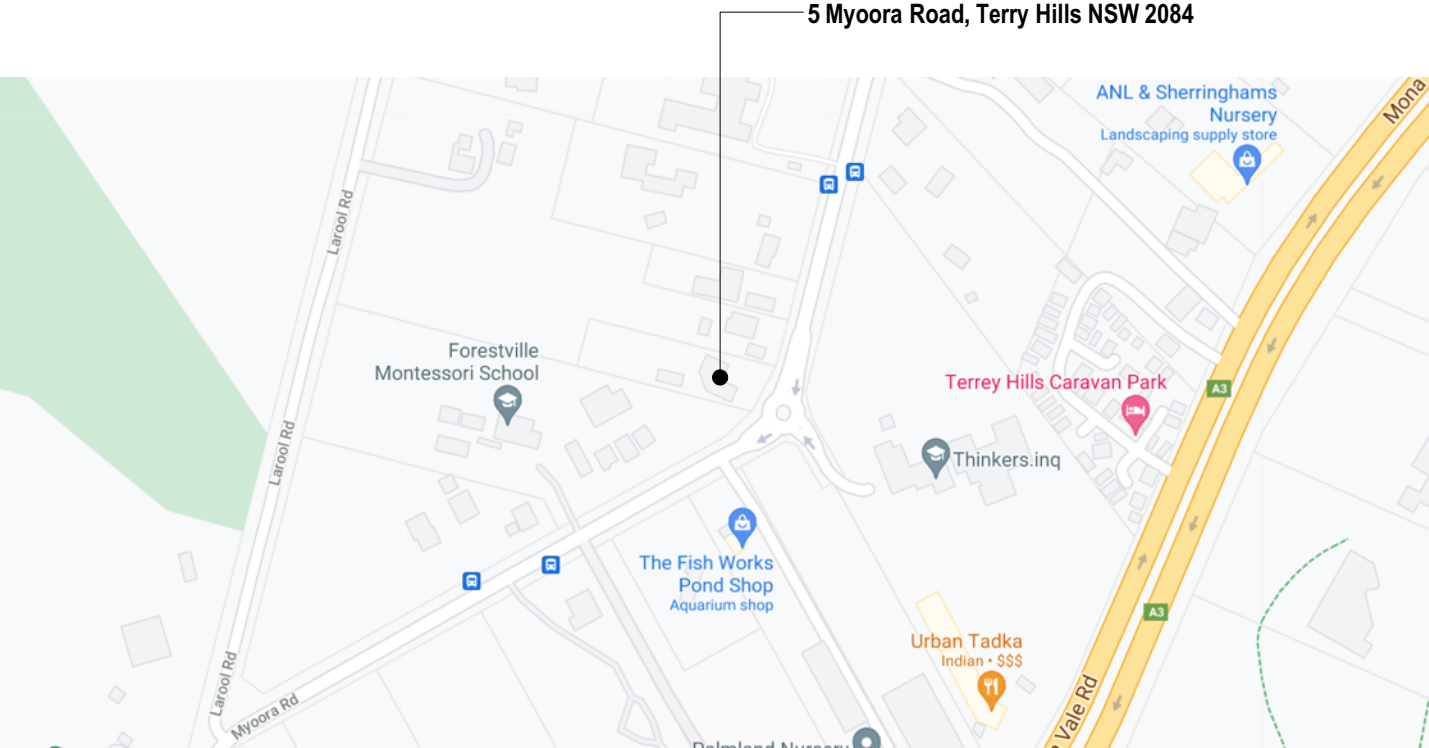


Drawing Register

Issue Date
day 1 13
month 12 5
year 21 21

Drawing Number	Drawing Title	Revision
DA00	Drawing Register & Location Plan	E
DA01	Site Plan/ Site Analysis/ Roof Plan 1:500	E
DA02	New Ground Floor Plan 1 1:200	E
DA03	New Ground Floor Plan 2 1:200	E F
DA04	New Roof Plan 1:200	E
DA05	Elevations 1:100	E F
DA06	Elevations 1:100	E F
DA07	Section 1:100	E F
DA08	Stormwater Concept Plan 1:500- Deleted see Hydraulic Eng Plan	E
DA09	Erosion & Sediment Control Plan 1:500	E
DA10	Door & Window Schedule	E
DA11	Shadow Diagram 1:200	E
DA12	Shadow Diagram 1:200	E
DA13	Shadow Diagram 1:200	E
DA14	External Materials & Finishes	E
DA15	Basix Certificate	E



LOCATION PLAN (NTS)


(Source Google maps)

GENERAL BUILDING SPECIFICATION

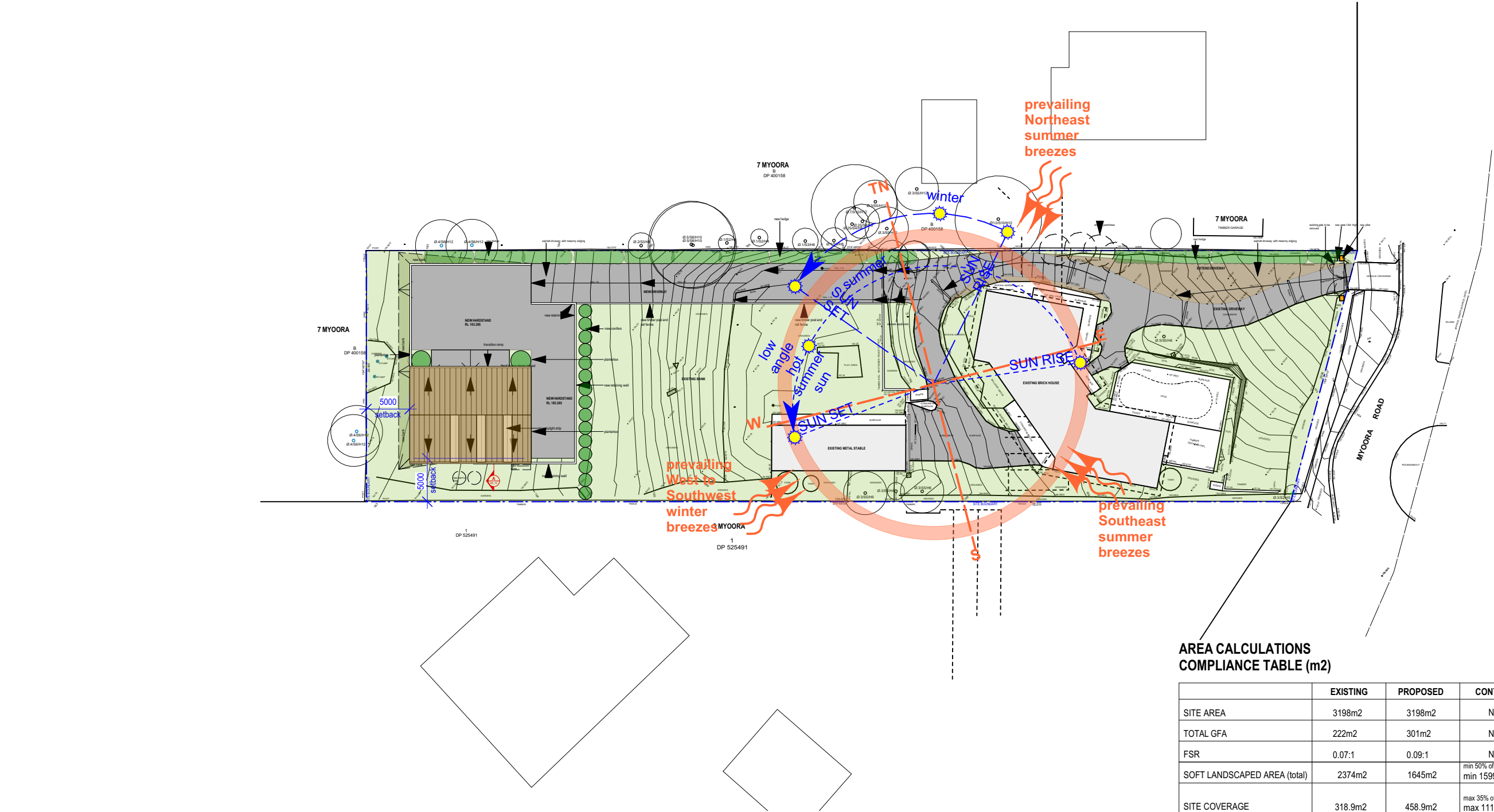
- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Small Works Department before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.

Document Distribution:

	DA
Client	1
Structural Engineer	
Hydraulic Engineer	
Landsc. Consultant	
Approval Authority	1

	CADENCE & CO DESIGN Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	REVISION: C	DATE: 19/8/21	REVISION NOTE: Client Review	CLIENT: David Cussen	DRAWING: DRAWING REGISTER + LOCATION PLAN	DRAWN: JE	SHEET NO: DA00
		D	30/8/21	DA 95% complete		PROJECT: New Shed	CHKD:	SCALE @ A3: 1:500
		E	1/12/21	DA Submission	ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 13/5/22
								REVISION: E


GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



AREA CALCULATIONS
COMPLIANCE TABLE (m2)

	EXISTING	PROPOSED	CONTROL	COMPLIANCE
SITE AREA	3198m2	3198m2	N/A	N/A
TOTAL GFA	222m2	301m2	N/A	YES
FSR	0.07:1	0.09:1	N/A	YES
SOFT LANDSCAPED AREA (total)	2374m2	1645m2	min 50% of site area min 1599m2	YES
SITE COVERAGE	318.9m2	458.9m2	max 35% of site area max 1119m2	YES

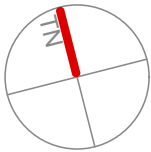
1 SITE PLAN/ SITE ANALYSIS/ ROOF PLAN
SCALE 1:500 @ A3



CADENCE & CO DESIGN

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P 94501950
E info@cadenceandco.com.au

ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:	AW	ALUMINIUM WINDOW/ DOOR	WALL LEGEND	
C	19/8/21	Client Review	BAL	TIMBER BALUSTRADE BAL FZ	EXISTING WALL	
D	30/8/21	DA 95% complete	CL	CEILING	WALL TO BE DEMOLISHED	
E	1/12/21	DA Submission	CRS	CERAMIC TILE	NEW WALL	
			EXG	CLEAR ROOF SHEETING		
			F	EXISTING FRIDGE		
			FC	FIBRE CEMENT		
			FFL	FINISHED FLOOR LEVEL		
			GD	NEW GRATED DRAIN		
			MRS	METAL ROOF SHEETING		
			MC	METAL WALL CLADDING		

CLIENT:

David Cussen


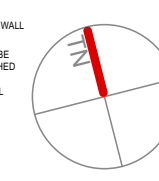
ADDRESS:

5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

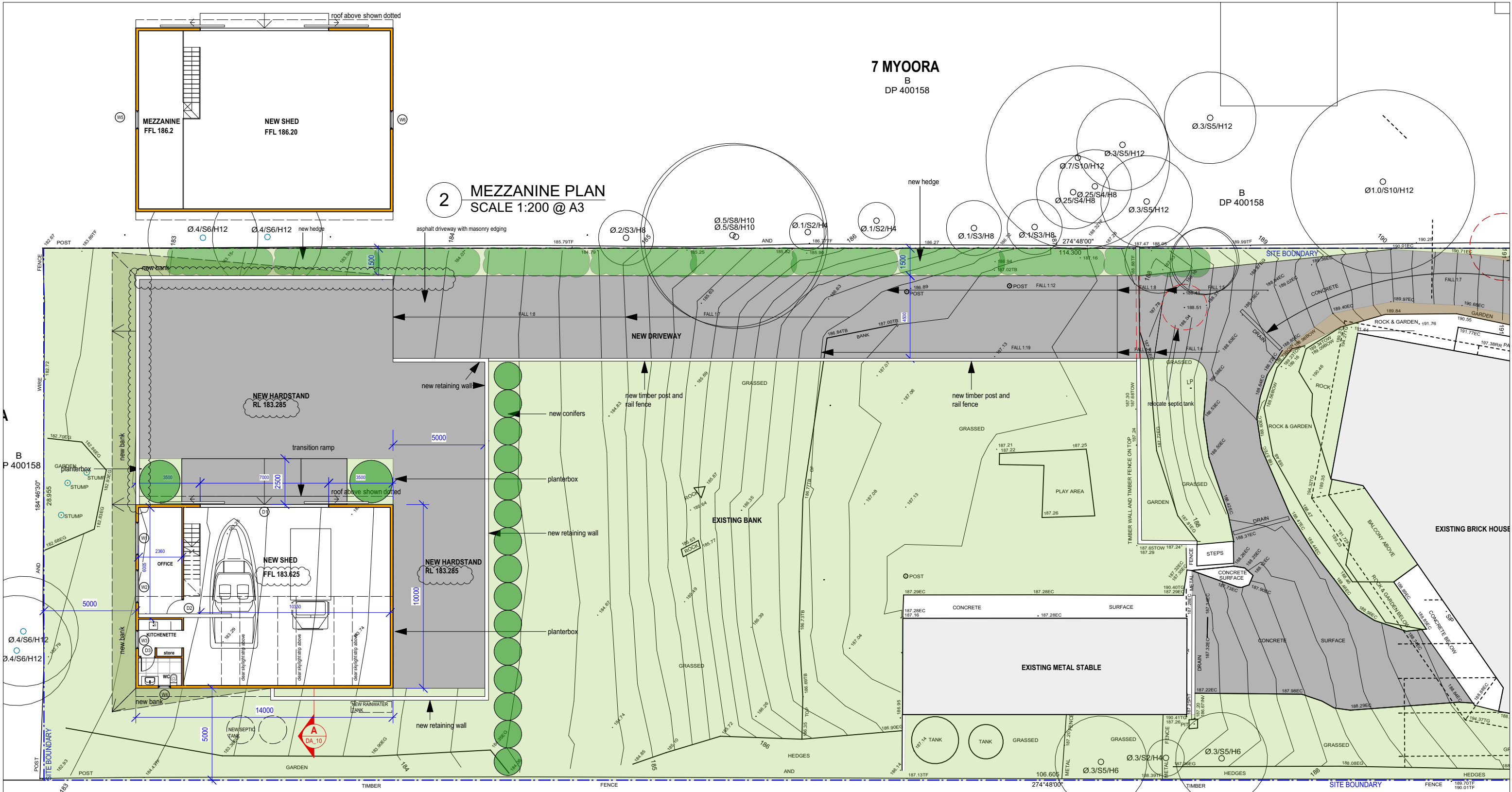
DRAWING:	SITE PLAN / SITE ANALYSIS / ROOF PLAN	DRAWN:	JE	SHEET NO:	DA01
PROJECT:	New Shed	CHKD:		SCALE @ A3:	1:500
PROJECT NO:	CUS0821	ISSUE TYPE:	DA	ISSUE DATE:	13/5/22
				REVISION:	E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



 <div>CADENCE & CO</div>	CADENCE & CO DESIGN		REVISION: C		DATE: 19/8/21	REVISION NOTE: Client Review	<div>AW BAL CL CT CRS EXG F FC FFL GD MRS MC</div> <div>ALUMINIUM WINDOW DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING</div> <div>WALL LEGEND — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL</div> <div></div>	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au		D		30/8/21	DA 95% complete	DRAWING: NEW GROUND FLOOR PLAN 1		DRAWN: JE		SHEET NO: DA02
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD		E		1/12/21	DA Submission		PROJECT: New Shed		CHKD:		SCALE @ A3: 1:200						
								PROJECT NO: CUS0821		ISSUE TYPE: DA		ISSUE DATE: 13/5/22		REVISION: E				
								CLIENT: David Cussen		ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554								

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

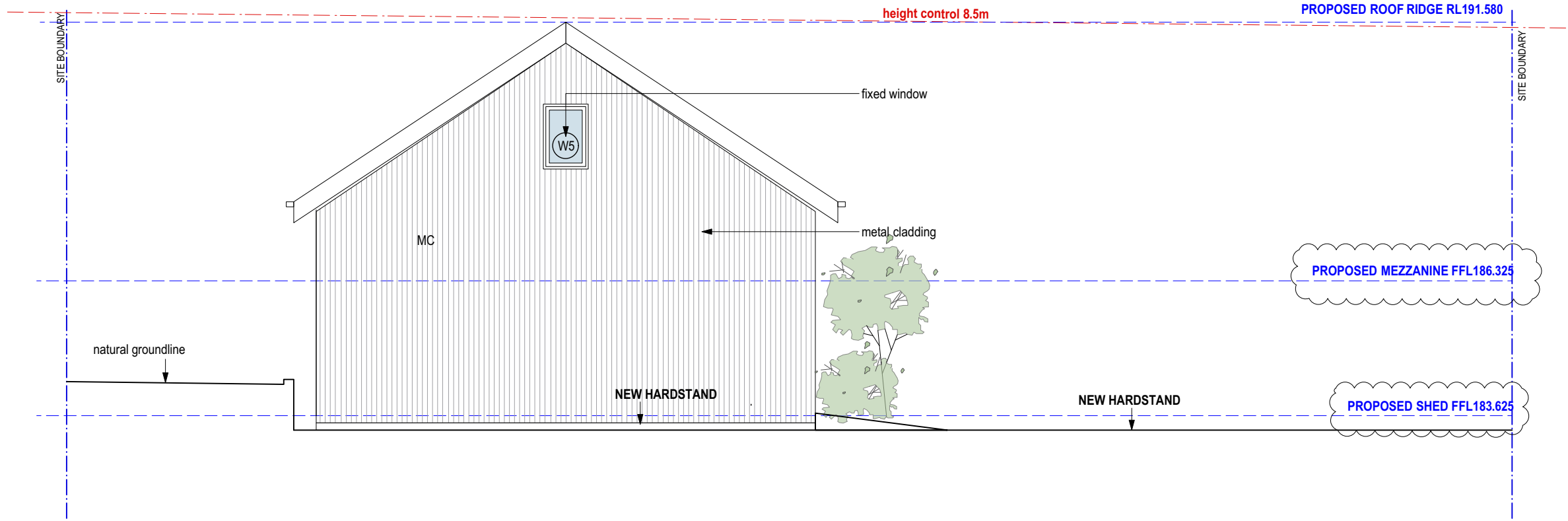


1 NEW GROUND FLOOR PLAN 2
SCALE 1:200 @ A3

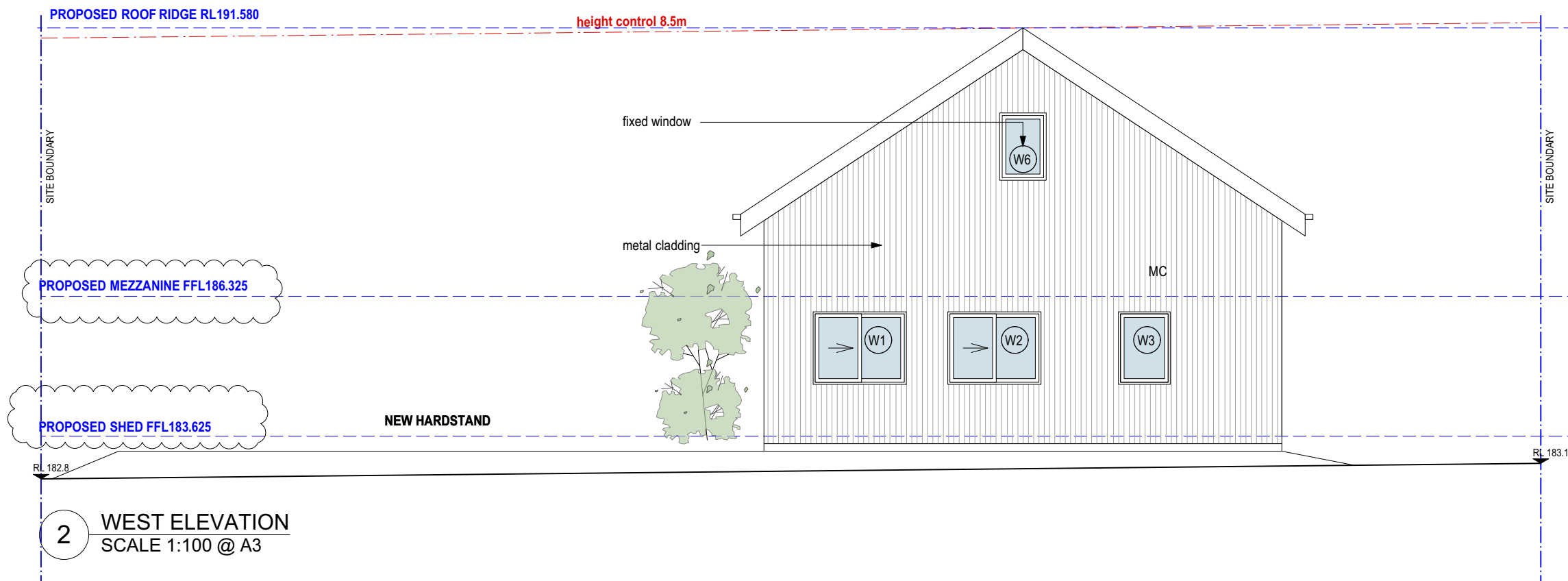
2 MEZZANINE PLAN
SCALE 1:200 @ A3

3 MYOORA
1 DP 525491

	CADENCE & CO DESIGN	REVISION: D	DATE: 30/8/21	REVISION NOTE: DA 95% complete	AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW/ DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL		CLIENT: David Cussen	DRAWING: NEW GROUND FLOOR PLAN 2	DRAWN: JE	SHEET NO: DA03	
	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au	E	1/12/21	DA Submission						ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: 1:200
	ABN: 12 168 714 752 Nominated Architect: Sam Samarhandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	F	13/5/22	DA Submission							ISSUE TYPE: DA	ISSUE DATE: 13/5/22	REVISION: F
	GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.												



1 EAST ELEVATION
SCALE 1:100 @ A3



2 WEST ELEVATION
SCALE 1:100 @ A3



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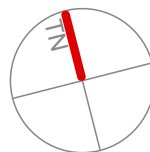
ABN: 12 168 714 752
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REVISION:	DATE:	REVISION NOTE:
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission
F	13/5/22	DA Submission

AW
BAL
CL
CT
CRS
EXG
F
FC
FFL
GD
MRS
MC

ALUMINIUM WINDOW/ DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
EXISTING
FRIDGE
FIBRE CEMENT
FINISHED FLOOR LEVEL
NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
— EXISTING WA
- - - WALL TO BE
DEMOLISHED
— NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
ELEVATIONS

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

CHKD:

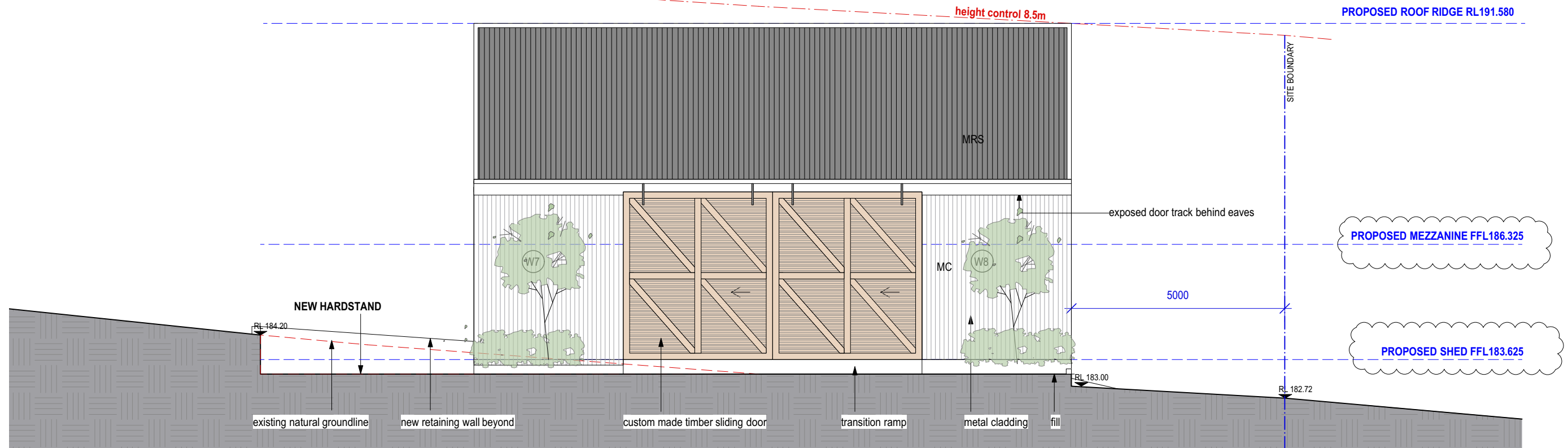
ISSUE DATE:
13/5/22

SHEET NO:
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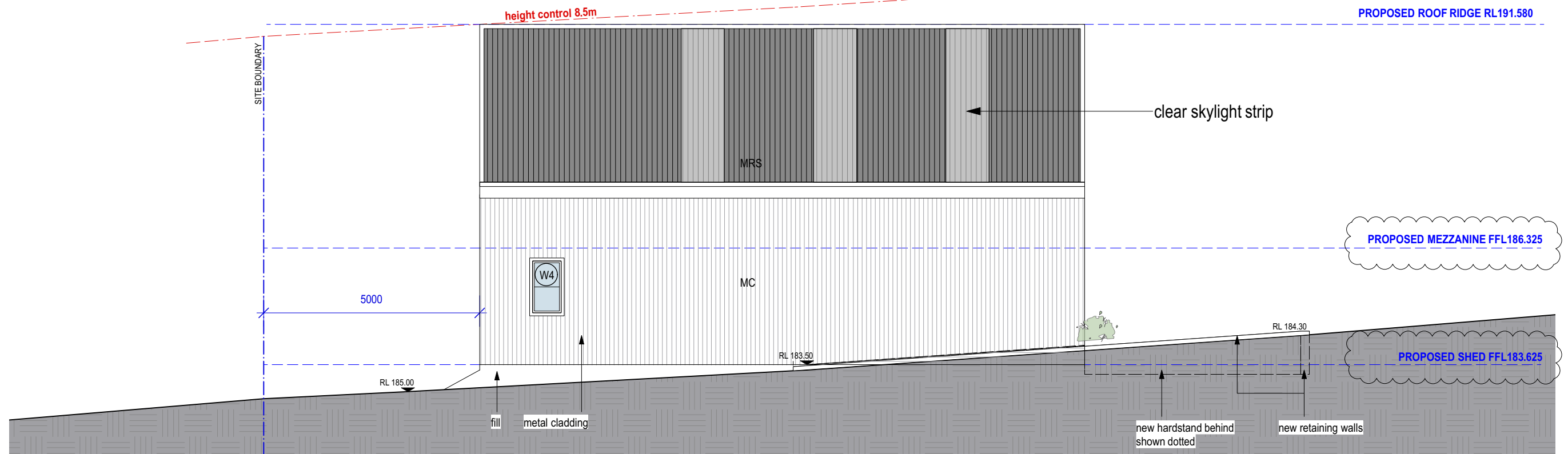
SCALE @ A3:
1:200

REVISION:
F



GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



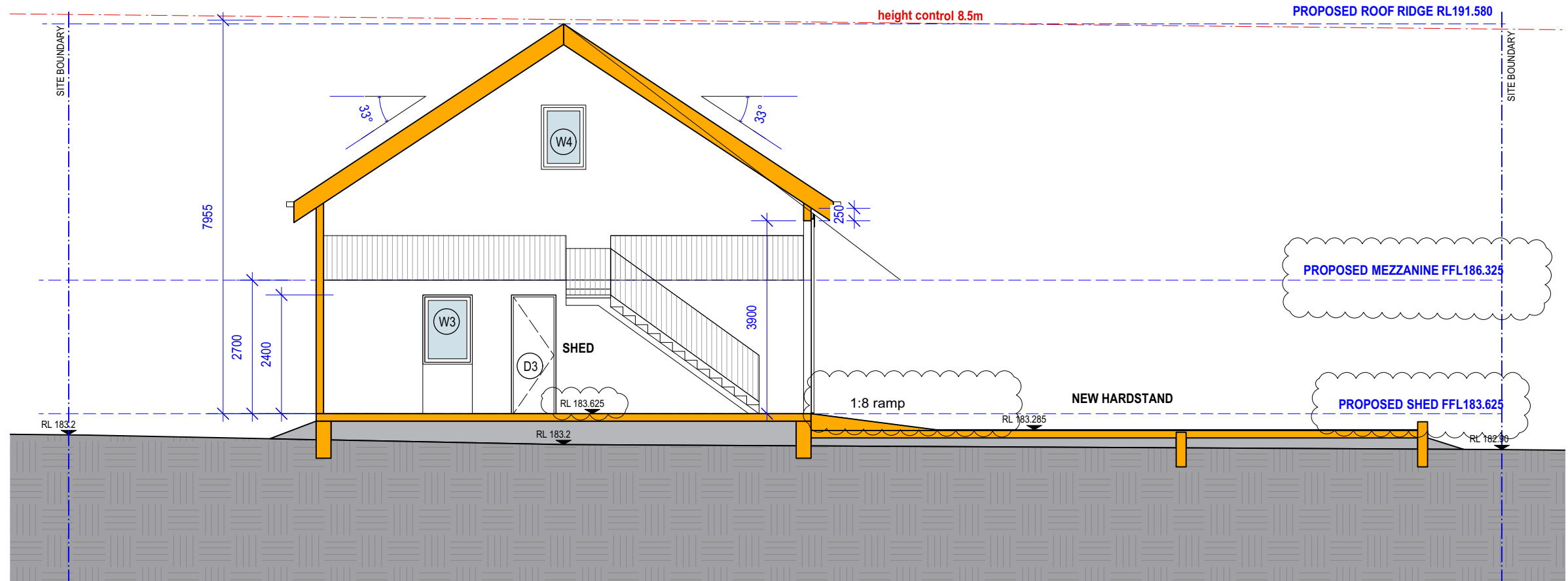
1 NORTH ELEVATION
SCALE 1:100 @ A3



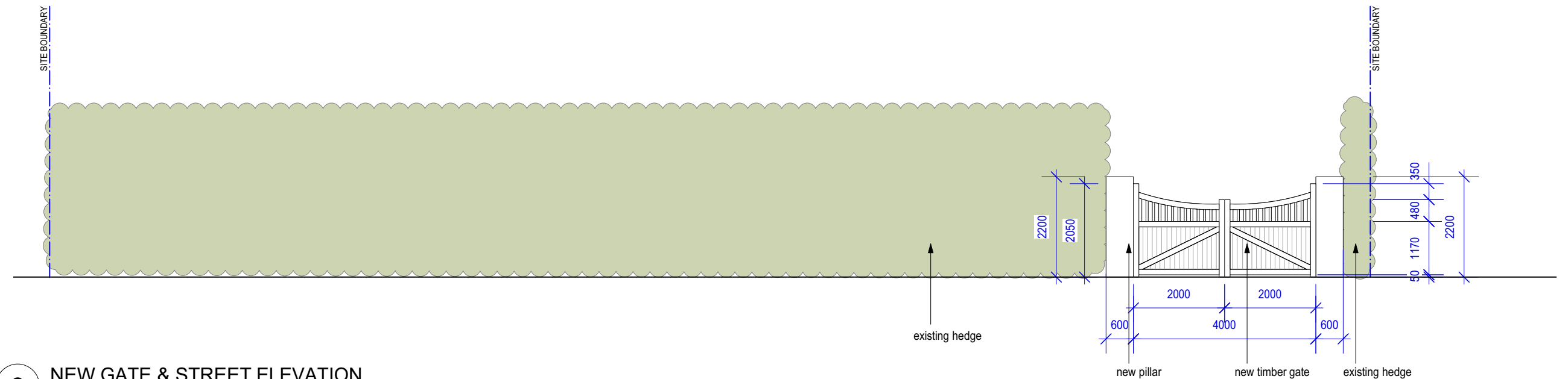
2 SOUTH ELEVATION
SCALE 1:100 @ A3

<div><div>CADENCE & CO</div></div>	CADENCE & CO DESIGN			REVISION: D		DATE: 30/8/21	REVISION NOTE: DA 95% complete	<div><div>AW BAL CL CT CRS EXG F FC FFL GD MRS MC</div><div>ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING</div><div><div>WALL LEGEND</div><div><div><div></div>EXISTING WA</div><div><div></div>WALL TO BE DEMOLISHED</div><div><div></div>NEW WALL</div></div></div><div></div></div>	CLIENT: David Cussen		DRAWING: ELEVATIONS		DRAWN: JE		SHEET NO: DA06			
	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au			E		1/12/21	DA Submission		PROJECT: New Shed		CHKD:		SCALE @ A3: 1:200					
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD			F		13/5/22	DA Submission		ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554		PROJECT NO: CUS0821		ISSUE TYPE: DA		ISSUE DATE: 13/5/22		REVISION: F	


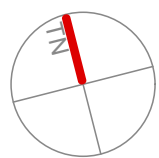
GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



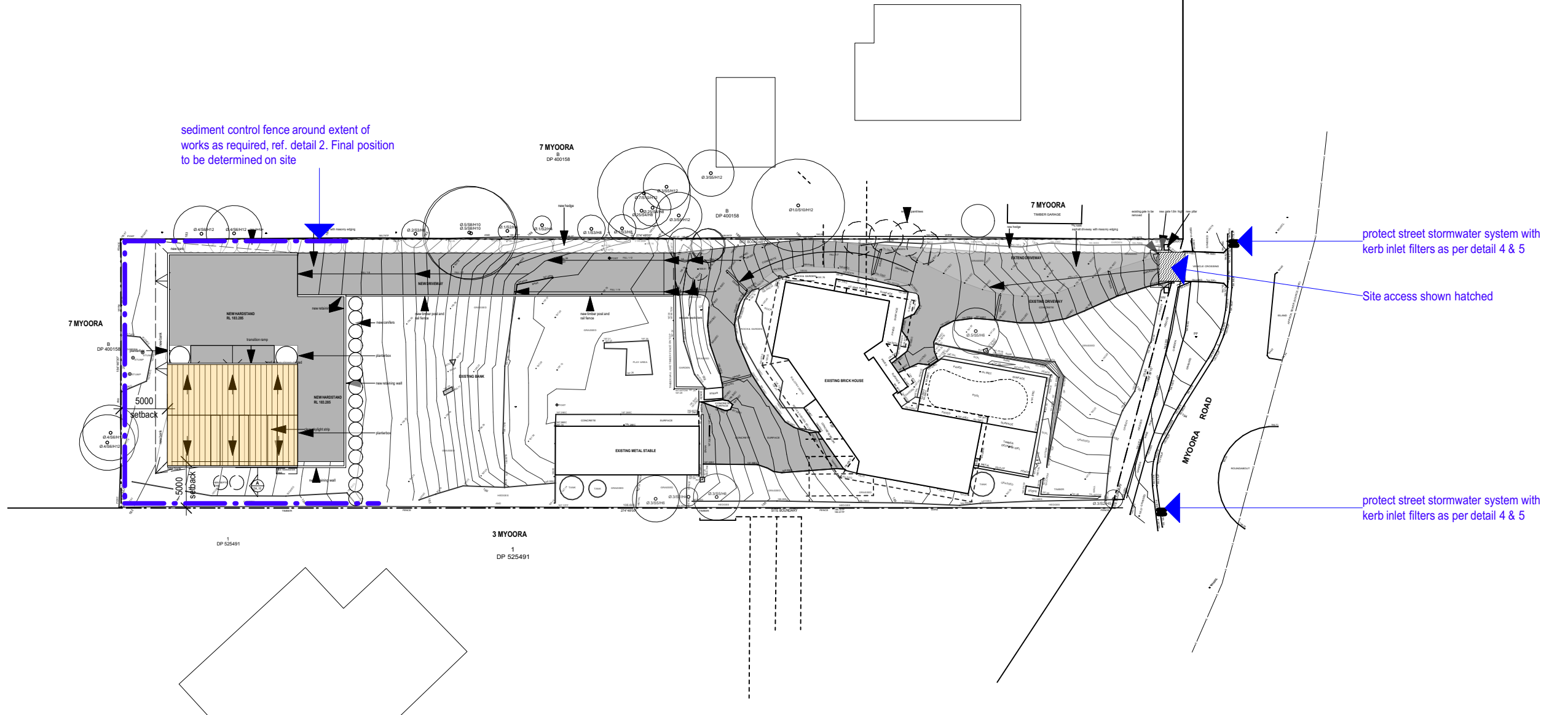
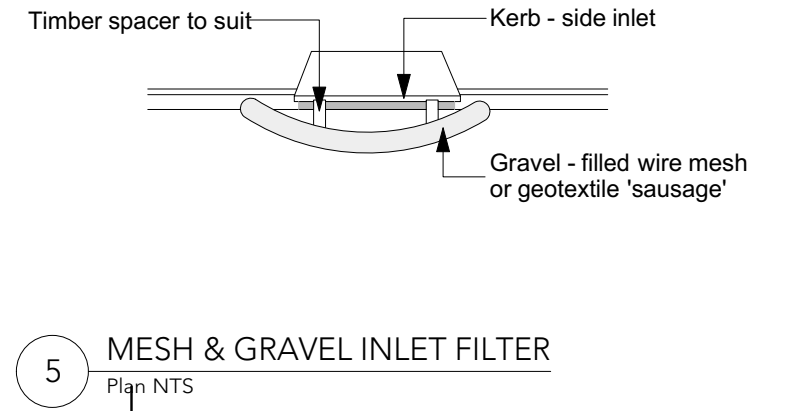
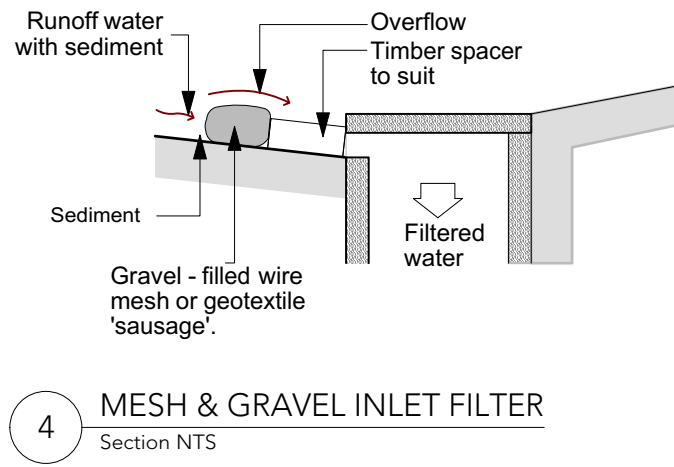
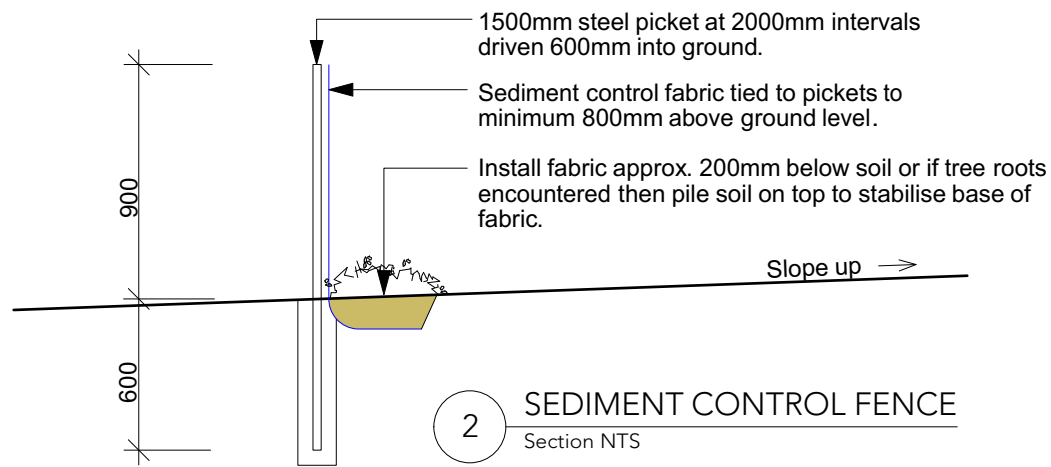
1 SECTION A
SCALE 1:100 @ A3





2 NEW GATE & STREET ELEVATION
SCALE 1:100 @ A3

 CADENCE & CO DESIGN Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD	REVISION: D E F	DATE: 30/8/21 1/12/21 13/5/22	REVISION NOTE: DA 95% complete DA Submission DA submission	AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	WALL LEGEND — EXISTING WA - - - WALL TO BE DEMOLISHED — NEW WALL		CLIENT: David Cussen	DRAWING: SECTION	DRAWN: JE	SHEET NO: DA07
								ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: 1:200
									PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 13/5/22
											REVISION: F

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1 SEDIMENT CONTROL PLAN
SCALE 1:500 @ A3

 CADENCE & CO	CADENCE & CO DESIGN		REVISION: C	DATE: 19/8/21	REVISION NOTE: Client Review	AW	ALUMINIUM WINDOW/DOOR	WALL LEGEND — EXISTING WALL - - WALL TO BE DEMOLISHED — NEW WALL		CLIENT: David Cussen	DRAWING: EROSION & SEDIMENT CONTROL PLAN	DRAWN: JE	SHEET NO: DA09	
	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au		D	30/8/21	DA 95% complete	BAL	TIMBER BALUSTRADE BAL FZ			ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554	PROJECT: New Shed	CHKD:	SCALE @ A3: 1:500	
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD		E	1/12/21	DA Submission	CT	CERAMIC TILE				PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 13/5/22	REVISION: E
						CRS	CLEAR ROOF SHEETING							

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

WINDOW SCHEDULE							
ID	Type	Opening Height (mm)	Opening Width (mm)	Unit Area (m2)	Glazing Type	Head (nom.)	Comments
W1	sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office
W2	sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office
W3	awning window	1400	1000	1.4	clear	2400	New window to kitchenette
W4	awning window	1200	660	0.8	clear	2400	New window to bathroom
W5	fixed window	1300	900	1.2	clear	6240	New highlight window to shed
W6	fixed window	1300	900	1.2	clear	6240	New highlight window to shed
DOOR SCHEDULE							
D1	barn style sliding door	3800	7000	N/A	no glazing	3800	New door shed
D2	hinged door	2400	900	N/A	no glazing	3800	New door to office
D3	hinged door	2100	800	N/A	no glazing	3800	New door to bathroom

NOTES:

1. All external glazing units to have aluminium powdercoat frames as selected. Owner to give final approval to external glazing units before ordering/ manufacture.

2. All glazing to comply with Part 3.6 of the current BCA.

3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check all dimensions on site before ordering glazing units. Contact Cadence & Co - Small works department if dimensions conflict.


4. Refer to Elevations for fixed/ openable sashes.

5. Internal door sizes generally as noted on plan, to be painted flush solid core doors unless noted otherwise.

6. Refer to current Basix certificate

7. Client to approve extent of insect screens.

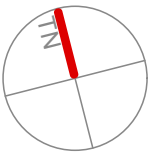
8. Refer to Fire Report. Glazing to meet Bal rating, flame zone



CADENCE & CO DESIGN

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Terrey Hills, NSW, 2084,
P 94501950
E info@cadenceandco.com.au

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Nominated Architect: Sam Samarghandi NSW ARB 9112
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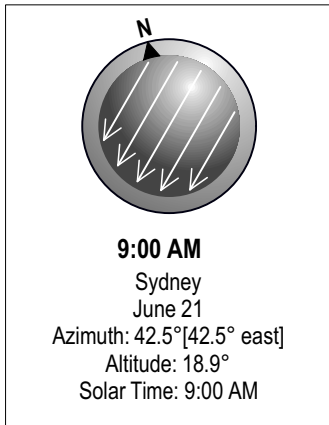
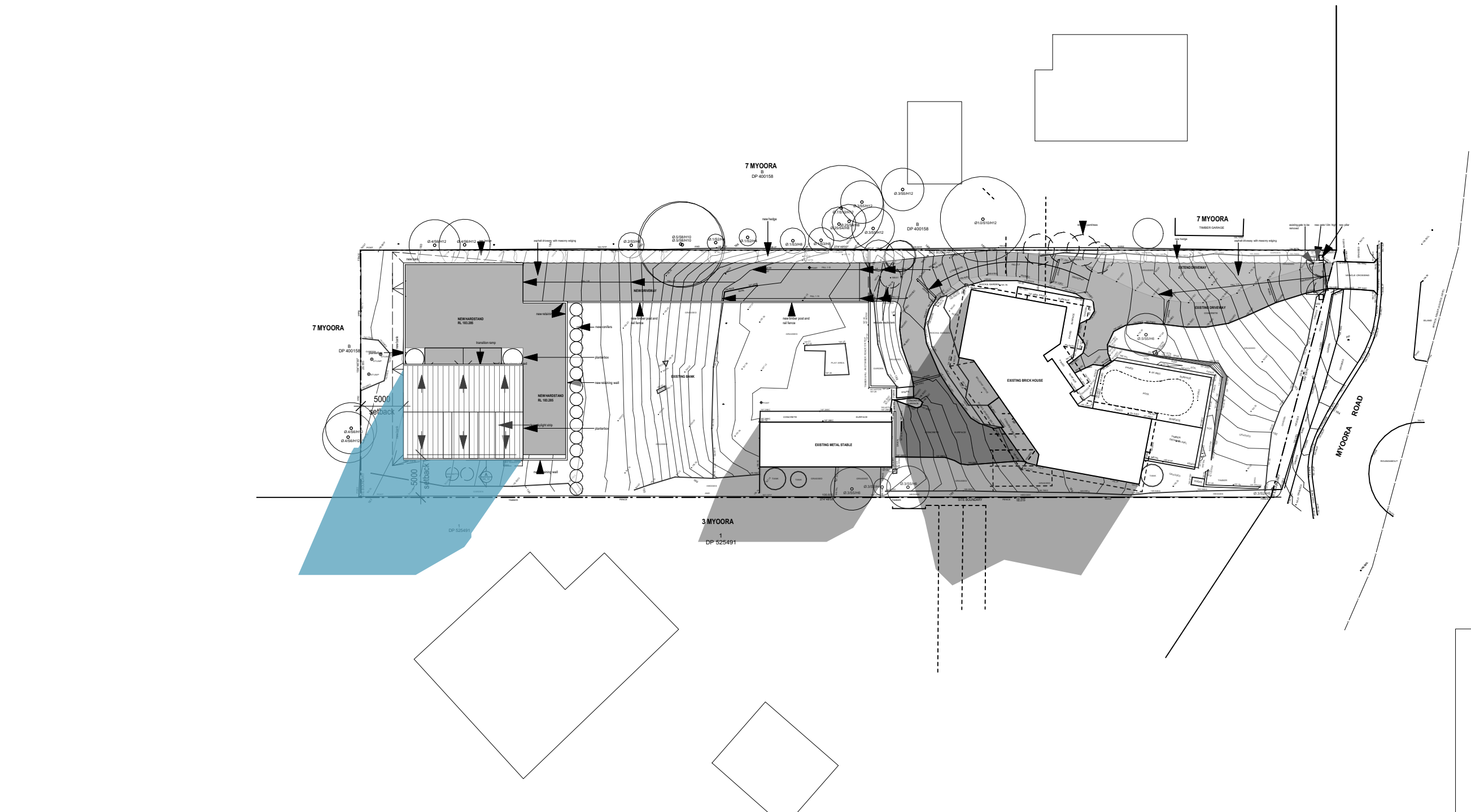
REVISION:	DATE:	REVISION NOTE:	AW BAL CL CT CRS EXG F FC FFL GD MRS MC	ALUMINIUM WINDOW DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING	<div>WALL LEGEND</div> <div><div>EXISTING WA</div><div>WALL TO BE DEMOLISHED</div><div>NEW WALL</div></div> <div></div>
C	19/8/21	Client Review			
D	30/8/21	DA 95% complete			
E	1/12/21	DA Submission			

CLIENT:
David Cussen

ADDRESS:
**5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554**

DRAWING: DOOR & WINDOW SCHEDULE	DRAWN: JE	SHEET NO: DA10
PROJECT: New Shed	CHKD:	SCALE @ A3: NTS
PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 13/5/22
		REVISION: E

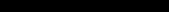

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



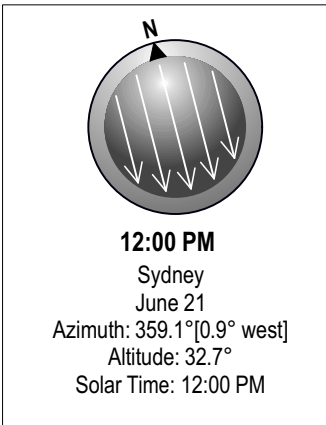
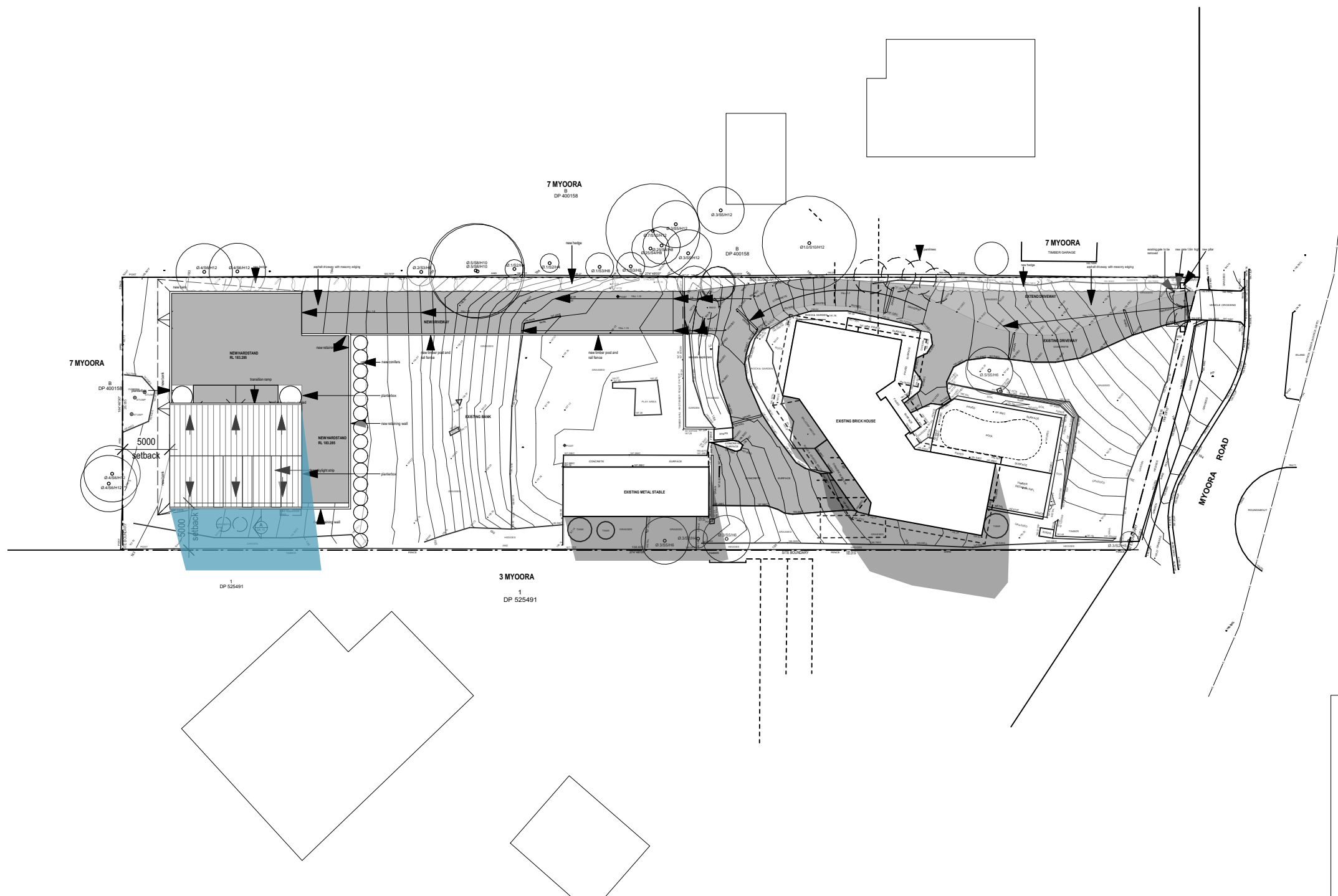
SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 9AM
SCALE 1:500 @ A3

 <div>CADENCE & CO</div>	CADENCE & CO DESIGN		REVISION: C		DATE: 19/8/21	REVISION NOTE: Client Review	<div>AW BAL CL CT CRS EXG F FC FFL GD MRS MC</div> <div>ALUMINIUM WINDOW/DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIBRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING METAL WALL CLADDING</div> <div>WALL LEGEND — EXISTING WALL - - - WALL TO BE DEMOLISHED — NEW WALL</div> <div></div>	Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au		D		30/8/21	DA 95% complete	CLIENT: David Cussen		DRAWING: SHADOW DIAGRAM		DRAWN: JE		SHEET NO: DA11	
	ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD		E		1/12/21	DA Submission		ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554		PROJECT: New Shed		PROJECT NO: CUS0821		CHKD:		SCALE @ A3: 1:500					
										ISSUE TYPE: DA				ISSUE DATE: 13/5/22		REVISION: E					

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 12PM
SCALE 1:500 @ A3



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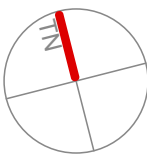
ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW
BAL
CL
CT
CRS
EXG
F
FC
FFL
GD
MRS
MC

ALUMINIUM WINDOW/DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
EXISTING
FRIDGE
FIBRE CEMENT
FINISHED FLOOR LEVEL
NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
EXISTING WALL
WALL TO BE DEMOLISHED
NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
SHADOW DIAGRAM

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

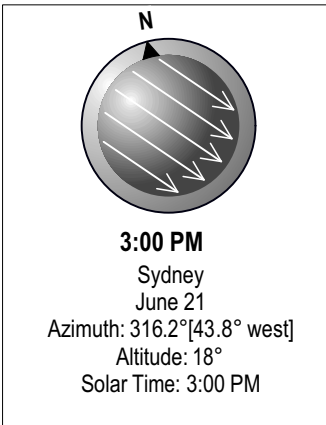
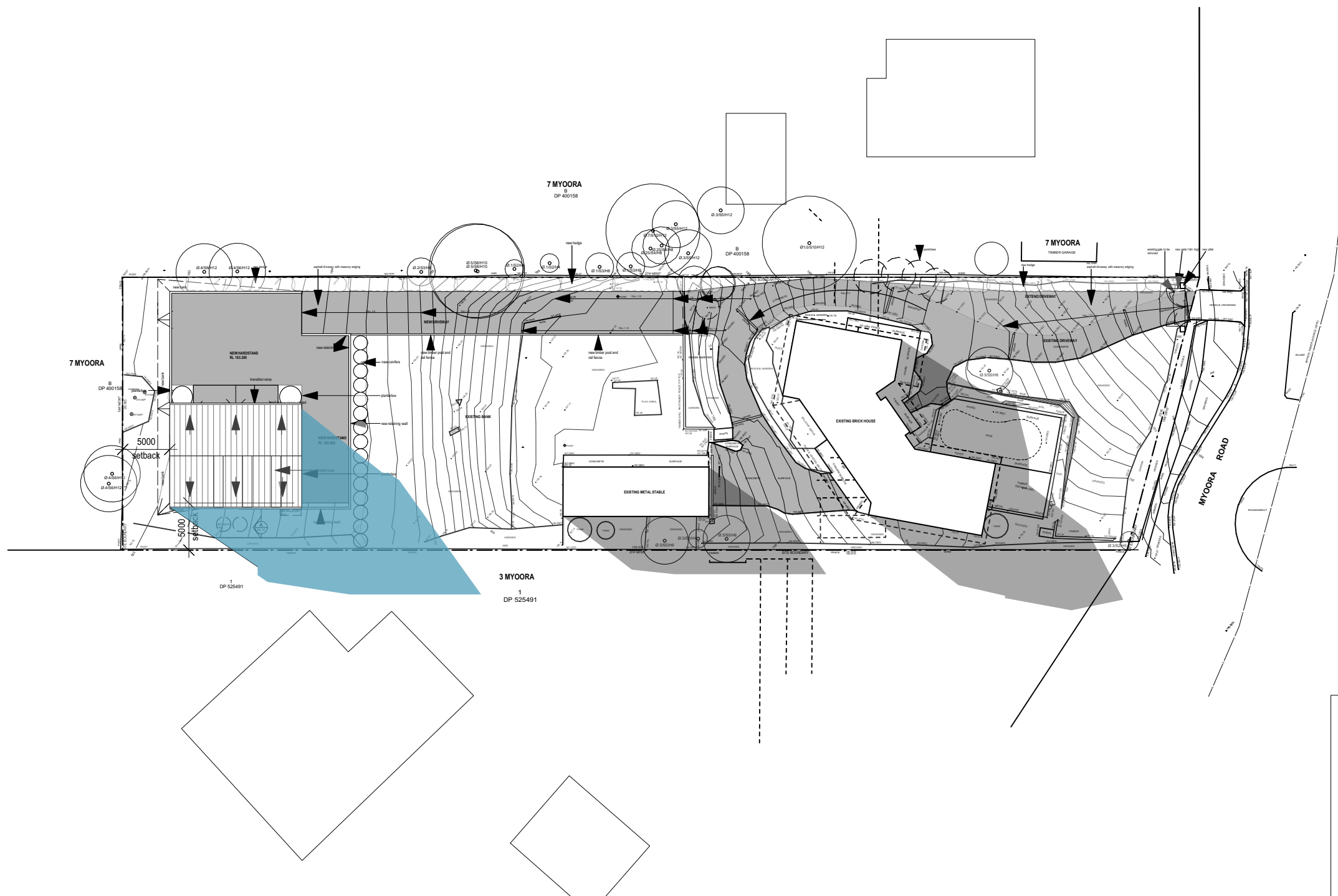
DRAWN:
JE

CHKD:
SCALE @ A3:
1:500

ISSUE DATE:
13/5/22

REVISION:
E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



SHADOW BY EXISTING BUILDING

SHADOW BY PROPOSED BUILDING

1 SITE SHADOW - 21 JUNE @ 3PM
SCALE 1:500 @ A3



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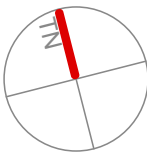
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Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:
C	19/8/21	Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

AW
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MRS
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ALUMINIUM WINDOW/DOOR
TIMBER BALUSTRADE BAL FZ
CEILING
CERAMIC TILE
CLEAR ROOF SHEETING
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NEW GRATED DRAIN
METAL ROOF SHEETING
METAL WALL CLADDING

WALL LEGEND
EXISTING WALL
WALL TO BE DEMOLISHED
NEW WALL



CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
SHADOW DIAGRAM

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE:
DA

DRAWN:
JE

CHKD:
SCALE @ A3:
1:500

ISSUE DATE:
13/5/22

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GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



New timber gate



Metal roof sheeting



Roof fascias & walls




Metal wall cladding - profile tbc



Timber barn style sliding door



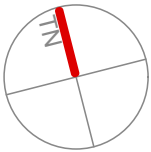
Aluminium powdercoat frame to windows



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ABN: 12 168 714 752
Nominated Architect: Sam Samarghandi NSW ARB 9112
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REVISION:	DATE:	REVISION NOTE:	AW	ALUMINIUM WINDOW/DOOR	<div><div>WALL LEGEND</div><div><div><div></div>EXISTING WA</div><div><div></div>WALL TO BE DEMOLISHED</div><div><div></div>NEW WALL</div></div><div></div></div>
C	19/8/21	Client Review	BAL	TIMBER BALUSTRADE BAL FZ	
D	30/8/21	DA 95% complete	CL	CEILING	
E	1/12/21	DA Submission	CT	CERAMIC TILE	
			CRS	CLEAR ROOF SHEETING	
			EXG	EXISTING FRIDGE	
			F	FIBRE CEMENT	
			FFL	FINISHED FLOOR LEVEL	
			GD	NEW GRATED DRAIN	
			MRS	METAL ROOF SHEETING	
			MC	METAL WALL CLADDING	

CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING: EXTERNAL MATERIALS & FINISHES	DRAWN: JE	SHEET NO: DA14
PROJECT: New Shed	CHKD:	SCALE @ A3: NTS
PROJECT NO: CUS0821	ISSUE TYPE: DA	ISSUE DATE: 13/5/22
		REVISION: E

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.



Certificate number: A429069_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 01, December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue

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BASIX Certificate number: A429069_02



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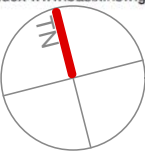
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ABN: 12 168 714 752

Nominated Architect: Sam Samarghandi NSW AIA
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CLIENT:
David Cussen

ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
BASIX CERTIFICATE

PROJECT:
New Shed

PROJECT NO:
CUS0821

ISSUE TYPE: DA

Building Sustainability Index www.basix.nsw.gov.au

DRAWN:	SHEET NO:
JE	DA15

CHKD:	SCALE @ A3: NTS
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ISSUE DATE: 13/5/22	REVISION: E
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