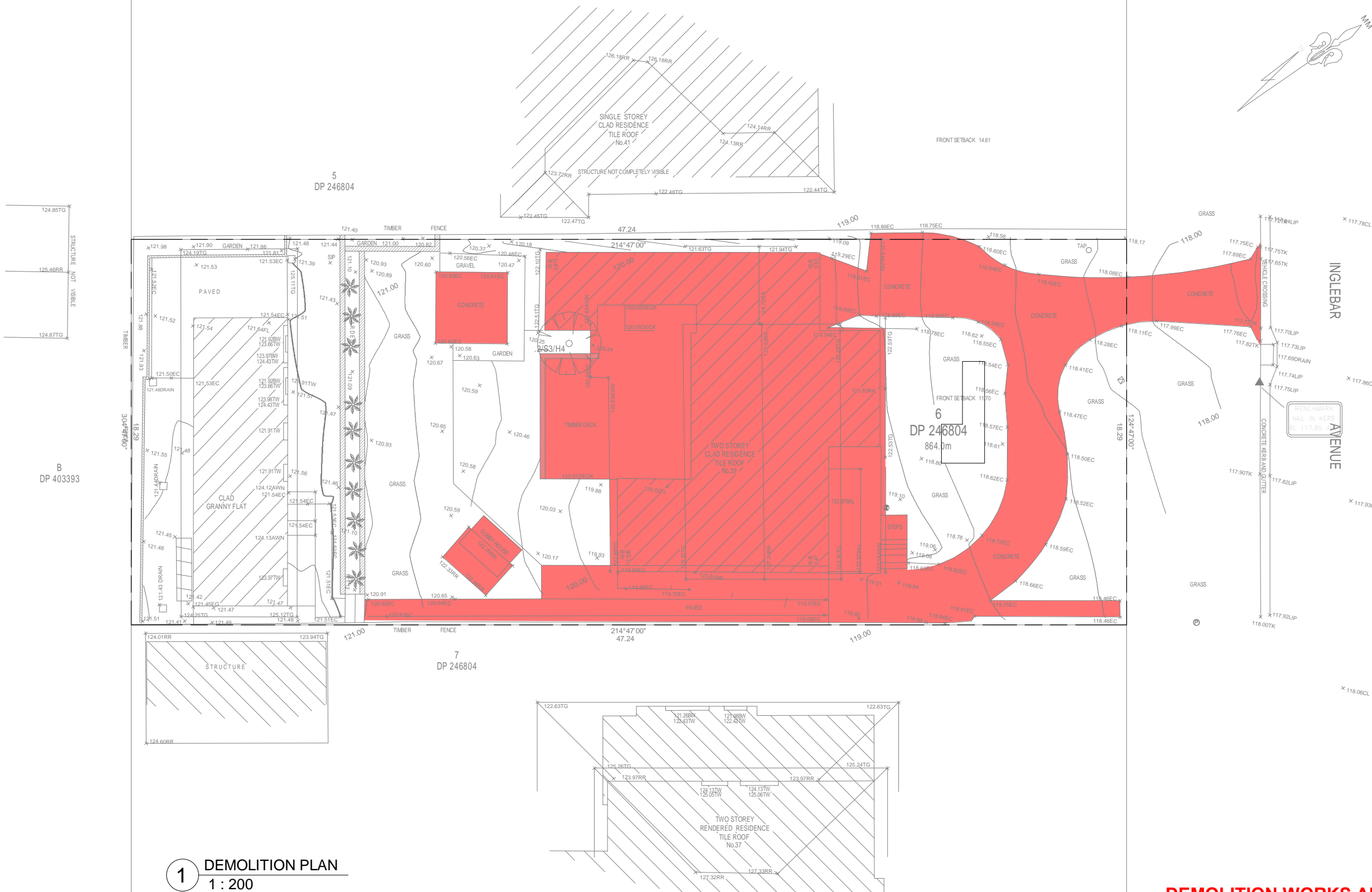
GJGN093

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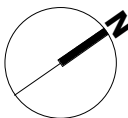
OWNER SIGNED: DATE:

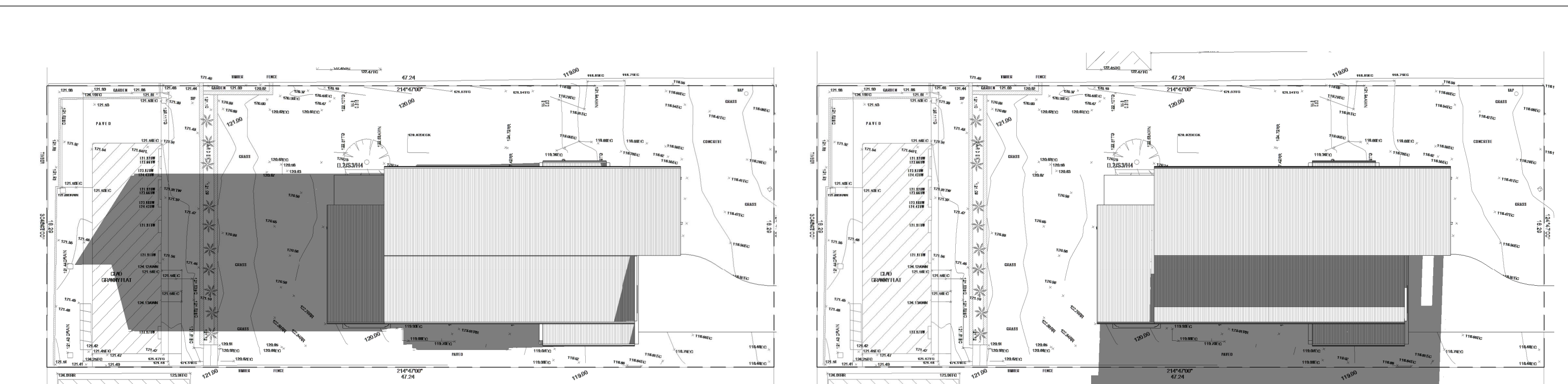
OWNER SIGNED: DATE:

BUILDER SIGNED: DATE:

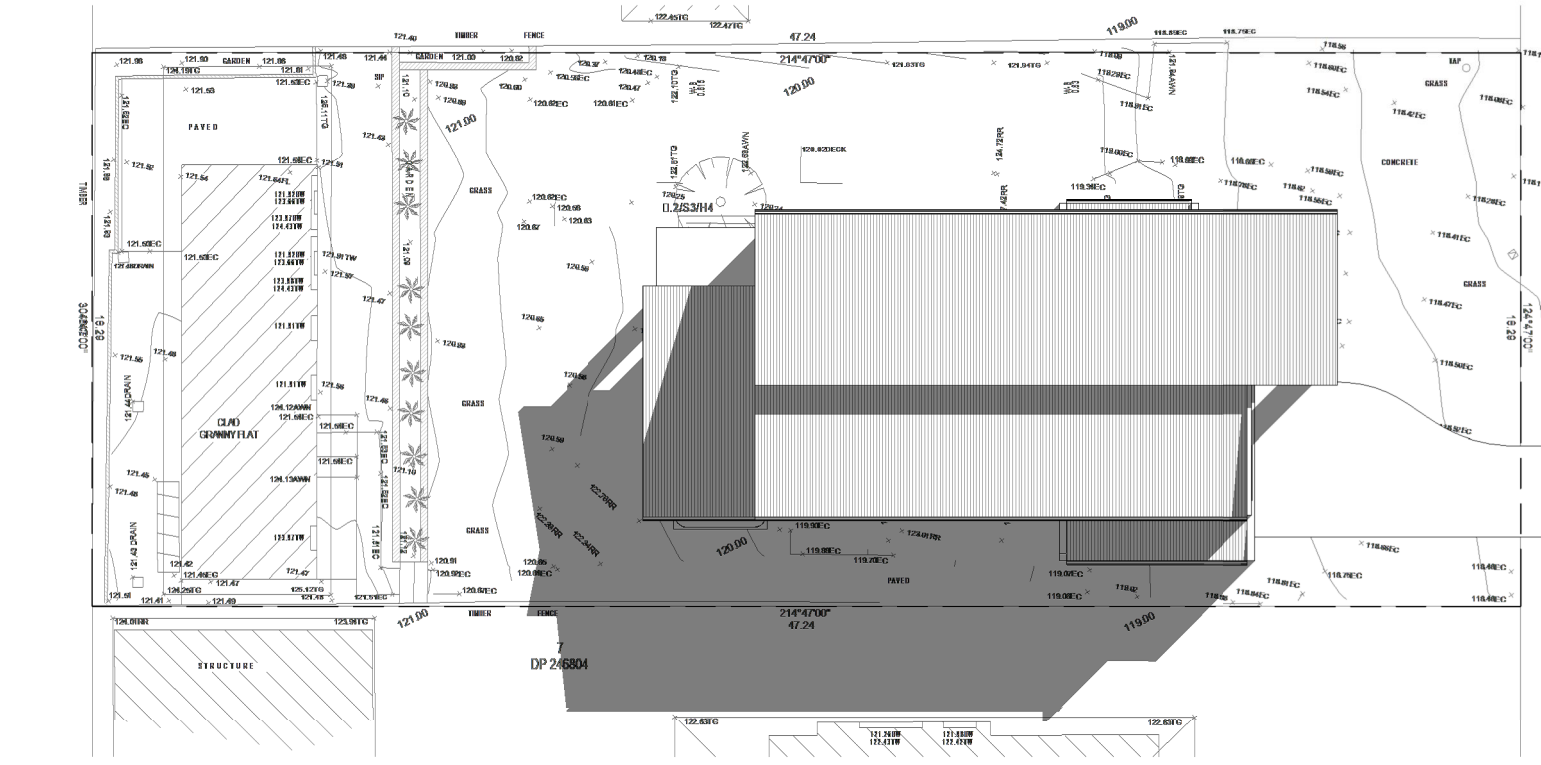


DRAWING REVISION SCHEDULE		
No.	AMENDMENTS	DATE
A	FIRST ISSUE	24/06/2019
B	CHANGES AS PER EMAIL 06/08/2019	07/08/2019
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E	CHANGES AS PER EMAIL 15/11/2019	18/11/2019
F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020



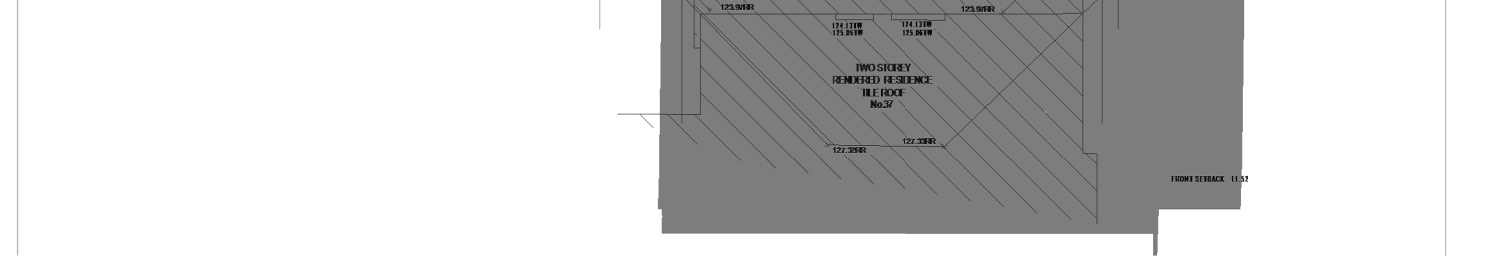


1 SHADOW DIAGRAM 9AM
1 : 250

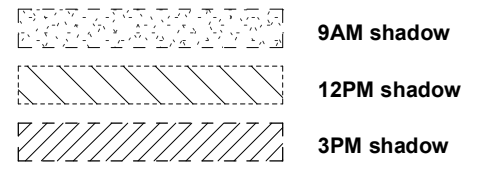


2 SHADOW DIAGRAM 12PM
1 : 250

3 SHADOW DIAGRAM 3PM
1 : 250



SHADOW DIAGRAM LEGEND:
(21st JUNE)



DRAWING REVISION SCHEDULE		
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124.85TG
125.46RR
124.87TG
STRUCTURE NOT VISIBLE

B
DP 403393

5
DP 246804

PAVED
CLAD GRANNY FLAT
121.98
121.90
121.86
121.84
121.53
121.53EC
121.30
121.11TG
121.54
121.54EC
121.54FL
121.53BW
123.66TW
123.98TW
124.43TW
121.91TW
121.51
121.56
121.54EC
121.54EC
124.13AWN
123.97TW
121.45
121.48
121.43DRAIN
121.41
121.41X
121.47
121.47
121.48
121.51EC
121.00
123.94TG
123.94TG
124.01RR
124.60RR

7PM SUMMER SUN

5PM WINTER SUN

WINTER SUN
SUMMER SUN

INGLEBAR AVENUE

7AM WINTER SUN

3AM SUMMER SUN



1 SITE ANALYSIS
1 : 200

Single Dwelling

Certificate number: 1071128S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 20 January 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	GJGN093 - Brad & Tara Edgton
Street address	39 Inglebar Avenue Allambie Heights 2100
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 246804
Lot no.	6
Section no.	n/a
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	864
Roof area (m²)	220
Conditioned floor area (m2)	239.3
Unconditioned floor area (m2)	17.0
Total area of garden and lawn (m2)	559

Project summary		
Project name	GJGN093 - Brad & Tara Edgton	
Street address	39 Inglebar Avenue Allambie Heights 2100	
Local Government Area	Northern Beaches Council	
Plan type and plan number	deposited 246804	
Lot no.	6	
Section no.	n/a	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Assessor details and thermal loads		
Assessor number	20920	
Certificate number	0004519955	
Climate zone	56	
Area adjusted cooling load (MJ/m²·year)	26	
Area adjusted heating load (MJ/m²·year)	40	
Project score		
Water	✔ 40	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 100 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to: • all toilets in the development		✔	✔
• the cold water tap that supplies each clothes washer in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✔	✔	✔
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✔	✔
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Floor and wall construction	Area
floor - concrete slab on ground	118.0 square metres
floor - suspended floor/open subfloor	2.0 square metres

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.0 - 3.5		✔	✔
The cooling system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: EER 3.5 - 4.0		✔	✔
The heating system must provide for day/night zoning between living areas and bedrooms.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔ ✔ ✔	✔ ✔ ✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 6 of the bedrooms / study;		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 2 of the living / dining rooms;		✔	✔
• the kitchen;		✔	✔
• all bathrooms/toilets;		✔	✔
• the laundry;		✔	✔
• all hallways;		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

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F	UPDATE SITE PLAN	03/12/2019
G	DELETE LAUNDRY DOOR. UPDATE TO FULL SET DA ISSUE	22/01/2020

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G.J. Gardner. **HOMES**
Builders Details

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TO G.J. GARDNER HOMES

DRAFTERS:

SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: **BRAD & TARA EDGTON**
2 STOREY SWELLING

DRAWING TITLE:
BASIX COMMITMENT
SCALE:

PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: **A3** SHEET No: **A14** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093

I/WE HAVE CHECKED THE PLANS AND AGREE THEY ACCURATELY
DEPICT THE HOUSE FOR CONSTRUCTION. ANY VARIATIONS
REQUESTED AFTER SIGNING WILL INCUR A PROCESSING FEE IN
ADDITION TO THE COST OF THE VARIATION ITEMS AND ANY
FURTHER PLANS TO BE PREPARED.

OWNER SIGNED: DATE:
OWNER SIGNED: DATE:
BUILDER SIGNED: DATE:

WASTE MANAGEMENT PLAN FOR PROPOSED 2 STOREY DWELLING AT: 39 INGLEBAR AVE, ALLAMBIE HEIGHTS

DEMOLITION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Green waste	2	Chip and compost for landscaping and new gardens	-	Nil to landfill
Bricks	Nil			Nil to landfill
Concrete	20		Waste Management centre for recycling	Nil to landfill
Timber	10	Used for formwork and studwork, site shed or temporary fence	Long lengths of good quality timber to Timber Recycling Company. Lengths less than 1 meter to Waste Management centre for recycling	Nil to landfill
Plasterboard	10		Waste Management centre	Taken to landfill
Roof tiles	8		Good tiles to Waste Management centre for recycling; sell to second hand building supplies	Nil to landfill
Metals	2		Waste Management centre for recycling	Nil to landfill
Asbestos	5		Cart to licensed asbestos tip	Taken to landfill

CONSTRUCTION PHASE				
MATERIALS ON-SITE		DESTINATION		
		Reuse & Recycling		Disposal
Type of materials	Estimated volume (m3)	On-Site Specify proposed reuse or on-site recycling method	Offsite Specify contractor and recycling outlet	Specify contractor or landfill site
Excavation Material	5	Re-use for backfill under slab. Remove top soil and stockpile for use in landscaping	-	
Green waste	Nil			
Bricks	Nil			
Concrete	2		Excess concrete returned to supplier	Nil to landfill
Timber	2		Excess timber returned to supplier	Nil to landfill
Plasterboard	0.5		Excess plasterboard returned to supplier	Nil to landfill
Roof colorbond	0.5		Excess colorbond roof returned to supplier	Nil to landfill
Metals	0.1		Waste Management centre for recycling	Nil to landfill

USE OF PREMISES			
Type of Waste to be Generated	Expected volume per week (m3)	On-Site Specify proposed reuse or on-site recycling method	Destination
Food, general domestic waste	0.4	Bins located on site	Disposal via council rubbish removal
Paper, Cardboard	0.1	Bins located on site	Disposal via council recycling collection
Glass, Bottles	0.1	Bins located on site	Disposal via council recycling collection

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Builders Details

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DRAFTERS:

 **KJR**
DRAFTING

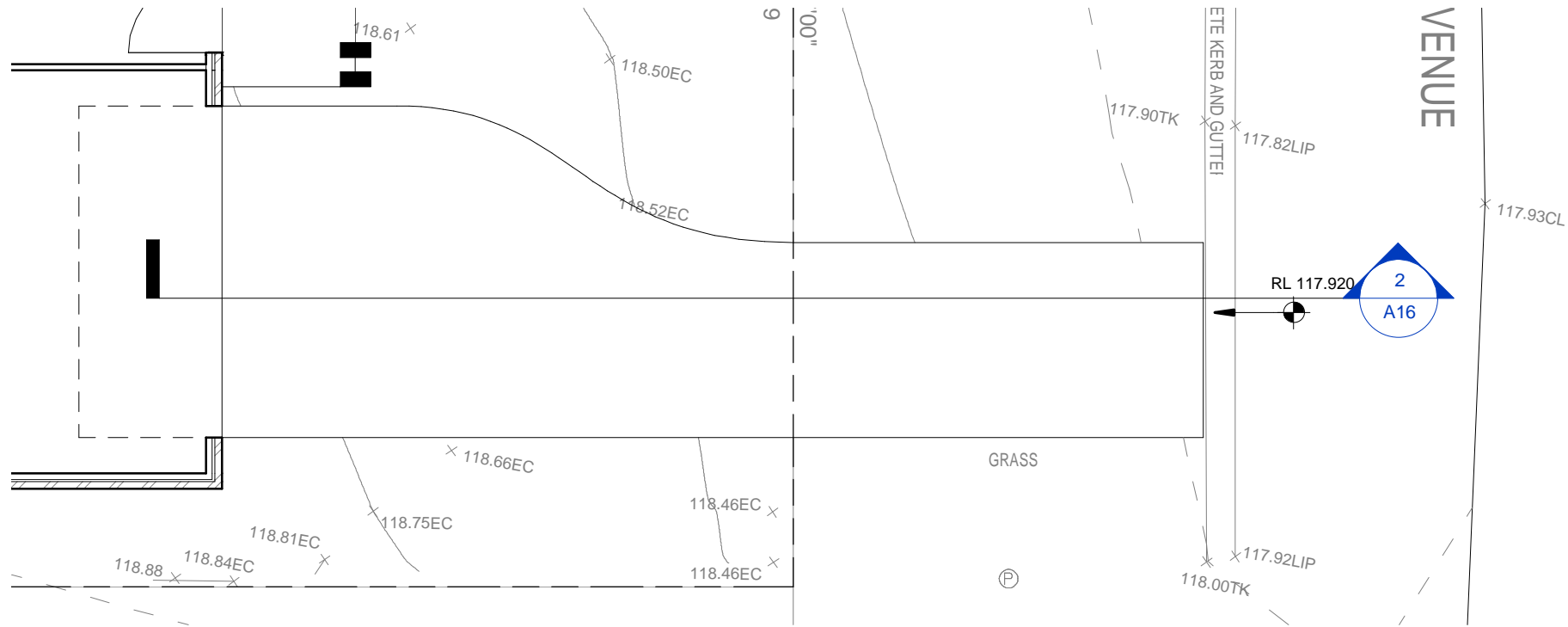
SUITE 302
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ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
WASTE MANAGEMENT
SCALE: 1 : 1

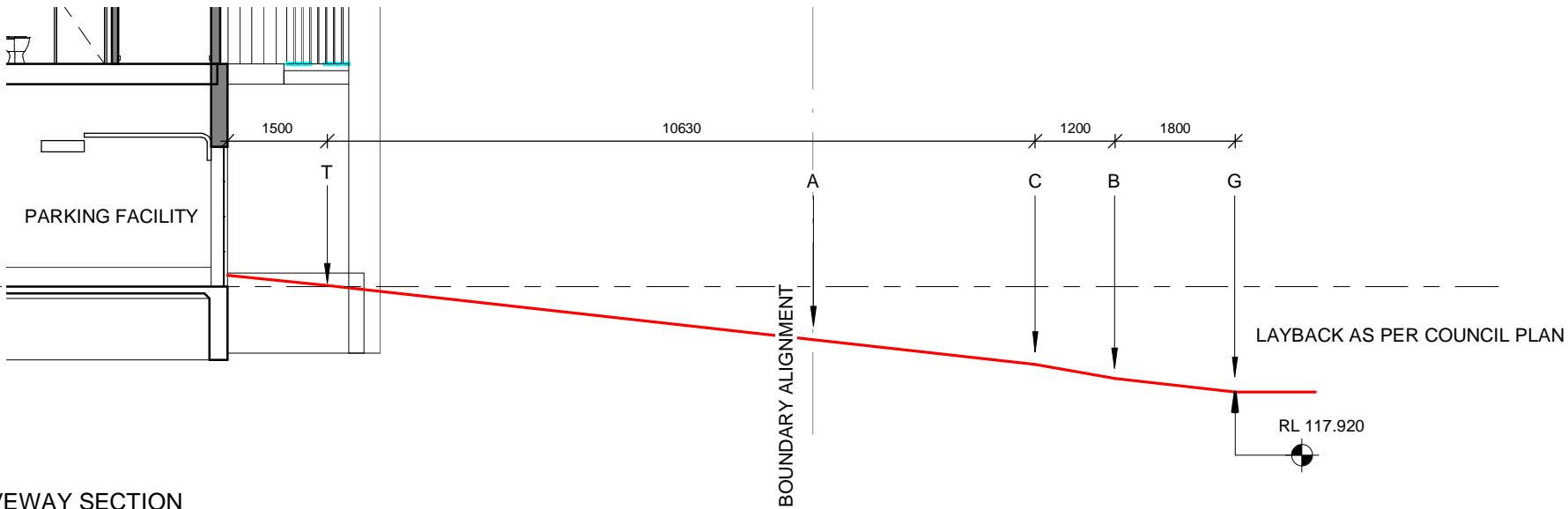
PROJECT:
39 INGLEBAR AVE
ALLAMBIE HEIGHTS

SHEET SIZE: A3	SHEET No: A15	REVISION: G
DATE: 22/01/2020		
JOB NO: 230256		STAGE: DA
DRAWN: NF		GJGN093

e



1 DRIVEWAY PLAN
1 : 100



2 DRIVEWAY SECTION
1 : 100

DRAWING REVISION SCHEDULE		
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PROPOSED FLOOR SPACES		
NAME	AREA	%

ALFRESCO	33 m ²	9%
BALCONY	5 m ²	1%
FIRST FLOOR	147 m ²	41%
GARAGE	41 m ²	11%
GROUND	126 m ²	35%
PORCH	7 m ²	2%
TOTAL AREAS:	359 m ²	100%

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G.J. Gardner. HOMES
Builders Details

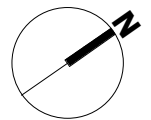
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SUITE 302
5 CELEBRATION DRIVE
BELLA VISTA NSW 2153
ABN 15 078 937 238
(02) 8883 4344 kjrdrafting@kjr.net.au

CLIENT: BRAD & TARA EDGTON
2 STOREY SWELLING
DRAWING TITLE:
DRIVEWAY DETAIL
SCALE: 1 : 100

PROJECT:
**39 INGLEBAR AVE
ALLAMBIE HEIGHTS**

SHEET SIZE: **A3** SHEET No: **A16** REVISION: **G**
DATE: **22/01/2020**
JOB NO: 230256 STAGE: DA
DRAWN: NF GJGN093



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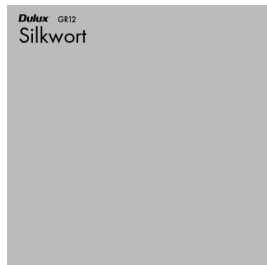
39 Inglebar Ave, Allambie Heights

External Finishes Schedule

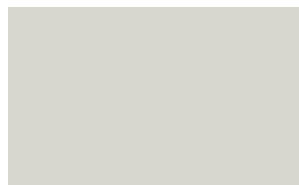


Roof, fascia and gutter – Colorbond Shale Grey

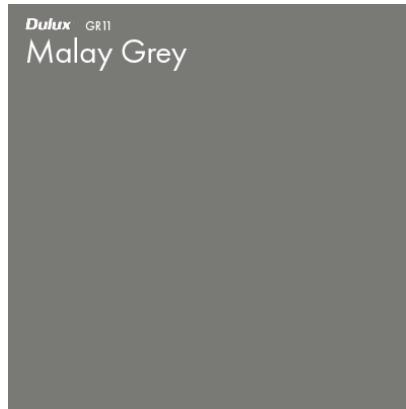
Windows – Pearl White



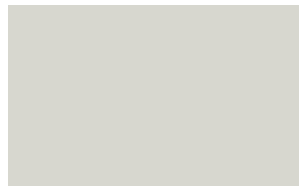
Cladding and Render – James Hardie Stria painted Dulux
Silkworth



Cladding – James Hardie Axon painted Colorbond Sufmist



Garage Surround Feature – Dulux Malay Grey



Garage Door – Colorbond Surfmist



Front Door – Timber Look

PLEASE NOTE: Colours reflected on this schedule do NOT necessarily reflect true colours