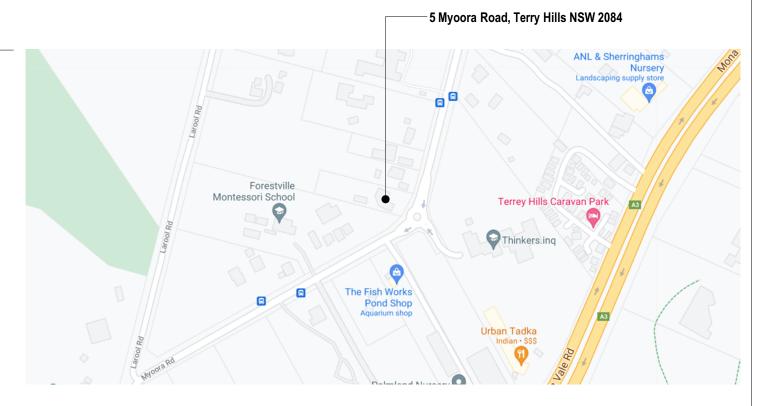
Drawing Register

lssue Date day 1 13 month 12 5 year 21 21

Drawing Number	Drawing Title	Revis	ion
DA00	Drawing Register & Location Plan	Е	
DA01	Site Plan/ Site Analysis/ Roof Plan 1:500	Е	
DA02	New Ground Floor Plan 1 1:200	E	
DA03	New Ground Floor Plan 2 1:200	E	F
DA04	New Roof Plan 1:200	Е	
DA05	Elevations 1:100	Е	F
DA06	Elevations 1:100	Е	F
DA07	Section 1:100	Е	F
DA08	Stormwater Concept Plan 1:500- Deleted see Hydraulic Eng Plan	Е	
DA09	Erosion & Sediment Control Plan 1:500	Е	
DA10	Door & Window Schedule	Е	
DA11	Shadow Diagram 1:200	Е	
DA12	Shadow Diagram 1:200	Е	
DA13	Shadow Diagram 1:200	E	
DA14	External Materials & Finishes	E	
DA15	Basix Certificate	E	

DA
1
1



LOCATION PLAN (NTS)

(Source Google maps)

GENERAL BUILDING SPECIFICATION

- All general construction to conform to the current BCA and Local Govt conditions of Development Consent.
- Demolition works to be carried out in accordance with AS 2601.
- All masonry work in accordance with AS 3700.
- Termite protection to be installed in accordance with AS 3660.1 and the current BCA.
- All roof water and storm-water runoff to be connected to a Council approved system of collection and/or disposal.
- All carpentry work to conform to AS1684 for Light Timber Framing.
- All sewer waste to be connected to the existing mains service in accordance with AS 3500.
- All pre-fabricated timber trusses and frames to utilize sustainable plantation timbers installed to the manufacturer's detail and specification.
- All concrete slabs, retaining walls, structural steel, foundations and footings to be designed & specified by the consulting structural engineer and built strictly in accordance with such details, as approved.
- Plumbing services to be carried out only by licenced tradespersons and in accordance with AS 3500.3.2, AS 3500.2.2, AS 3500.1.2, AG 601 and other associated standards and codes.
- All electrical services to be installed by licenced electricians and in accordance with AS3000. Telecommunications cabling to be installed in accordance with AS/ACIF S009:2000 and associated standards and guidelines. Upgrade safety switches & smoke alarms as required to meet relevant standards.
- All measurements shown and scheduled are nominal. The contractor shall check all measurements on site before ordering materials and check any anomalies with Cadence & Co Small Works Department before proceeding.
- All insulation to be provided and installed in accordance with AS4859.1, AS3999 (bulk insul'n), AS1904 (foil insul'n) and associated standards and codes.
- Proposed RL's shown on drawings are to be FINISHED LEVELS. Builder to provide set down's and allowances to accommodate finished levels.



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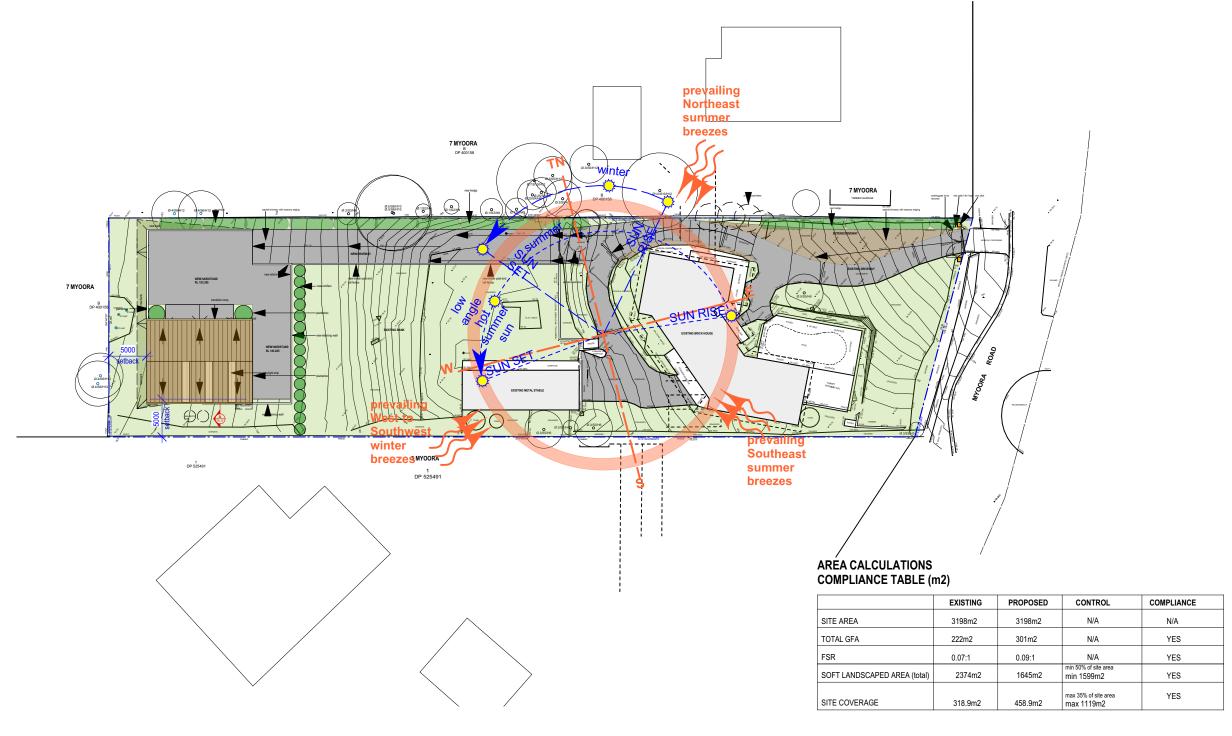
Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950 E info@cadenceandco.com.au

ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD

REVISION:	DATE: 19/8/21	REVISION NOTE: Client Review
D	30/8/21	DA 95% complete
E	1/12/21	DA Submission

CLIENT:
David Cussen
ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO:	
DRAWING F	JE	DA00		
PROJECT:		CHKD:	SCALE @ A3:	
New Shed			1:500	
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION:	
CUS0821	DA	13/5/22	E	



SITE PLAN/ SITE ANALYSIS/ ROOF PLAN SCALE 1:500 @ A3



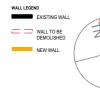
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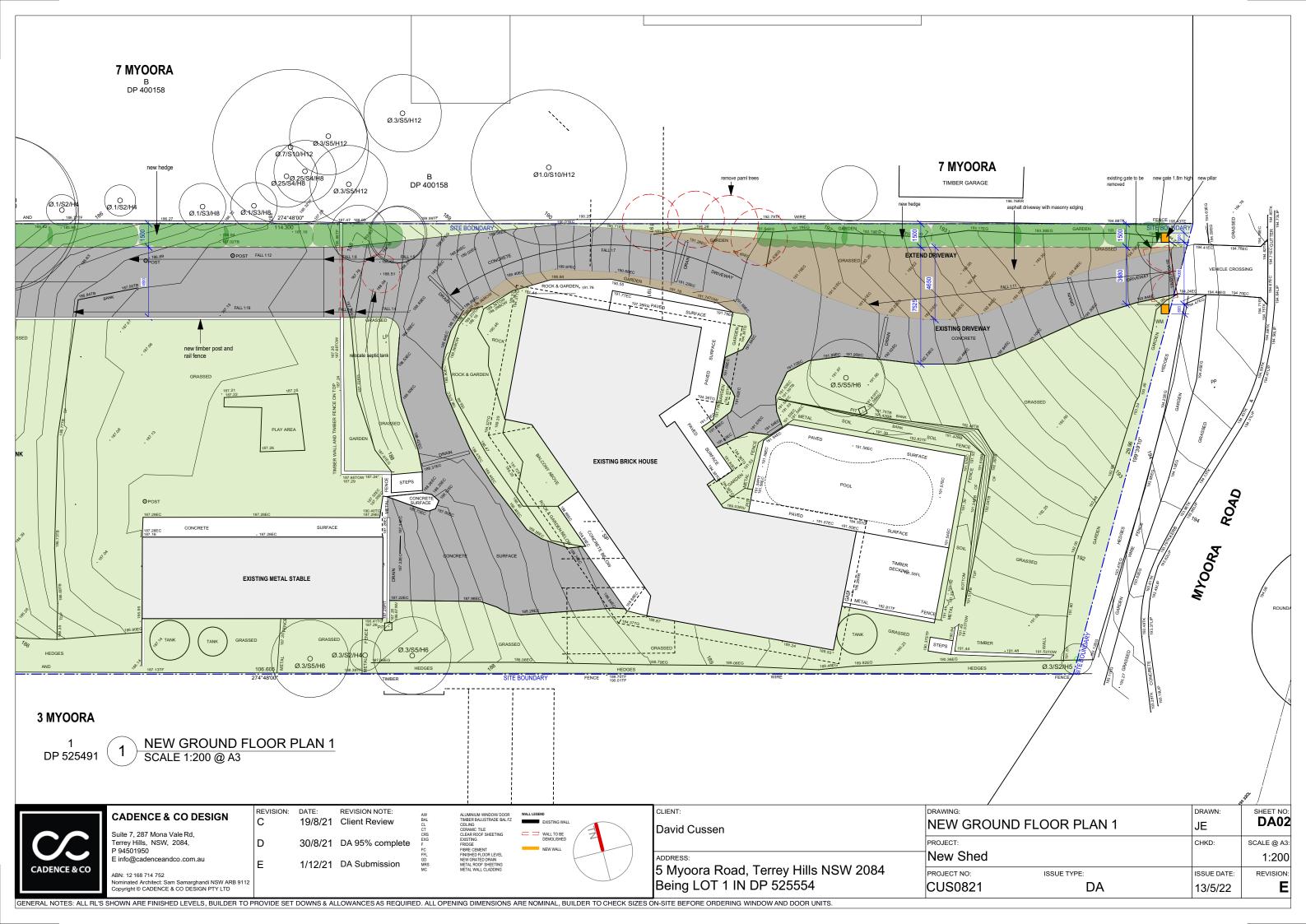


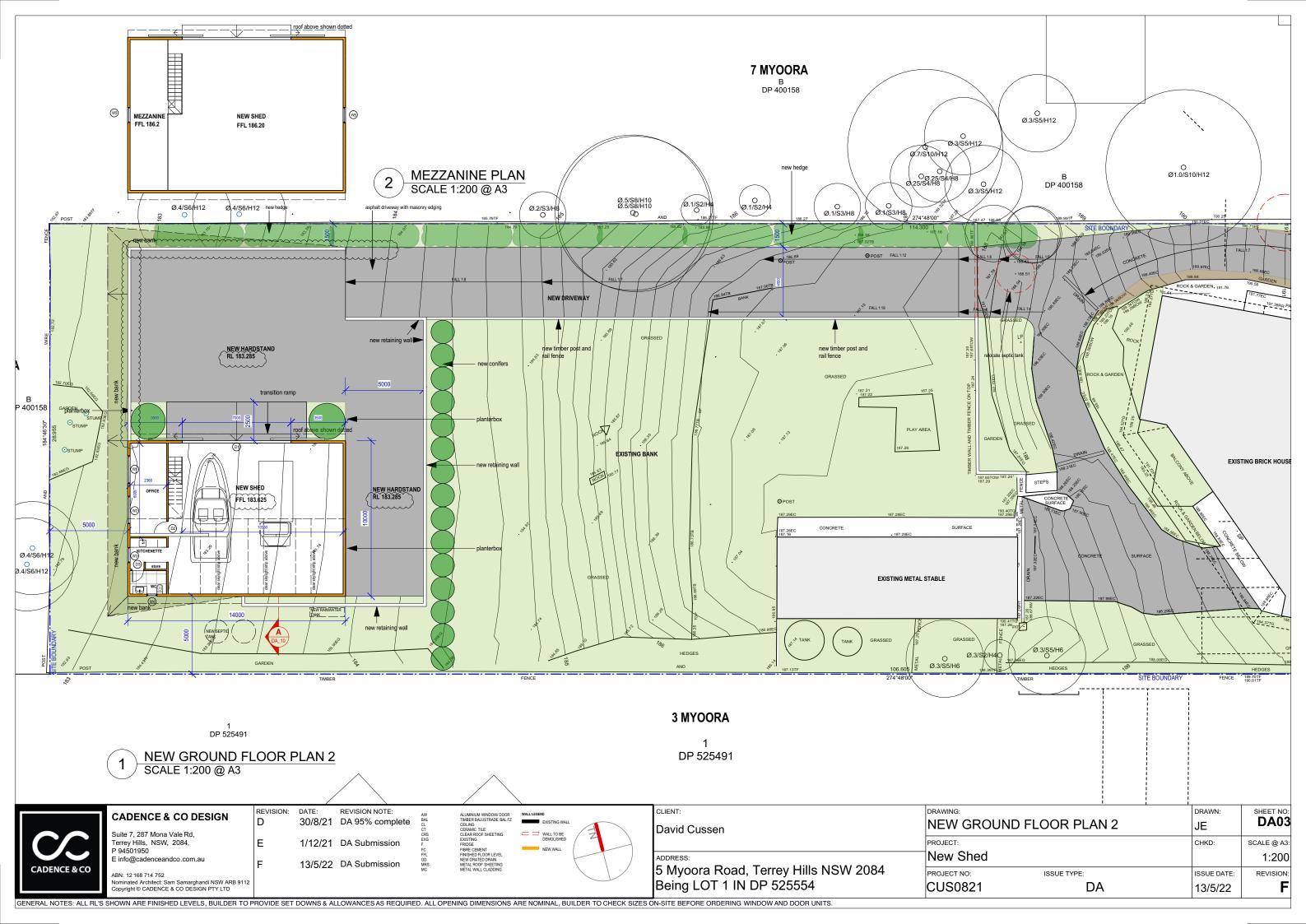


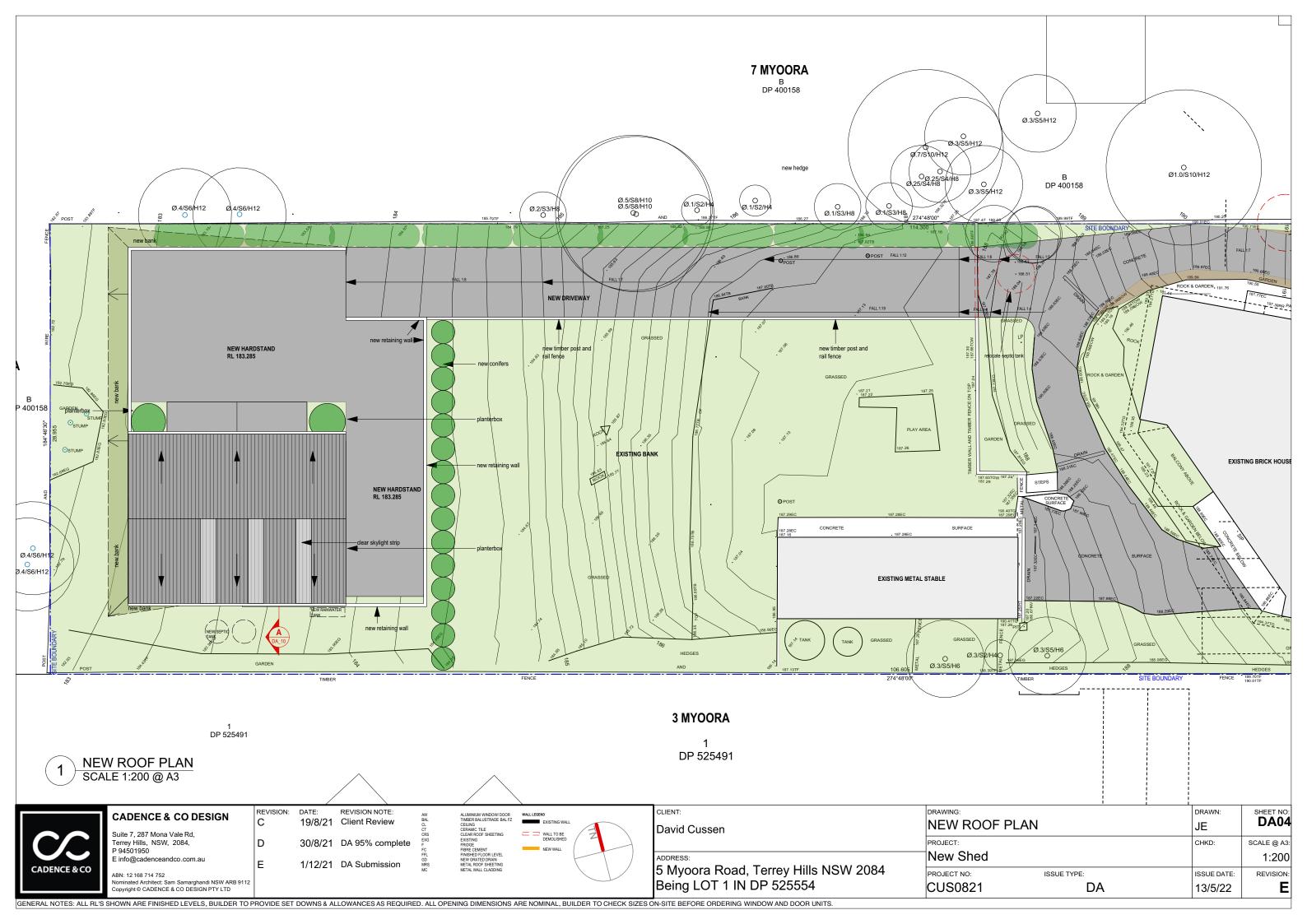
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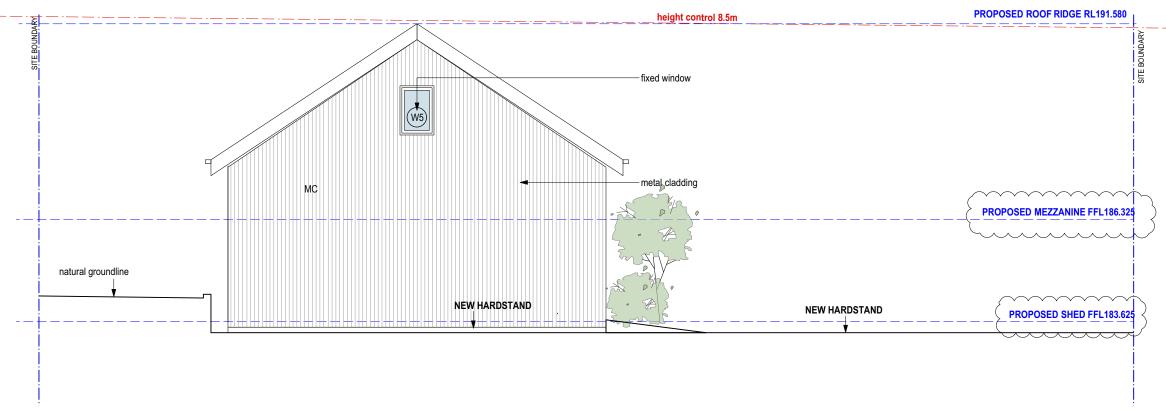
CLIENT:
David Cussen
ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO
SITE PLAN /	SITE ANALYSIS / ROOF PLAN	JE	DA01
PROJECT:		CHKD:	SCALE @ A3
New Shed			1:500
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION
CUS0821	DA	13/5/22	E

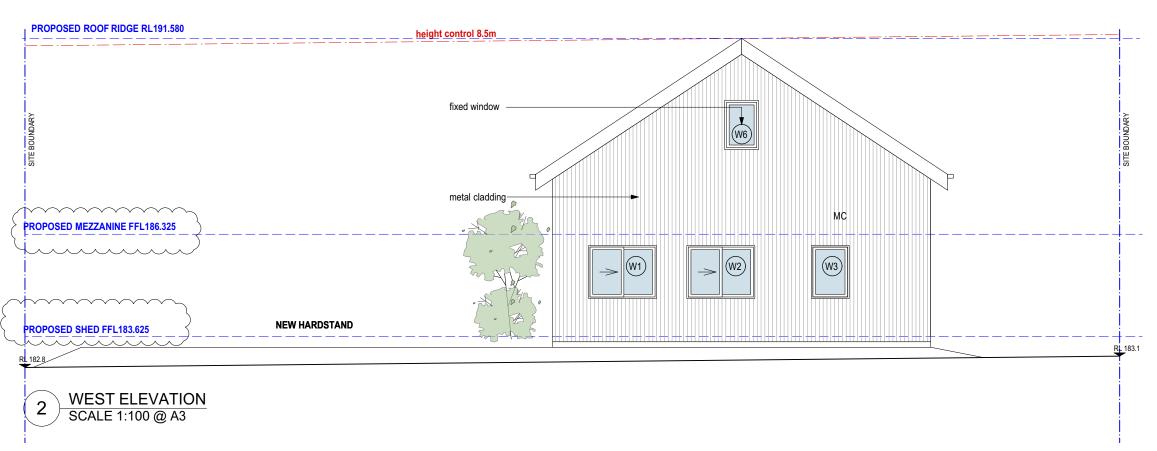








1 EAST ELEVATION SCALE 1:100 @ A3





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REVISION:	DATE:	REVISION NOTE:
D	30/8/21	DA 95% complete
		•
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1/12/21 DA Submission
13/5/22 DA Submission



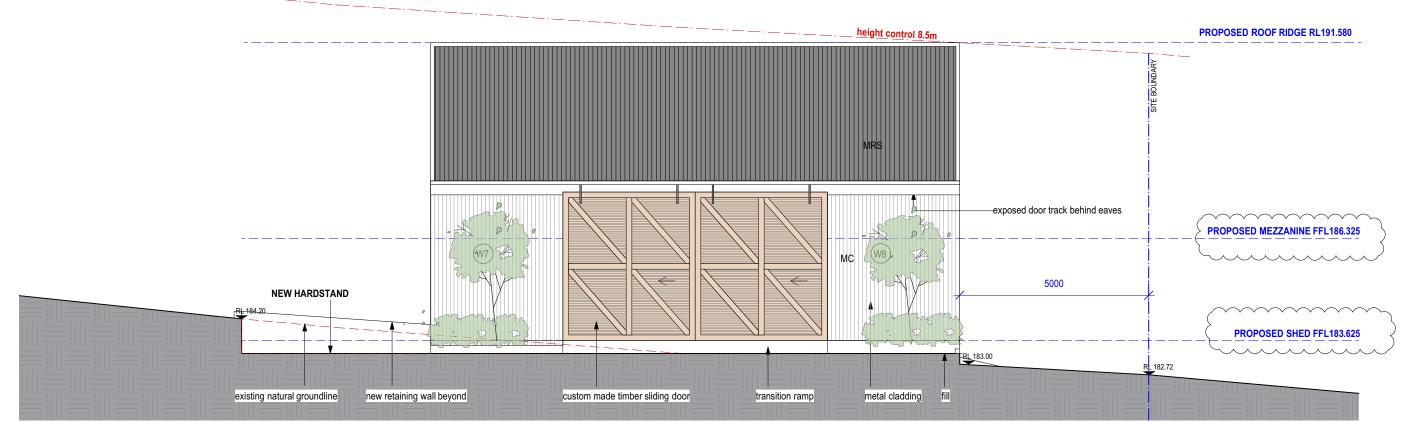


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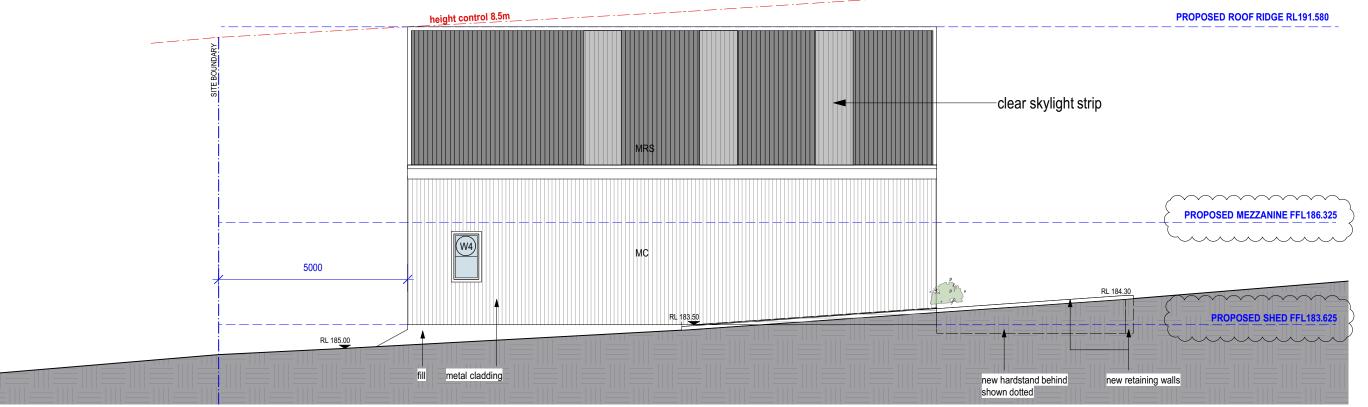
CLIENT:
David Cussen

5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO:
ELEVATIONS		JE	DA05
PROJECT:		CHKD:	SCALE @ A3:
New Shed			1:200
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION:
CUS0821	DA	13/5/22	F



1 NORTH ELEVATION SCALE 1:100 @ A3



2 SOUTH ELEVATION SCALE 1:100 @ A3



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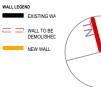
ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD
 REVISION:
 DATE:
 REVISION NOTE:

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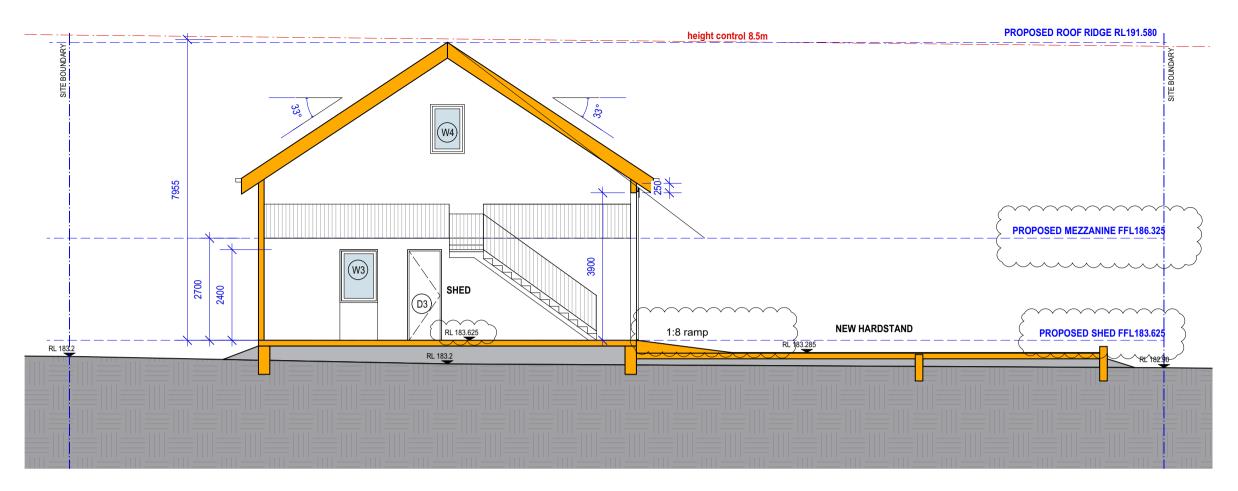
13/5/22 DA Submission

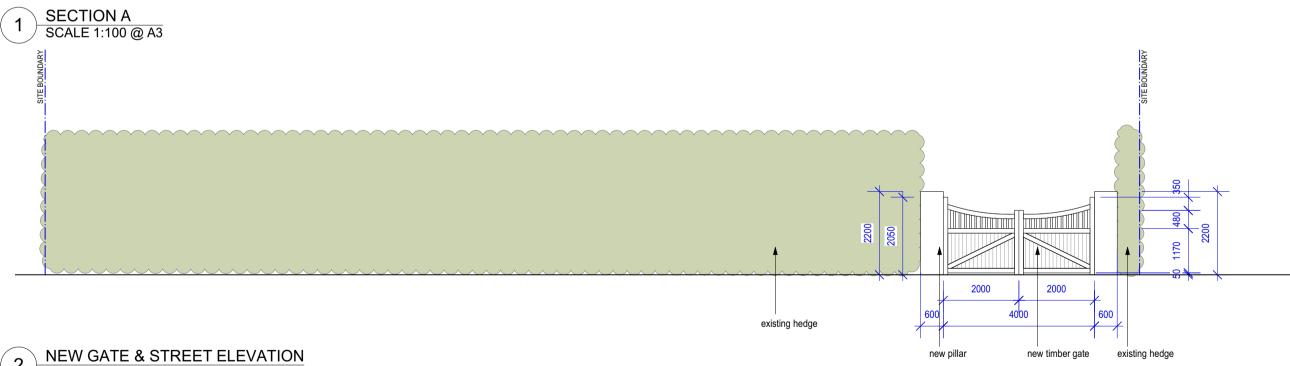
ALUMINIUM WINDOW/ DOOR TIMBER BALUSTRADE BAL FZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING



CLIENT:
David Cussen
ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO
ELEVATIONS		JE	DA06
PROJECT:		CHKD:	SCALE @ A3
New Shed			1:200
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION
CUS0821	DA	13/5/22	F





NEW GATE & STREET ELEVATION SCALE 1:100 @ A3



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ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112
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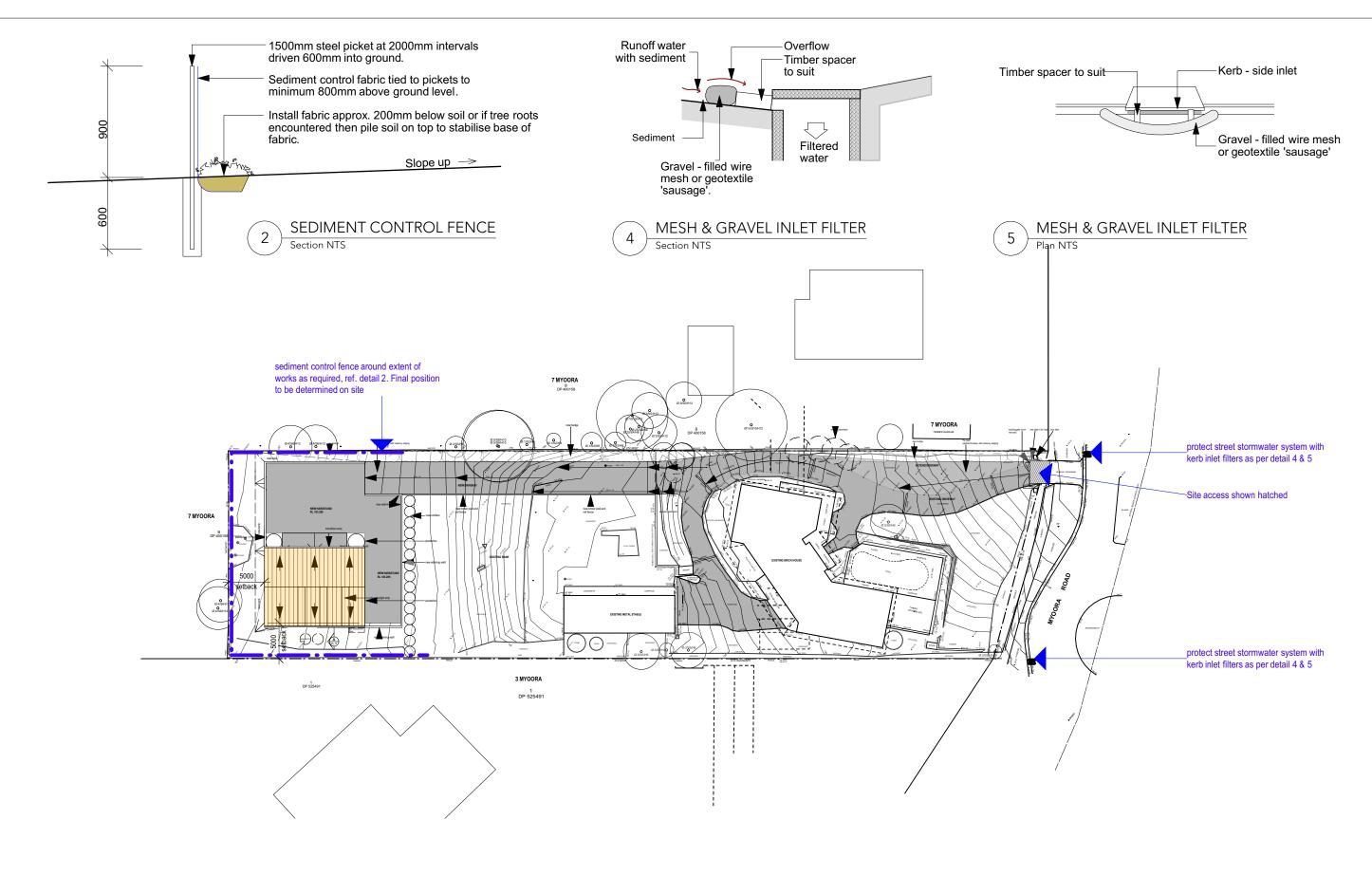
REVISION:	DATE: 30/8/21	REVISION NOTE: DA 95% complete
E	1/12/21	DA Submission

13/5/22 DA submission

WALL LEGEND	
EXISTING WA	
WALL TO BE DEMOLISHED	Z
NEW WALL	

CLIENT:
David Cussen
ADDRESS: 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO
SECTION		JE	DA07
PROJECT:		CHKD:	SCALE @ A3
New Shed			1:200
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION
CUS0821	DA	13/5/22	F





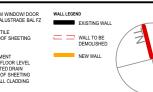


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REVISION NOTE: DATE: 19/8/21 Client Review 30/8/21 DA 95% complete Ε 1/12/21 DA Submission



CLIENT: **David Cussen** 5 Myoora Road, Terrey Hills NSW 2084

Being LOT 1 IN DP 525554

DA09 EROSION & SEDIMENT CONTROL PLAN PROJECT: SCALE @ A3: CHKD: New Shed 1:500 PROJECT NO: ISSUE TYPE: ISSUE DATE: REVISION: Ε CUS0821 DA 13/5/22

WINDOW SCHEDULE							NOTES:
ID Type	Opening Height (mm)	Opening Width (mm)	Unit Area (m2)	Glazing Type	Head (nom.)	Comments	1. All external glazing units to have aluminium powdercoat frames as selected. Owner to give final approval to external glazing units before ordering/manufacture.
W1 sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office	2. All glazing to comply with Part 3.6 of the current BCA.
W2 sliding window	1400	1800	2.5	low 'e' glass	2400	New window to office	3. Dimensions given are nominal and to suit scheduled opening sizes - Contractor to check
W3 awning window	1400	1000	1.4	clear	2400	New window to kitchenette	all dimensions on site before ordering glazing units. Contact Cadence & Co - Small works
W4 awning window	1200	660	0.8	clear	2400	New window to bathroom	department if dimensions conflict. 4. Refer to Elevations for fixed/ openable sashes.
W5 fixed window	1300	900	1.2	clear	6240	New highlight window to shed	5. Internal door sizes generally as noted on plan, to be painted flush solid core doors unless
W6 fixed window	1300	900	1.2	clear	6240	New highlight window to shed	noted otherwise.
DOOR SCHEDULE							6. Refer to current Basix certificate 7. Client to approve extent of insect screens. 8. Refer to Fire Report. Glazing to meet Bal rating, flame zone
D1 barn style sliding door	3800	7000	N/A	no glazing	3800	New door shed	o. Incide to the hepoit. Glazing to fileet ball fatting, fiable zone
D2 hinged door	2400	900	N/A	no glazing	3800	New door to office	
D3 hinged door	2100	800	N/A	no glazing	3800	New door to bathroom	

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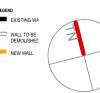
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 Client Review

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 30/8/21
 DA 95% complete

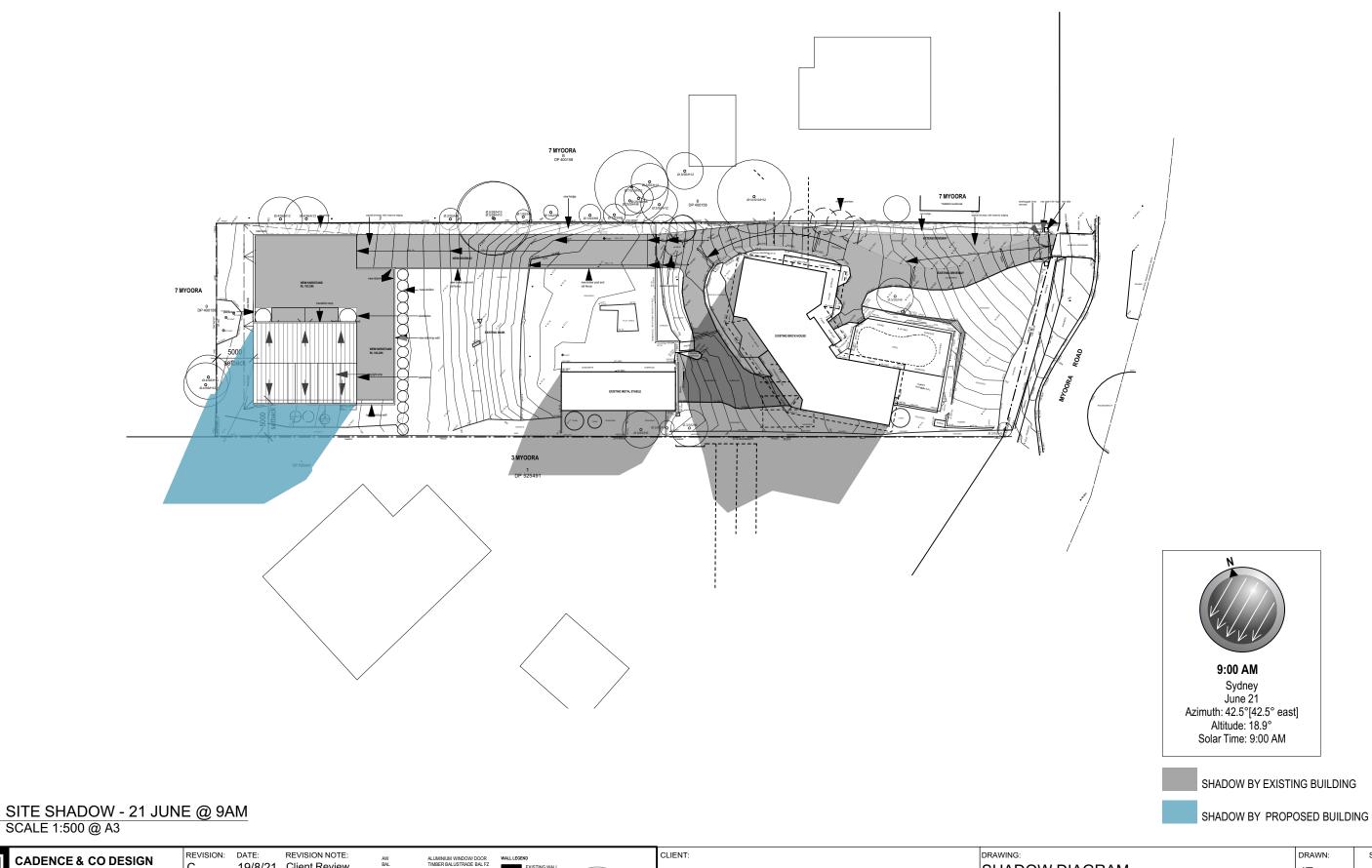
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ALUMINIUM WINDOW DOOR TIMBER BALUSTRADE BALFZ CEILING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIRIDGE FIRIDGE FIRIDGE FIRIDGE CHENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING



CLIENT:
David Cussen
ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084
5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

DRAWING:		DRAWN:	SHEET NO
DOOR & WIND	OOW SCHEDULE	JE	DA10
PROJECT:		CHKD:	SCALE @ A3
New Shed			NTS
PROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION
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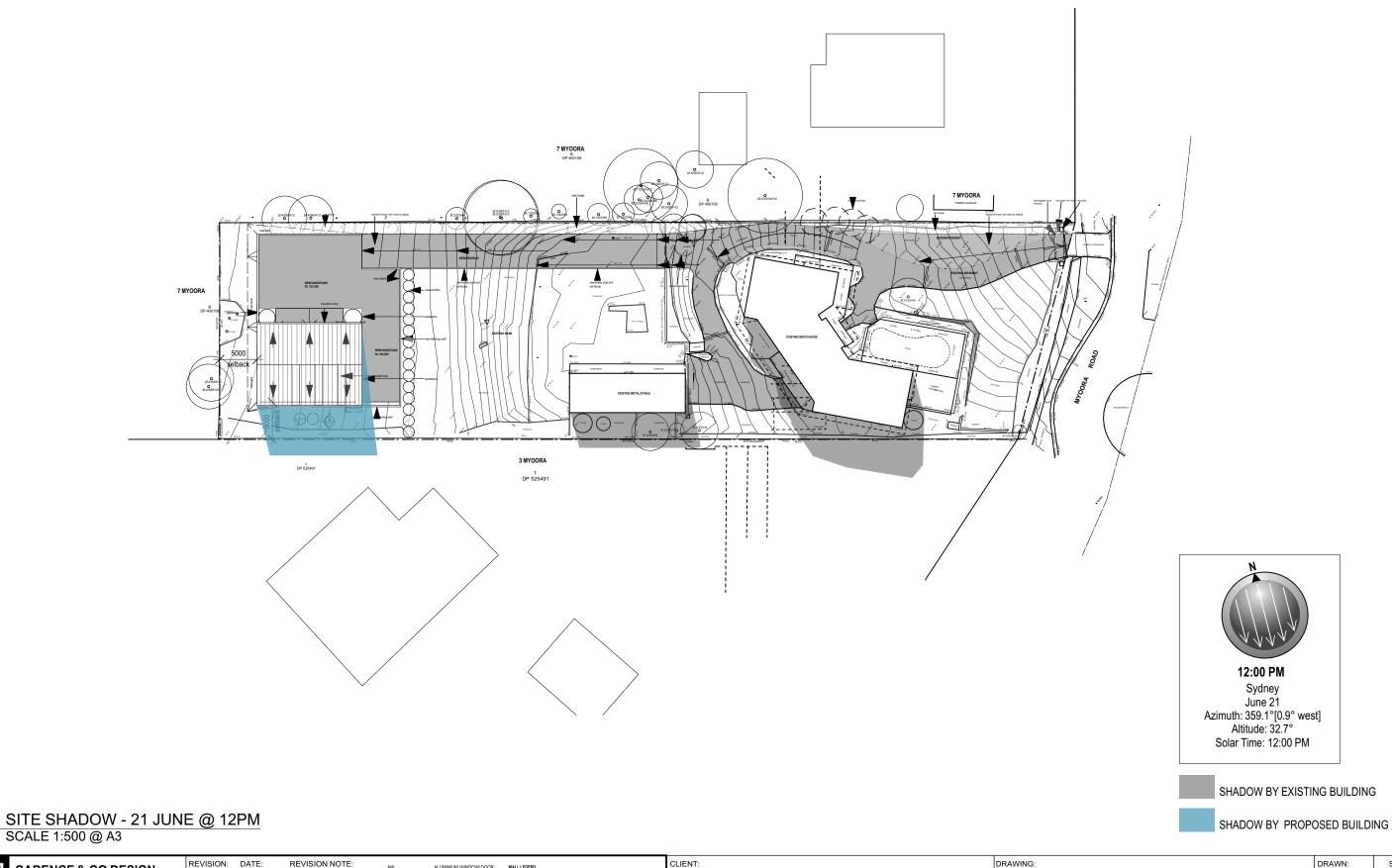
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19/8/21 Client Review 30/8/21 DA 95% complete 1/12/21 DA Submission



CLIENT:
David Cussen
ADDRESS:
5 Myoora Road, Terrey Hills NSW 2084

RAWING:		DRAWN:	SHEET NO:
SHADOW DIA	AGRAM	JE	DA11
ROJECT:		CHKD:	SCALE @ A3:
lew Shed			1:500
ROJECT NO:	ISSUE TYPE:	ISSUE DATE:	REVISION:
US0821	DA	13/5/22	E



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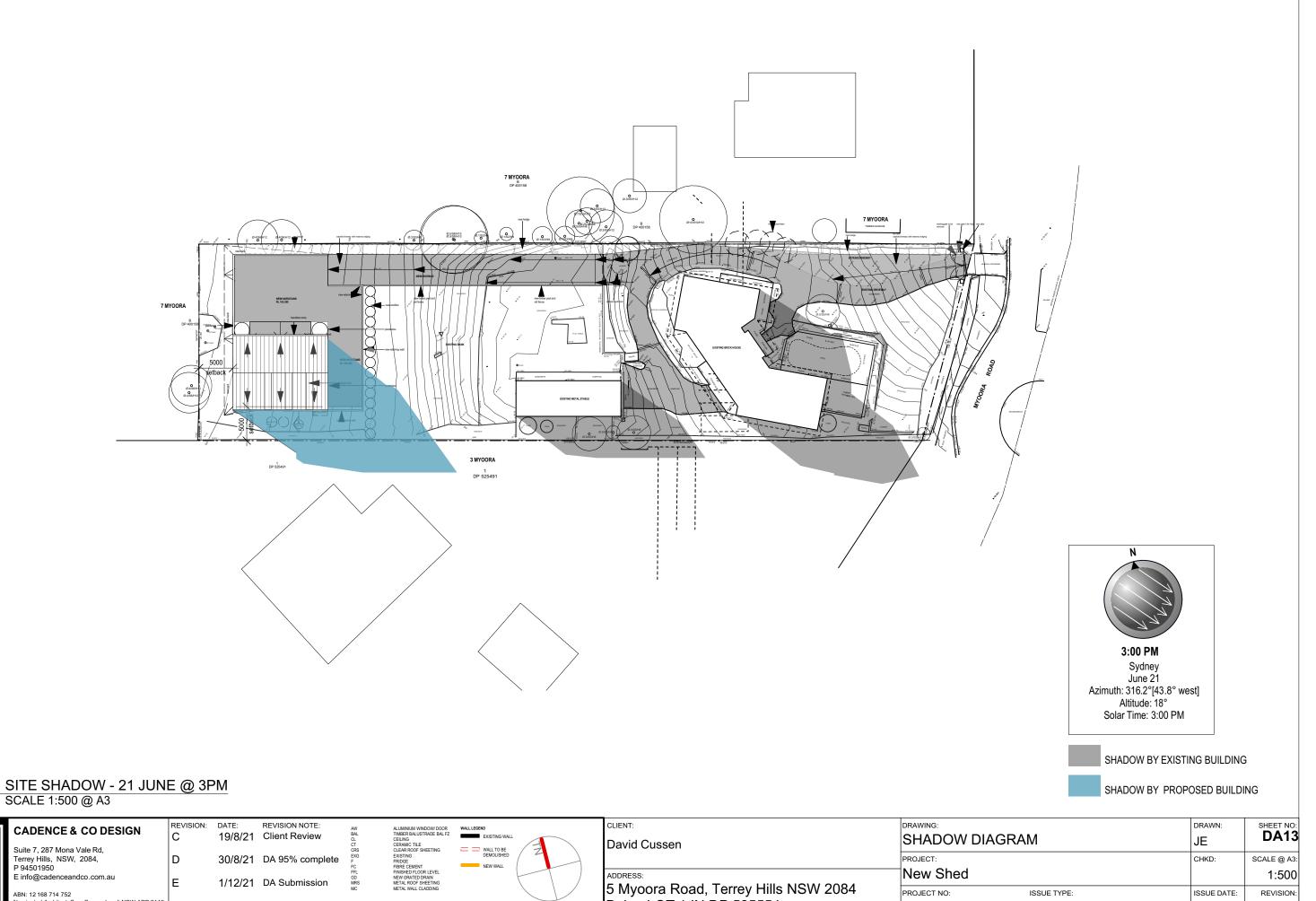
DATE: REVISION NOTE: 19/8/21 Client Review 30/8/21 DA 95% complete 1/12/21 DA Submission



CLIENT: David Cussen 5 Myoora Road, Terrey Hills NSW 2084 Being LOT 1 IN DP 525554

SHEET NO: SHADOW DIAGRAM CHKD: PROJECT: SCALE @ A3: New Shed 1:500 PROJECT NO: ISSUE TYPE: ISSUE DATE: REVISION: CUS0821 DA 13/5/22

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Being LOT 1 IN DP 525554

PROJECT NO:

CUS0821

ISSUE TYPE:

DA

ISSUE DATE:

13/5/22

REVISION:

Ε

GENERAL NOTES: ALL RL'S SHOWN ARE FINISHED LEVELS, BUILDER TO PROVIDE SET DOWNS & ALLOWANCES AS REQUIRED. ALL OPENING DIMENSIONS ARE NOMINAL, BUILDER TO CHECK SIZES ON-SITE BEFORE ORDERING WINDOW AND DOOR UNITS.

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Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD





Dulux C29 Colorbond® Monument®

Roof fascias & walls



Metal wall cladding - profile tbc



Timber barn style sliding door



Aluminium powdercoat frame to windows



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Suite 7, 287 Mona Vale Rd, Terrey Hills, NSW, 2084, P 94501950

ABN: 12 168 714 752 Nominated Architect: Sam Samarghandi NSW ARB 9112 Copyright © CADENCE & CO DESIGN PTY LTD DATE: REVISION NOTE: 19/8/21 Client Review

30/8/21 DA 95% complete

1/12/21 DA Submission

ALUMINUM WINDOW DOOR TIMBER BALUSTRADE BAL FZ CELING CERAMIC TILE CLEAR ROOF SHEETING EXISTING FRIDGE FIRE CEMENT FINISHED FLOOR LEVEL NEW GRATED DRAIN METAL ROOF SHEETING



David

ADDRES
5 My

David Cussen

ADDRESS:

5 Myoora Road, Terrey Hills NSW 2084
Being LOT 1 IN DP 525554

DRAWING:
EXTERNAL MATERIALS & FINISHES

PROJECT:
New Shed

PROJECT NO:
ISSUE TYPE:
CUS0821

DRAWN:
JE
SHEET NO:
DA14

SHEET NO:
DA15

SCALE @ A3:
NTS

REVISION:
13/5/22

E



Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A429069_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Date of issue: Wednesday, 01, December 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



project Project address Project name 5 Myoora Road_02 Street address 5 Myoora Road Terry Hills 2084 Local Government Area Warringah Council Plan type and number Deposited Plan 525554 Lot number of Section number escription Project type Dwelling type Separate dwelling house Type of alteration and addition My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

page 1 / 6

Certificate Prep	ared by (please complete before submitting to Council or PCA)
Name / Company N	ame: Jane Anderson Architecture
ABN (if applicable):	79628347350

BASIX Certificate number: A429069_02 page 2 / 6

0

Tixtures and systems	DA Plans	CC/CDC Plans & specs	Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		~	~
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		~	~
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		~	~
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		~	

BASIX Certificate number: A429069_02 page 3 / 6

Construction			Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Insulation requirements					
	ation is not required where the area of new con	ofs) in accordance with the specifications listed in instruction is less than 2m2, b) insulation specified	~	~	~
Construction	Additional insulation required (R-value)	Other specifications			
concrete slab on ground floor.	nil				
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)				

BASIX Certificate number: A429069_02 page 4 / 6

Glazing req	uirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Vindows an	d glazed do	ors						100	
					shading devices, in accordance with or each window and glazed door.	the specifications listed in the table below.	~	~	V
The following	requirements	must also	be satisfi	ed in relation	n to each window and glazed door:			~	1
have a U-valu	e and a Solar	Heat Gair	Coefficie	ent (SHGC)		d glass may either match the description, or, e below. Total system U-values and SHGCs		✓	~
have a U-valu must be calcu	e and a Solar lated in accord	Heat Gair dance with	n Coefficie n National	ent (SHGC) Fenestration	no greater than that listed in the tabl	ar glazing, or toned/air gap/clear glazing must e below. Total system U-values and SHGCs . The description is provided for information		~	~
					of each eave, pergola, verandah, bale than 2400 mm above the sill.	cony or awning must be no more than 500 mm	~	~	~
Pergolas with	polycarbonate	e roof or si	imilar tran	slucent ma	terial must have a shading coefficien	t of less than 0.35.		~	~
					ne window or glazed door above whitens must not be more than 50 mm.	ch they are situated, unless the pergola also		~	~
Overshadowir specified in th						the base of the window and glazed door, as	~	~	~
Windows a	nd glazed	doors g	lazing r	equireme	ents				
Window / doo no.	r Orientation	Area of glass inc. frame (m2)	Oversha Height (m)	Distance (m)	Shading device	Frame and glass type			
W1	W	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			
W2	W	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)			

Planning, Industry & Environment Building Sustainability Index www.basix.nsw.gov.au

BASIX Certificate number: A429069_02 page 5 / 6

Glazing requi	irements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door	Orientation	Area of	Oversha	adowing	Shading device	Frame and glass type	1		
no.		glass inc. frame (m2)	Height (m)	Distance (m)					
W3	W	0.9	11	6	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)]		
W4	S	0.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	1		
W5	w	0.8	11	6	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)	1		
W6	E	0.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)			

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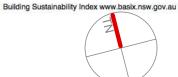
Iominated Architect: Sam Samarghandi NSW ARB 9112

REVISION: REVISION NOTE: С 19/8/21 Client Review D

E

30/8/21 DA 95% complete

1/12/21 DA Submission



u	CLIENT:
223	David Cussen
	ADDRESS:
	5 Myoora Road, Terrey Hills NSW 2084
	Being Lot 1 the P 525554

DRAWING:			DRAWN:	SHEET NO
BASIX CERTI	FICATE		JE	DA15
PROJECT:			CHKD:	SCALE @ A3
New Shed				NTS
PROJECT NO:	ISSUE TYPE:		ISSUE DATE:	REVISION
CUS0821	DA	Building Sustainal	1437 5722 v.b	asix.nsw.gov.ar