

Statement of Environmental Effects

Alterations and Additions

7 Crane Lodge Place, Palm Beach

Lot 12 DP31294

for

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TABLE OF CONTENTS

1.	Introduction	3
2.	Site Analysis	4
	2.1 Site Description	4
3.	Proposed Development Description	6
4.	Statutory Planning Framework	7
	4.1 Pittwater Local Environment Plan	7
	4.1.1 Zoning & Permissibility	7
	4.1.2 Height of Buildings	7
	4.1.3 Acid Sulphate Soil	8
	4.2.2 Pittwater 21 Development Control Plan - Compliance Table	8
	B8.1. Construction and Demolition - Excavation and Landfill - Diagrams	18
	D12.8. Building Envelope - Diagrams	19
	4.3 State Environmental Planning Policy (Sustainable Buildings) 2022	21
	4.4 State Environmental Planning Policy (Biodiversity and Conservation) 2021	21
	4.5 Section 4.15 Environmental Planning and Assessment Act 1979	21
5.	Conclusion	22

1 INTRODUCTION

This Statement of Environmental Effects has been prepared as part of supporting documentation for a Development Application for alterations / additions to an existing dwelling on the subject site.

Specifically, the proposed works include:

- Demolition of existing southern deck
- Replacing existing deck with new family room with a self-contained guest room and secondary dwelling for family members or future 'ageing-in-place' below
- Demolition of existing non-compliant entry stairs and construction of new compliant entry stairwell with lift allowing for equal access
- Construction of new home office with studio over at lower level
- Construction of alteration / addition to upper level containing sunroom, dressing room and two en-suites
- Minor alteration/addition to existing garage with new parking/turning platform adjacent

Those alterations/additions have been designed to improve the amenity of the existing dwelling, in particular, the addition of new stairs and passenger lift allowing for equal access and future ageing-in-place for the owners. This has been done while maintaining the amenity of adjoining properties in relation to solar access, privacy and views. The proposed design positively improves the existing built form thus enhancing the quality of housing within the Palm Beach locality.

This Statement of Environmental Effects is accompanied by the following:

- Survey Plan
- Architectural Drawings including Shadow Diagrams
- BASIX Certificate
- Landscape Plan
- Arborist Report
- Stormwater Management Plan
- Waste Management Plan
- Geotechnical Report

The following state and local policies have been taken into consideration for the preparation of this Statement:

- Environmental Planning and Assessment Act 1979
- Environmental Planning and Assessment Regulation 2021 (EP&A Regulation)
- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Sustainable Buildings) 2022
- Pittwater Local Environment Plan 2014 (PLEP 2014)
- Pittwater 21 Development Control Plan (P21 DCP)

2 SITE ANALYSIS

2.1 SITE DESCRIPTION

The application relates to Lot 12 in Deposited Plan 31294 at 7 Crane Lodge Place, Palm Beach.



Figure 2a - Aerial photo (Image by Northern Beaches Council Maps)

7 Crane Lodge Place is a slightly trapezoidal shaped site with 54.355m eastern boundary, 40.47m western boundary, 21.525m northern boundary and a southern boundary of 12.495m plus radial 9.635m.

The site has an area of 958 m².

No site boundary has a street frontage. Instead, a right-of-way allows access to and through the site, as described on the Survey Plan.

A 1980s two-storey dwelling, constructed of bricks, timber framing, weatherboard and steel roofing exists on the site to the north of the right-of-way and a double garage and storeroom constructed of timber framing, weatherboards and steel roofing exists to the south.

The site is extremely steep with the existing front door over 9.7m above the right-of-way making the improvement to access a key issue of this application.

The site has lush growth on the east and west edges with a few trees to the south of the house, and a large section of native 'bush' vegetation and trees to the north of the house.

The site is surrounded by other single dwellings, some with secondary dwellings.



Figure 2b - Existing house looking north from right-of-way (Image by Stephen Varady)

The front of the house has an existing driveway with steps, a large rock and a shed with roll-a-door and its own extremely steep driveway. The shed and its driveway are proposed to be removed with that part of the site to be re-landscaped with native planting.



Figure 2c - Existing garage looking south from right-of-way (Image by Stephen Varady)

The existing garage and storeroom opposite is in need of improvement. The roof is too low and flat and is proposed to be raised, re-pitched for runoff and re-sheeted with similar metal roof sheeting.

3 PROPOSED DEVELOPMENT DESCRIPTION

This application proposes alterations and additions, with secondary dwelling, to an existing dwelling on the subject site.

Specifically, the proposed works include:

Level 0

- Demolition of existing non-compliant winding, external entry stairs and construction of new compliant, enclosed, secure entry stairwell with lift allowing for equal access and 'ageing-in-place'
- Construction of new home office
- Removal of existing shed and concrete driveway in front and re-landscaping of this area along with the introduction of native species to other parts of the site
- Minor alteration/addition to existing garage and storeroom with new parking/turning platform adjacent

Level 1

- Construction of new self-contained secondary dwelling for family members or future 'ageing-in-place'
- Construction of new studio
- Construction of new compliant, enclosed, secure entry stairwell with lift allowing for equal access

Level 2

- Replacing existing southern deck with new family room and small deck, entry hall and store
- Construction of new compliant, enclosed, secure entry stairwell with lift allowing for equal access
- Construction of new study to north of living room

Level 3

- Construction of north-facing alteration/addition containing sunroom, dressing room and two en-suites
- Alteration to existing bathroom and extension to existing bedroom

Roof

- Replace deteriorated existing roof sheeting with new additional sections of roof to match

4 STATUTORY PLANNING FRAMEWORK

4.1 Pittwater Local Environmental Plan 2014

The Pittwater Local Environment Plan 2014 is the principal local planning instrument applicable to this site. The relevant provisions of the LEP and how they relate to this site are noted below:

4.1.1 Zoning & Permissibility

The site is zoned C4 Environmental Living.

Dwelling Houses and Secondary Dwellings are permissible with consent in the C4 zone. The specific objectives of the zone are identified as follows:

- *To provide for low-impact residential development in areas with special ecological, scientific or aesthetic values.*
- *To ensure that residential development does not have an adverse effect on those values.*
- *To provide for residential development of a low density and scale integrated with the landform and landscape.*
- *To encourage development that retains and enhances riparian and foreshore vegetation and wildlife corridors.*

This application relates to alterations/additions to an existing dwelling house of low density and scale integrated with the landform and landscape, which is permissible with consent in this zone.

4.1.2 Height of Buildings

Pursuant to Clause 4.3 of the PLEP, the site is identified on the height of buildings map as having a maximum permissible height of 8.5 metres. The objectives of the control are as follows:

- a) *To ensure that any building, by virtue of its height and scale, is consistent with the character of the locality;*
- b) *To ensure that buildings are compatible with the height and scale of surrounding and nearby development;*
- c) *To minimise any overshadowing of neighbouring properties;*
- d) *To allow for the reasonable sharing of views;*
- e) *To encourage buildings that are designed to respond sensitively to the natural topography;*
- f) *To minimise the adverse visual impact of development on the natural environment, heritage conservation areas and heritage items.*

The proposal is consistent with the maximum permissible height with a maximum height of 8.48m. All new additions are lower than the maximum height of the existing dwelling and are therefore,

- consistent with the character of the locality,
- compatible with the height and scale of surrounding buildings,
- creating no new overshadowing of neighbouring houses,
- maintaining reasonable sharing of views,
- responding sensitively to the natural topography through minimal excavation and re-landscaping
- having minimal adverse visual impact on the natural environment through the use of materials reflecting the surroundings.

4.1.3 Acid Sulphate Soils

Pursuant to Clause 7.1 of the LEP, the site is mapped as being 5 acid sulphate soils. The proposed development does not require any significant excavation that would disturb or expose acid sulphate soils and adversely impact on the local environment.

A Geotechnical Report has been provided with this application.

Sediment and Erosion control plan has been provided with this application.

4.2.2 Pittwater 21 Development Control Plan - Compliance Table

The following table sets out the relevant clauses of the DCP, indicating details and compliance.

Control	Requirements	Proposed	Compliance
Landslip Hazard B3.1	<p>All development must comply with the requirements of the Geotechnical Risk Management Policy for Pittwater.</p> <p>Development must be designed and constructed to ensure that every reasonable and practical means available is used to remove risk to an acceptable level for the life of the development.</p> <p>The development must not adversely affect or be adversely affected by geotechnical processes nor must it increase the level of risk for any people, assets and infrastructure in the vicinity due to geotechnical hazards.</p>	<p>There will be very minimal excavation of small sections of the site to alleviate any landslip issues. The new Entry, Stair and Lift have been specifically located to create the least amount of excavation possible.</p> <p>A Geotechnical Report has been provided with this application.</p>	Yes
Bushfire Hazard B3.2	Manage risk due to the effects of bushfire throughout the life of the development.	This site is not deemed to be Bush Fire Prone land according to the Pittwater Bush Fire Prone Land Map 2013	N/A
Flora and Fauna Conservation B4.1	Development shall not directly negatively impact on threatened species, endangered populations or endangered ecological communities.	The proposal has no negative impact upon threatened, endangered populations or endangered ecological communities, and will have very minimal impact upon existing flora.	Yes

Control	Requirements	Proposed	Compliance
	<p>Development shall retain and enhance habitat for locally native species, threatened species, endangered populations or endangered ecological communities.</p> <p>Development shall result in no significant onsite loss of canopy cover and no net loss in native canopy trees.</p> <p>Development shall ensure that at least 80% of any new planting incorporates native vegetation.</p>	<p>New planting will be created on areas at the front of the house that are currently hard surface, and all new planting will incorporate at least 80% native vegetation.</p> <p>Only two existing trees will be removed with very minimal loss of onsite canopy, as explained in detail in the Arborist Report accompanying this application.</p>	
<p>Preservation of Trees and Bushland Vegetation B4.22</p>	<p>To protect and enhance the urban forest of the Northern Beaches.</p> <p>To effectively manage the risks that come with an established urban forest through professional management of trees.</p> <p>To minimise soil erosion and to improve air quality, water quality, carbon sequestration, storm water retention, energy conservation and noise reduction.</p> <p>To protect, enhance bushland that provides habitat for locally native plant and animal species, threatened species populations and endangered ecological communities.</p> <p>To promote the retention and planting of trees which will help enable plant and animal communities to survive in the long-term.</p>	<p>The site has a great number of native trees and vegetation, particularly at the northern end of the site, including 11 prescribed trees.</p> <p>This has been carefully managed by the owners over the last few years, with weeds and non-native vegetation culled through the engagement of an arborist.</p> <p>Only two existing trees will be removed with very minimal loss of onsite canopy, as explained in detail in the Arborist Report accompanying this application.</p>	Yes

Control	Requirements	Proposed	Compliance
	To protect and enhance the scenic value and character that trees and/or bushland vegetation provide.		
Stormwater B5.15	<p>Improve the quality of water discharged to our natural areas to protect and improve the ecological and recreational condition of our beaches, waterways, riparian areas and bushland.</p> <p>Minimise the risk to public health and safety.</p> <p>Reduce the risk to life and property from any flooding and ground-water damage.</p> <p>Integrate Water Sensitive Urban Design measures in new developments to address stormwater and floodplain management issues, maximise liveability and reduce the impacts of climate change.</p> <p>Mimic natural stormwater flows by minimising impervious areas, reusing rainwater and stormwater and providing treatment measures that replicate the natural water cycle.</p> <p>Reduce the consumption of potable water by encouraging water efficiency, the reuse of water and use of alternative water sources.</p> <p>Protect Council's stormwater drainage assets during development works and to ensure Council's drainage rights are not compromised by development activities.</p>	A Stormwater Management Plan has been included with this application.	Yes

Control	Requirements	Proposed	Compliance
Off-Street Vehicle Parking Requirements B6.3	The minimum number of vehicle parking spaces to be provided for off-street parking for dwellings with 2 bedrooms or more is 2 spaces.	The existing garage provides 2 parking spaces.	Yes
Construction and Demolition - Excavation and Landfill B8.1	<p>Site disturbance is minimised. (En)</p> <p>Excavation, landfill and construction not to have an adverse impact. (En)</p> <p>Excavation and landfill operations not to cause damage on the development or adjoining property. (S)</p>	<p>The proposal has been designed to minimise excavation. There will be no excavation greater than 1m.</p> <p>Excavation near tree 4 as shown in Arborist Report will be minimal and outside the 2.8m Structural Root Zone, as shown on Architectural Drawings.</p> <p>An engineer has already been consulted regarding footings for the ground floor slab to maintain footings outside the 2.8m SRZ. Refer to Figures 4a, 4b and 4c on page 17.</p> <p>An Arborist Report has been included with this application.</p>	Yes
Construction and Demolition - Waste Minimisation B8.3	Waste materials generated through demolition, excavation and construction works is to be minimised by reuse on-site, recycling, or disposal at an appropriate waste facility.	A Waste Management Plan has been provided showing how demolition waste will be re-used, recycled or disposed of.	Yes
Landscaping C1.1	<p>A built form softened and complemented by landscaping. (En)</p> <p>Landscaping reflects the scale and form of development. (En)</p> <p>Retention of canopy trees by encouraging the use of pier and beam footings. (En)</p> <p>Development results in retention of existing native vegetation. (En)</p> <p>Landscaping results in the long-term retention of Pittwater's locally native tree canopy (En)</p>	<p>The site has a great amount of existing landscaping with a large section of natural native bush and trees to the north of the house.</p> <p>The extensive tree canopy on the site will be retained.</p> <p>Only two minor trees are proposed to be removed at the front of the house to accommodate the proposal.</p> <p>New planting will be created on areas at the front of the house that are currently hard surface, and all new planting will incorporate at least 80% native vegetation.</p> <p>An Arborist Report and Landscape Plan have been included with this application.</p>	Yes

Control	Requirements	Proposed	Compliance
	<p>Landscaping retains and enhances Pittwater's biodiversity by using locally native plant species (En)</p> <p>Landscaping enhances habitat and amenity value. (En, S)</p> <p>Landscaping results in reduced risk of landslip. (En, Ec)</p> <p>Landscaping results in low watering requirement. (En)</p>		
Safety and Security C1.2	<p>On-going safety and security of the Pittwater community. (S)</p> <p>Opportunities for vandalism are minimised. (S, Ec)</p> <p>Improve community awareness in relation to Crime Prevention through Environmental Design (CPTED), its principle strategies and legislative requirements (S)</p>	<p>The proposed design creates a far more safe and secure entry to the dwelling, eliminating easy access from unwanted visitors via the existing external stairs.</p> <p>Energy saving LED sensor lights will also deter intruders and vandals while not disturbing neighbours.</p> <p>The proposal is consistent with Crime Prevention through Environmental Design (CPTED), and its principle strategies and legislative requirements.</p>	Yes
View Sharing C1.3	<p>A reasonable sharing of views amongst dwellings. (S)</p> <p>Views and vistas from roads and public places to water, headland, beach and/or bush views are to be protected, maintained and where possible, enhanced. (S)</p> <p>Canopy trees take priority over views. (En, S)</p>	<p>The extensions to the north are below the existing ridge line, and have no effect upon view sharing.</p> <p>The extensions to the south are all below the gutter line of the existing dwelling. They maintain the views from the dwelling at #8, and have no impact on perpendicular views, and minimal impact on diagonal views from the dwelling at #6.</p>	Yes
Solar Access C1.4	<p>Residential development is sited and designed to maximise solar access during mid-winter. (En)</p>	<p>Shadow Diagrams have been provided with this application, as part of the Architectural Drawings showing that no new shadows will be cast on the neighbouring dwellings at #6 and #8.</p>	Yes

Control	Requirements	Proposed	Compliance
	<p>A reasonable level of solar access is maintained to existing residential properties, unhindered by adjoining development. (En)</p> <p>Reduce usage and/dependence for artificial lighting. (En)</p>		
Visual Privacy C1.5	<p>Habitable rooms and outdoor living areas of dwellings optimise visual privacy through good design. (S)</p> <p>A sense of territory and safety is provided for residents. (S)</p>	<p>There will be no new windows to the east and west boundary walls. Existing slatted timber privacy screens have been replaced through the use of solid polycarbonate cladding that will remove any opportunity to look at the neighbouring dwellings, while also reducing acoustic issues.</p>	Yes
Acoustic Privacy C1.6	<p>Noise is substantially contained within each dwelling and noise from any communal or private open space areas are limited. (S)</p> <p>Noise is not to be offensive as defined by the <i>Protection of the Environment Operations Act 1997</i>, including noise from plant, equipment and communal or private open space areas (S)</p>	<p>All new rooms of the proposed design are fully contained by walls and roof, greatly improving acoustic privacy.</p> <p>The current open external entry stair, and external deck slatted screens have been replaced in the design by a fully enclosed entry stair and lift, again greatly improving acoustic privacy compared to the existing condition.</p> <p>The lift has also been located at a more central position on the site, far away from either neighbouring dwelling to alleviate any acoustic issues.</p>	Yes
Private Open Space C1.7	<p>Minimum 80m² of private open space per dwelling at ground level, with no dimension less than 3 metres. No more than 75% of this private open space is to be provided in the front yard.</p> <p>Dwellings are provided with a private, usable and well-located area of private open space for the use and enjoyment of the occupants. (S)</p>	<p>This is an extremely steep site with no opportunity for private open space at ground level. However there is a wonderful existing north-facing courtyard at Level 3 of 31m² with minimum side dimension of 4m. This is also adjacent to over 200m² of north-facing, private open native bush within the property.</p>	Yes

Control	Requirements	Proposed	Compliance
	<p>Private open space is integrated with, and directly accessible from, the living areas of dwellings. (S)</p> <p>Private open space receives sufficient solar access and privacy. (En, S)</p>		
Secondary Dwellings C1.11	<p>Limitation of the visual bulk and scale of development. (En, S)</p> <p>Provision of design flexibility for second storey development. Restriction of the footprint of development site. (En)</p> <p>Retention of natural vegetation and facilitation planting of additional landscaping. (En)</p> <p>Provision of rental accommodation. (S)</p>	<p>The secondary dwelling (46 sq.m.) is wholly enclosed within the altered existing dwelling form, having no impact upon the bulk and scale of the development.</p> <p>The existing natural vegetation is not impacted by the secondary dwelling.</p>	Yes
Character as Viewed From A Public Place D12.1	<p>To achieve the desired future character of the Locality.</p> <p>To ensure new development responds to, reinforces and sensitively relates to the spatial characteristics of the existing built and natural environment. (En, S, Ec)</p> <p>To enhance the existing streetscapes and promote a scale and density that is in scale with the height of the natural environment.</p> <p>The visual impact of the built form is secondary to landscaping and vegetation, or in commercial areas and the like, is softened by landscaping and vegetation. (En, S, Ec)</p>	<p>The proposed design provides for sensitive, high-quality improvement and enhancement of an existing dwelling now greatly in need of repair and rejuvenation. All parts of the alterations/ additions have been designed to be sympathetic to the existing dwelling and locality while upgrading the amenity for the occupants.</p> <p>The existing dwelling follows the extreme slope of the site over a number of levels, however the alterations/ additions are all below the existing roofline, leaving the dense tree canopy intact. The polycarbonate cladding has a surface which will absorb and reflect the colours of the natural landscape and vegetation of the site while allowing a great deal of natural light into the dwelling. The visual impact of the built form will therefore be secondary to the landscaping and vegetation on the site.</p> <p>New planting will be created on areas at the front (south side) of the house that are currently hard surface, and all new planting will incorporate at least 80% native vegetation, enhancing the view from the right-of-way.</p>	Yes

Control	Requirements	Proposed	Compliance
	<p>High quality buildings designed and built for the natural context and any natural hazards. (En, S)</p> <p>Buildings do not dominate the streetscape and are at 'human scale'. Within residential areas, buildings give the appearance of being two-storey maximum. (S)</p>	<p>A Landscape Plan has been provided with this application.</p>	
<p>Building Colours and Materials D12.3</p>	<p>To achieve the desired future character of the Locality.</p> <p>The development enhances the visual quality and identity of the streetscape. (S)</p> <p>To provide attractive building facades which establish identity and contribute to the streetscape.</p> <p>To ensure building colours and materials compliments and enhances the visual character its location with the natural landscapes of Pittwater.</p> <p>The colours and materials of the development harmonise with the natural environment. (En, S)</p> <p>The visual prominence of the development is minimised. (S)</p> <p>Damage to existing native vegetation and habitat is minimised. (En)</p>	<p>A Schedule of Materials and Finishes has been provided with this application, indicating predominantly dark and earthy tones, to match the existing dwelling, along with the polycarbonate cladding which will absorb and reflect the colour of the natural landscape and vegetation of the site.</p> <p>A new internal lift has been included in the design, which will be far less obtrusive than an external inclinor would have been.</p> <p>The existing native vegetation will not be damaged, but improved and increased through the planting of new native vegetation.</p>	
<p>Front Building Line D12.5</p>	<p>The minimum front building line to the street.</p>	<p>The site is not adjacent to a street with access only via a right-of-way.</p>	N/A

Control	Requirements	Proposed	Compliance
Side and Rear Building Line D12.6	The minimum side and rear building line for built structures shall be 2.5m to at least one side; 1.0m for other side and 6.5m to the rear boundary.	<p>The Architectural Drawings show that the existing dwelling is 0.93m from the western boundary and varies from 0.89m to 2.0m from the eastern boundary.</p> <p>The alterations/additions have been designed to be 1.0m from the western boundary as required, and to follow the line of the existing dwelling and deck from the eastern boundary, without creating adverse effect upon the privacy or view corridor for the neighbour at #8.</p>	No, but maintaining existing conditions.
		The existing dwelling is 7.3m from the closest point of the angled rear boundary, and this has been maintained with the proposed design.	
Building Envelope D12.8	<p>Building envelope planes are to be projected at 45 degrees from a height of 3.5m above ground level (existing) at the side boundaries to the maximum building height of 8.5m.</p> <p>Where the building footprint is situated on a slope over 16.7 degrees (ie; 30%), variation to this control will be considered on a merits basis.</p>	<p>The existing dwelling already does not comply with the required building envelope setback on the short (E-W) section, due to the building being so close to the site boundary on the east and west, but then especially due to the extremely sloping site being greater than 16.7 degrees (30%).</p> <p>Therefore the new alterations/additions also do not comply on the short (E-W) section, even though they are lower than the existing roof and gutter lines.</p> <p>Refer to Figures 4d and 4e on page 18.</p> <p>However, on the long (N-S) section, the existing dwelling fits within the required building envelope setback, and the proposed alterations/additions have been designed to also fit within the required building envelope setback as it falls down the site.</p> <p>Refer to Figure 4f on page 19.</p> <p>The alterations/additions have been designed to be complementary to the existing dwelling and to minimise adverse effect upon the privacy or view corridors for the neighbours at #6 and #8.</p> <p>Refer to Architectural Drawings.</p>	No, but worthy on merit.

Control	Requirements	Proposed	Compliance
Landscaped Area - Environmentally Sensitive Land D12.9	<p>Land in the Palm Beach Locality within Area 1 of the Landscaped Area Map.</p> <p>The total landscaped area on land zoned E4 Environmental Living shall be 60% of the site area.</p>	<p>Despite the extensive and generous tree canopy located on the site, the existing landscaping at ground level covers only 39.1% of the site.</p> <p>The application proposes to transform some areas at the south of the house that are currently hard surface, to native landscaping, increasing the cover to 40.7%.</p> <p>Site Coverage drawings and an Arborist Report have been included with this application.</p>	No, but improving existing conditions.

B8.1 Construction and Demolition - Excavation and Landfill

The proposal has been designed to minimise excavation. There will be no excavation greater than 1m.

Excavation near tree 4 as shown in **Arborist Report** will be minimal and outside the 2.8m Structural Root Zone, as shown on Architectural Drawings.

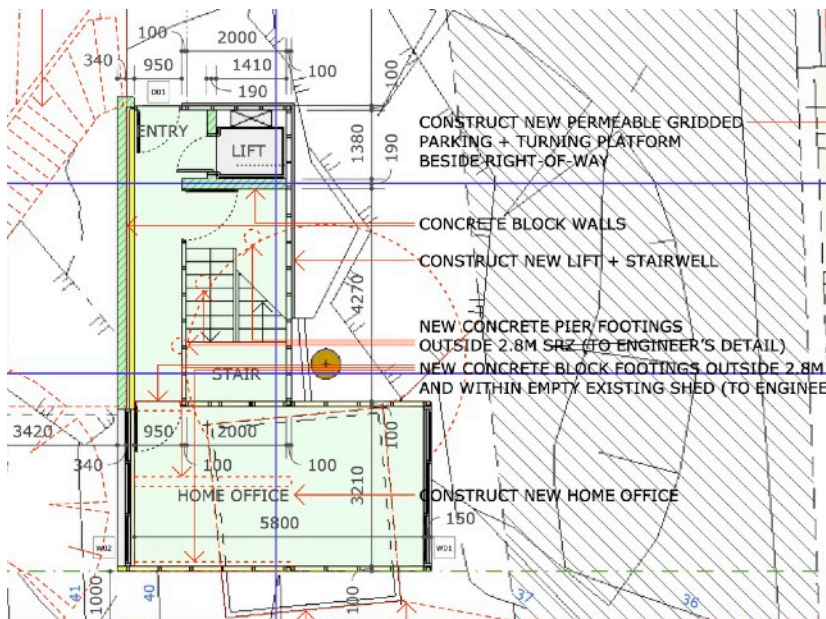


Figure 4b - Inside existing shed (Stephen Varady Associates)

Figure 4a - Architect's plan for footings around Tree 4. (Stephen Varady Associates)

An engineer has already been consulted regarding footings for the ground floor slab to maintain footings outside the 2.8m SRZ.

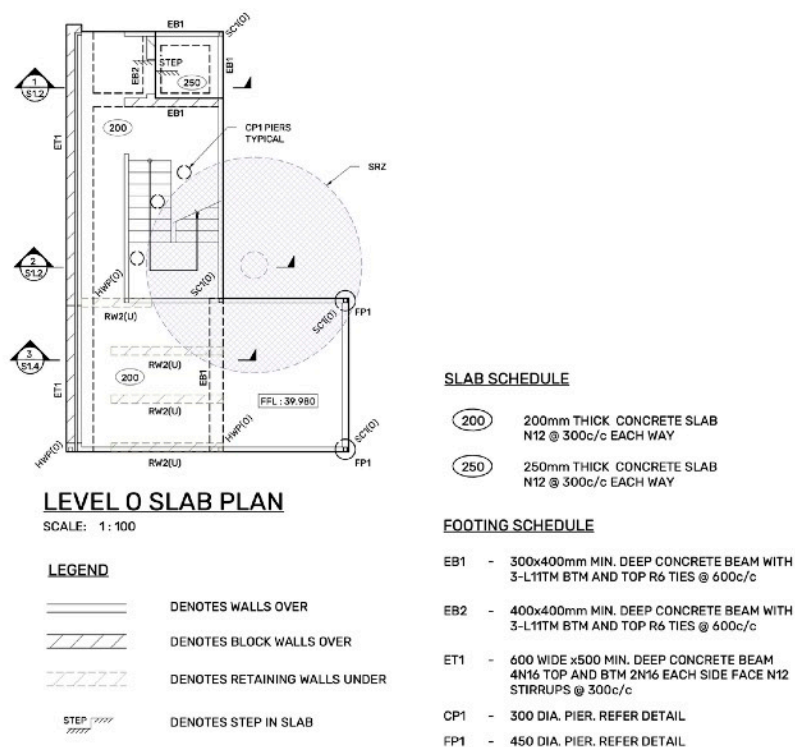


Figure 4c - Engineer's plan for footings around existing Tree 4 (Greenwood Consulting Engineers)

D12.8 Building Envelope

The existing dwelling already does not comply with the required building envelope setback on the short (E-W) section, due to the building being so close to the site boundary on the east and west, but then especially due to the extremely sloping site being greater than 16.7 degrees (30%).

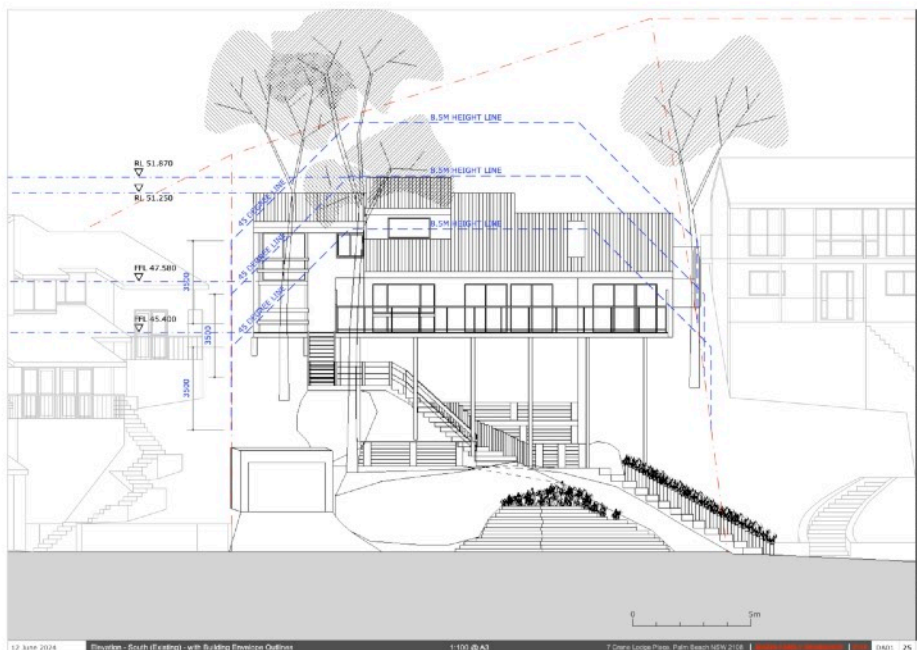


Figure 4d - Existing Short Section Building Envelope Lines (Stephen Varady Associates)

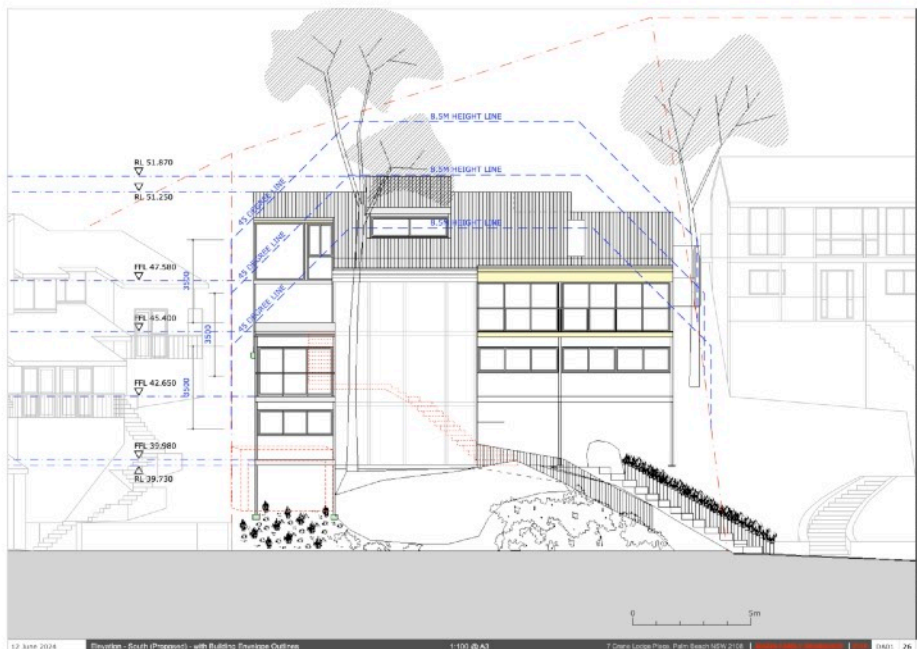


Figure 4e - Proposed Short Section Building Envelope Lines (Stephen Varady Associates)

Therefore the new alterations/additions also do not comply on the short (E-W) section, even though they are lower than the existing roof and gutter lines.

However, on the long (N-S) section, the existing dwelling fits within the required building envelope setback, and the proposed alterations/additions have been designed to also fit within the required building envelope setback as it falls down the site.

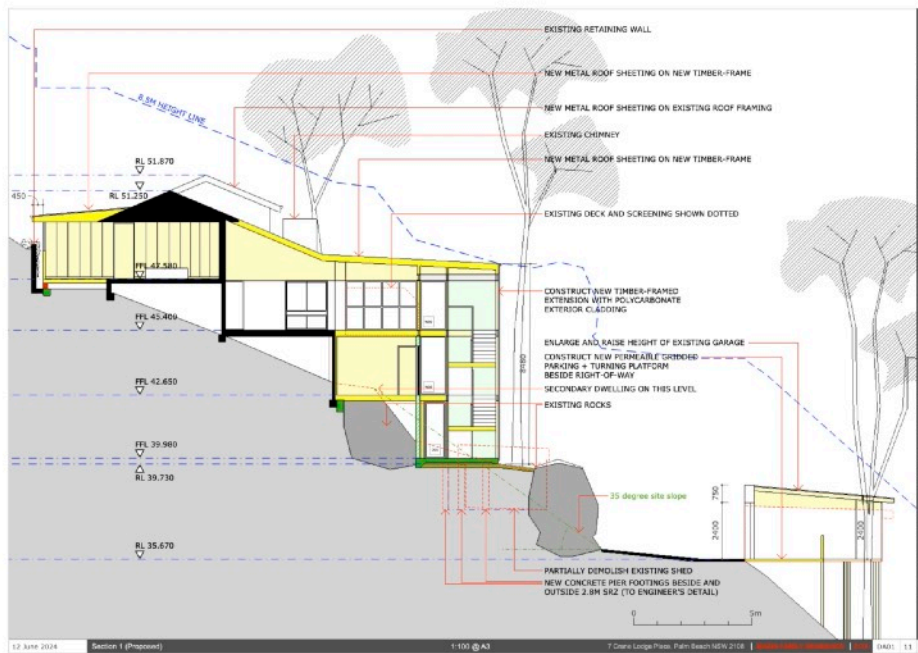


Figure 4f - Long Section 1 showing 8.5m height line (Stephen Varady Associates)

4.3 State Environmental Planning Policy (Sustainable Buildings) 2022

The State Environmental Planning Policy (Sustainable Buildings) 2022 aims to encourage the design and delivery of sustainable buildings, and to ensure consistent assessment of the sustainability of buildings. It applies to the residential part of this development.

A BASIX certificate has been included with this application showing that this proposal complies with the BASIX water, energy and thermal efficiency targets.

4.4 State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 2 of this policy aims to:

- (a) protect the biodiversity values of trees and other vegetation in non-rural areas of the State, and
- (b) to preserve the amenity of non-rural areas of the State through the preservation of trees and other vegetation.

The proposed development is supported by a landscape plan which outlines how the biodiversity values of trees and other vegetation on the site will be preserved, protected and enhanced through the addition of new 'native' planting, showing that the proposal is consistent with the objectives and requirements of the Policy. While the proposal indicates the removal of only two young existing trees, a great number of existing native trees with large canopies will remain on the site.

This has been supported by the Arborist in their attached Arborist Report.

4.5 Section 4.15 Environmental Planning and Assessment Act 1979 - Summary

The proposal has been prepared having regard to S4.15 of the Act and Council can be satisfied that:

- There will be no significant or unreasonable adverse built environment impacts from the proposed works on the site;
- The site is appropriate for accommodating the proposed development. The proposal has sufficiently addressed environmental considerations. There will be no significant or unreasonable adverse environmental impacts arising from the proposal.
- The proposal will result in positive social and economic impacts, noting:
 - Employment during the construction phase of the works.
 - Economic benefits, arising from the investment in improvements to the land.
 - Social benefits arising from the improvement of the existing property's access, internal facilities and family gathering areas.
- The proposal is permissible and consistent with the objectives of the zone, pursuant to the LEP. The proposal satisfies the provisions of the relevant provisions of the council's DCP.
- The proposal is compatible with the current and likely future character of development within the local context.
- It will not result in any significant unacceptable offsite impacts that limit the use or enjoyment of nearby or adjoining land.
- The proposal will have an acceptable impact when considering key amenity issues such as visual impact, views, overshadowing, noise and privacy.
- Given the site's location and established function, the site is assessed as being entirely suitable for the proposed development, and consistent with similar developments in the area.
- The public interest is best served through the approval of the application.

5 CONCLUSION

The application seeks development consent for alterations and additions, with secondary dwelling, including safe and secure entry, access stairwell and lift, along with additional rooms, general amenity improvements, and garage improvements at 7 Crane Lodge Place Palm Beach.

The design is a well considered and resolved solution for this site.

Given the steep existing site conditions, the proposed alterations and additions are consistent with the intent of the built form controls as they are reasonably applied to the site circumstances. The proposal will not result in any unreasonable impacts upon adjoining properties.

The few exceptions proposed to the planning controls have been appropriately acknowledged and their acceptability assessed, having regard to the relevant planning objectives and existing site circumstances.

This report demonstrates that the proposal is appropriately located and configured to complement the property's established character and the exceptions will not give rise to unacceptable residential amenity or streetscape consequences, and appropriately reflects the desired future character of the Palm Beach Locality.

When assessed against the Heads of Consideration pursuant to section 4.15 of the Environmental Planning and Assessment Act, 1979, the proposed development will be a positive contribution to the Palm Beach locality, and the application is worthy of support by Council.

A handwritten signature in black ink, appearing to read 'Stephen Varady', with a stylized, looping flourish extending from the end.

Stephen Varady B.Arch, M.Arch, RAIA, ARBNSW #6012

Director

Stephen Varady Associates