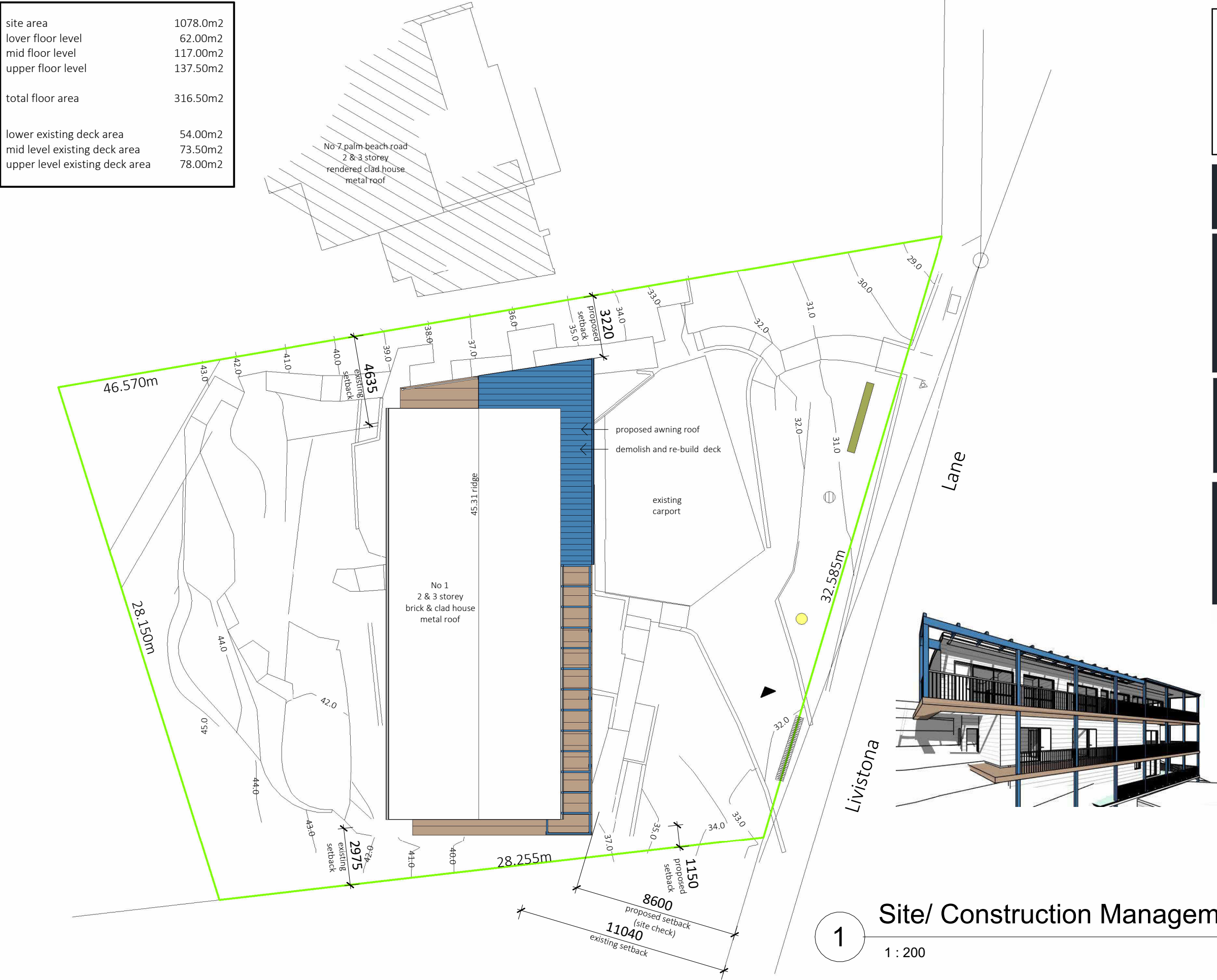
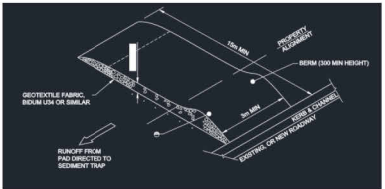
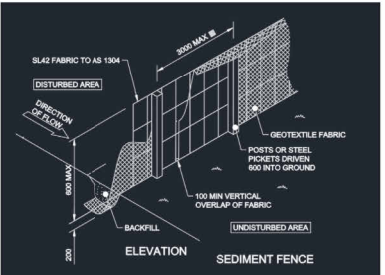
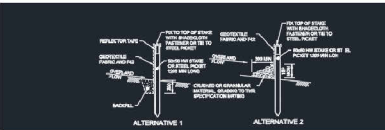


site area	1078.0m2
lower floor level	62.00m2
mid floor level	117.00m2
upper floor level	137.50m2
total floor area	316.50m2
lower existing deck area	54.00m2
mid level existing deck area	73.50m2
upper level existing deck area	78.00m2



Legend

- bd builders temporary driveway
- ct Chemical Toilet
- wms Waste Materials Storage
- sms Site Material Storage
- ssf Security Site Fencing
- va Vehicular access to site



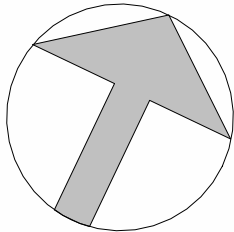
- NOTES:
- GENERAL
 - TEMPORARY DRAINAGE CONTROL: FLOW SHOULD BE DIVERTED AROUND THE WORK SITE WHERE POSSIBLE.
 - ALL DRAINAGE, EROSION AND SEDIMENT CONTROLS TO BE INSTALLED AND BE OPERATIONAL BEFORE COMMENCEMENT OF SITE WORK.
 - ALL CONTROL MEASURES TO BE INSPECTED AT LEAST WEEKLY AND AFTER SIGNIFICANT RAINFALL.
 - CONTROL MEASURES MAY BE REMOVED WHEN ON SITE EROSION IS CONTROLLED AND NO PERMANENT EROSION COULD BE OBSERVED.
 - IN AREAS WHERE RUNOFF TURBIDITY IS TO BE CONTROLLED, EXPOSED SURFACES TO BE COVERED WITH GEOTEXTILE FABRIC OR OTHER MEANS OF EROSION CONTROL.
 - STRONG EROSION CONTROL MEASURES ARE A SECONDARY OPTION WHICH GENERALLY SHOULD NOT BE USED IF OTHER MEASURES ARE AVAILABLE.
 - SEDIMENT FENCE
 - NOT BE LOCATED IN AREAS OF CONCENTRATED FLOW.
 - LOCATED ALONG THE PERIMETER OF THE WORK SITE.
 - WHEN FENCE IS REMOVED, NON-WOVEN FABRIC MAY BE USED ON SMALL WORK SITES, IE. CONSTRUCTION, FENCE USE SHALL BE MONITORED ON OR OFF SITE WHERE SIGNIFICANT SEDIMENT RUNOFF IS NOT EXPECTED.
 - WHERE FENCE IS TO BE LOCATED ACROSS THE PERIMETER OF THE WORK SITE, THE FENCE SHALL BE LOCATED ACROSS THE PERIMETER OF THE WORK SITE.
 - FRAMES ARE REQUIRED TO BE LOCATED ACROSS THE PERIMETER OF THE WORK SITE.
 - FRAMES ARE REQUIRED TO BE LOCATED ACROSS THE PERIMETER OF THE WORK SITE.
 - TEMPORARY CONSTRUCTION SEDIMENT TRAP
 - ADJACENT TO THE WORK SITE.
 - WHEN IN USE, IT SHALL BE MAINTAINED AND MONITORED.
 - SAFETY SHOULD BE MAINTAINED AT ALL TIMES, INCORPORATE TRAFFIC CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT.



Site/ Construction Management Plan

1

1 : 200



AF Design

Building design & documentation

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REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

All dimensions are to be checked on site prior to work commencement. Verify all boundary setbacks by survey where required. Levels shown are approximate only and are to be verified on site prior to work commencement. Use figure dimensions in all cases in preference to measurements scaled off the drawings. All window sizes are nominal and should be checked by the builder prior to ordering. This design is the property of AF Design P/L and should not be reproduced wholly or in part without their written permission.

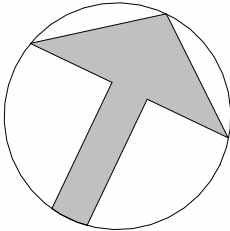
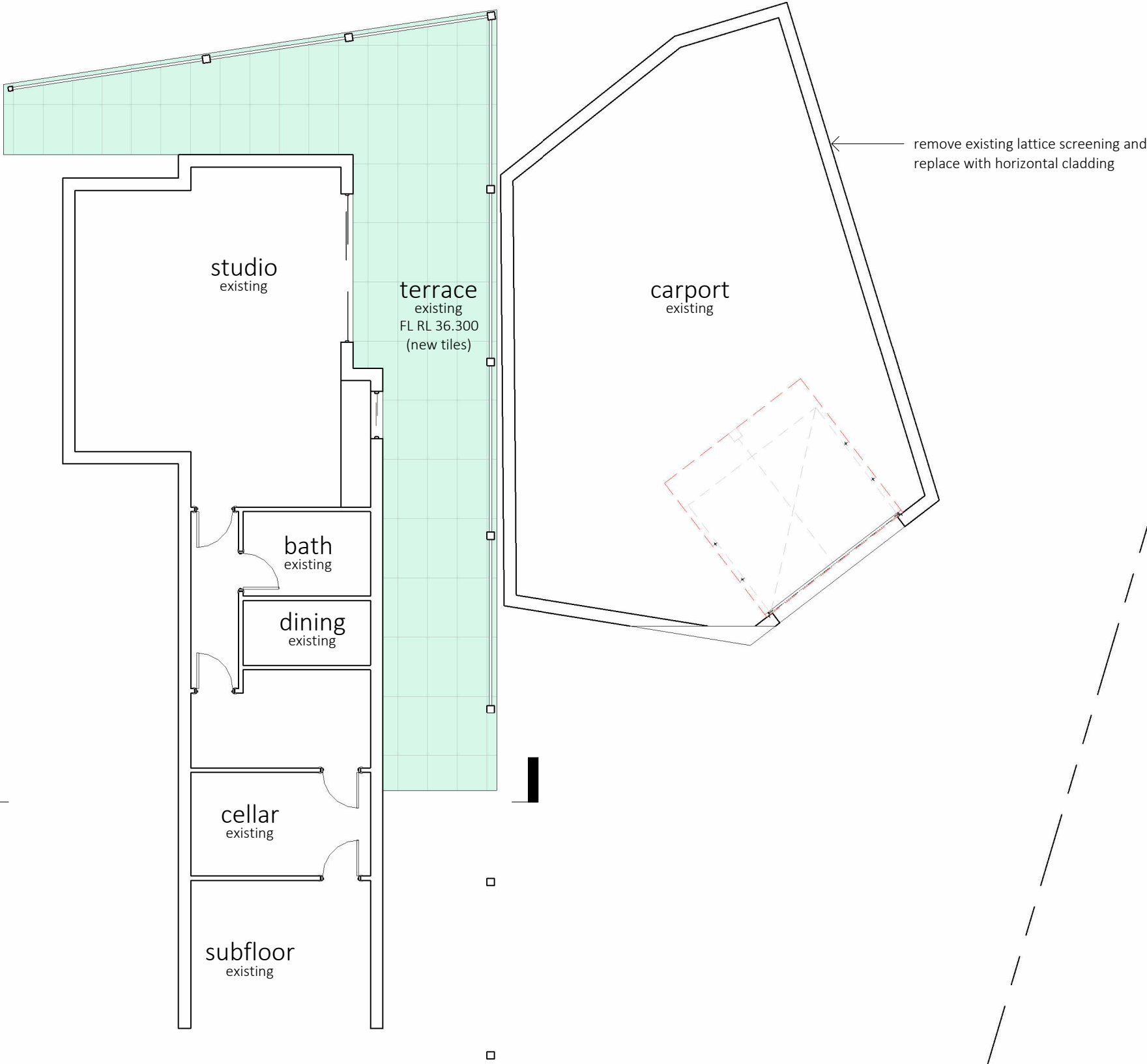
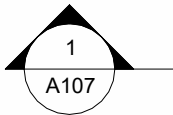
PROJECT DESCRIPTION	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.
PROJECT ADDRESS	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370

Site Plan		
SCALE: 1:200 @ A3	DATE: Jan 25	
DRAWN: ASV	CHECKED: AF	
APPROVED: AF	SHEET: A3	
PROJECT No: 250106	DWG No: A001	REV: A

1

Lower Floor Plan

1 : 100



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A	10/04/25	Development Application Issue	AV	AF

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PROJECT DESCRIPTION	PROJECT ADDRESS	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370	Lower Floor Plan		
				SCALE: 1:100 @ A3	DATE: Jan 25	
				DRAWN: ASV	CHECKED: AF	
				APPROVED: AF	SHEET: A3	
				PROJECT No: 250106	DWG No: A002	REV: A



Mid Floor Plan

1 : 100

Note:-
all deck areas and dimensions are approximate only and
are to be checked on site prior to any works commencing.

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REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

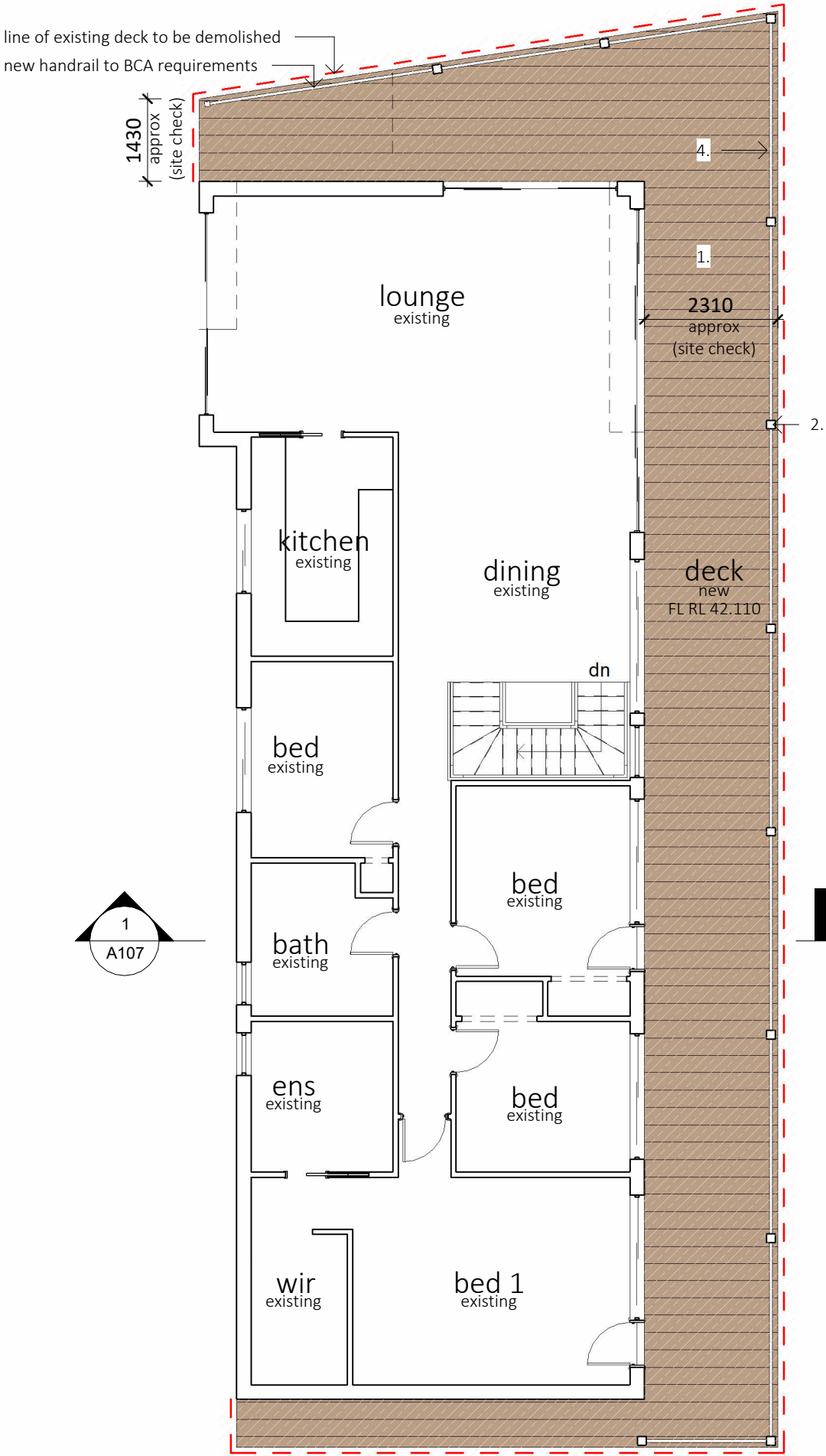
All dimensions are to be checked on site prior to work commencement.
Verify all boundary setbacks by survey where required. Levels shown
are approximate only and are to be verified on site prior to work
commencement. Use figure dimensions in all cases in preference to
measurements scaled off the drawings.
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PROJECT DESCRIPTION	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.		Ground Floor Plan	
	PROJECT ADDRESS	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370	SCALE: 1:100 @ A3	DATE: Jan 25
PROJECT ADDRESS	APPROVED: AF		DRAWN: ASV	CHECKED: AF
	PROJECT No: 250106		DWG No: A003	SHEET: A3
	REV: A			

Project Notes:-

- 1. Demolish existing mid-level and upper level timber deck structures including all associated timber supports and handrails to all floor levels of the dwelling
- 2. Provide new prefinished / galvanised painted steel columns, beams and required floor joists to replace the demolished deck structures – note that proposed decks and open pergola forms are to replicate the width and general form of the existing (demolished)structures. Make good as required
- 3. Extend existing metal roof to extent indicated over upper-level deck and provide new low reflectivity roofing to new (and existing)roof surfaces where required and make good all ridges ,flashing, capping ,fascia etc to manufacturers specifications and required details.
- 4. Provide new handrail selected and where required to NCC requirements, owners’ specification and to comply with the requirements of AS 1657 / or AS 1288:2021 in the case of semi frameless glazed balustrades.

for demolition details refer to separate demolition plan



Upper Floor Plan

1

1 : 100

AF Design

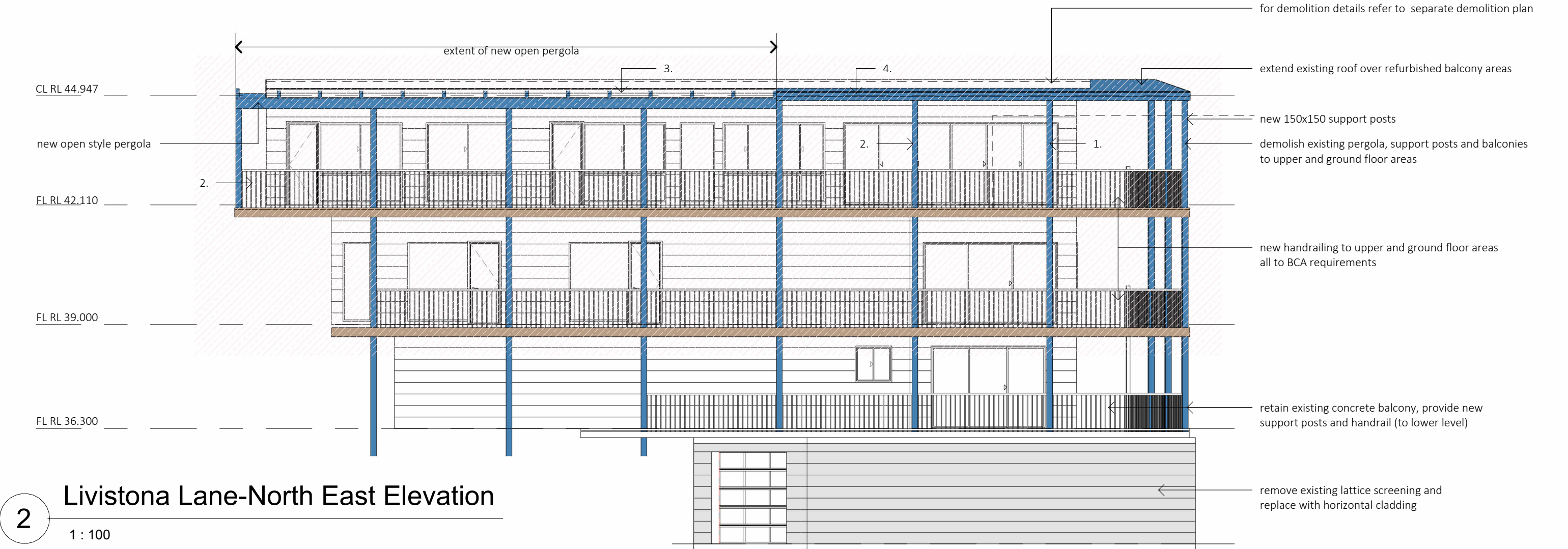
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REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

All dimensions are to be checked on site prior to work commencement. Verify all boundary setbacks by survey where required. Levels shown are approximate only and are to be verified on site prior to work commencement. Use figure dimensions in all cases in preference to measurements scaled off the drawings. All window sizes are nominal and should be checked by the builder prior to ordering. This design is the property of AF Design P/L and should not be reproduced wholly or in part without their written permission.

PROJECT DESCRIPTION	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.		Upper Floor Plan		
	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370		SCALE: 1:100 @ A3	DATE: Jan 25	
PROJECT ADDRESS			DRAWN: ASV	CHECKED: AF	
			APPROVED: AF	SHEET: A3	
			PROJECT No: 250106	DWG No: A004	REV: A



2

Livistona Lane-North East Elevation

1 : 100

MATERIAL & COLOUR SHEDULE

1 Livistona Lane Palm Beach NSW

ELEMENT	MATERIAL	COLOUR
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1 – STEEL POSTS AND BEAMS	COLORBOND STEEL	PAINT FINISH
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2 -TYPICAL HANDRAIL TREATMENT	STEEL	PAINT FINISH
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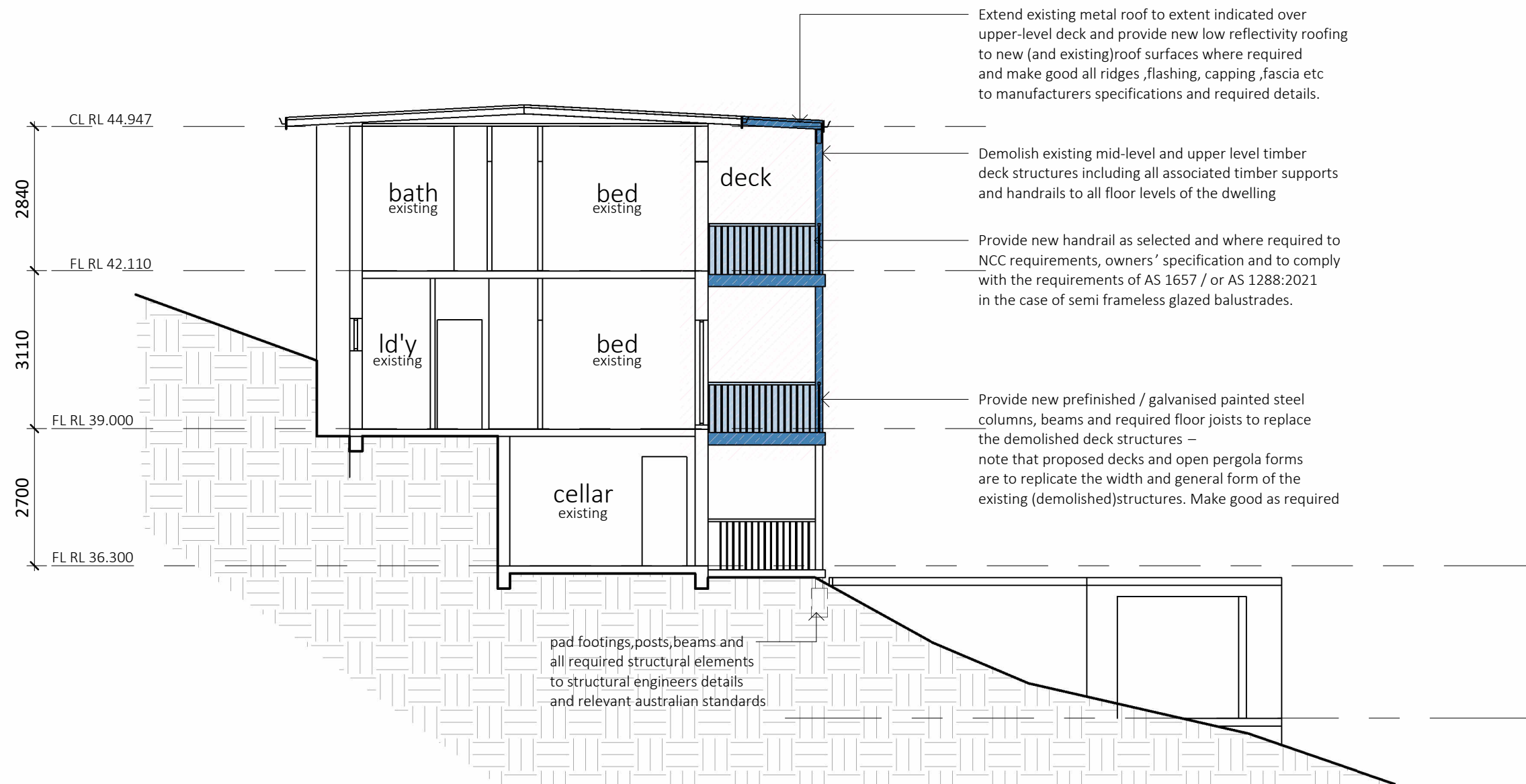


3 – TYPICAL PERGOLA AND SLATS	SELECTED LINING BOARDS	PAINT FINISH
-------------------------------	------------------------	--------------

REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

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PROJECT DESCRIPTION	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.			Elevations		
	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370			SCALE: 1:100 @ A3	DATE: Jan 25	
PROJECT ADDRESS				DRAWN: ASV	CHECKED: AF	
				APPROVED: AF	SHEET: A3	
				PROJECT No: 250106	DWG No: A005	REV: A



1 Section

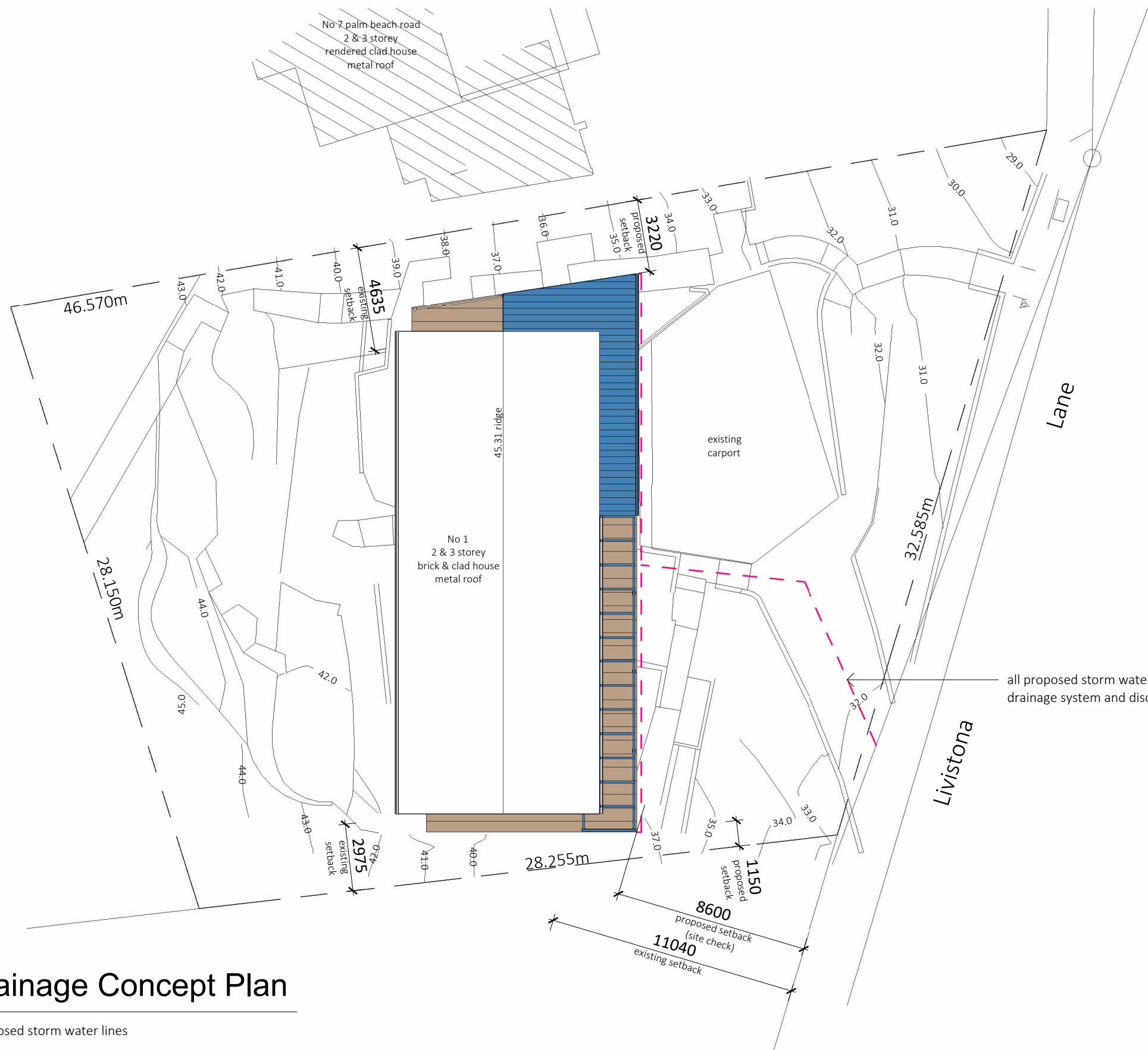
1 : 100

<div>AF Design</div> <div>Building design & documentation</div> <div>MOBILE 0417 6999690 EMAIL af.design@bigpond.com</div>					<div>PROJECT DESCRIPTION</div> <div>PROJECT ADDRESS</div>	<div>Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.</div> <div>1 Livistona Lane</div> <div>Palm Beach NSW Lot 41, DP 1039370</div>	<div>3D Images</div>		
	SCALE:	1:100 @ A3		DATE:			Jan 25		
	DRAWN:	ASV		CHECKED:			AF		
	APPROVED:	AF		SHEET:			A3		
	PROJECT No:	250106		DWG No:			A007		
			REV:	A					

REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

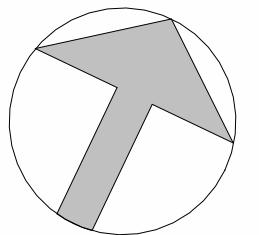
All dimensions are to be checked on site prior to work commencement. Verify all boundary setbacks by survey where required. Levels shown are approximate only and are to be verified on site prior to work commencement. Use figure dimensions in all cases in preference to measurements scaled off the drawings.

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Stormwater/Drainage Concept Plan

1 : 200 — — — — — proposed storm water lines



AF Design

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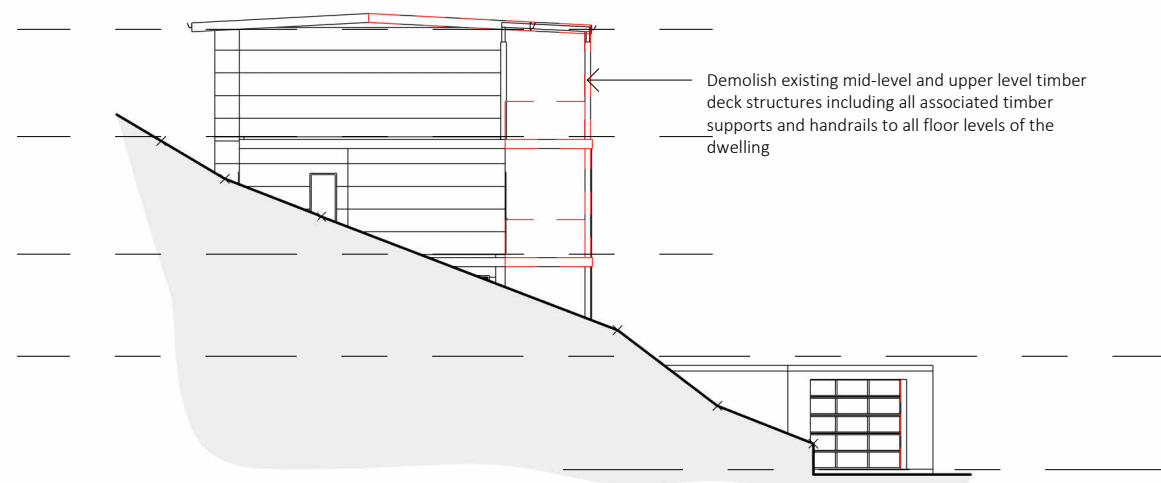
MOBILE 0417 6999690 EMAIL af.design@bigpond.com

REV	DATE	DESCRIPTION	BY	CHK
A	10/04/25	Development Application Issue	AV	AF

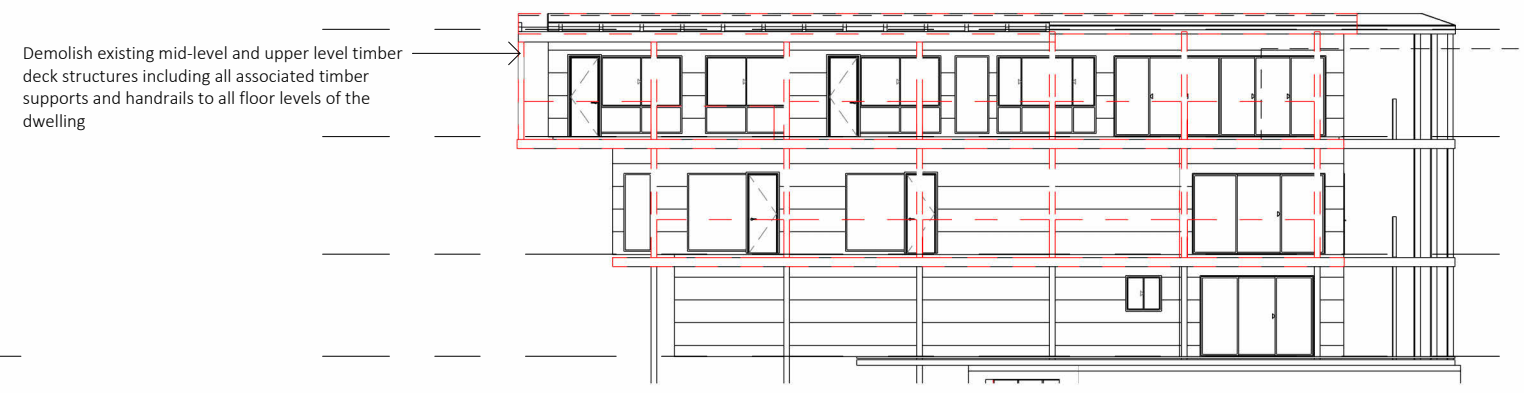
All dimensions are to be checked on site prior to work commencement. Verify all boundary setbacks by survey where required. Levels shown are approximate only and are to be verified on site prior to work commencement. Use figure dimensions in all cases in preference to measurements scaled off the drawings.
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PROJECT DESCRIPTION	Demolish existing decks x2 construct new decks within existing footprint with part roof/awning over upper level.
PROJECT ADDRESS	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370

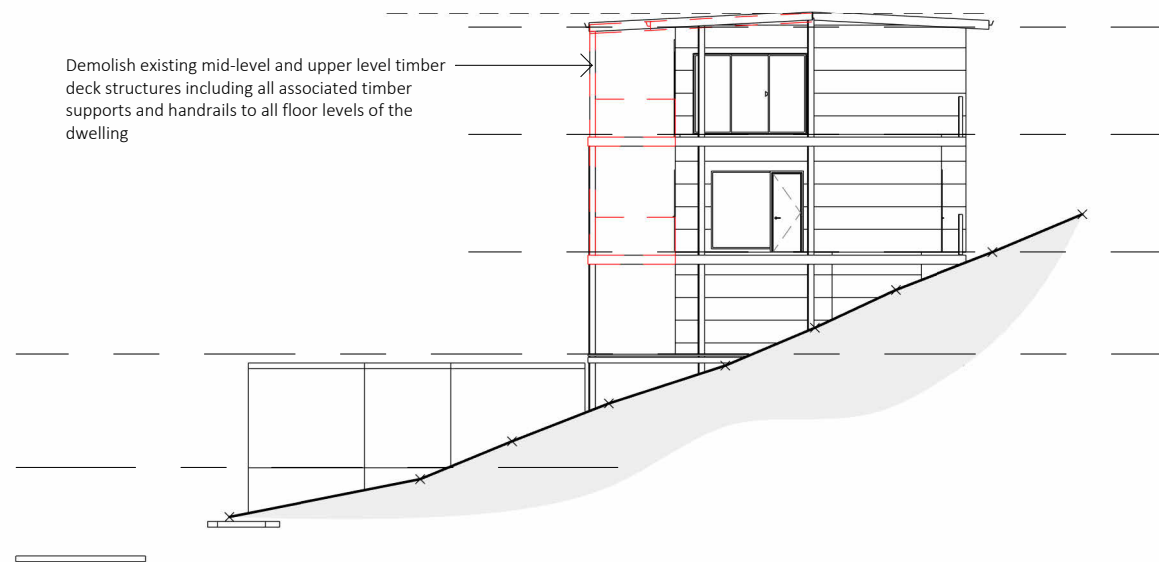
Stormwater Drainage Concept		
SCALE: 1:200 @ A3	DATE: Jan 25	
DRAWN: ASV	CHECKED: AF	
APPROVED: AF	SHEET: A3	
PROJECT No: 250106	DWG No: A008	REV: A



1 South East Elevation
1 : 200



2 Livistona Lane-North East Elevation
1 : 200



3 North West Elevation
1 : 200

denotes:-
extent of demolition

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	SCALE:	1:200 @ A3	DATE:	Jan 25							
	DRAWN:	ASV	CHECKED:	AF							
	APPROVED:	AF	SHEET:	A3							
	PROJECT No:	250106	DWG No:	A008					REV:	A	
									PROJECT ADDRESS	1 Livistona Lane Palm Beach NSW Lot 41, DP 1039370	