



northern  
beaches  
council

THIS PLAN IS TO BE READ IN  
CONJUNCTION WITH  
THE CONDITIONS OF DEVELOPMENT  
CONSENT

MOD2021/0035

No.9 KAPYONG ST  
ADJOINING SINGLE STOREY  
BRICK RESIDENCE

ADJOINING PRIVATE  
OPEN SPACE

ADJOINING PRIVATE  
OPEN SPACE

No.6  
EXISTING SINGLE STOREY  
BRICK RESIDENCE

No.8  
ADJOINING TWO STOREY  
BRICK RESIDENCE

No.4  
ADJOINING SINGLE STOREY  
BRICK RESIDENCE

100m TO PUBLIC  
PRIMARY SCHOOL

HAWEA PLACE

700m TO GLENROSE  
SHOPPING CENTRE  
& 250m TO PUBLIC  
TRANSPORT

1.6Km TO PUBLIC  
HIGH SCHOOL

SITE RATIOS - EXISTING:	
SITE AREA	698.80m <sup>2</sup>
BUILDING FOOTPRINT	194.81m <sup>2</sup>
FRONT PORCH	21.39m <sup>2</sup>
REAR DECK	15.61m <sup>2</sup>
SHED	6.24m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	128.70m <sup>2</sup>
AREAS UNDER 2m WIDE	18.41m <sup>2</sup>
SUM TOTAL	385.16m <sup>2</sup>
EXISTING LANDSCAPED AREA	313.64m <sup>2</sup> 44.8%

SITE RATIOS - PROPOSED:	
SITE AREA	698.80m <sup>2</sup>
BUILDING FOOTPRINT	252.10m <sup>2</sup>
FRONT PORCH	19.45m <sup>2</sup>
REAR DECK	15.61m <sup>2</sup>
PAVED AREAS AND DRIVEWAY	110.54m <sup>2</sup>
AREAS UNDER 2m WIDE	20.68m <sup>2</sup>
SUM TOTAL	418.38m <sup>2</sup>
PROPOSED LANDSCAPED AREA	280.42m <sup>2</sup> 40.1%

# 1 SITE PLAN 1:200 & SITE ANALYSIS / ENVIRONMENTAL SITE MANAGEMENT

## NOTES

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## BASIX INFORMATION REQUIREMENTS:

### LIGHTING:

A minimum of 40% of all new or altered light fixtures are to be fluorescent, compact fluorescent or L.E.D. lamps.

### WATER COMMITMENTS:

Fixtures: All new Shower heads, toilets and taps shall have a minimum 3 Star rating

### INSULATION REQUIREMENTS:

External walls: The external walls shall meet minimum R1.70 (including construction)

Floors: The suspended floor with enclosed sub-floor shall meet minimum R1.30 (including construction)

Ceilings: The new flat ceilings shall meet minimum R3.00 (up).

Roof: The roof shall have a foil /sarking and be of a dark colour (solar absorption >0.70)

### WINDOWS & GLAZED DOORS:

All window and door numbers shown on the window and door schedule correspond to matching window/door/ numbers shown in the Basix certificate.

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A- 30/01/21 CHANGES AS INDICATED 'A'

## COPYRIGHT

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Client

MR. & MRS. POOLE

Project Name

PROPOSED ALTERATIONS + ADDITIONS

6 HAWEA PLACE

LOT 5, DP 222901

BELROSE NSW 2085

**JAH**  
DESIGN SERVICES

ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
PH. 0410 410 064 EMAIL julie@jahdesigns.com.au

Drawing Title:

SITE PLAN

Scale: 1:200 @ A3

Status: MOD DA submission

Project No: 2003

Plot Date:

Date: JANUARY 2021

Checked By: JAH

Drawing No.: A

MOD01

2/02/2021



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NOTE- EXHAUST SYSTEM INSTALLED IN THE KITCHEN, BATHROOM,  
SANITARY COMPARTMENTS OR LAUNDRY TO COMPLY WITH  
MINIMUM FLOW RATES AS SPECIFIED IN NCC PART 3.8.7.3.  
BATHROOM, SANITARY COMPARTMENTS & LAUNDRIES MUST BE  
DISCHARGED DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR OR  
TO A VENTILATED ROOF SPACE TO COMPLY WITH NCC PART 3.8.7.4

#### WINDOW/DOOR SCHEDULE

W 1	1800w x 1550h	Selected Aluminium Framed Fixed/Double Hung Window
W 2	1200w x 900h	Selected Aluminium Framed Double Hung Window with Frosted Glass
W 3	1500w x 1200h	Selected Aluminium Framed Fixed/Double Hung Window
W 4	1500w x 1200h	Selected Aluminium Framed Fixed/Double Hung Window
W 5		DELETED
W 6	1620w x 910h	Selected Aluminium Framed Fixed/Double Hung Window with Frosted Glass
W 7		DELETED
D 1	3800w x 2100h	Selected Aluminium Framed 4 Panel Sliding Door
D 2		DELETED
GD 1	5200w x 2400h	Selected Panel lift Garage Door
GW1	1200w x 900h	Selected Aluminium Framed Double Hung Window
SK 1		DELETED
SK 2		DELETED

Note: The Builder shall check measure all windows and doors on site prior to ordering.

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##### WINDOWS & GLAZED DOORS:

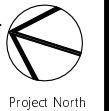
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**6 HAWEA PLACE**

**LOT 5, DP 222901**

**BELROSE NSW 2085**



ABN 22 630 690 834

9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086

P.H. 0410 410 064 EMAIL: jule@jahdesigns.com.au

Drawing Title:

**PROPOSED FLOOR PLAN**

Scale:

1:100 @ A3

Date:

JANUARY 2021

Status:

MOD DA submission

Checked By:

JAH

Project No:

**2003**

Drawing No.:

**MOD03**

Plot Date:

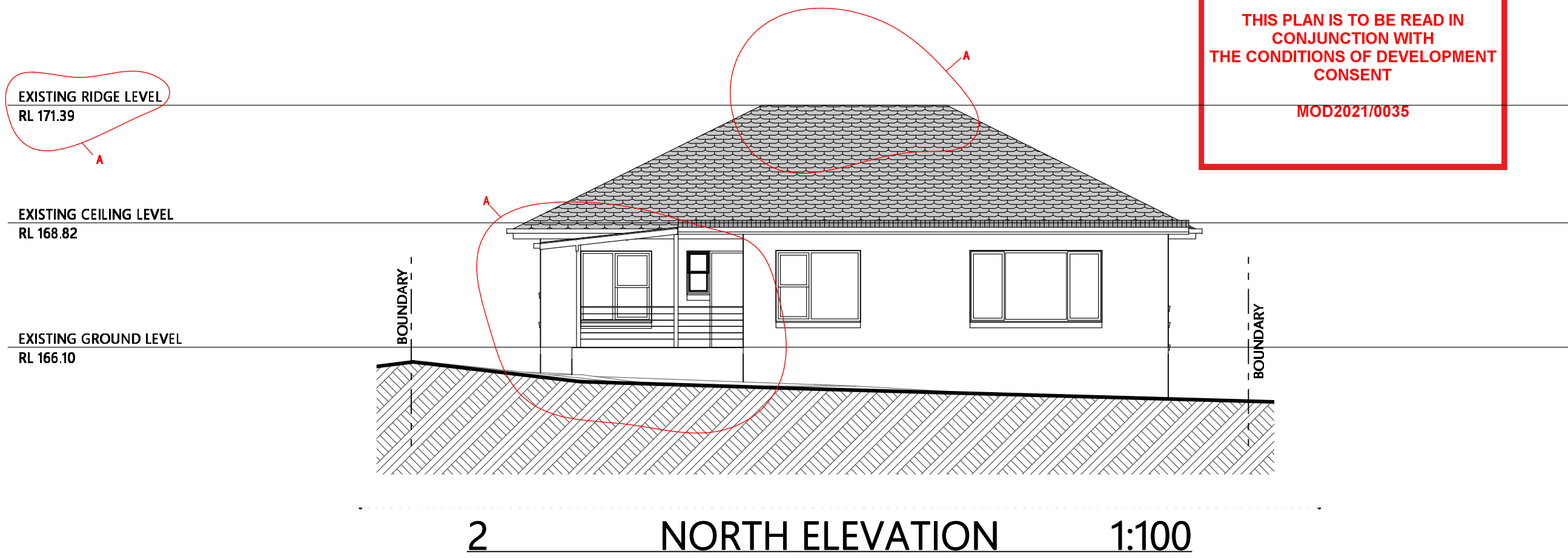
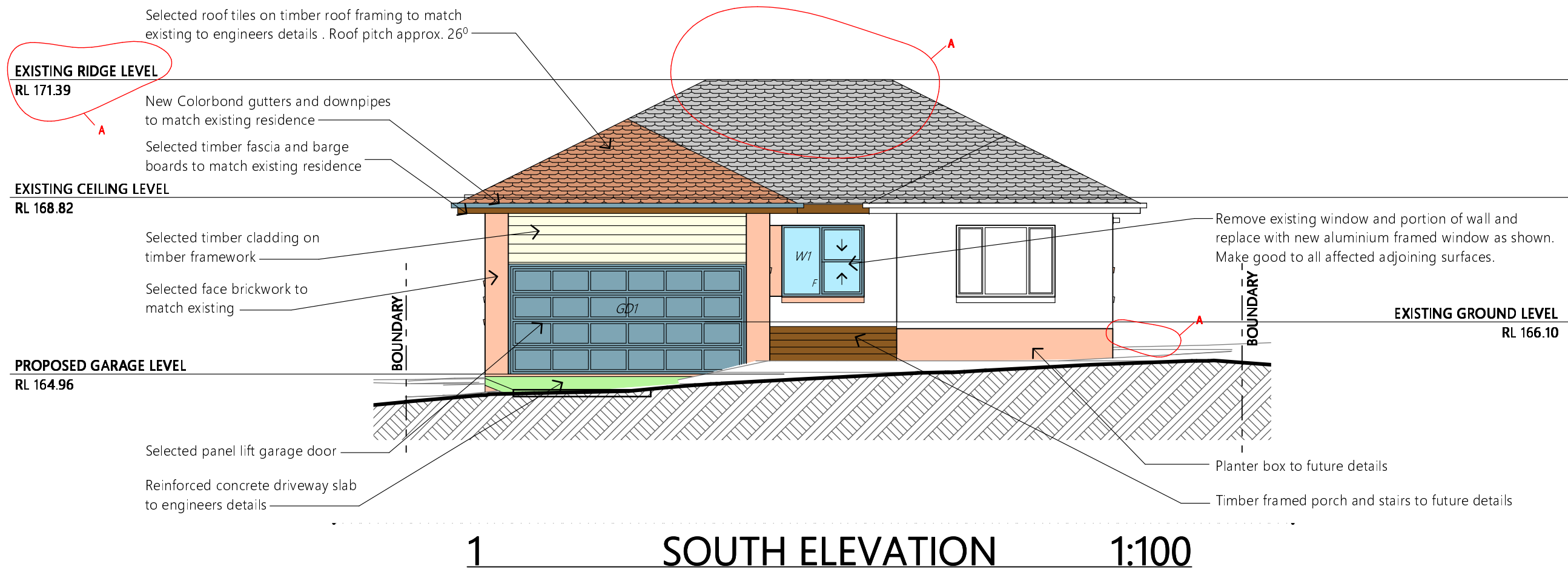
2/02/2021


BOUNDARY 38.215m 342°44'10"

BOUNDARY 38.215m 162°44'10"

BOUNDARY 18.29m 252°44'10"

1 PROPOSED FLOOR PLAN 1:100



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Project Name

**PROPOSED ALTERATIONS + ADDITIONS**

**6 HAWEA PLACE**

**LOT 5 , DP 222901**

**BELROSE NSW 2085**



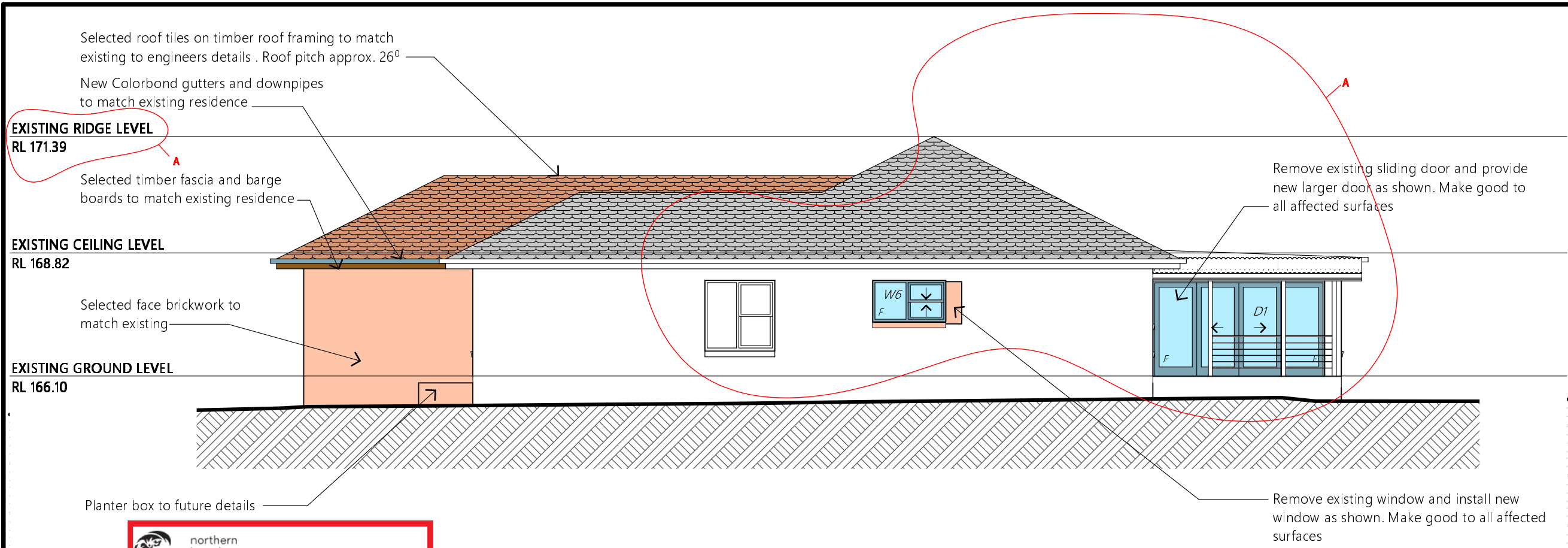
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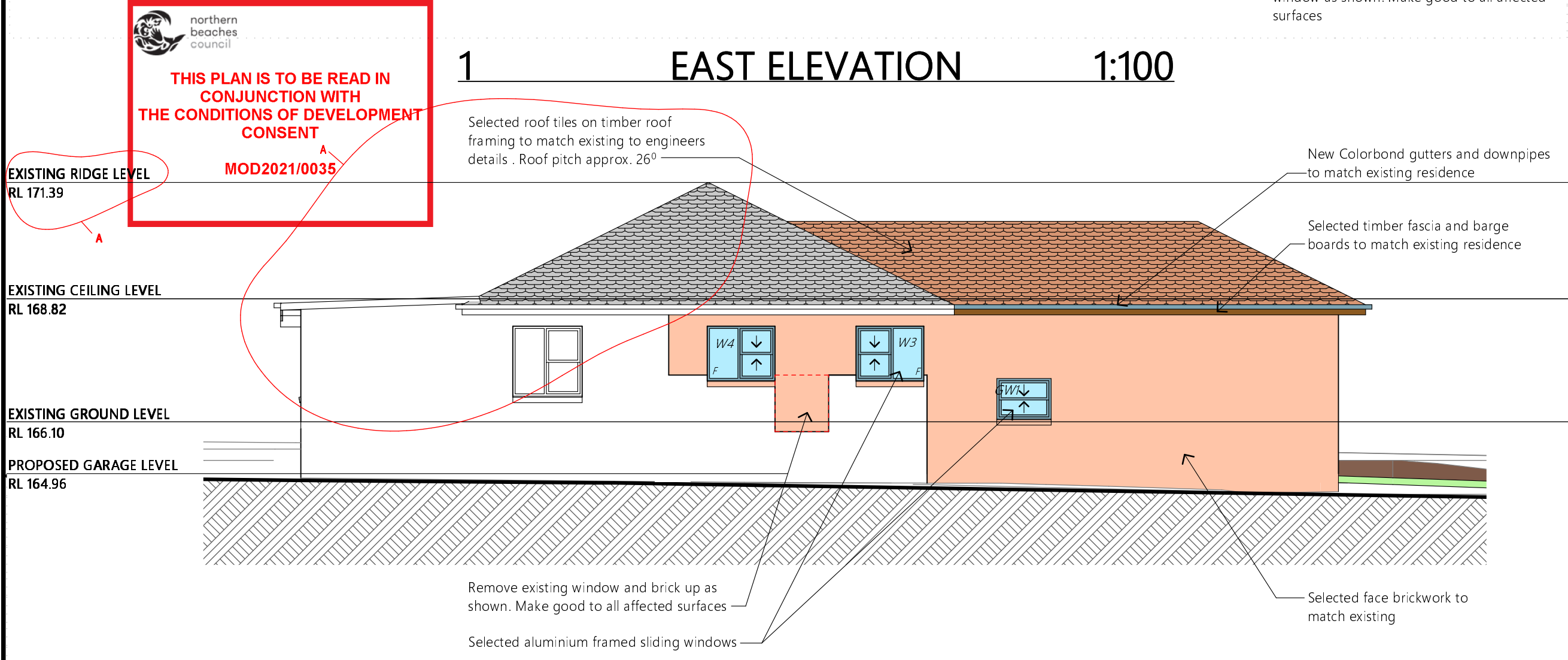
Drawing Title:

**NORTH & SOUTH ELEVATIONS**

Scale: 1:100 @ A3	Date: JANUARY 2021
Status: MOD DA submission	Checked By: JAH
Project No: 2003	Drawing No.: <b>A</b> MOD04
Plot Date: 2/02/2021	



1 EAST ELEVATION 1:100



2 WEST ELEVATION 1:100

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**6 HAWEA PLACE**

**LOT 5 , DP 222901**

**BELROSE NSW 2085**

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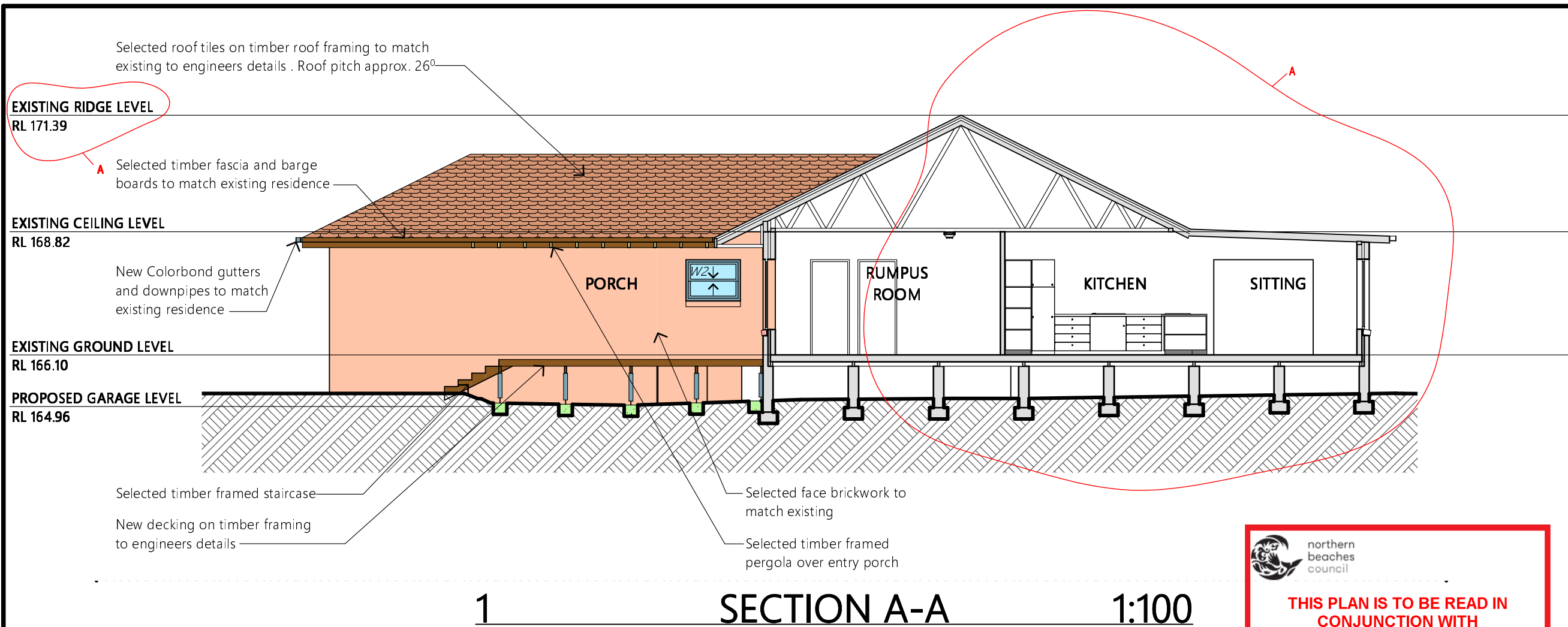
ABN 22 630 690 834  
9 LOCKWOOD AVENUE, FRENCHS FOREST NSW 2086  
P.H. 0410 410 064 EMAIL: jule@jahdesigns.com.au

Drawing Title:

**EAST & WEST ELEVATIONS**

Scale: 1:100 @ A3	Date: JANUARY 2021
Status: MOD DA submission	Checked By: JAH
Project No: 2003	Drawing No.: MOD05
Plot Date:	2/02/2021

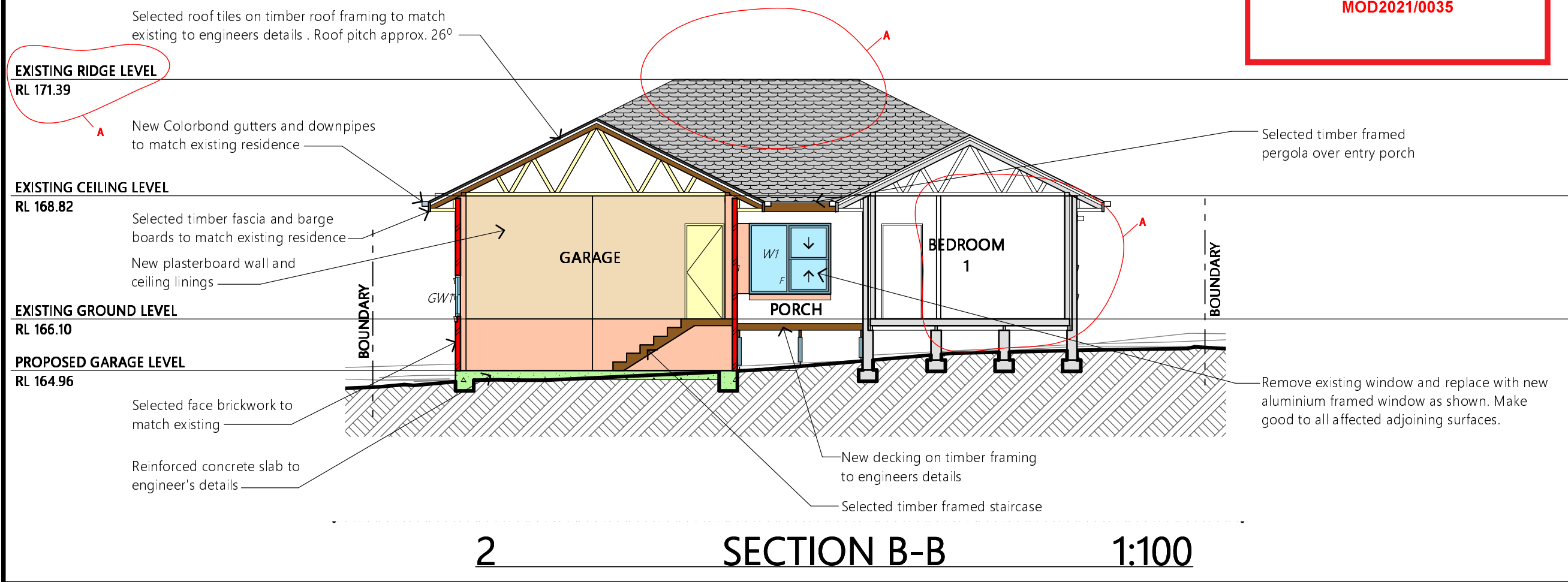




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**DESIGN SERVICES**

ABN 22 630 690 834

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Drawing Title:

#### SECTIONS

Scale:  
1:100, 1:50 @ A3

Date:  
JANUARY 2021

Status:  
MOD DA submission

Checked By:  
JAH

Project No:

**2003**

Drawing No.:

**MOD06**

Plot Date:

2/02/2021