

BASIX® commitments

Assessor	Mr. Daniel Warda
Date	09 / 02 / 2021
BASIX Certificate No.	1175793S
NatHERS Certificate No.	0005674148



project details

Site Address	Lot 14, 14 Baz Retreat, Warriewood NSW 2102
Municipality	Northern Beaches
Reference	29914757

thermal comfort

Floors	225mm Waffle Slab as per job number 29914757
Ceilings between Levels	N/A
External Walls	R1.5 Bulk Insulation to all external walls Medium
Internal Walls	Same value as external wall applied to Garage internal walls only
Ceilings	R3.5 Bulk Insulation to all trussed ceilings over living areas
Roof	Concrete Roof Tiles Medium
Roof Insulation	Sarking
Stegbar Awning/Fixed Windows (Aluminium Framed - Clear 3mm Clear)	U - Value: 6.46 SHGC: 0.65
• To all awning/fixd windows throughout	
Stegbar Sliding Windows (Aluminium Framed - Single 3mm Clear)	U - Value: 6.34 SHGC: 0.73
• To all sliding windows throughout	
Stegbar Sliding Doors (Aluminium Framed - Single 5mm Clear)	U - Value: 6.25 SHGC: 0.72
• To all sliding doors throughout	

Note: U-Value may be lower but no higher than the nominated values

Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights N/A

water

energy

Landscape Area	75m²	Hot Water	Gas Instantaneous 6 Stars
W.C's	3 Star	Air-Con (Cooling)	3-Phase Ducted A/C EER 3.0 - 3.5
Kitchen Taps	3 Star	Air-Con (Heating)	3-Phase Ducted A/C EER 3.0 - 3.5
Shower Heads	3 Star (> 7.5 but <= 9L/min)	Ventilation	As Per Basix Assessment
Basin Taps	3 Star	PV System	N/A
Alternative Water	1250L Rainwater Tank	Cooking	Gas Cooktop & Electric Oven
Roof Area to Tank	150m²	Drying	Outdoor Clothesline
Alt. Water Uses	WC & Garden & Laundry	Lighting	As Per BASIX Certificate

swimming pool

Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A



AREAS	
SITE:	302.50 m²
GROUND FLOOR:	95.84 m²
FIRST FLOOR:	97.19 m²
GARAGE:	33.18 m²
PORCH:	2.11 m²
BALCONY:	N/A m²
ALFRESCO:	12.47 m²
	m²
TOTAL:	240.79 m²

QUOTE	DATE	QUOTE NUMBER	REV				
KITCHEN			-				
ZURCORP ELECTRICAL			-				
TILES			-				
CARPET			-				
ZURCORP SECURITY			-				
EHI			-				
AIR CONDITIONING			-				
STAIRS			-	F	24.02.21	HYDRAULICS CO-ORDINATED	M.H.
LANDSCAPE				E	16.02.21	AMENDED RETAINING WALLS	JS
HYDRAULICS				D	15.02.21	D.A DRAWINGS & EXTERNAL COLOURS	M.H.
ENGINEER				C	02.02.21	PCV1	PG.
PEG OUT				B	31.12.20	CONTRACT DRAWINGS	PG.
				A	9.12.20	TENDER SITING	SB

CLIENT'S SIGNATURE:

DATE:

REV	DATE	AMENDMENTS	BY
-----	------	------------	----

2.5	SITE COVERAGE CALCULATION
2.4	SHADOW DIAGRAMS
2.3	NEIGHBOUR NOTIFICATION PLAN
2.2	SITE ANALYSIS PLAN
2.1	CONSTRUCTION MANAGEMNT
10	WET AREA DETAILS
9	WET AREA DETAILS
8	ELECTRICAL LAYOUT
7	SECTION
6	ELEVATIONS
5	ELEVATIONS
4	FIRST FLOOR PLAN
3	GROUND FLOOR PLAN
2	SITE PLAN
1	COVER SHEET
SHEET	DESCRIPTION

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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DIMENSIONS TO BE READ IN
PREFERENCE TO SCALING

PRODUCT:
BRONTE 25 MKI
Classic
R/H Garage

Sapphire Specification
Master Issued: 21.11.18 Revision: A

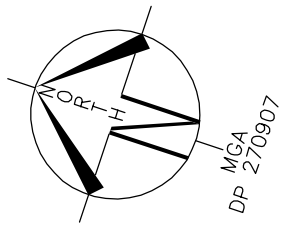
CLIENT:
Mr. TOMAS
Mrs. HUANG

SITE ADDRESS:
Lot 14 No.14
Baz Retreat
WARRIEWOOD 2102

D.A. DRAWING

DRAWN: PG.	DATE: 31.12.20	Rev: F
RATIO @ A3: N/A	CHECKED: J.S	
SHEET: 1	JOB No: 29914757	NSW

NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(H) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790)
(APPROXIMATE POSITION ONLY)
(L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE 6390860)
(M) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES 2.5 WIDE (VIDE DP1206507)
(P) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 24.5 WIDE (VIDE DP1206507)
(V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP 1206507)
(W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
(X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No. 8

LOT 14
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16

SITE AREA 302.5 m²

ROOF AREA 156.5 m²

LANDSCAPED AREA

TOTAL LANDSCAPE AREA: 75.2 m²
(MIN. DIMENSION OF 4.0m) 24.9 %

MIN. REQUIRED BY COUNCIL: 35 %

PRIVATE OPEN SPACE

TOTAL OPEN SPACE AREA: 78.3 m²
(MIN. DIMENSION OF 4.0m)

MIN. REQUIRED BY COUNCIL: 24 m²

HEIGHT RESTRICTION

MAXIMUM RIDGE HEIGHT 10.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS
MAY NOT COMPLY WITH REQUIREMENTS)

WIND CLASSIFICATION: "N2"

SLAB CLASSIFICATION: "H1"

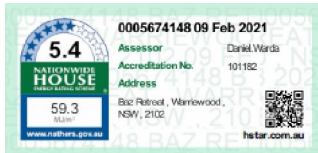
NOTE:

ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE
DETERMINED ON SITE. SEDIMENT BARRIERS
ARE TO BE CUSTOMISED SITE SPECIFIC

STORMWATER TO
STREET VIA
RAINWATER TANK

REFER TO HYDRAULIC DETAILS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



SITE PLAN

SCALE 1:200

GENERAL NOTES

- A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

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Classic
R/H Garage

Sapphire Specification

CLIENT:
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Mrs. HUANG

SITE ADDRESS:
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WARRIEWOOD 2102

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DRAWN: SB	DATE: 9.12.20	Rev: F
RATIO @ A3: 1:200	CHECKED: BG	
SHEET: 2	JOB No: 29914757	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊗ EXHAUST FAN

SP STEEL POST

TSP TELESCOPIC STEEL POST

DP DOWN PIPE LOCATION

TAP GARDEN TAP LOCATION

Ⓛ O H LIFT OFF HINGES

ARTICULATION JOINTS TO ENGINEERS DETAILS

NOTE:
PROVIDE (x4) 450mm DEEP MELAMINE SHELVING TO W.I.P

NOTE:
(UNLESS NOTED OTHERWISE)

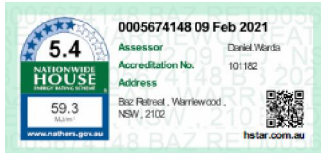
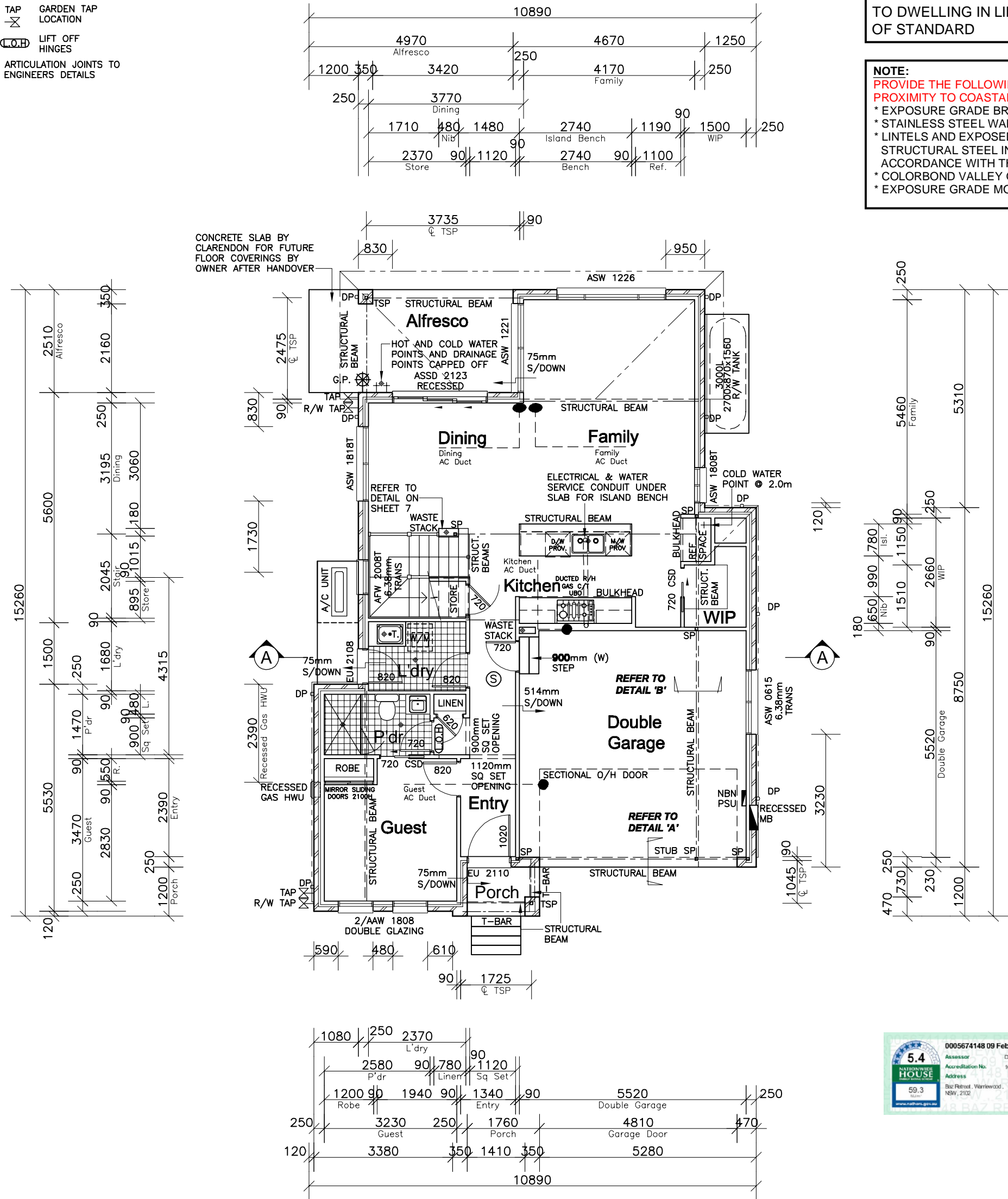
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

PROVIDE T2 FRAMING TO DWELLING IN LIEU OF STANDARD

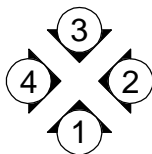


NOTE:
PROVIDE THE FOLLOWING DUE TO PROXIMITY TO COASTAL WATERS:

- * EXPOSURE GRADE BRICKS,
- * STAINLESS STEEL WALL TIES,
- * LINTELS AND EXPOSED STRUCTURAL STEEL IN ACCORDANCE WITH THE B.C.A.,
- * COLORBOND VALLEY GUTTERS,
- * EXPOSURE GRADE MORTAR



GROUND FLOOR PLAN



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D.A. DRAWING

DRAWN: PG.	DATE: 31.12.20	Rev:
RATIO @ A3: 1:100	CHECKED: J.S	F
SHEET: 3	JOB No: 29914757	NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

400x200mm
EAVE VENT

⊗ EXHAUST FAN

DP ○ DOWN PIPE
LOCATION

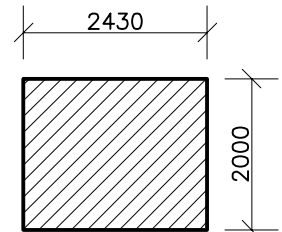
⊕ LIFT OFF
HINGES

SP_a STEEL POST

TSP_a TELESCOPIC
STEEL POST

ARTICULATION JOINTS TO
ENGINEERS DETAILS

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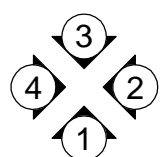
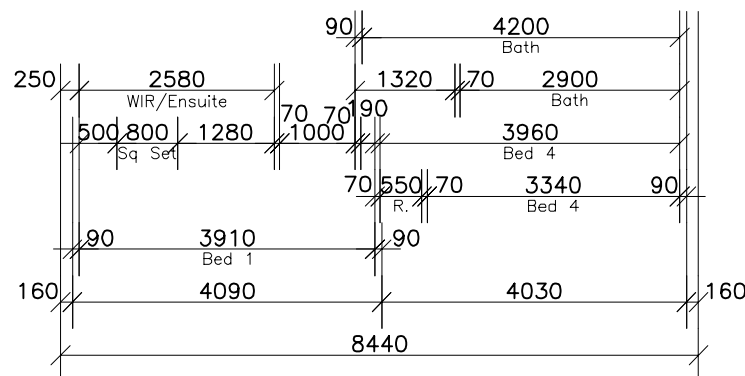
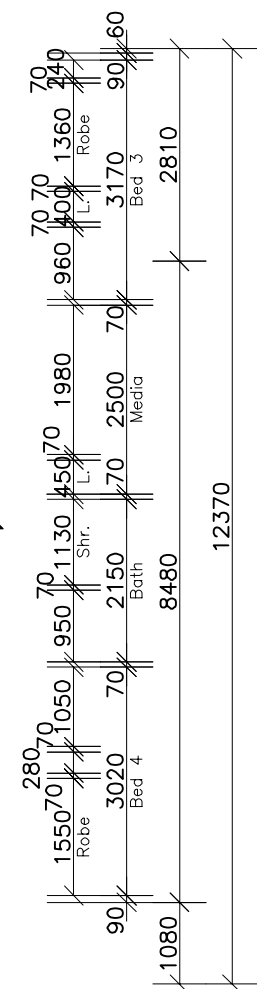
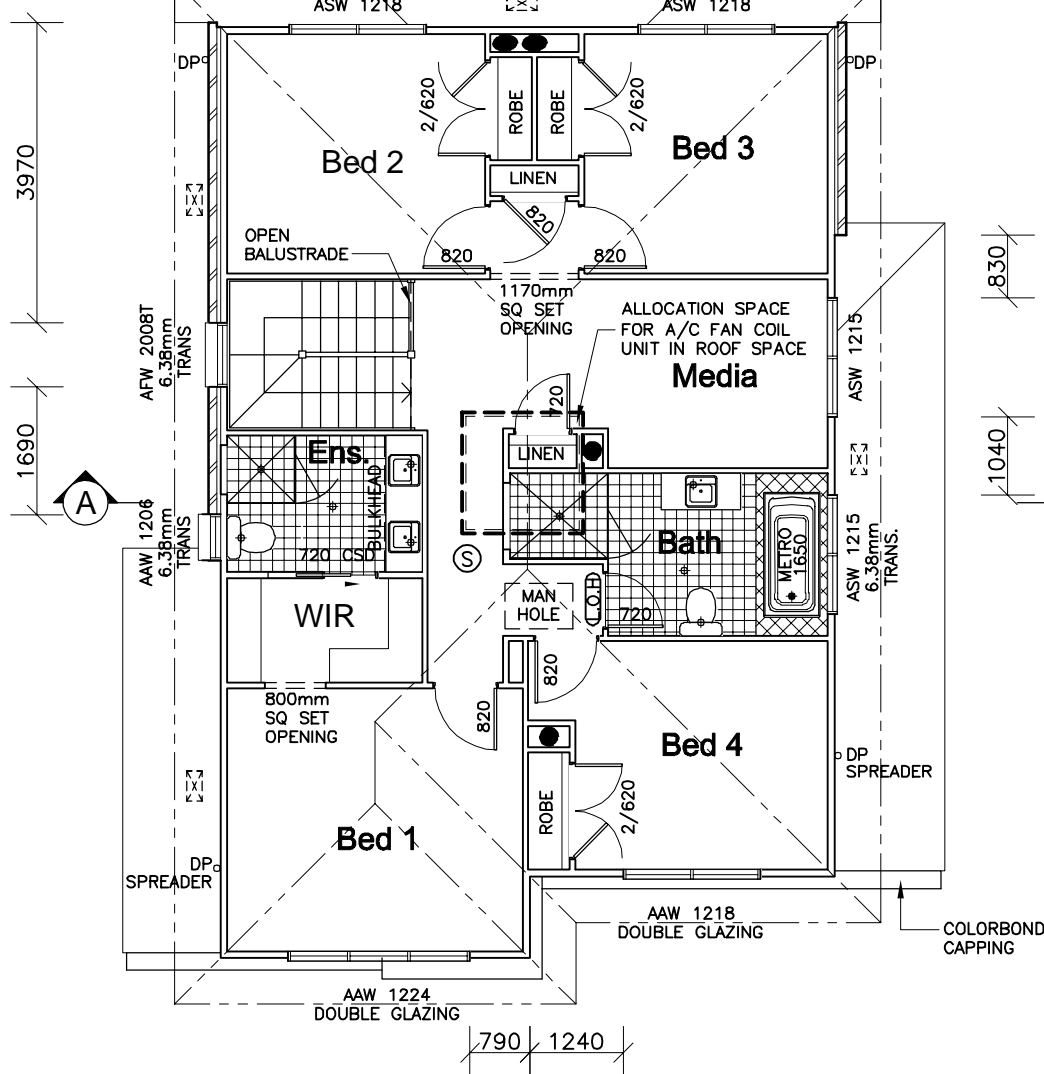
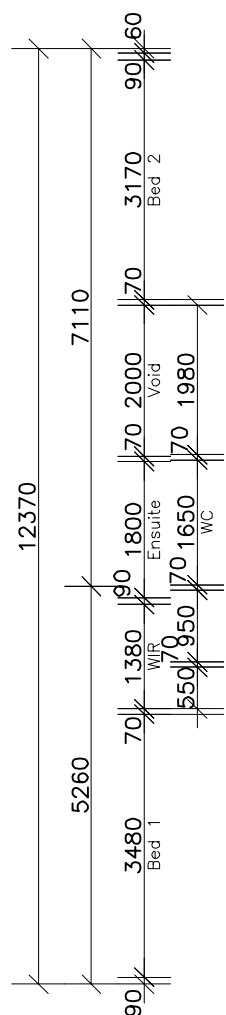
STAIR CUTOUT
SCALE 1:100

NOTE:
ALL FIRST FLOOR BEDROOM & LIVING
WINDOWS TO BE FITTED WITH A
RESTRICTING DEVICE COMPLIANT
WITH PART 3.9.2.5 OF THE B.C.A -
PROTECTION OF OPENABLE WINDOWS

NOTE:
SHOWER NOOK/RECESS REFER TO
CDN 54.260 & SHEET 10 FOR DETAILS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



FIRST FLOOR PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

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D.A. DRAWING		
DRAWN: PG.	DATE: 31.12.20	Rev: F
RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 4	JOB No: 29914757	NSW

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD



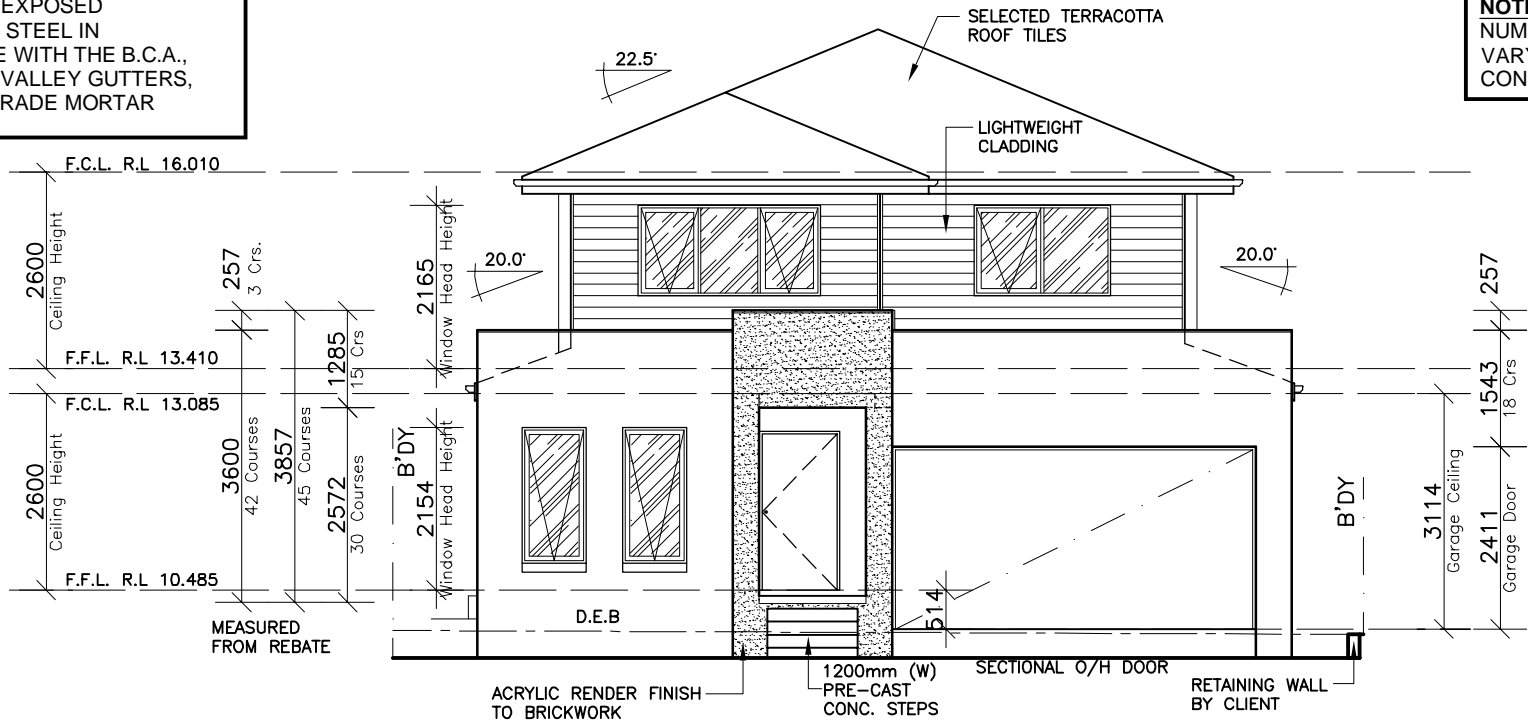
DENOTES WINDOWS WITH
DOUBLE GLAZING

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

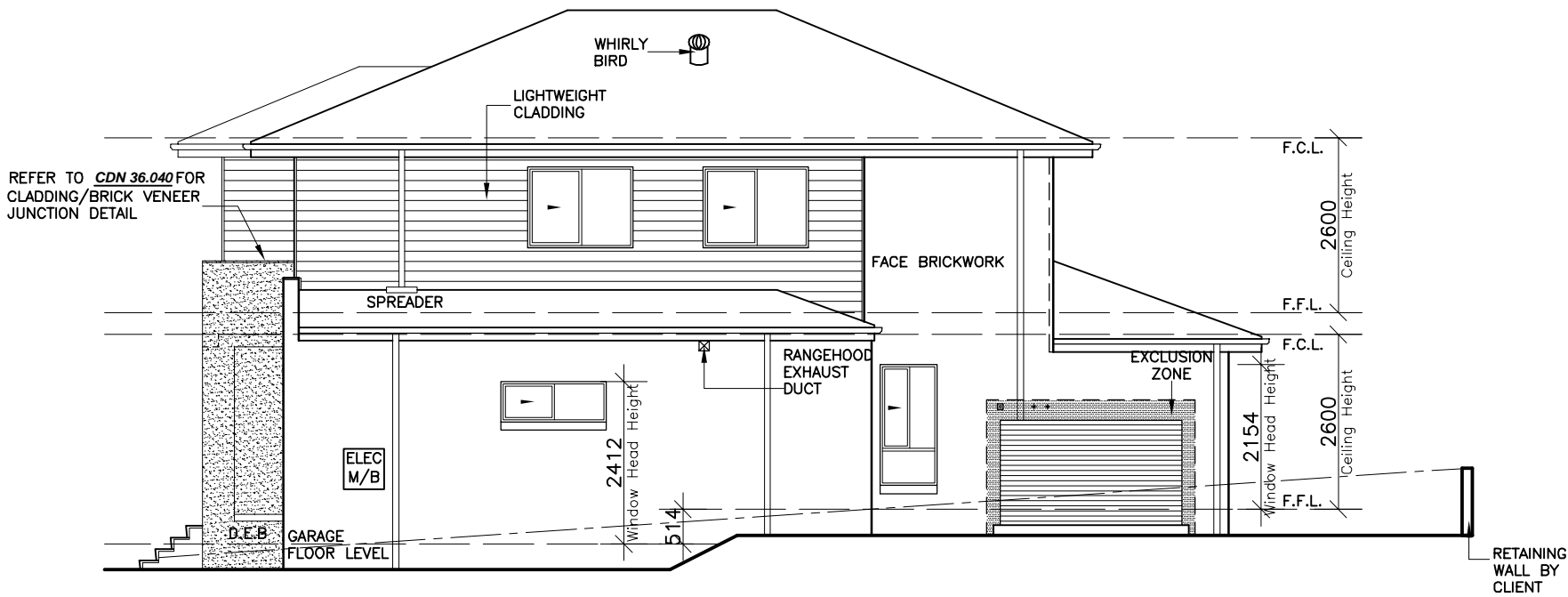
NOTE:
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PROXIMITY TO COASTAL WATERS:**
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* STAINLESS STEEL WALL TIES,
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STRUCTURAL STEEL IN
ACCORDANCE WITH THE B.C.A.,
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* EXPOSURE GRADE MORTAR

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

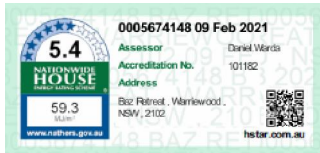
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



ELEVATION 1
-WEST-



ELEVATION 2
-SOUTH-



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RATIO @ A3: 1:100	CHECKED: J.S	
SHEET: 5	JOB No: 29914757	NSW

PROVIDE T2 FRAMING
TO DWELLING IN LIEU
OF STANDARD

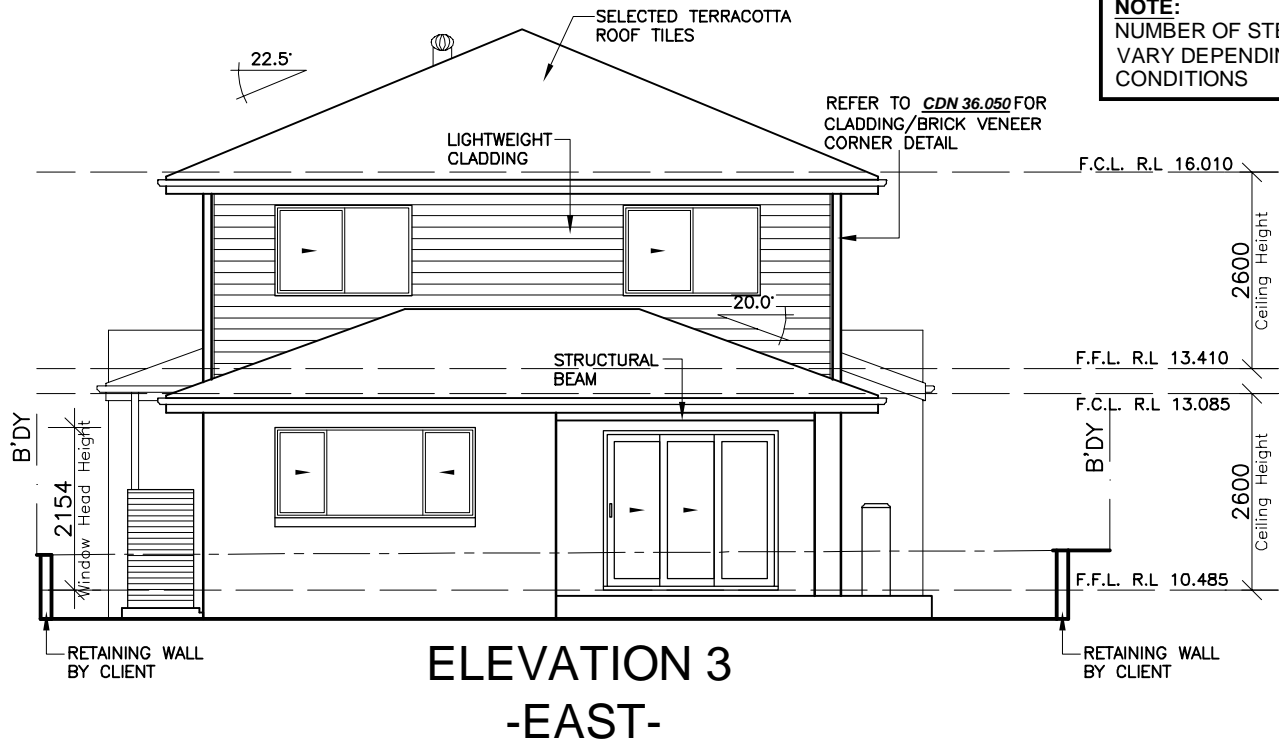


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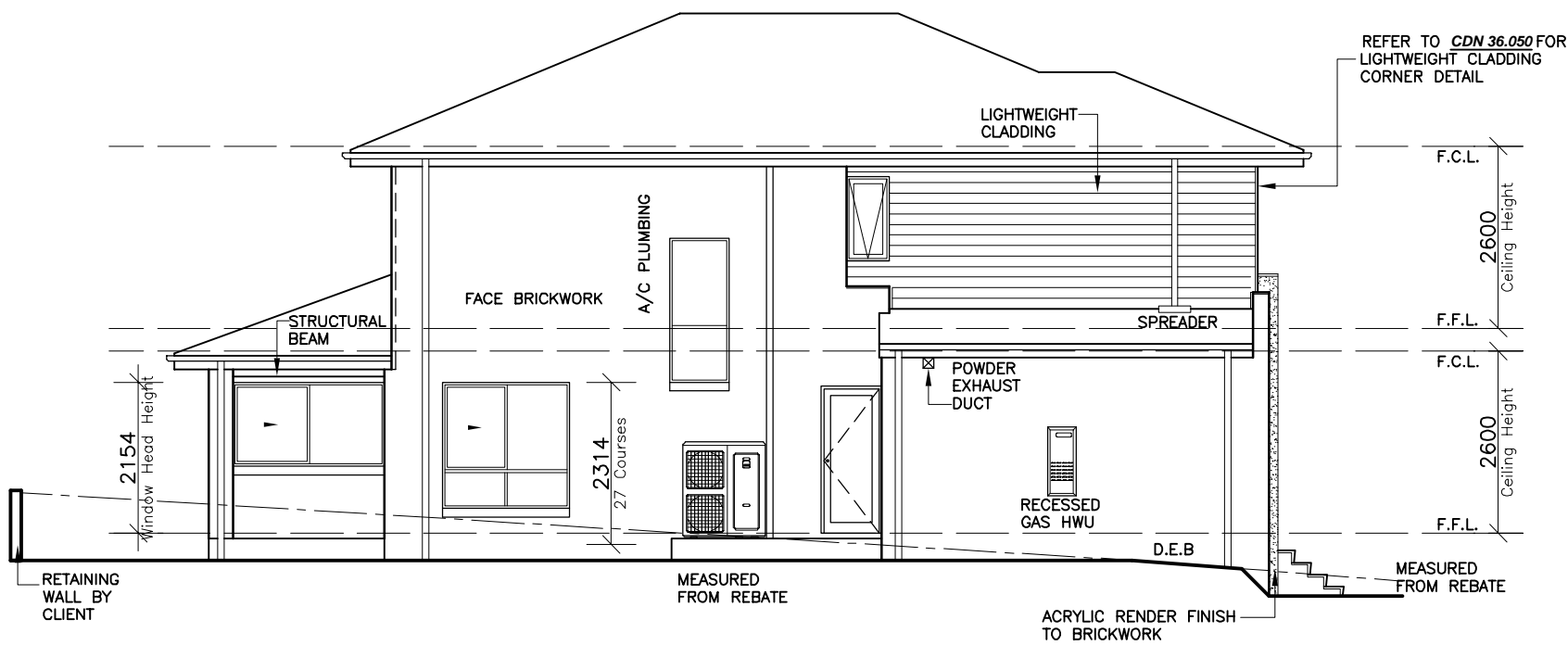
NOTES:
FOR DROP-OFF's REFER
TO FRAMING DETAILS
CDN 21.010-21.080

NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

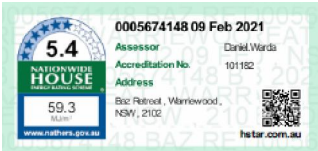
NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS



ELEVATION 3
-EAST-



ELEVATION 4
-NORTH-



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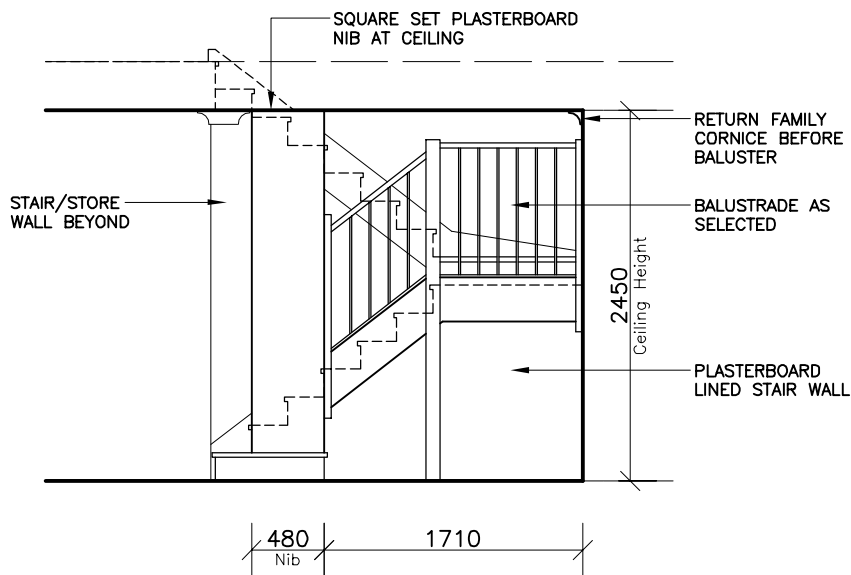
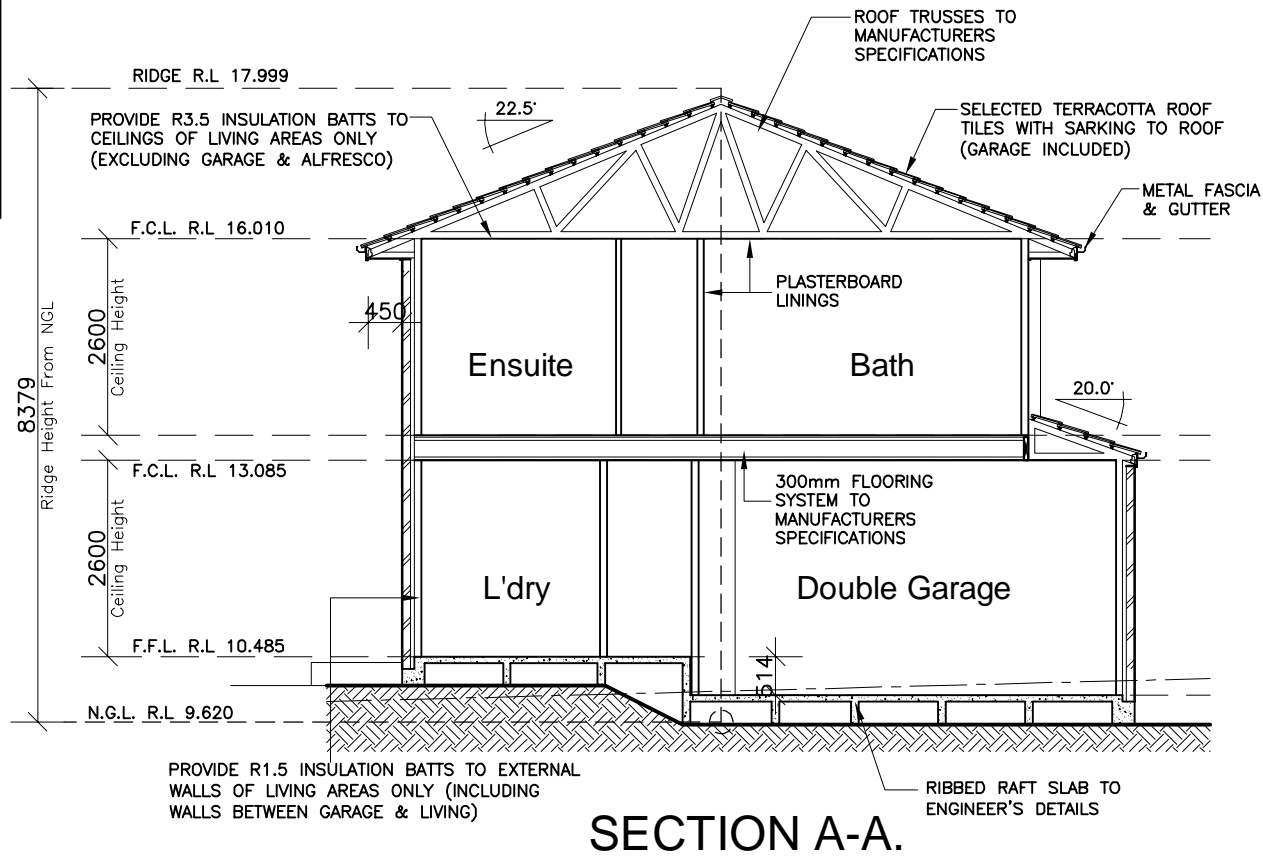
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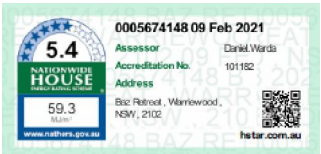
D.A. DRAWING
DRAWN: PG. DATE: 31.12.20 Rev: F
RATIO @ A3: CHECKED: J.S
SHEET: 6 JOB No: 29914757 NSW

NOTE:
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* COLORBOND VALLEY GUTTERS,
* EXPOSURE GRADE MORTAR

PROVIDE R2.5 INSULATION BATTS TO CEILING JOISTS BETWEEN GARAGE & FIRST FLOOR



STAIR ELEVATION
VIEWED FROM FAMILY
SCALE 1:50



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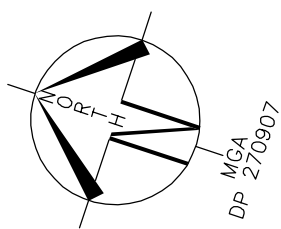
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DRAWN: PG.	DATE: 31.12.20	Rev: F	
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SHEET: 7	JOB No: 29914757	NSW	

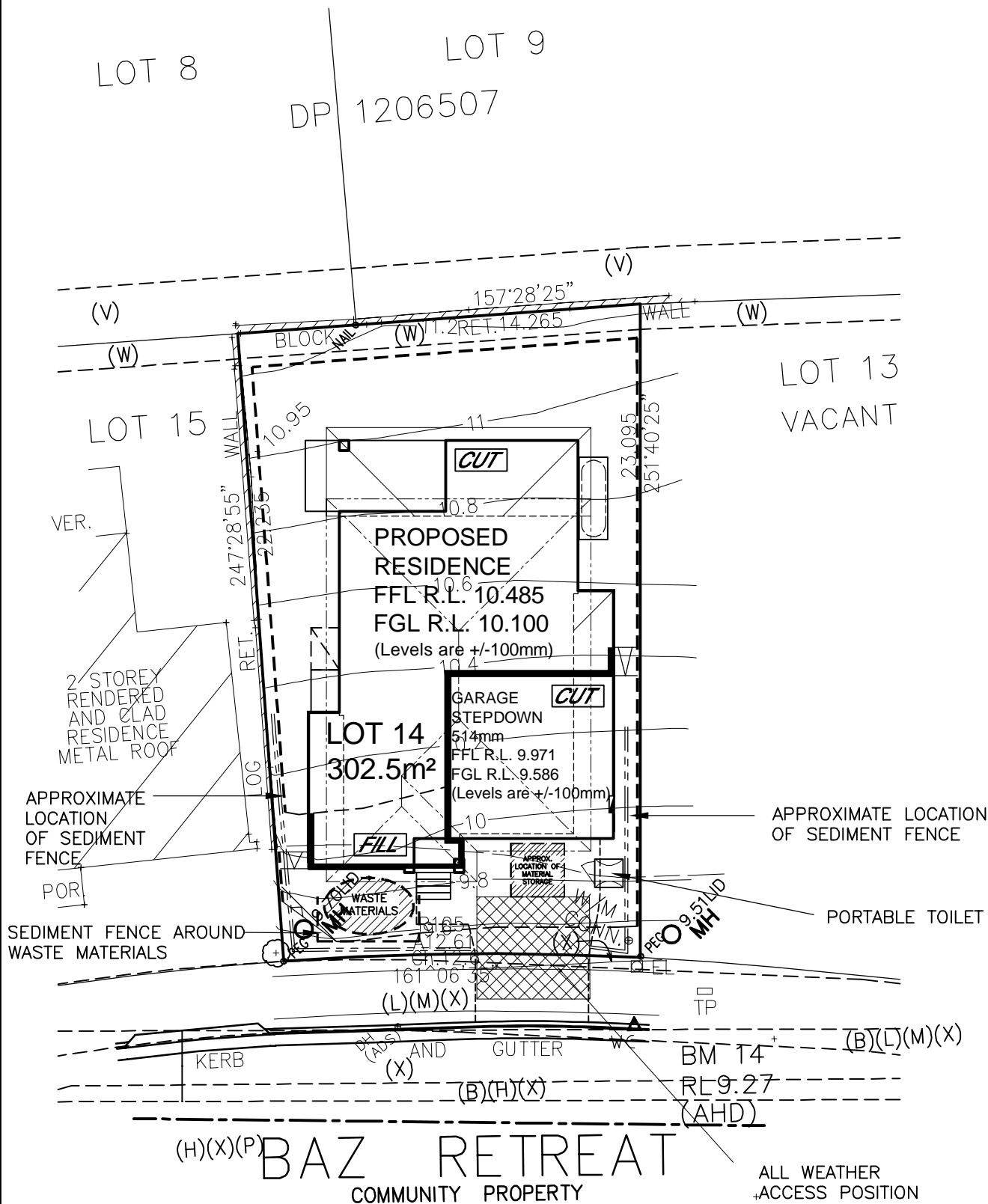
NORTH



- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(H) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790)
(L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE 6390860)
(M) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES 2.5 WIDE (VIDE DP1206507)
(P) EASEMENT FOR ELECTRICITY AND OTHER PURPOSES 24.5 WIDE (VIDE DP1206507)
(V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP 1206507)
(W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
(X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No. 8

LOT 14
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



NOTE:
TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN

EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes

BL No. 2298C
ABN 18 003 892 706

Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
BRONTE 25 MKI
Classic
R/H Garage

Sapphire Specification

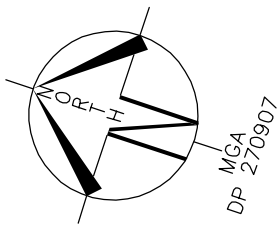
CLIENT:
Mr. TOMAS
Mrs. HUANG

SITE ADDRESS:
Lot 14 No.14
Baz Retreat
WARRIEWOOD 2102

D.A. DRAWING

DRAWN: M.H.	DATE: 14.02.21	Rev: F
RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2.1	JOB No: 29914757	NSW

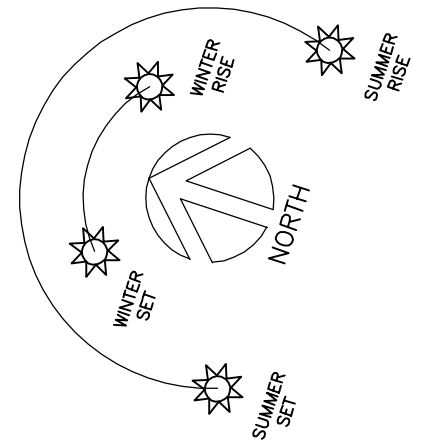
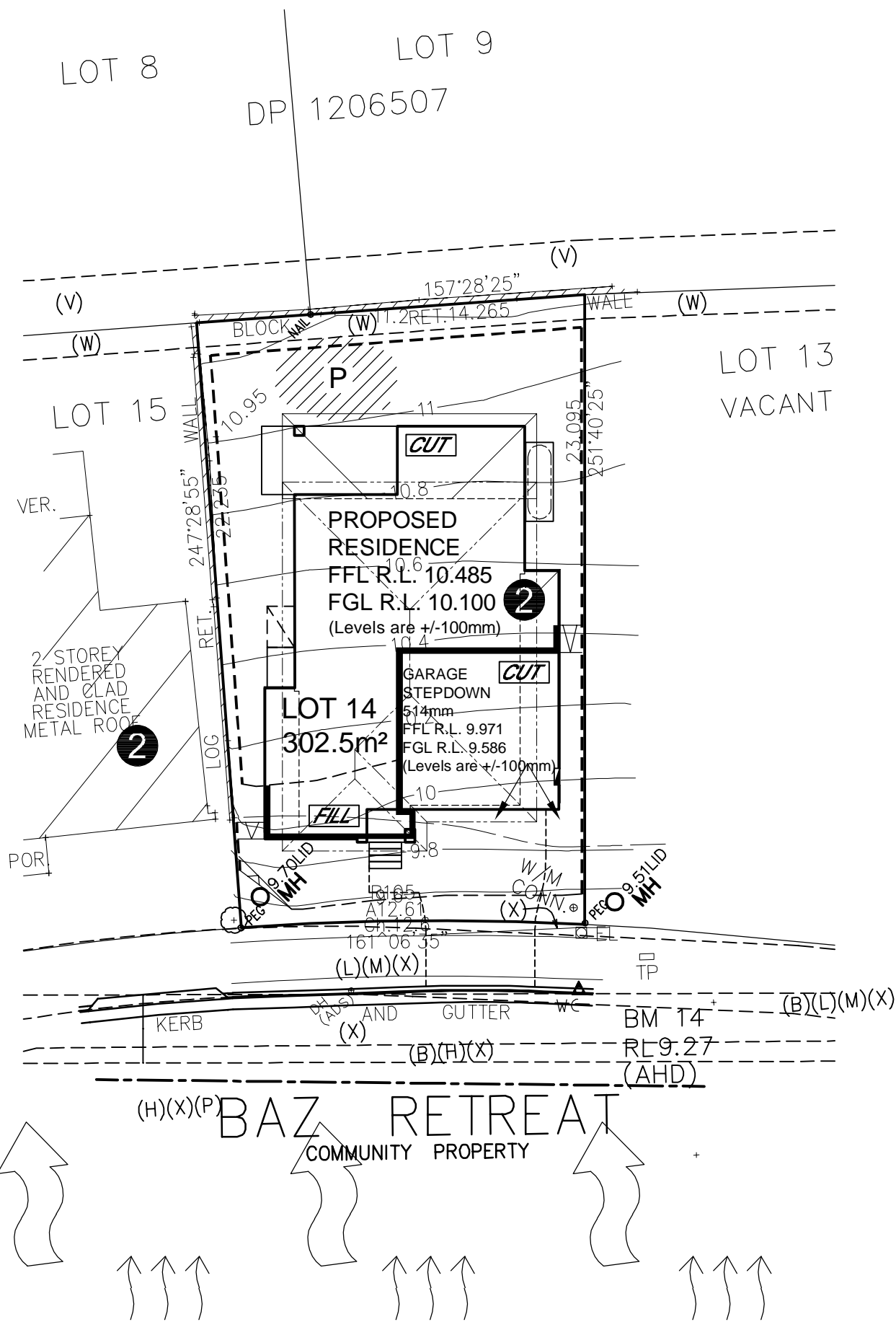
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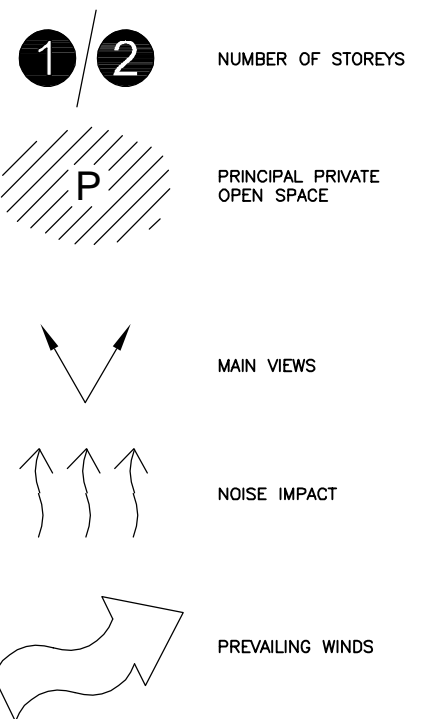
- (B) EASEMENT TO DRAIN WATER 2.5 WIDE (VIDE DP1206507)
(H) EASEMENT FOR SEWERAGE PURPOSES 5 WIDE (VIDE 6390790)
(APPROXIMATE POSITION ONLY)
(L) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE (VIDE 6390860)
(M) EASEMENT FOR ACCESS AND DRAINAGE PURPOSES 2.5 WIDE (VIDE DP1206507)
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(V) EASEMENT TO DRAIN WATER 2 WIDE (VIDE DP 1206507)
(W) EASEMENT FOR ACCESS, MAINTENANCE AND SUPPORT 0.9 WIDE (VIDE DP1206507)
(X) RIGHT OF CARRIAGEWAY VARIABLE WIDTH No. 8

LOT 14
D.P: 270907
L.G.A: NORTHERN BEACHES

SITING HAS BEEN COMPLETED
IN ACCORDANCE WITH
PITTWATER DCP 21 - D16



SITE ANALYSIS PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706
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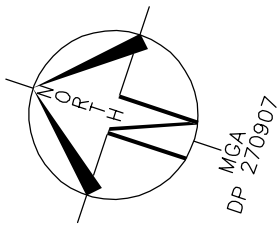
PRODUCT:
BRONTE 25 MKI
Classic
R/H Garage
Sapphire Specification

CLIENT:
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Mrs. HUANG
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Baz Retreat
WARRIEWOOD 2102

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RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2.2	JOB No: 29914757	NSW

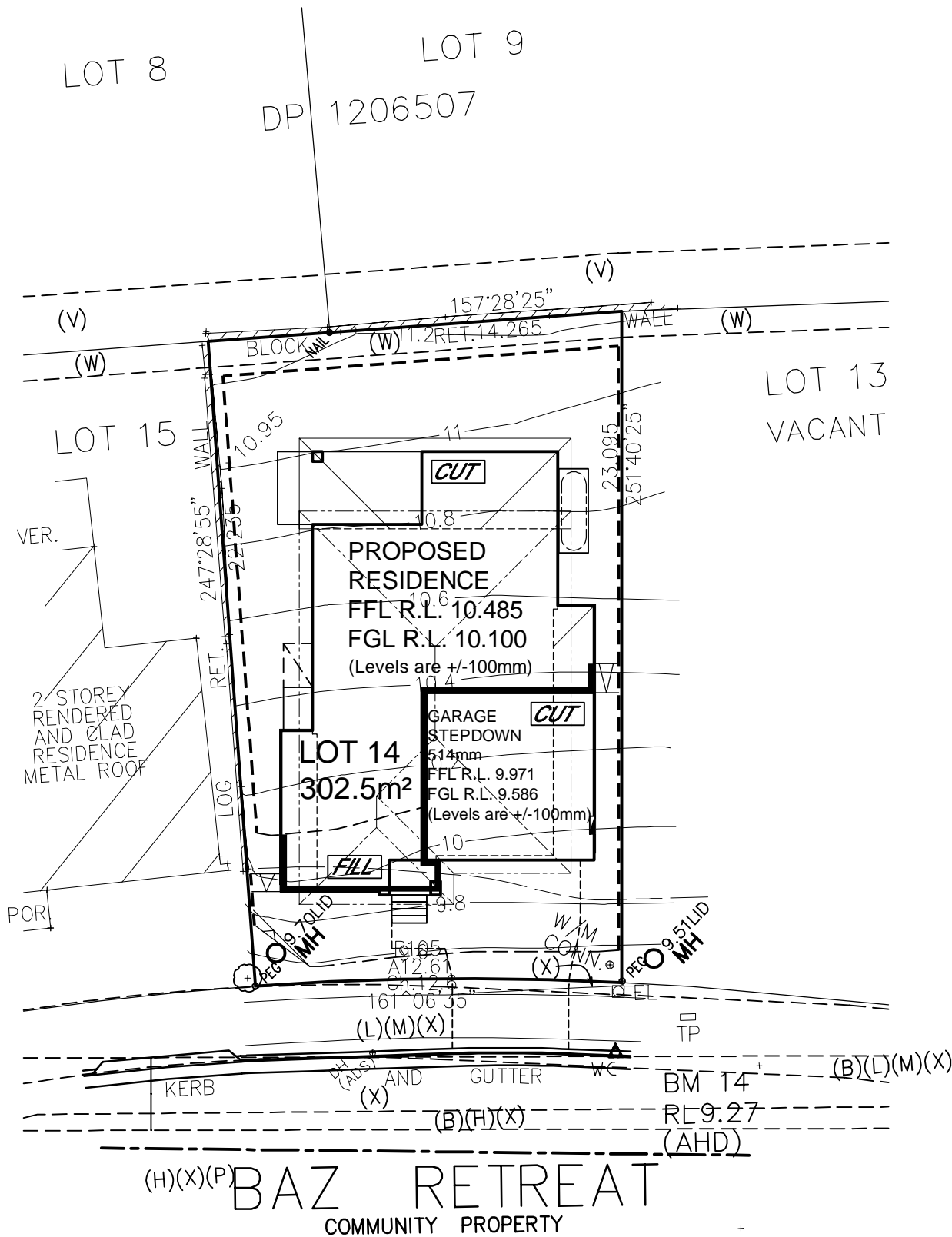
NORTH



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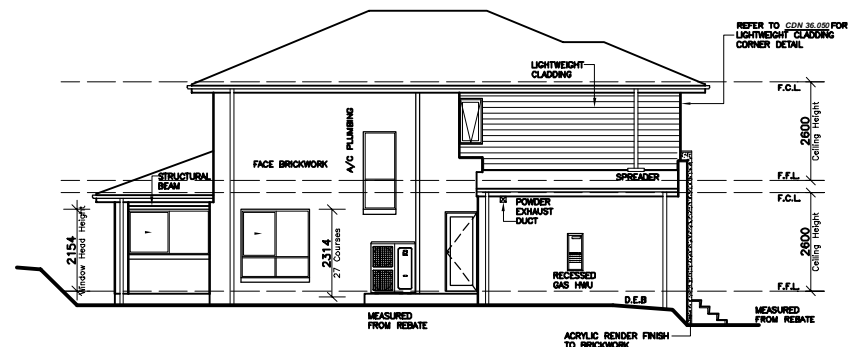
ELEVATION 1
-WEST-



ELEVATION 2
-SOUTH-



ELEVATION 3
-EAST-



ELEVATION 4
-NORTH-

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: DATE:

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ABN 18 003 892 706

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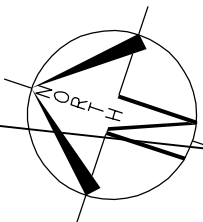
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D.A. DRAWING

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RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2.3	JOB No: 29914757	NSW

NORTH

TN



MGA
DP 270907

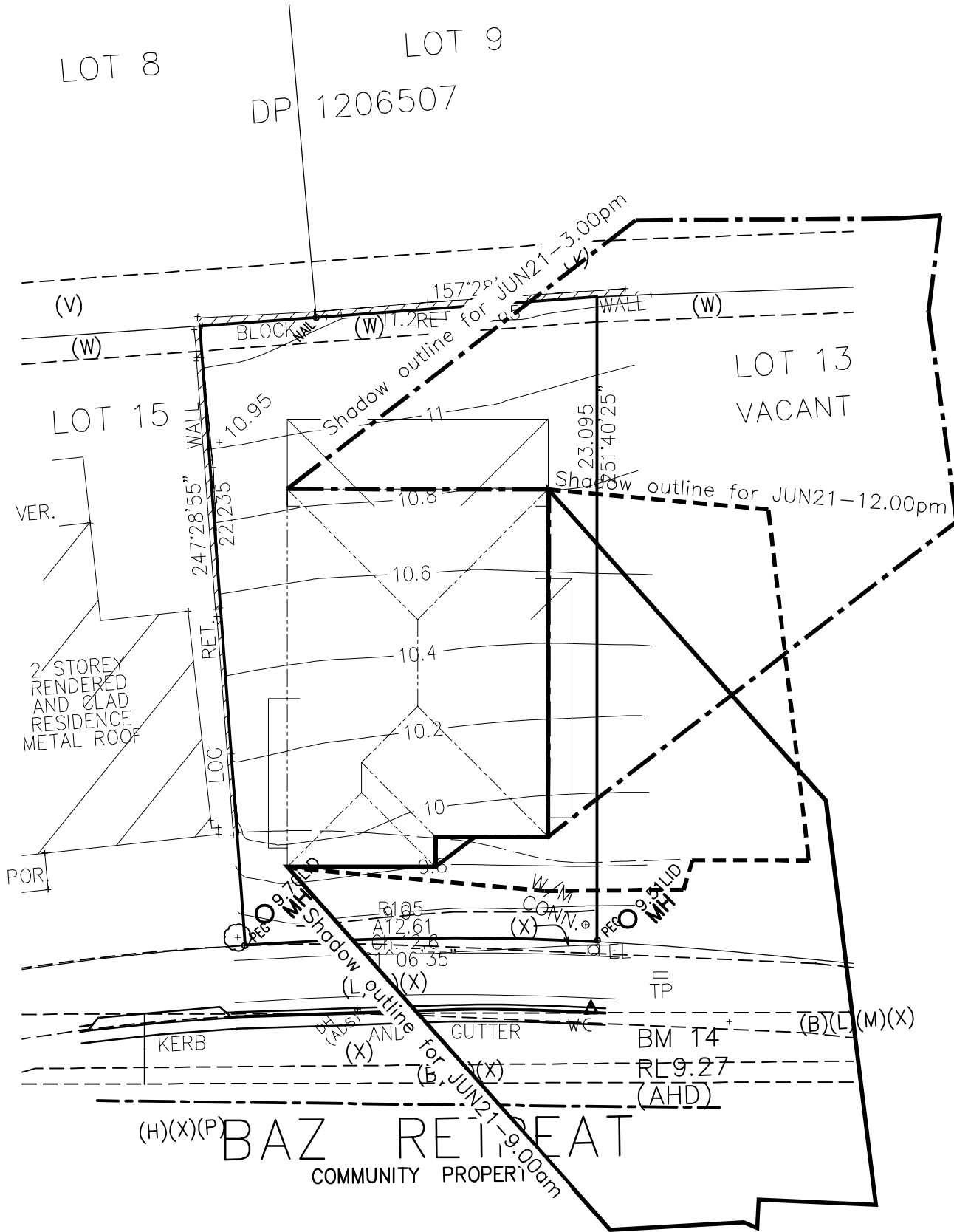
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LOT 14

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PITTWATER DCP 21 - D16



SHADOW DIAGRAM @ 21st JUNE

CLIENT'S SIGNATURE: _____

DATE: _____

ClarendonHomes

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ABN 18 003 892 706

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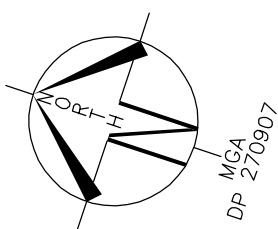
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DRAWN: M.H.	DATE: 14.02.21	Rev: F
RATIO @ A3: 1:200	CHECKED: -	
SHEET: 2.4	JOB No: 29914757	NSW

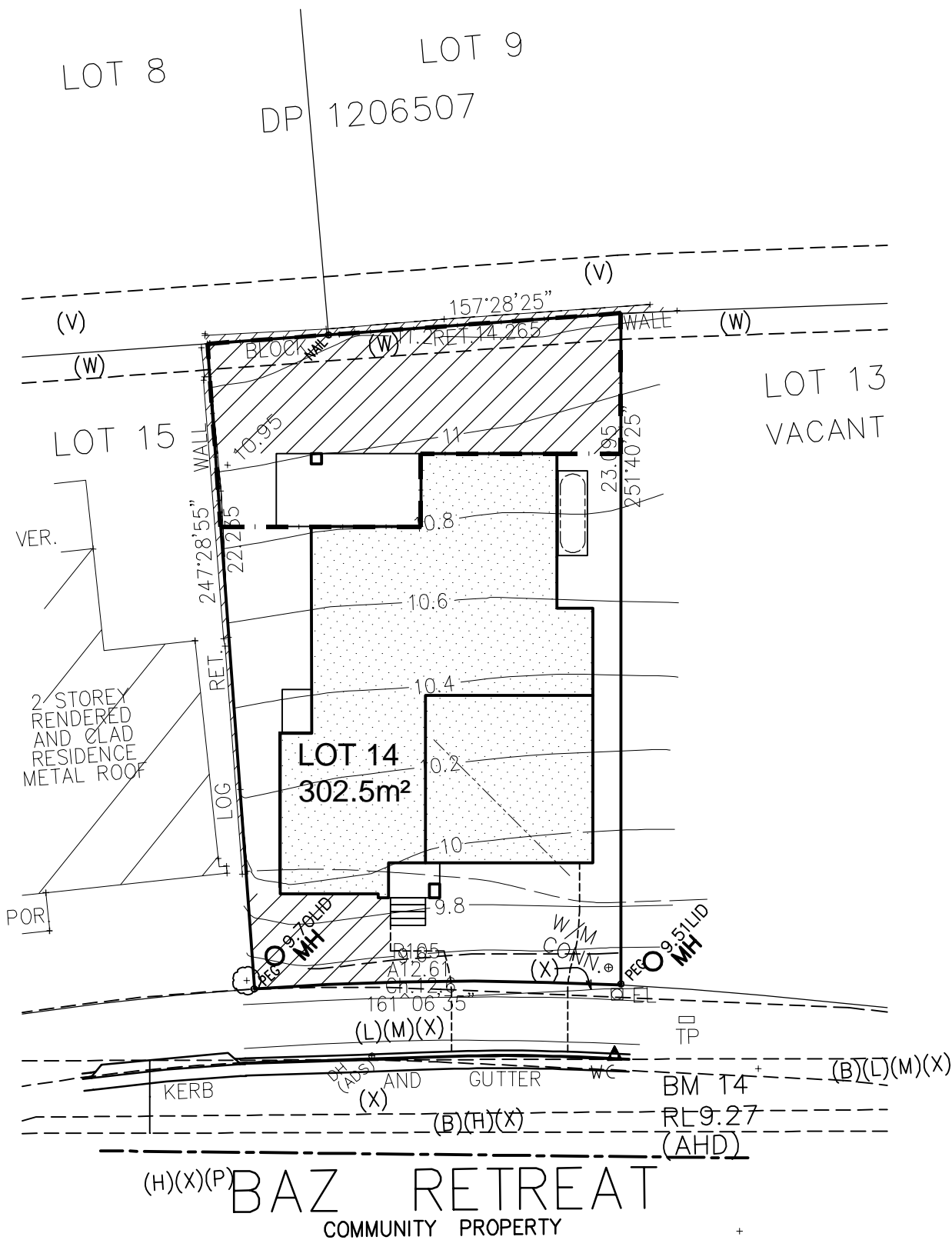
NORTH



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SITE COVERAGE & LANDSCAPE PLAN



PRIVATE OPEN SPACE AREA = 78.30m²



LANDSCAPE AREA = 75.2m²



SITE COVERAGE AREA = 128.98m²

CLIENT'S SIGNATURE: _____ DATE: _____

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ABN 18 003 892 706

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