



Existing landscape treatment to front setback to be retained.

STREET
HOGAN

BRICK RESIDENCE
No. 20

2 STOREY
BRICK RESIDENCE
No. 22

2 STOREY
BRICK RESIDENCE
No. 18

Existing paved patio
and retaining walls to
be retained.

Min 1.5m to Water

Landscape Screen
"Acmena Smithii"

Proposed location of pool
filter and pump in sound
proof enclosure.

1.2m high child-proof safety
fencing and gate to enclose
pool as indicated to comply
with NSW Swimming Pool
Act 1992 A.S. 1926.1 - 2007.

Existing screen planting to
rear yard proposed to be
retained.

Existing *Corymbia maculata*
to be retained and protected.

Existing *Buxus microphylla*
hedge to be retained

This is the plan/spec. referred to in
Fitzgerald Certifiers Certificate
Cert. No. 2010/748
20/5/10
Paul Fitzgerald Accreditation No BPB 0119



These plans relate to Development
Consent No. 10/10
The plans are NOT for construction.



NOTES:

ENGINEERS DETAILS BY
STRUCTURAL ENGINEER AT
CONSTRUCTION CERTIFICATE
STAGE IF REQUIRED.

This drawing not to be scaled.
Dimensions to be recognized over
scaling.

1.2m Height Child-Proof safety fencing
shall be installed where necessary to
pool areas to ensure they are enclosed
and secure, including self locking
gates as required in NSW Swimming
Pool Act 1992 & AS 1926.1 - 2007.

Read plans in conjunction with pool
sections and details, site survey and
other information provided for this DA.
Where any anomalies occur between
pool drawings and signed pool contract,
contract shall take precedence.

Pollution, sediment & erosion control
devices as specified shall be in place,
and maintained for the duration of the
construction period.

Site coverage calculations are nominal
for this property.
All works "By Customer" not included in
works covered under typical pool builders
contract or construction certificate.

SITE COVERAGE CALCULATIONS

AREA OF BLOCK = 579.8m²

EXISTING:
EXISTING RESIDENCE = 186.4m²
GARAGE / DRIVEWAY = 67.0m²
PAVED AREAS = 69.0m²
EXISTING SHED = 22.6m²

EXISTING IMPERVIOUS AREA = 345.0m² (59.50%)

PROPOSED POOL:
TOTAL POOL AREA = 33.7m²

MINUS EXISTING SHED = -22.6m²
(PROPOSED TO BE REMOVED)

TOTAL PROPOSED IMPERVIOUS AREA = 356.1m² (61.42%)



Bar Scale
1 2 3 4 5m 10m

Conzept
Landscape Architects

PO Box 416, 79 Atchison Street,
CREMORNE 2090 CROWS NEST, NSW 2065
www.conzept.net.au Phone: 9438 1744
enquiries@conzept.net.au Fax: 9438 1766
Mob: 0413 861 351

Site Analysis

PROPOSED INGROUND POOL

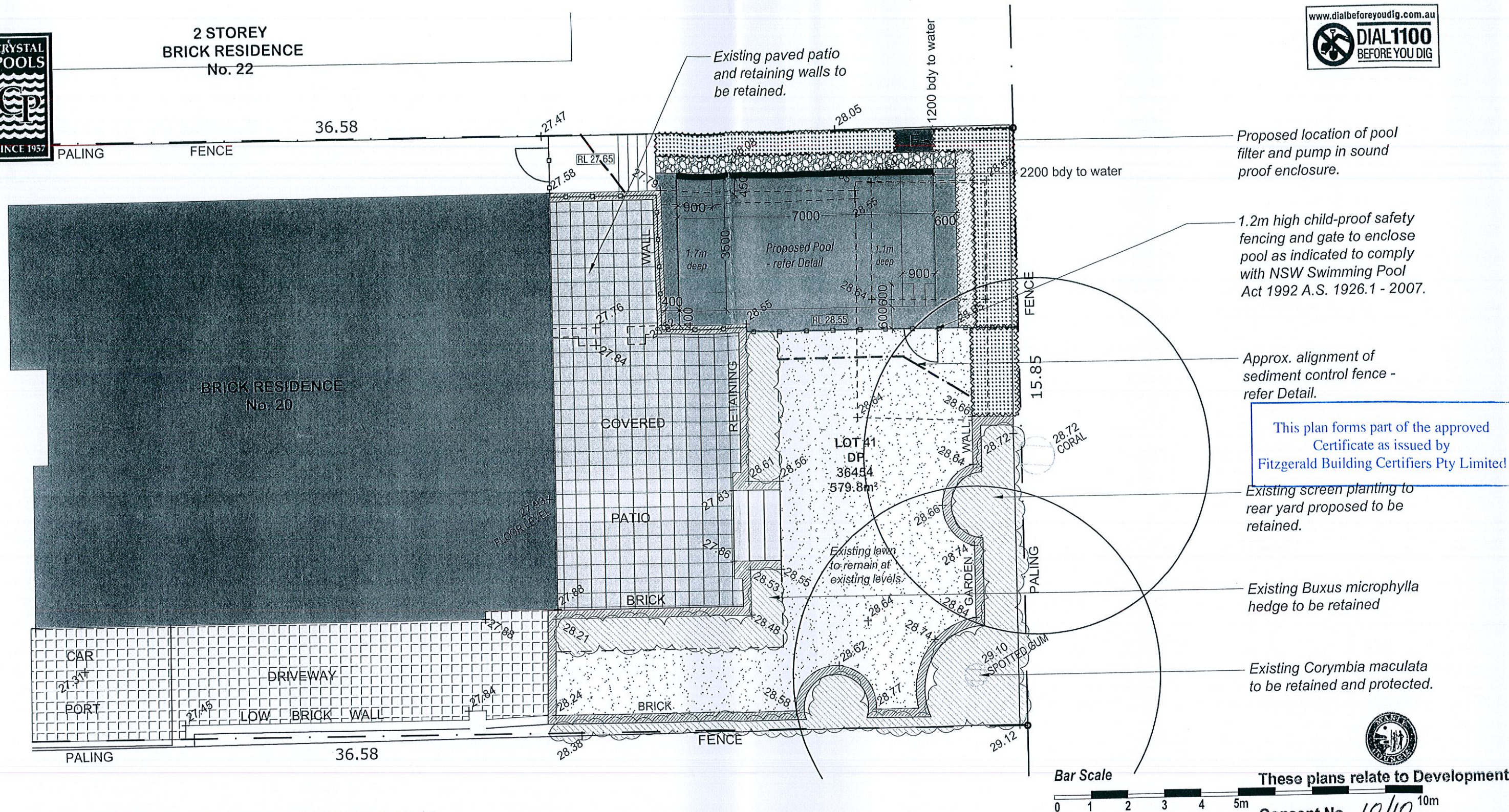
20 HOGAN ST,
BALGOWLAH HEIGHTS

Client: Bruce & Lisa Watt
Council: MANLY
Scale: 1:200 @ A3
Date: March 2010
Drawing # LPDA 10 - 276 / 1

9/1



2 STOREY
BRICK RESIDENCE
No. 22



Proposed location of pool filter and pump in sound proof enclosure.

1.2m high child-proof safety fencing and gate to enclose pool as indicated to comply with NSW Swimming Pool Act 1992 A.S. 1926.1 - 2007.

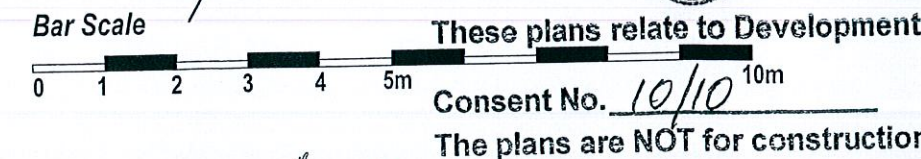
Approx. alignment of sediment control fence - refer Detail.

This plan forms part of the approved Certificate as issued by Fitzgerald Building Certifiers Pty Limited

Existing screen planting to rear yard proposed to be retained.

Existing Buxus microphylla hedge to be retained

Existing Corymbia maculata to be retained and protected.



NOTES:

ENGINEERS DETAILS BY STRUCTURAL ENGINEER AT CONSTRUCTION CERTIFICATE STAGE IF REQUIRED.

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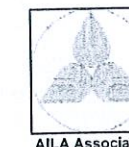
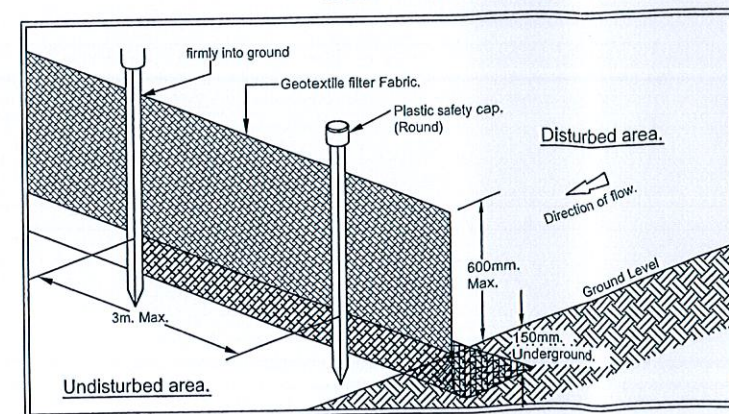
1.2m Height Child-Proof safety fencing shall be installed where necessary to pool areas to ensure they are enclosed and secure, including self locking gates as required in NSW Swimming Pool Act 1992 & AS 1926.1 - 2007.

Read plans in conjunction with pool sections and details, site survey and other information provided for this DA. Where any anomalies occur between pool drawings and signed pool contract, contract shall take precedence.

Pollution, sediment & erosion control devices as specified shall be in place, and maintained for the duration of the construction period.

Site coverage calculations are nominal for this property. All works "By Customer" not included in works covered under typical pool builders contract or construction certificate.

SEDIMENT FENCE n.t.s



LEGEND

Sediment fence alignment - refer to detail.

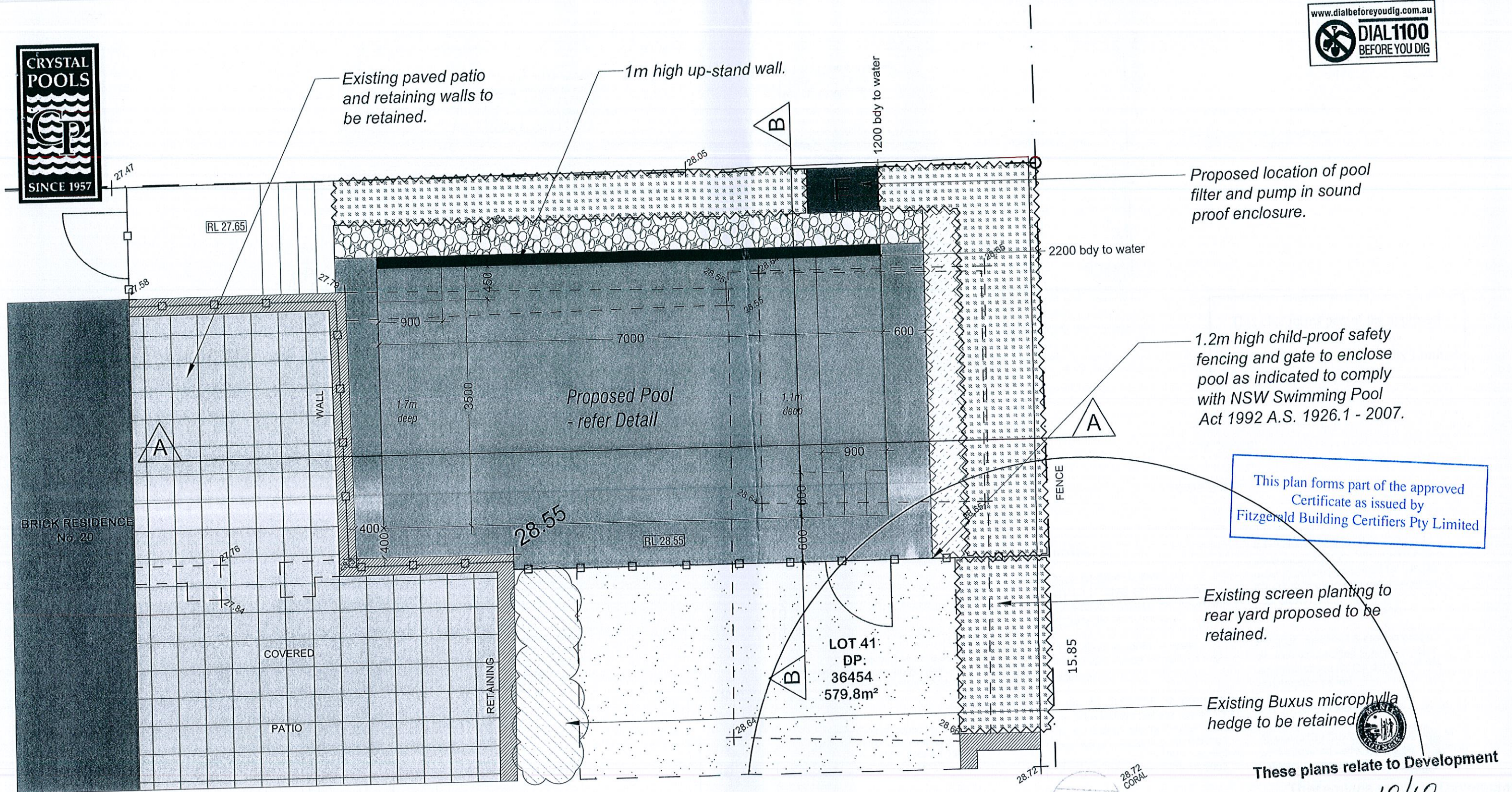
Conzept Landscape Architects

PO Box 416, CREMORNE 2090
79 Atchison Street, CROWS NEST, NSW 2065
Phone: 9438 1744
Fax: 9438 1766
enquiries@conzept.net.au Mob: 0413 861 351

Erosion Control Plan
PROPOSED INGROUND POOL
20 HOGAN ST,
BALGOWLAH
HEIGHTS

Client: Lisa Watt
Council: MANLY
Scale: 1:200 @ A3
Date: March 2010
Drawing # LPDA 10 - 245 / 2

GH



NOTES:

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CONSTRUCTION CERTIFICATE
STAGE IF REQUIRED.

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Dimensions to be recognized over
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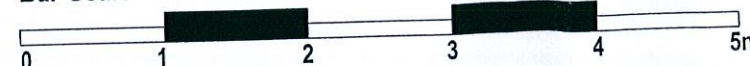
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PLANS CHECKED BY:

DATE CHECKED:

Bar Scale



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Detailed Plan

PROPOSED INGROUND POOL

20 HOGAN ST,
BALGOWLAH HEIGHTS

Client: Bruce & Lisa Watt
Council: MANLY
Scale: 1:50 @ A3
Date: March 2010
Drawing # LPDA 10 - 276 / 4

5/4



CRYSTAL POOLS PTY. LTD.

1 Central Ave, Thornleigh 2120

Ph: 9875 4555 Fax: 9484 1019

Builder Licence No: 34505

This is the plan/spec. referred to in
Fitzgerald Certifiers Certificate
Cert. No: 2010/748
20/5/10
Paul Fitzgerald Accreditation No BPB 0119

Swimming Pool Stamp

Permits are required to fill all new swimming pools with a capacity greater than 10,000L. Contact Sydney Water on 13 20 92 during business hours. Fines of \$220 will apply for filling pools without a permit

SYDNEY WATER

FILLING OF SWIMMING POOLS

The water supply to the pool must be drawn from a metered service and any tap or hose used to fill the pool must be at least 150mm above the highest possible water level of the pool.

EMPTYING OF SWIMMING POOLS

Pools emptying into Sydney Water's Sewer must:

- Discharge into a gully through a pipe.
- Discharge only in dry weather, with prior approval from Sydney Water's Customer Centre.

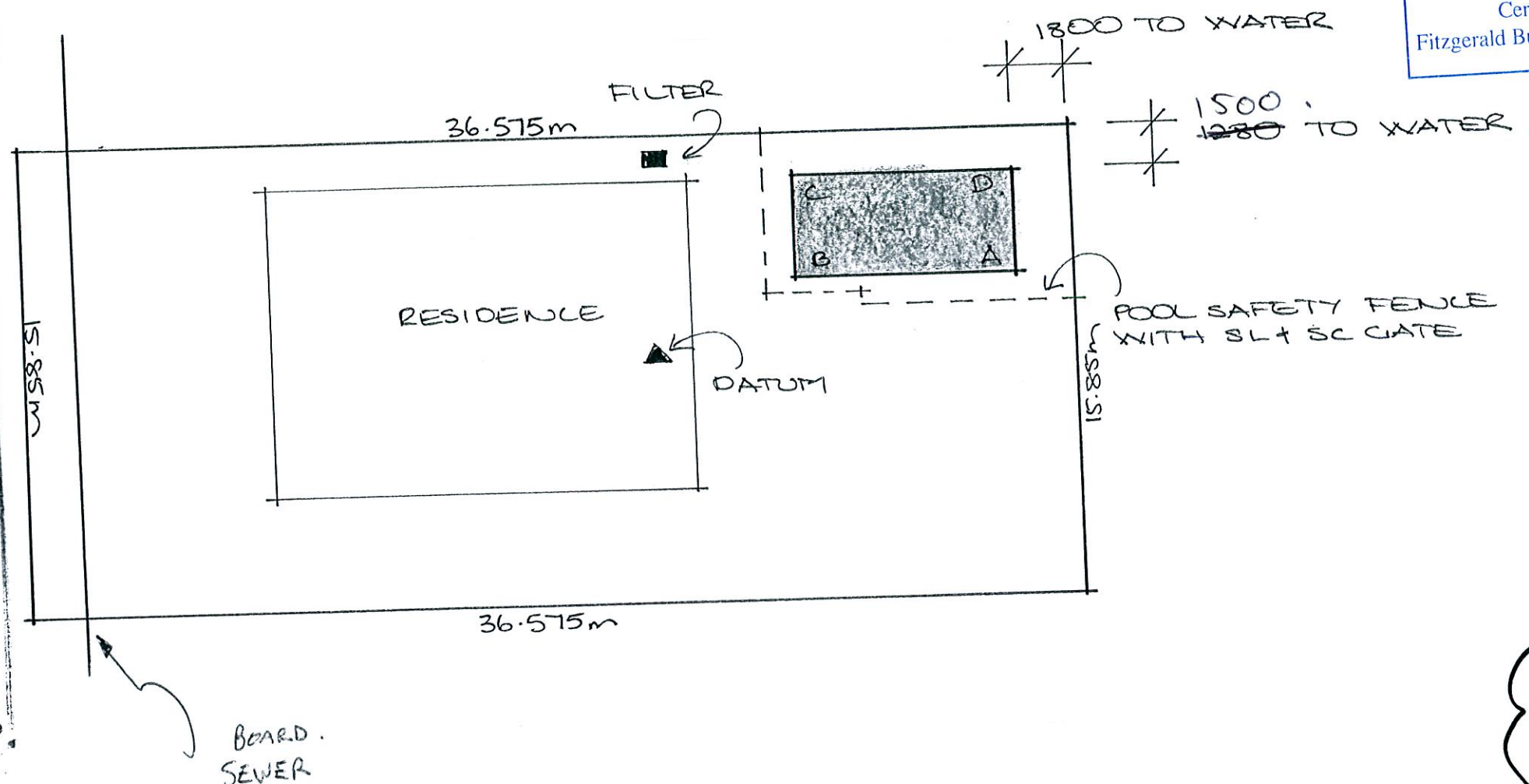
NOTE: IT IS PROHIBITED TO DISCHARGE POOL WATER INTO ANY OF SYDNEY WATER'S VACUUM SYSTEM SEWERS.

Reece, Thornleigh
Quick Check Agent on behalf of
SYDNEY WATER

Per: Reece 3.5.10

SITE AREA
579.71m²

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NO BASIX
REQUIRED

POOL VOLUME: 32,500 Litres

PROPOSED SWIMMING POOL
FOR: **BRUCE & LISA WATT**
AT: 20 HOGAN ST, BALGOWLAH.

SITE PLAN 1:200.

REV.	DATE	AMENDMENT	DRAWN	REV.	DATE	AMENDMENT	DRAWN



Innovative Building
Systems Australia Pty Ltd

14 Monterey Parade,
Ermington Heights NSW 2115

ACN: 44 124 486 497

Ph: 02 9804 8725
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www.ibsust.com.au



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SEPTEMBER 2007



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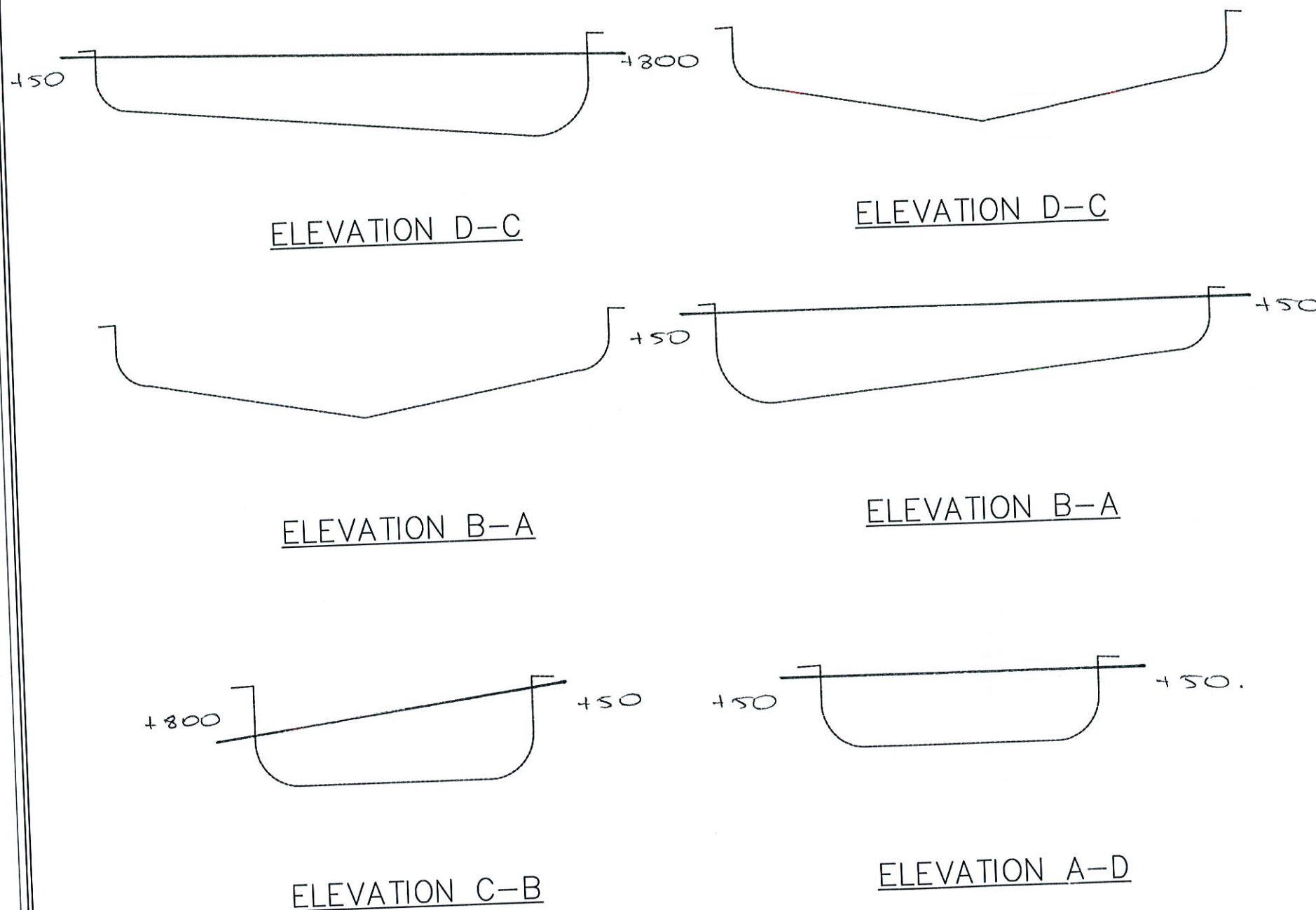
DATE
17.11.09.

APPROVED

DWG. No.

12132/1

REV.



POOL LOCATION:

CUSTOMERS MUST SATISFY THEMSELVES TO THE CORRECT LOCATION OF THE POOL SET OUT PEGS PRIOR TO THE COMMENCEMENT OF THE EXCAVATION.

DIMENSIONS:

FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALE.

FOUNDATIONS:

1. TO BE NATURALLY OCCURRING MATERIAL CAPABLE OF BEING EXCAVATED TO A VERTICAL FACE AND OF MINIMUM SAFE BEARING CAPACITY OF 50KPa.
2. UNDERSIDE OF THE CONCRETE FLOOR TO BE SEPARATED FROM THE UNDERLYING MATERIAL BY A LAYER OF APPROVED MEMBRANE.

REINFORCEMENT

1. ALL RODS TO BE GRADE 230 DEFORMED BARS IN ACCORDANCE WITH A.S.1302 UNLESS NOTED OTHERWISE.
2. RODS TO BE LAPPED A MINIMUM OF 400mm AND TO BE WIRE TIED AT EACH 2ND INTERSECTION.
3. REINFORCEMENT SHALL HAVE THE FOLLOWING CLEAR COVER OF CONCRETE:
 - (a) WALLS AND STEPS 50mm INSIDE FACE.
 - (b) FLOOR AND COPING 50mm TO TOP OF CONCRETE. WIDTH OF COPING FINISH IS APPROXIMATE.
 - (c) EARTH FACES 65mm.
 - (d) FORMWORK FACES 40mm.
4. WHERE COPING IS MORE THAN 150mm ABOVE NATURAL GROUND LEVEL THE HORIZONTAL REINFORCEMENT IS TO BE INCREASED TO S12 AT 200 FOR A DISTANCE OF 400mm BELOW NATURAL GROUND LEVEL.

CONCRETE

1. MATERIALS AND WORKMANSHIP GENERALLY TO CONFORM TO THE REQUIREMENTS OF A.S. 3600-2001 & A.S. 2783-1992.
2. CONCRETE DESIGN STRENGTH (f'c) TO BE 25 MPa AT 28 DAYS.
3. CONCRETE TO BE PNEUMATICALLY PLACED PREFERABLY IN A SINGLE UNINTERRUPTED OPERATION. SHOULD A BREAKDOWN OF PLANT OCCUR THE CONSULTING ENGINEERS MUST BE NOTIFIED IMMEDIATELY.

CONCOURSE

ONLY OPEN TYPE OR GLASS PANEL FENCING TO 1.2m HIGH MAY BE SUPPORTED OFF CONCOURSE AS DESIGNED. ALL FENCING TO BE IN ACCORDANCE WITH A.S. 1926.1-1993, AS 1926.2-1995 AND THE ERECTION OR ALTERATION TO BE THE RESPONSIBILITY OF THE APPLICANT. THE FENCING IS PART OF THE APPLICATION.

EMPTYING POOL

POOL TO BE EQUIPPED WITH HYDROSTATIC PRESSURE RELIEF VALVE TO SAFEGUARD AGAINST EXTERNAL WATER PRESSURE WHEN POOL IS EMPTY. DESPITE THIS PROVISION THE APPROVAL OF CRYSTAL POOLS PTY LTD MUST BE OBTAINED BEFORE EMPTYING POOL.

DIVING

THIS POOL IS NOT DESIGNED FOR DIVING.

LEVELS FOR COUNCIL APPROVAL

DATUM:	FFL OF HOUSE RL 27.98
TOP OF FINISHED POOL RELATIVE TO DATUM	RL 28.55.
HEIGHT ABOVE EXISTING GROUND LEVEL AT	A +50
	B +50.
	C +800
	D +50

REV.	DATE	AMENDMENT	DRAWN



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SEPTEMBER 2007

PROPOSED SWIMMING POOL
FOR: **WATT**
AT: **BALGOWLAH.**

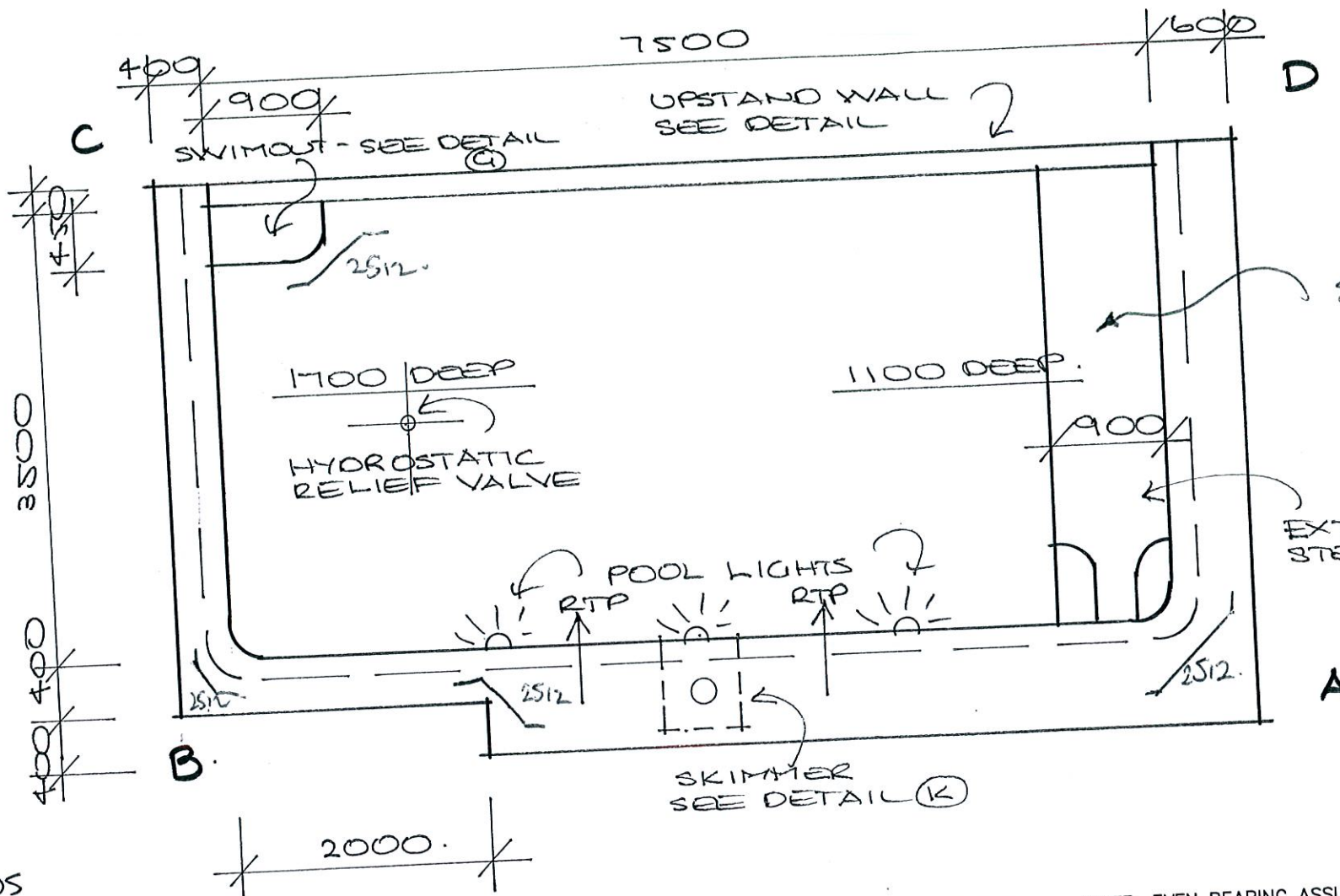
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**CRYSTAL
POOLS** PTY.
LTD.

1 Central Ave, Thornleigh 2120
Ph: 9875 4555 Fax: 9484 1019
Builder Licence No: 34505

DATE
17.11.09.
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DWG. No.
12132/2
REV.



FILTER - SP SF 360.
 PUMP - SP SF 1.5 HP.
 HEATER - VIRON. 350.
 CIRCULATION - DEEP RTP'S.
 CHEMICAL CONTROLLER -
 RC-8-S.

No. S BARS = 1005
 VOLUME OF POOL = 32,500
 CONCRETE VOLUME = 16.0m³.
 CONCRETE STRENGTH = 32MPa.

PLAN OF POOL

NOTE: EVEN BEARING ASSUMED THROUGHOUT UNLESS NOTED OTHERWISE. ANY VARIATION CHECK WITH ENGINEER.

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REV.	DATE	AMENDMENT	DRAWN

DATUM:	FFL OF HOUSE RL 27.98.								
TOP OF POOL STRUCTURE RELATIVE TO DATUM:	RL 28.55 LESS 65mm FOR PAVERS.								
TOP OF POOL STRUCTURE RELATIVE TO APPROX. NATURAL GROUND LEVELS	<table> <tr><td>A</td><td>+ 50</td></tr> <tr><td>B</td><td>+ 50</td></tr> <tr><td>C</td><td>+ 800</td></tr> <tr><td>D</td><td>+ 50</td></tr> </table>	A	+ 50	B	+ 50	C	+ 800	D	+ 50
A	+ 50								
B	+ 50								
C	+ 800								
D	+ 50								

PROPOSED SWIMMING POOL
 FOR: **BRUCE & LISA WATT**
 AT: **20 HOGAN ST, BALGOWLAH.**



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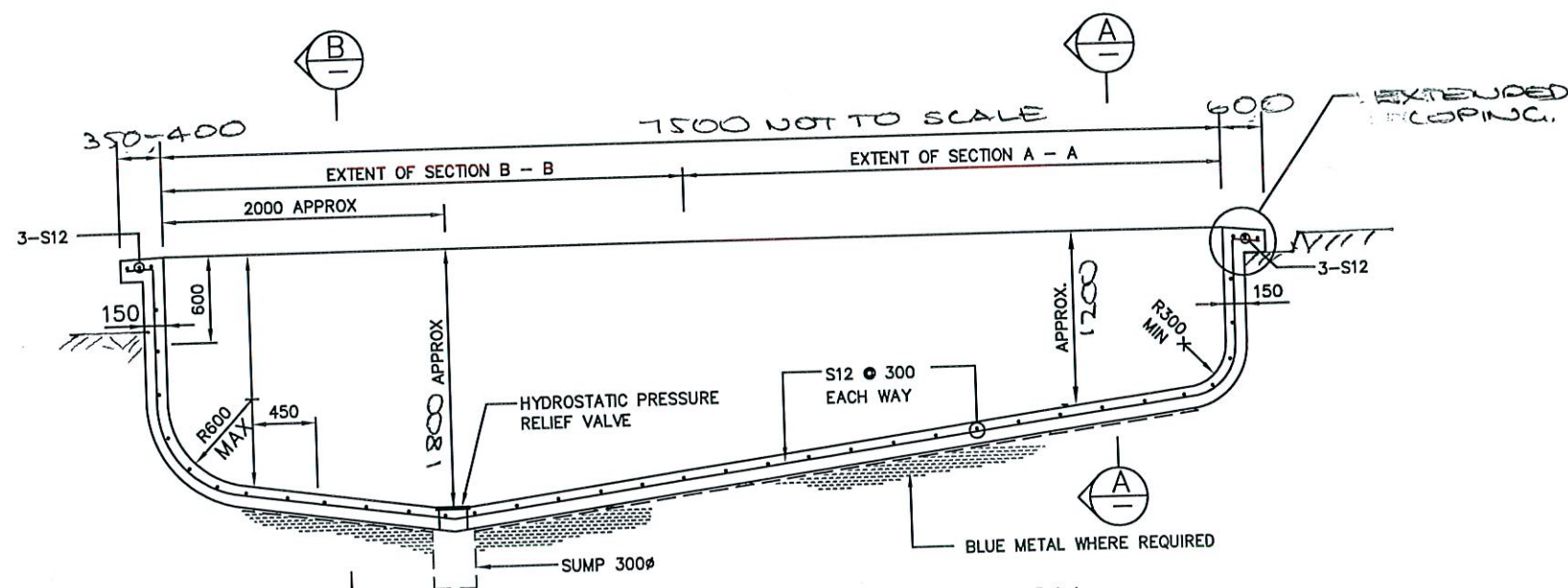
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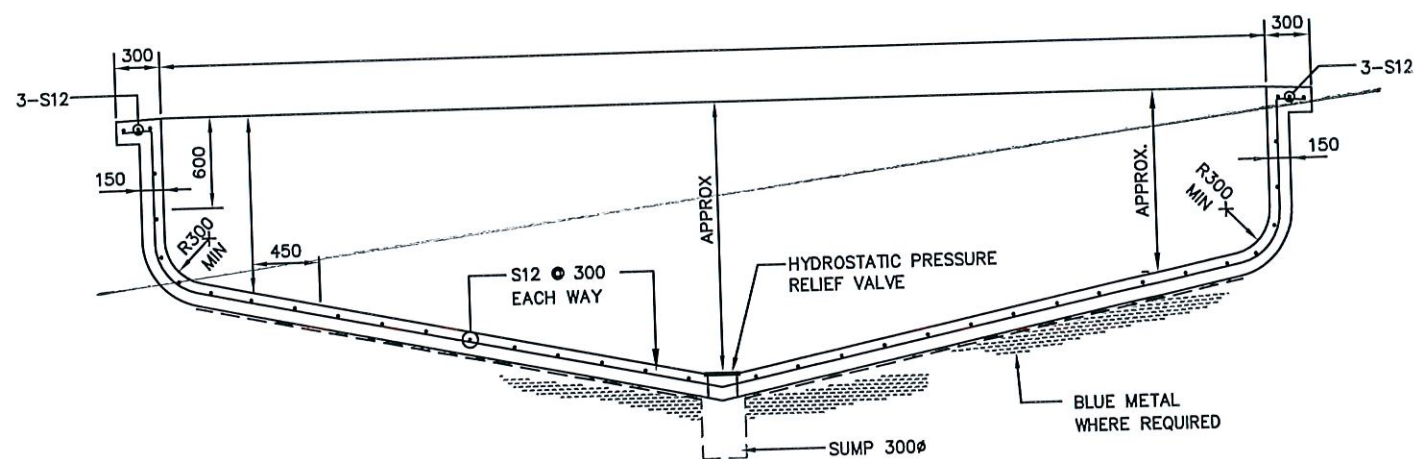
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 12132/3
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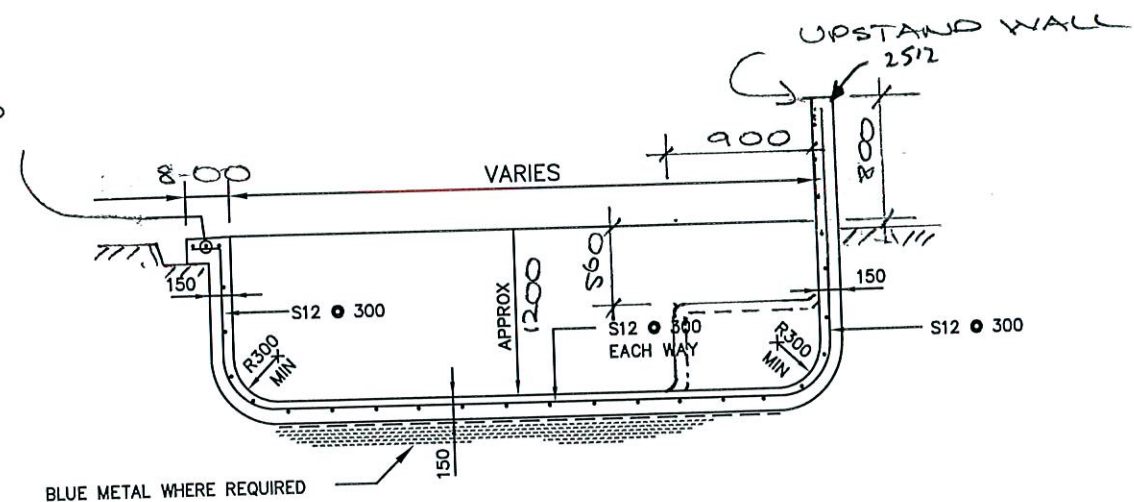
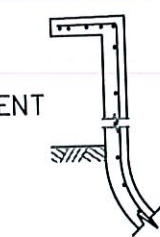


**LONGITUDINAL SECTION
(DEEP END OPTION)**
SCALE: 1:50

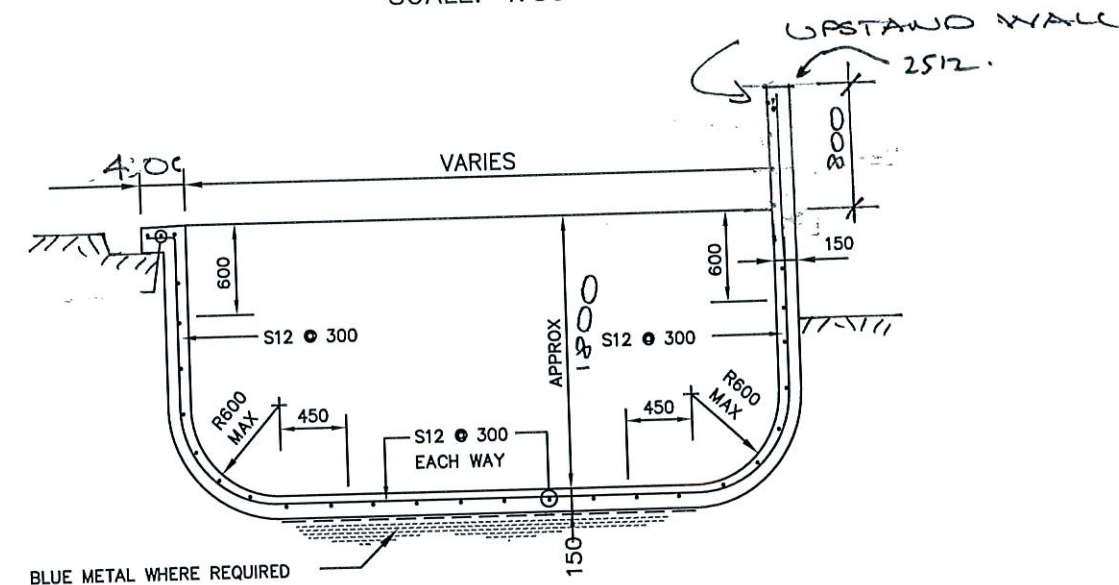


**LONGITUDINAL SECTION
(CENTRE DEEP OPTION)**
SCALE: 1:50

NOTE:
FOR COPINGS OF WIDTH GREATER THAN 300mm
NOTE THAT POSITION OF THE HORIZONTAL REINFORCEMENT
CHANGES TO THE OUTSIDE OF THE VERTICAL
REINFORCEMENT



SHALLOW SECTION A-A
SCALE: 1:50



DEEP SECTION B-B
SCALE: 1:50

PROPOSED SWIMMING POOL
FOR: **WATT**
AT: **BALGOWLAH.**

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DATE
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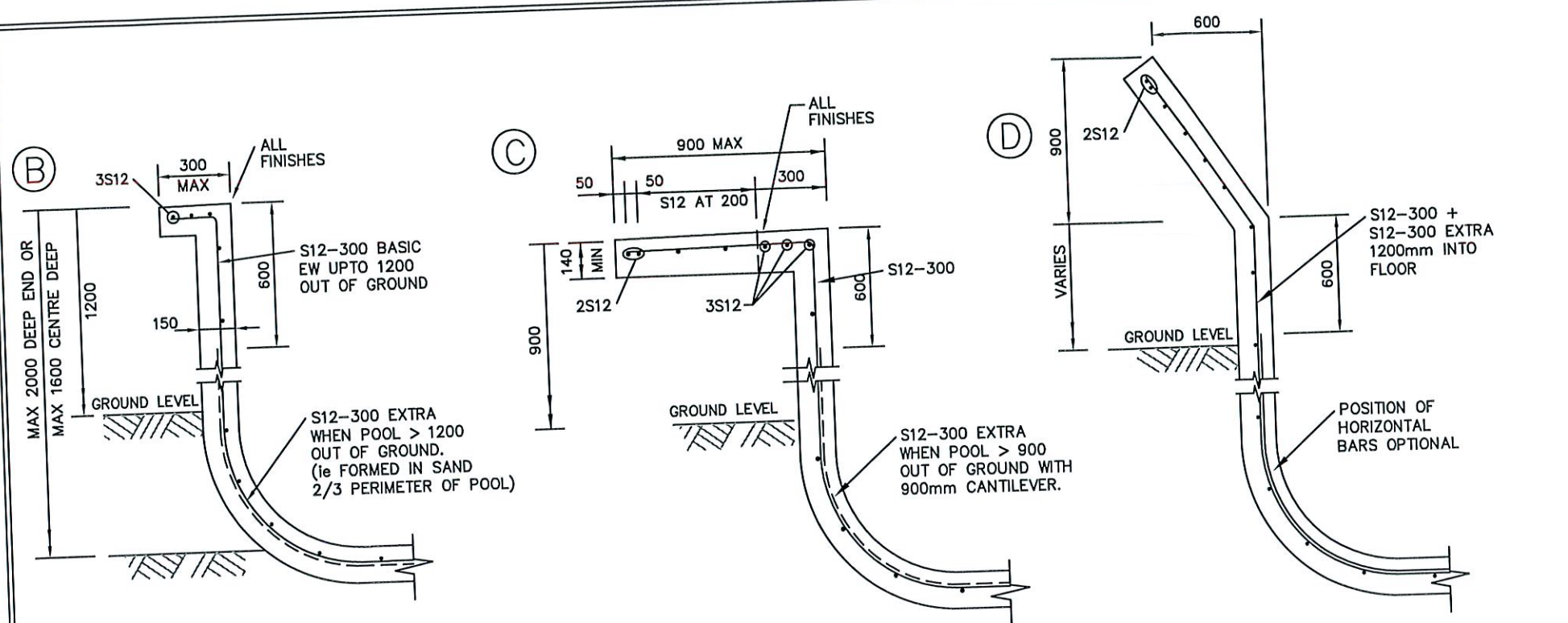
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DWG. No.

12132/4

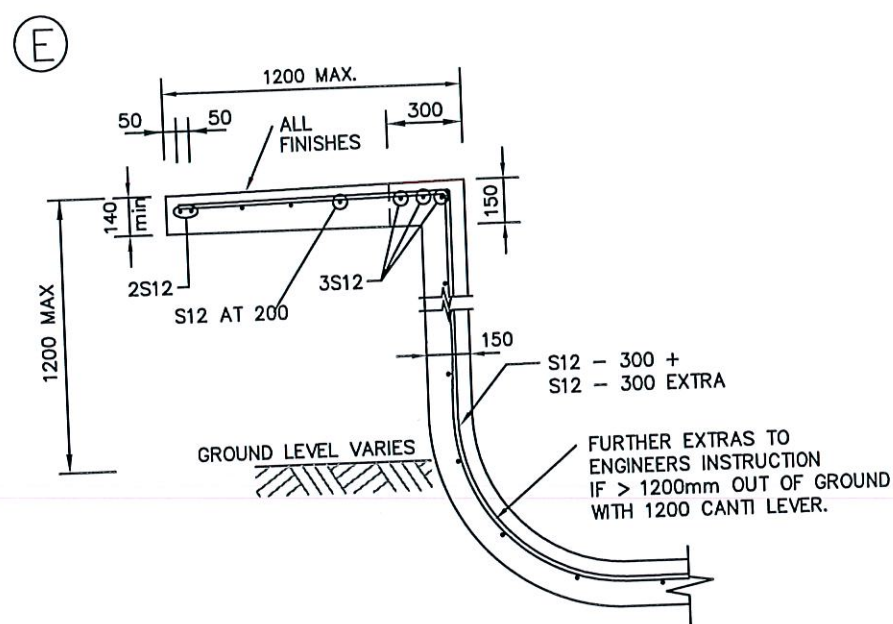
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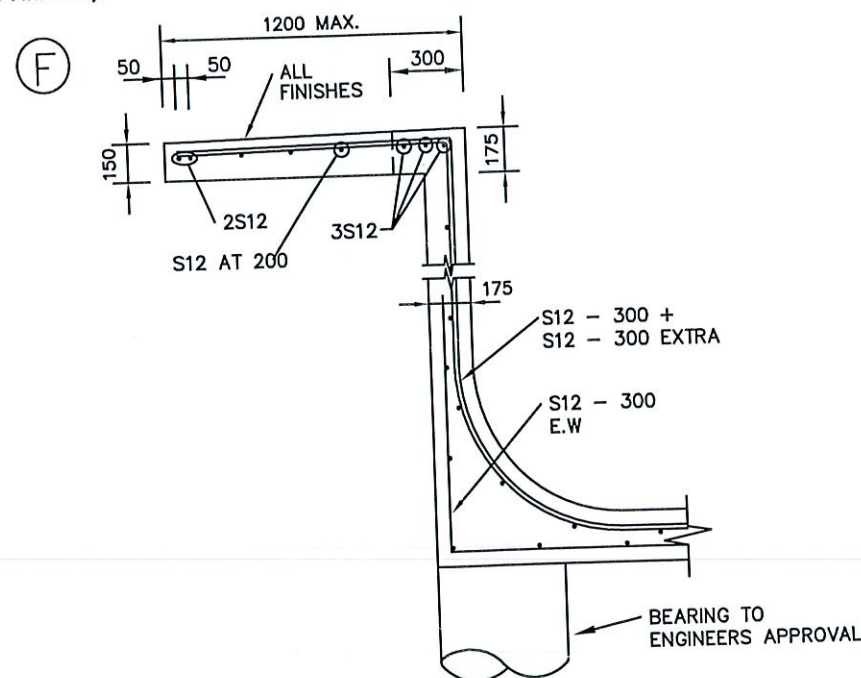
ABOVE GROUND STRUCTURE
300mm COPING (ALL FINISHES).

ABOVE GROUND STRUCTURE
900mm COPING (ALL FINISHES).

WATERFALL COPING DETAIL



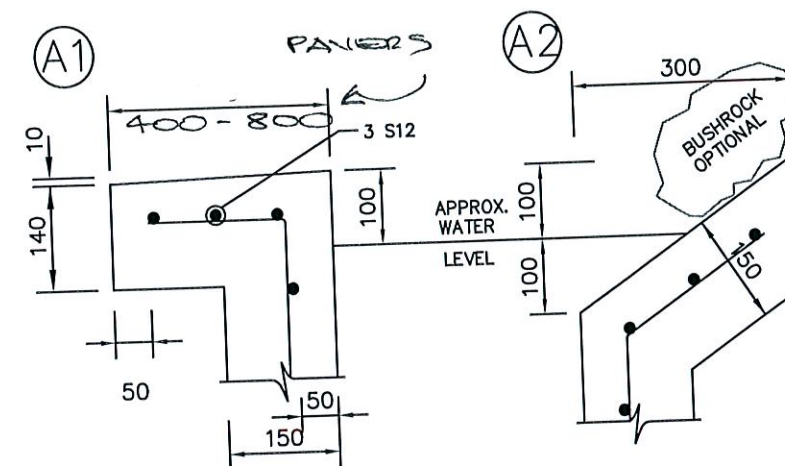
ABOVE GROUND STRUCTURE
1200mm COPING



OUT OF GROUND RECTANGULAR POOLS

NOTE:
THIS DETAIL APPLIES TO POOLS WITH STRAIGHT
WALLS WITH RECTANGULAR CORNERS
OVER 9.0m LONG.

- NOTES:
- HORIZONTALS ABOVE GROUND LEVEL:
25 MPa CONCRETE S12-200
32 MPa & ABOVE S12-150
 - ALL 300mm COPING POOLS - HORIZONTALS INSIDE
ALL OTHER POOLS - HORIZONTALS OUTSIDE.
 - RADIUS OF BEND FOR COPING BARS 50mm.
 - INGROUND POOL PLANT ACCESS
NO EXTRAS REQUIRED IF WALL HEIGHT
IS LESS THAN 1.2m.
 - ANY PAVING LAID ADJACENT TO POOL COPING
MUST HAVE 15mm WIDE CONSTRUCTION OR
EXPANSION JOINTS. IF PAVING LAID IN MORTAR,
EXPANSION JOINT MUST BE INSERTED BETWEEN PAVING
& POOL COPING. LEAVE 3mm GAPS BETWEEN PAVERS LAID
ON SAND.



STANDARD COPING

SLOPING COPING

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PROPOSED SWIMMING POOL
FOR: **WATT**
AT: **BALGOWLAH.**



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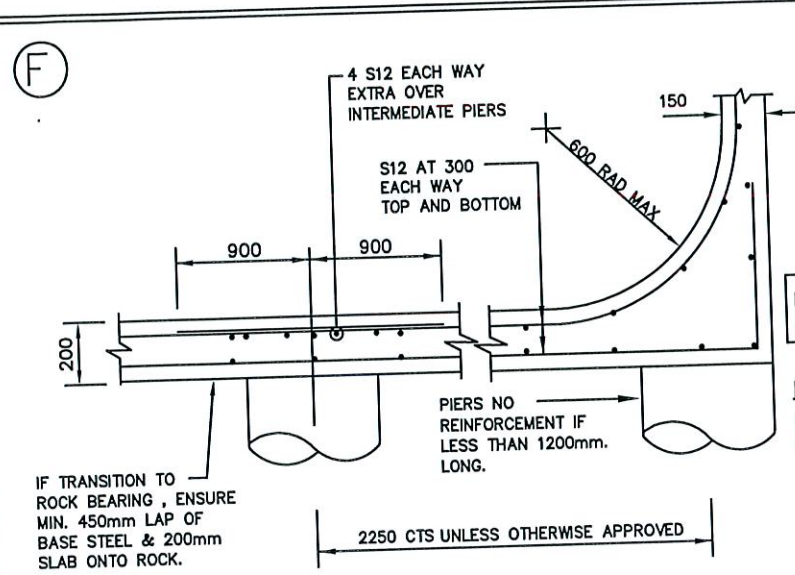
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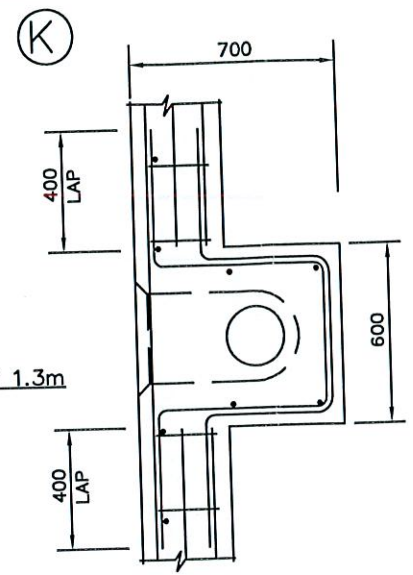


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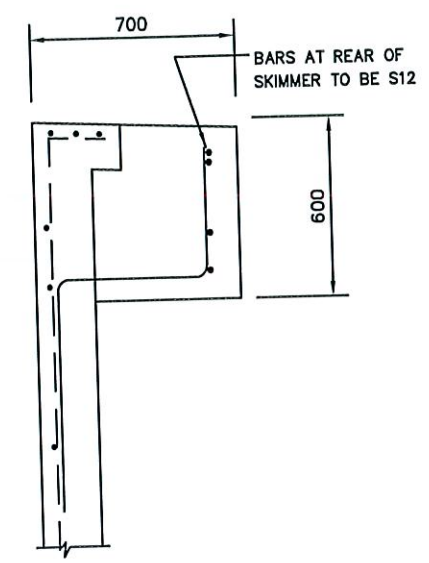
SEPTEMBER 2007



DOUBLE STEEL FLOOR DETAIL

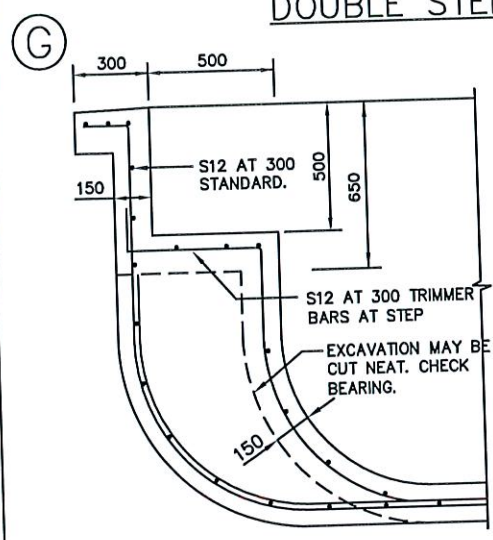


SECTIONAL PLAN

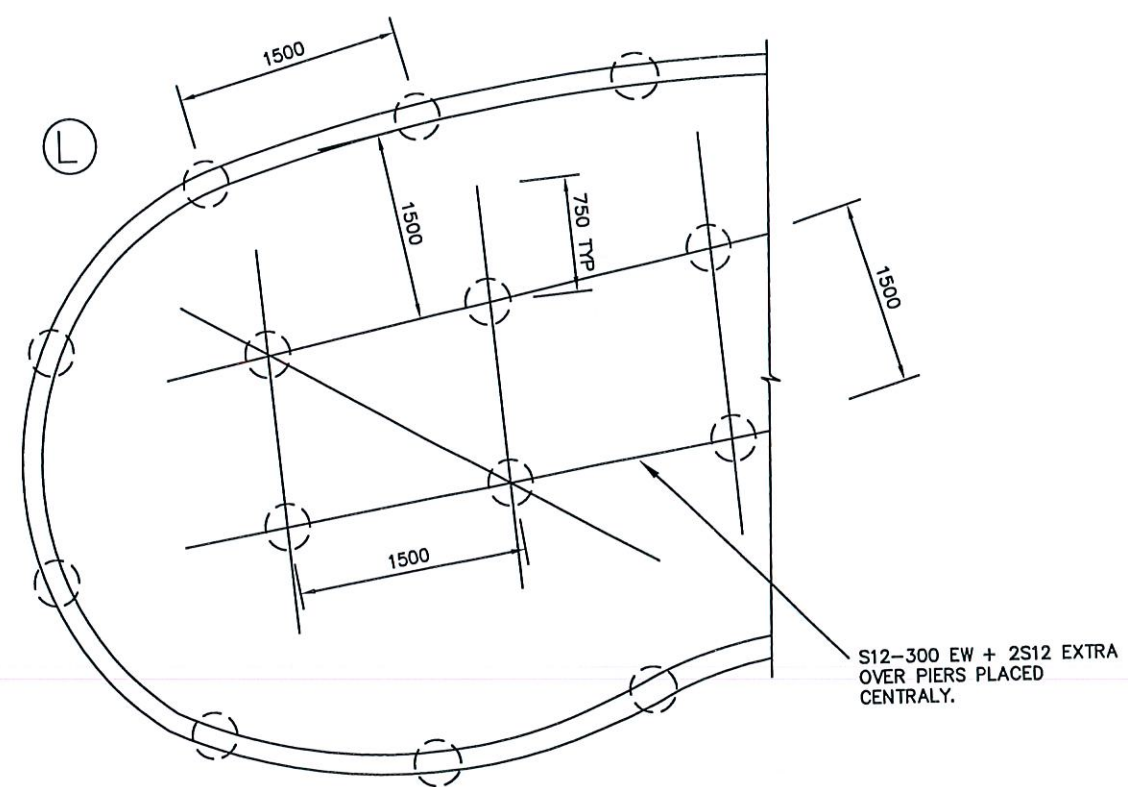


SECTION

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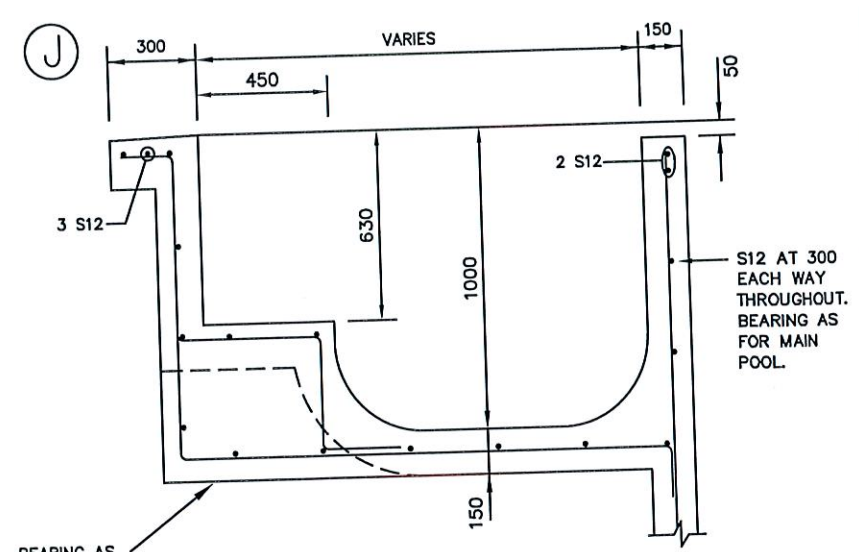
SWIM OUT DETAIL



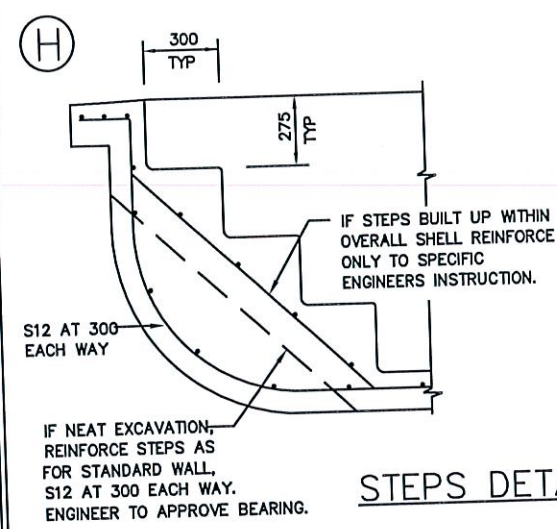
SINGLE STEEL FLOOR DETAIL

BEARING:
SAND - 150 kPa Ø 600 PIERS
ROCK - 750 kPa Ø 300 PIERS
CLAY - 300 kPa Ø 450 PIERS

NO REBAR IF:
< THAN 1200mm LONG



SPA DETAIL



STEPS DETAIL

PROPOSED SWIMMING POOL
FOR: **WATT**
AT: **BALGOWLAH.**



CRYSTAL POOLS PTY. LTD.

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Builder Licence No: 34505

DATE 17.11.09
APPROVED *[Signature]*
DWG No. 12132/6
REV.

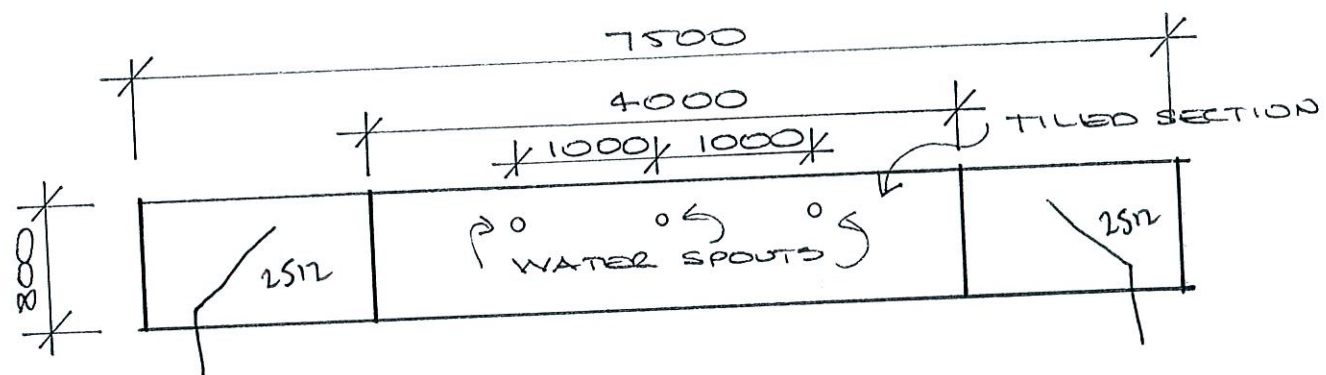


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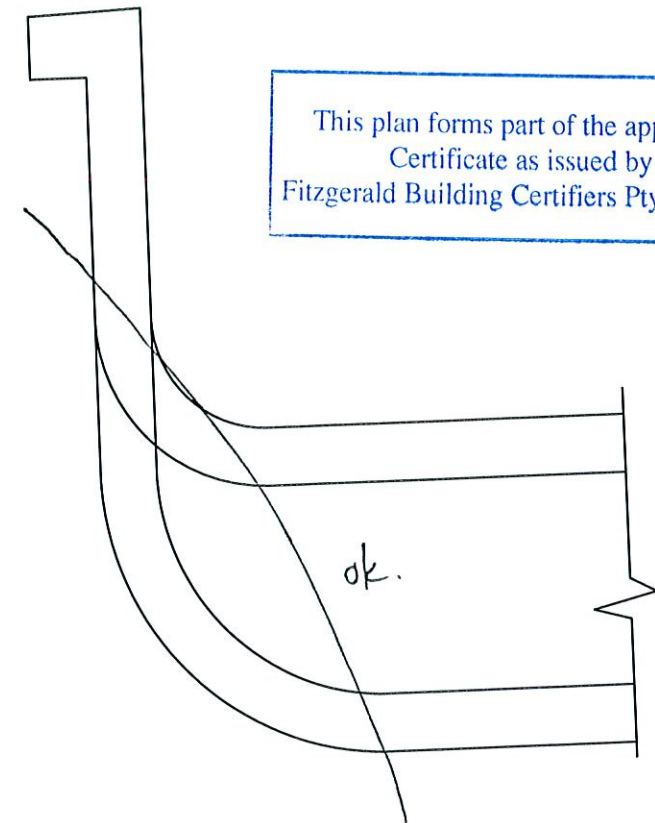
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SEPTEMBER 2007



UPSTAND WALL DETAIL 1:50.

512 - 200 HORIZONTAL
 512 - 150 VERTICAL CARRIED 800 INTO FLOOR.
 2512 @ TOP OF WALL.



SEWER ZONE OF INFLUENCE
DIAGRAM
 (1:20)

PROPOSED SWIMMING POOL
 FOR: **WATT**
 AT: **BALGOWLAH.**



CRYSTAL POOLS PTY. LTD.

1 Central Ave, Thornleigh 2120
 Ph: 9875 4555 Fax: 9484 1019
 Builder Licence No: 34505

DATE
 17.11.09
 APPROVED
 [Signature]
 DWG. No.
 12132/7
 REV.

REV.	DATE	AMENDMENT	DRAWN	REV.	DATE	AMENDMENT	DRAWN



Innovative Building
 Systems Australia Pty Ltd

14 Monterey Parade,
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SEPTEMBER 2007