

# PROPOSED NEW DWELLING

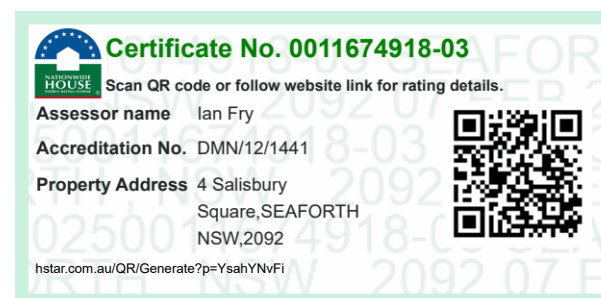
AT

4 SALISBURY SQUARE

SEAFORTH

FOR

Mr. J. & Mrs. M. SMYTH

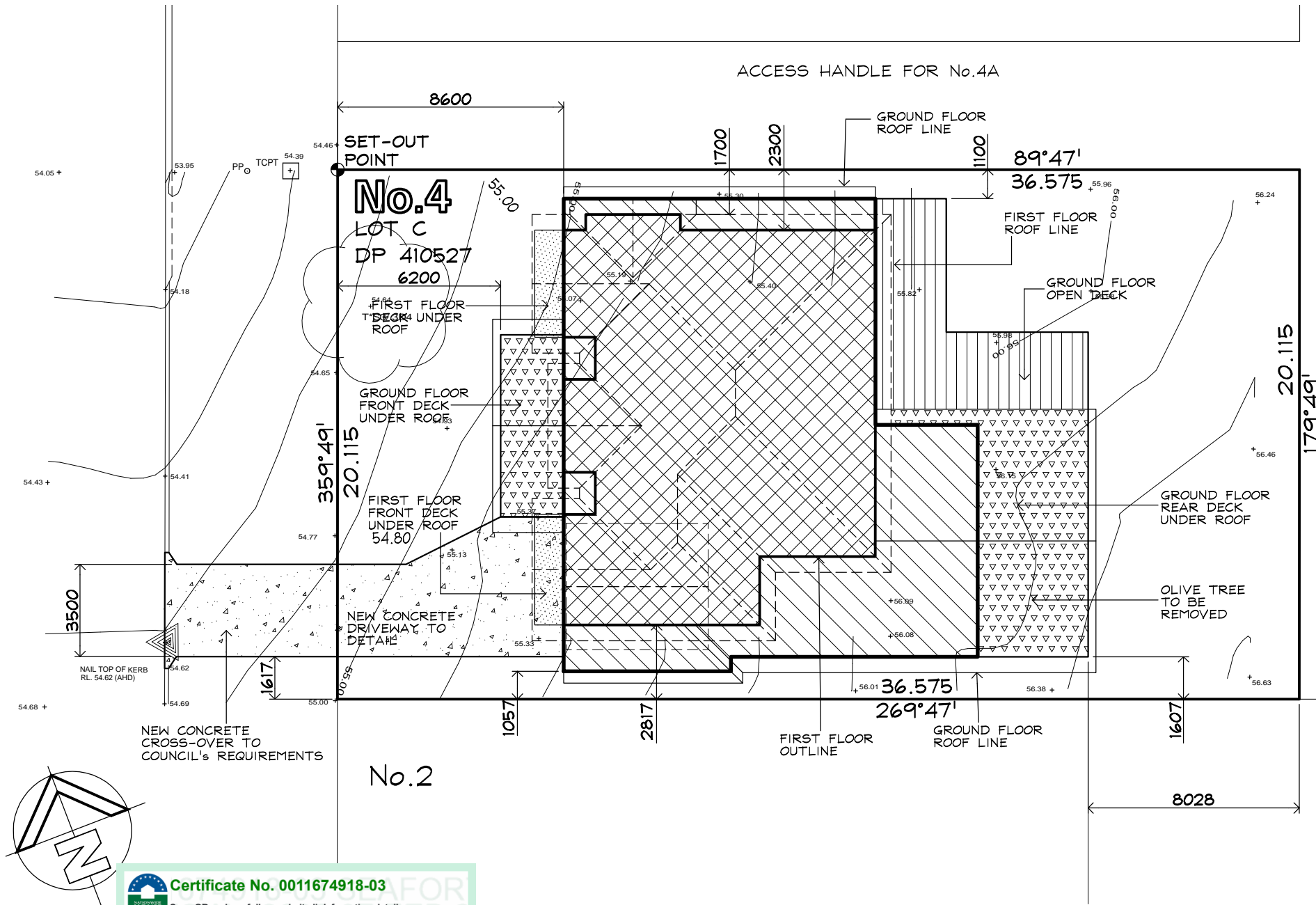


JANUARY 2025



SQUARE

SALISBURY



#### NOTES:-

1. ALL GLAZING TO WINDOWS & DOORS SHALL BE IN ACCORDANCE WITH THE NATHERS REPORT.
2. EXTERNAL WALL CLADDING SHALL BE SELECTED PLANK CLADDING WITH A SPECIFIED PAINTED COLOUR FINISH.
3. AN APPROVED RATED INSULATION TO ALL EXTERNAL TIMBER FRAMED WALLS IN ACCORDANCE WITH THE BASIX REPORT.
4. AN APPROVED RATED INSULATION MATERIAL TO BE PLACED IN THE CEILING SPACE WITHIN THE PERIMETER OF ALL EXTERNAL WALLS IN ACCORDANCE WITH THE BASIX REPORT.
5. AN APPROVED RATED CONDENSATION BLANKET PLACED UNDER ROOF SHEETING THRU-OUT IN ACCORDANCE WITH THE BASIX REPORT.
6. ROOF FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
7. EXTERNAL WALL FINISHES TO BE IN ACCORDANCE WITH THE BASIX REPORT.
8. ALL WINDOWS AND DOORS TO HAVE WEATHER STRIPPING.
9. ALL WINDOWS & DOORS AS NOTED ON PLAN WITH SPECIFIED COLOUR FINISH.
10. ALL PAINTING TO OWNERS REQUIREMENTS.
11. ALL POWER OUTLETS & SWITCHES TO OWNERS REQUIREMENTS.
12. ALL GLAZING TO CODE AS1288
13. ALL PEST TREATMENT TO CODE AS3660.1-2000
14. SMOKE ALARM DENOTED SA ON PLAN TO BCA 3.7.2 & AS3786
15. ALL WATERPROOFING TO WET AREAS TO CODE AS3740
16. ALL TIMBER FRAMING TO CODE AS1684
17. ALL WORK CARRIED OUT TO BE IN ACCORDANCE WITH THE BCA.

#### BASIX REQUIREMENTS

TO BE READ IN CONJUNCTION WITH THE  
BASIX CERTIFICATE NUMBER 17836855

ROOF AREA TO TANK TO BE USED  
FOR TOILET FLUSHING, COLD WATER  
CLOTHS WASHING AND GARDEN  
TAPS SUPPLY (MINIMUM) ----- 320 sq.m.

WATER STORAGE TANK CAPACITY ----- 2,000 MIN. LITRES

NEW SHOWER HEAD MINIMUM RATING ----- 3 STAR RATING

NEW TOILET MINIMUM RATING ----- 3 STAR RATING

ALL NEW TAP FITTINGS MINIMUM RATING ----- 3 STAR RATING

GLAZING TO ALUMINIUM FRAMED WINDOWS AND TIMBER DOORS OR OTHERWISE  
NOTED ARE TO BE IN ACCORDANCE WITH THE NATHERS/BASIX REPORT

ROOF COLOUR ----- LIGHT SA 0.40- 0.50

FLOOR ABOVE ENCLOSED SUBFLOOR ----- R2.5 RATING

FLOOR ABOVE GARAGE ----- R2.5 RATING

ROOF SHEETING ON INSULATION ----- R1.3 RATING

EXTERNAL WALLS INSULATION ----- R2.5 RATING

INTERNAL WALLS INSULATION ----- R2.5 RATING

CEILING INSULATION ----- R2.5 to R6.0 RATING (SEE NATHERS)

INDIGENOUS OR LOW WATER USE SPECIES OF VEGETATION THRU-OUT 0 sq.m.

OF THE SITE TO BE PLANTED REFER LANDSCAPE PLAN.

HOT WATER SERVICE TO BE GAS INSTANTANEOUS WITH A PERFORMANCE OF

7.0 STARS OR BETTER.

COOLING SYSTEM TO BE IN AT LEAST 1 LIVING AREA & 1 BEDROOM TO BE A

I-PHASE AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0-3.5 OR

BETTER PLUS TO BEDROOM ONLY. THE COOLING SYSTEM MUST

MUST PROVIDE FOR DAY/NIGHT ZONING BETWEEN LIVING & BEDROOM AREAS.

HEATING SYSTEM IN AT LEAST 1 LIVING AREA & 1 BEDROOM TO BE I-PHASE

AIR CONDITIONING WITH AN ENERGY RATING OF EER 3.0 - 3.5 OR BETTER.

FIXED OUTDOORS CLOTHES DRYING LINE TO BE INSTALLED

GAS COOKER WITH ELECTRIC OVEN.

APPLICANT MUST ENSURE THAT THE 'PRIMARY TYPE OF ARTIFICIAL LIGHTING'

IS FLUORESCENT OR LIGHT EMITTING DIODE (LED) LIGHTING IN EACH OF THE

FOLLOWING ROOMS, AND WHERE THE 'DEDICATED' APPEARS, THE FITTINGS

FOR THOSE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR

LIGHT EMITTING DIODE (LED) LAMPS.

. A MINIMUM OF 80% THROUGHOUT

Certificate No. 0011674918-03

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Assessor name Ian Fry

Accreditation No. DMN/12/1441

Property Address 4 Salisbury  
Square, SEAFORTH  
NSW, 2092

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## SITE PLAN

Scale 1:200

#### SITE CRITERIA

No.4 SALISBURY SQUARE SEAFORTH N.S.W. 2092  
LOT C D.P. 410527

SITE AREA ..... = 735.7 sq. m.

PROPOSED DRIVEWAY AREA, ENTRY PATH ..... = 41.1 sq. m.

PROPOSED GARAGE FLOOR AREA ..... = 39.7 sq. m.

PROPOSED GROUND FLOOR AREA EXCLUDING GARAGE ..... = 244.3 sq. m.

PROPOSED GROUND FLOOR FRONT DECK AREA ..... = 16.6 sq. m.

PROPOSED GROUND FLOOR REAR DECK AREA ..... = 79.2 sq. m.

PROPOSED TOTAL FIRST FLOOR AREA ..... = 164.6 sq. m.

PROPOSED FIRST FLOOR FRONT DECK NORTH ..... = 4.6 sq. m.

PROPOSED FIRST FLOOR FRONT DECK SOUTH ..... = 4.6 sq. m.

DWELLING ROOF AREA ..... = 341.5 sq. m.

2 CAR PARKING SPACES PROVIDED IN GARAGE

F.S.R. GROUND FLOOR AREA NOT INCLUDING GARAGE FLOOR AREA ..... = 195.5 sq. m.

F.S.R. FIRST FLOOR AREA ..... = 144.2 sq. m.

F.S.R. TOTAL FLOOR AREA ..... = 339.7 sq. m.

PROPOSED FLOOR SPACE RATIO ..... = 0.46: 1 (0.45 : 1 OR 331.1m2 REQUIRED, 8.6m2 OVER)

POST LANDSCAPE OPEN SPACE AREA ..... = 257.5 sq. m. 35.0%

POST HARDSTAND OPEN SPACE AREA ..... = 149.0 sq. m. 20.3%

POST TOTAL OPEN SPACE ..... = 406.5 sq. m. 55.3%

TOTAL HARDSTAND POST DEVELOPEMENT ..... = 375.6 sq. m. 51.0%

TOTAL IMPREVIOUS POST DEVELOPEMENT ..... = 382.3 sq. m. 52.0%

TOTAL EXISTING IMPREVIOUS DEVELOPEMENT ..... = 297.7 sq. m. 40.5%

#### GENERAL NOTES AND BCA / NCC COMPLIANCE

- EARTHWORKS METHOD OF EXCAVATION AND FILL TO COMPLY WITH PART 3.1.1. B.C.A.
- TERMITE RISK MANAGEMENT TO COMPLY WITH PART 3.1.3 OF THE B.C.A. AND AS3660-1
- FOOTINGS AND SLABS TO COMPLY WITH PART 3.2 OF THE B.C.A. , AS2870 AND ENGINEERS DETAILS
- MASONARY CONSTRUCTION TO COMPLY WITH PART 3.3 OF THE B.C.A. AND AS3700
- TIMBER FRAMING TO COMPLY WITH PART 3.4 OF THE B.C.A AND AS1684
- GLAZING TO COMPLY WITH PART 3.6 OF THE B.C.A. AND AS1288
- SMOKE ALARMS TO COMPLY WITH PART 3.7.2 OF THE B.C.A. AND AS3786
- STAIR CONSTRUCTION TO COMPLY WITH PART 3.9.1 OF THE B.C.A.
- BALISTRADES AND OTHER BARRIERS TO COMPLY WITH PART 3.9.2 OF THE B.C.A.
- NATURAL LIGHT TO COMPLY WITH PART 3.8.4 OF THE B.C.A.
- VENTILATION TO COMPLY WITH PART 3.8.5 OF THE B.C.A.
- ALL DAMP AND WEATHERPROOFING TO COMPLY WITH PART 3.8 OF THE B.C.A.
- ROOFING TO COMPLY WITH PART 3.5.1 OF THE B.C.A. AND AS/NZ1562
- FLOOR SURFACES OF WATER CLOSETS, SHOWER COMPARTMENTS AND THE A LIKE TO BE OF MATERIALS IMPERVIOUS TO MOISTURE AND WALLS FINISHED WITH AN APPROVED IMPERVIOUS FINISH TO COMPLY WITH THE REQUIREMENTS OF PART 3.8 OF THE B.C.A. AND AS3740
- CLOTHS WASHING, DRYING AND COOKING FACILITIES TO BE PROVIDED TO COMPLY WITH PART 3.8.3 OF THE B.C.A.

IF IN  
DOUBT  
ASK



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Incorporating Classic Country Cottages

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P.O. BOX 5240 CHITTAWAY BAY N.S.W. 2261

Tel : (02) 4352 1189 Fax : (02) 4352 1198

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4 SALISBURY SQUARE  
SEAFORTH**

FOR

**Mr. J. & Mrs. M. SMYTH**

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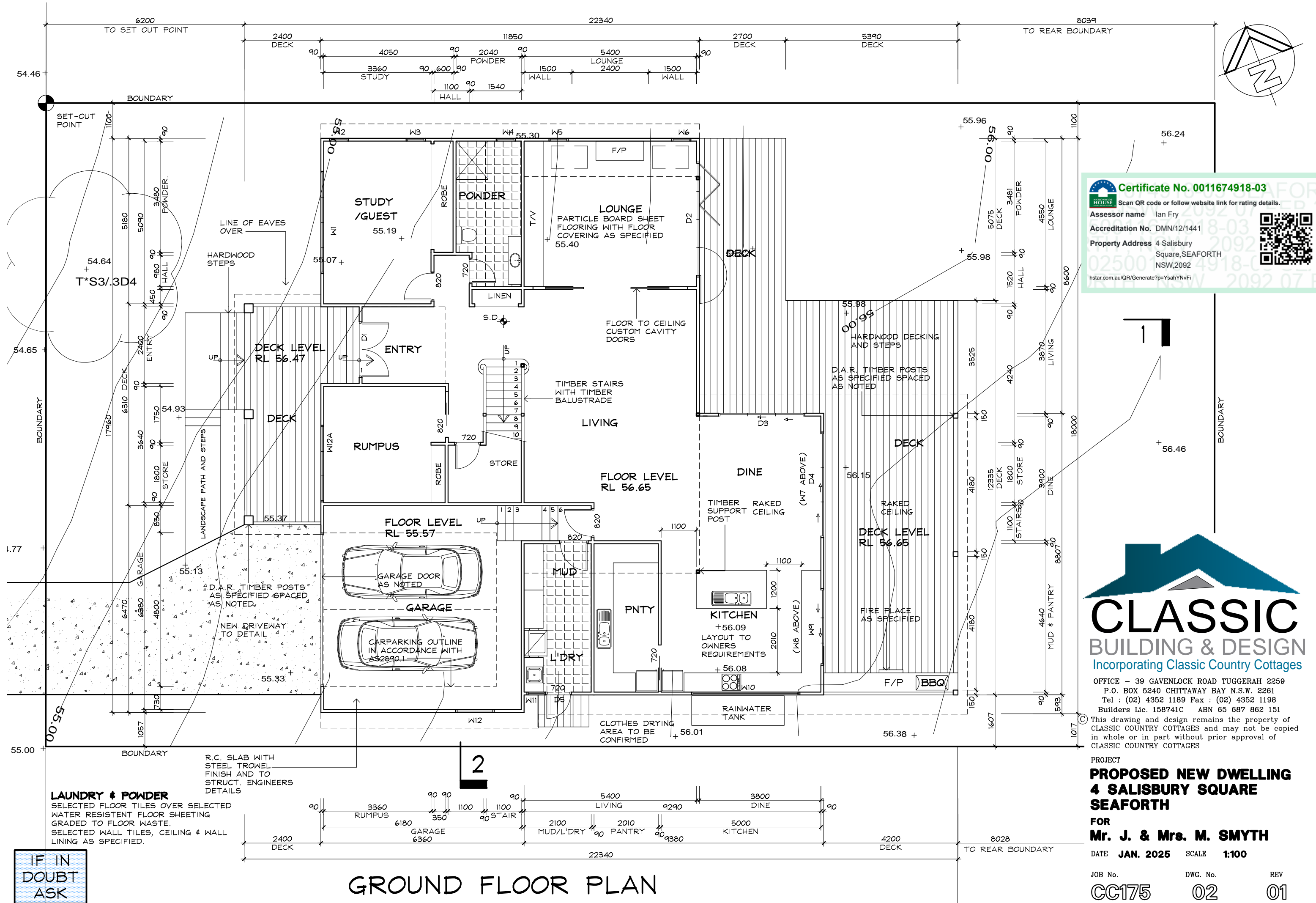
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**CC175**

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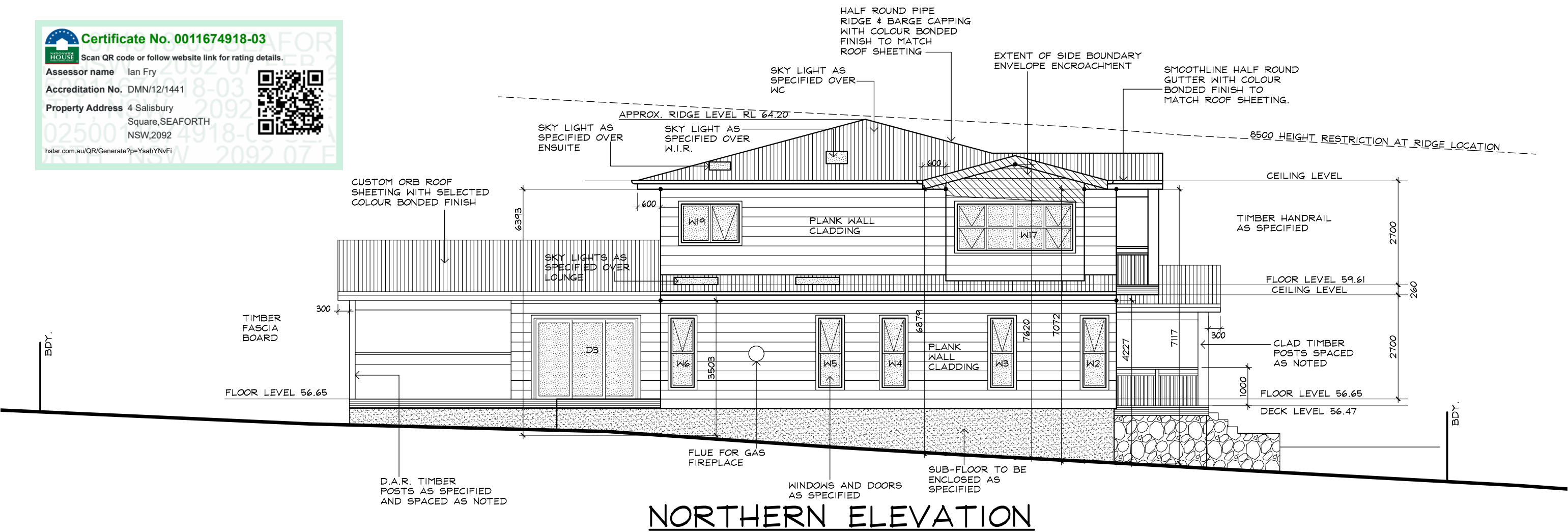
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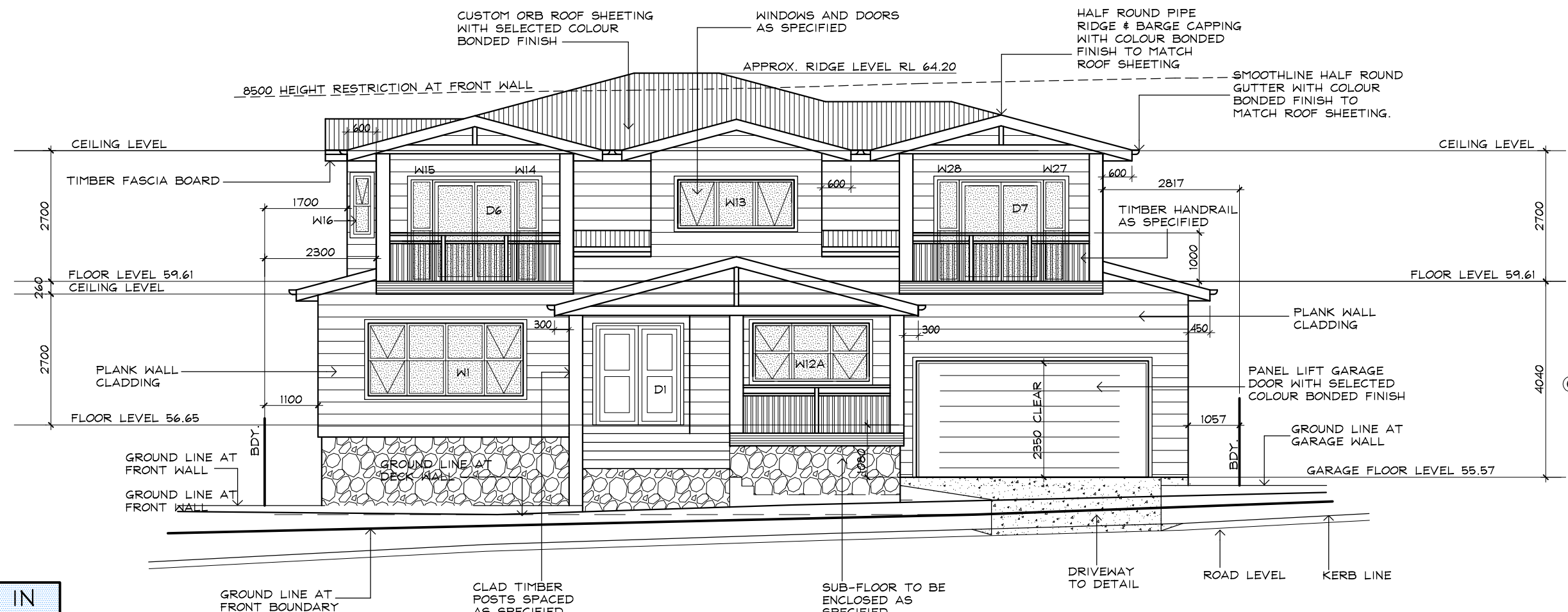
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NORTHERN ELEVATION



WESTERN ELEVATION



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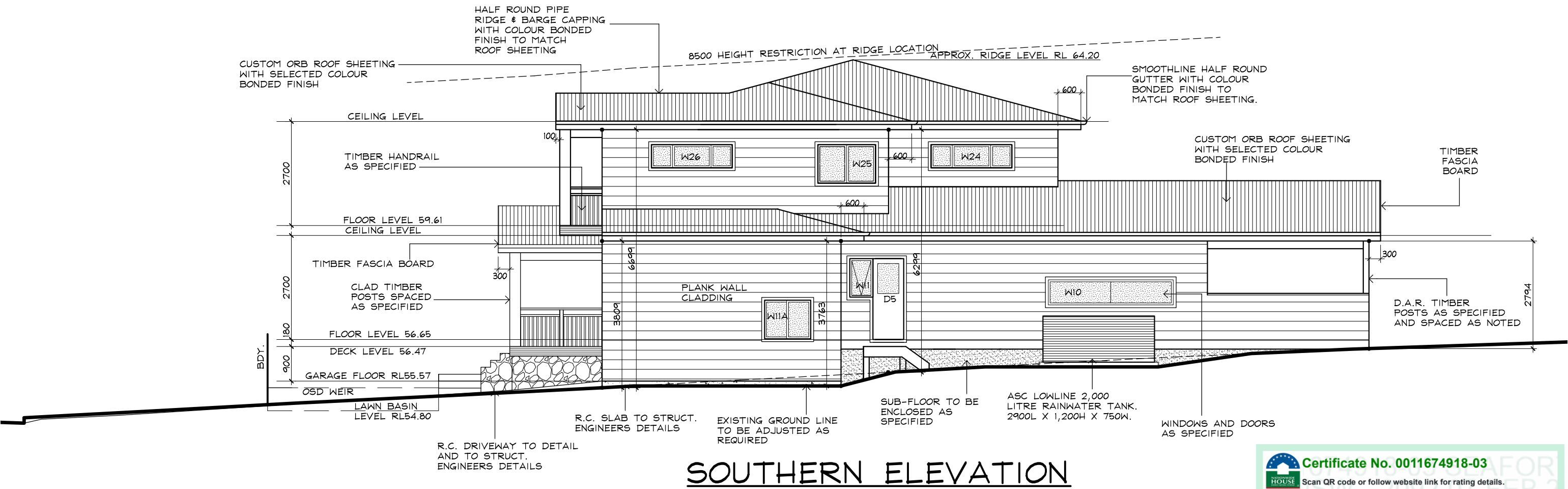
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SOUTHERN ELEVATION

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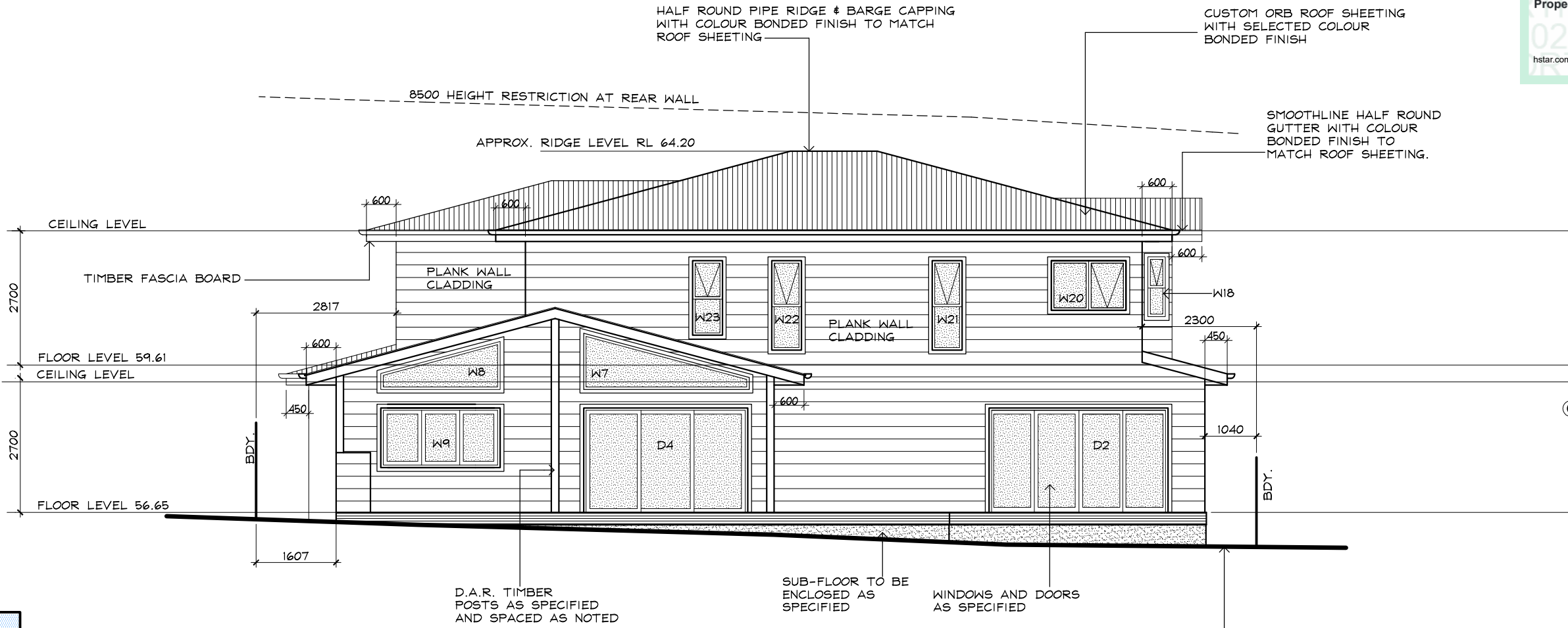
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EASTERN ELEVATION

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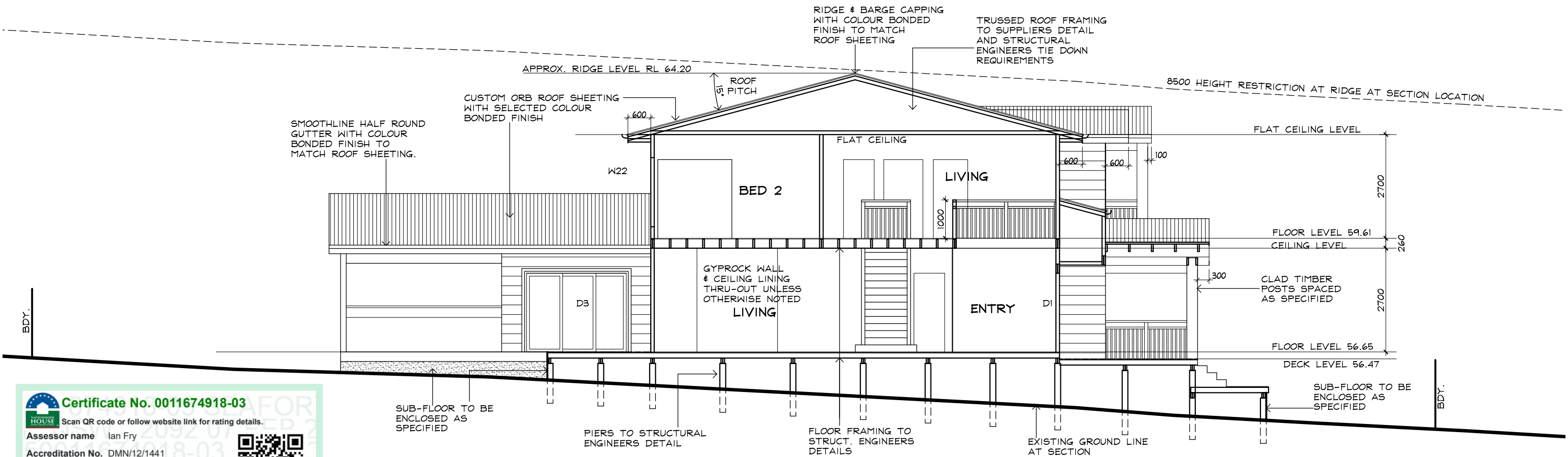
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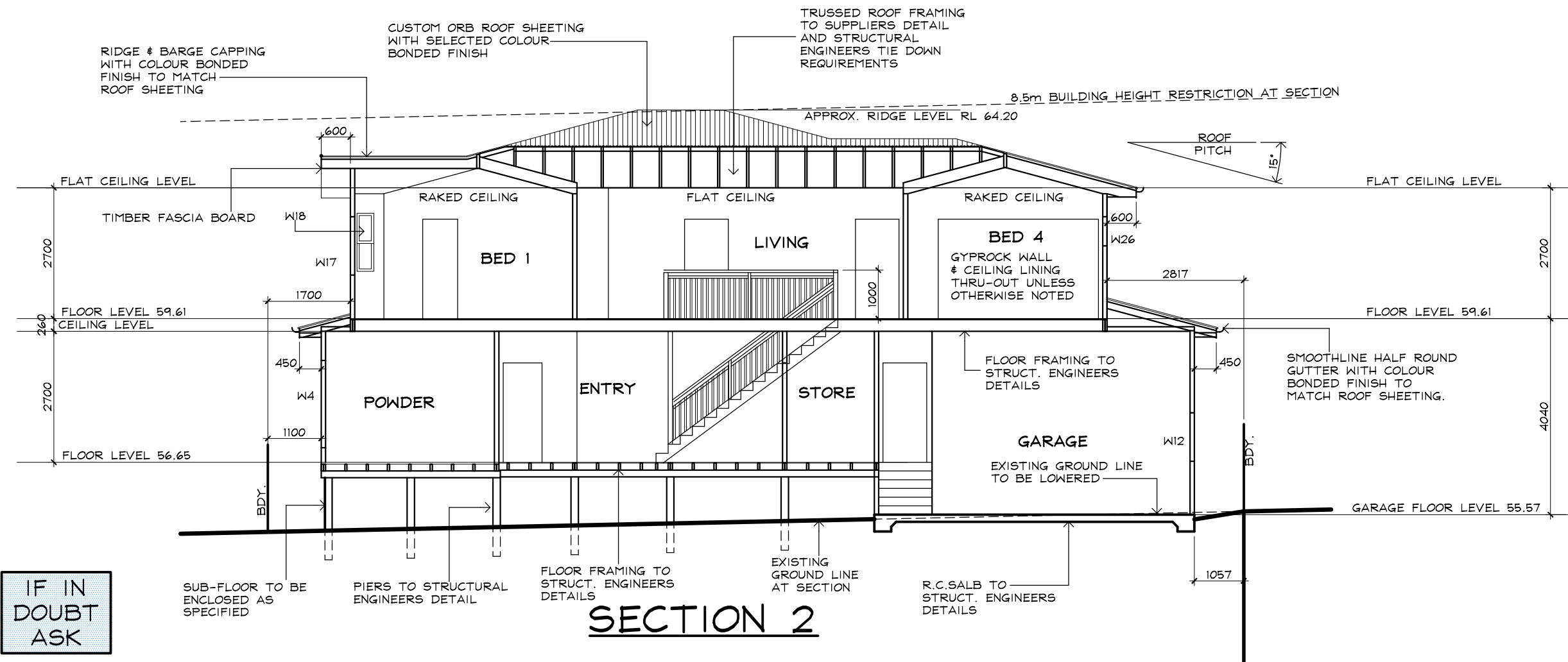
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## SECTION 1



## SECTION 2





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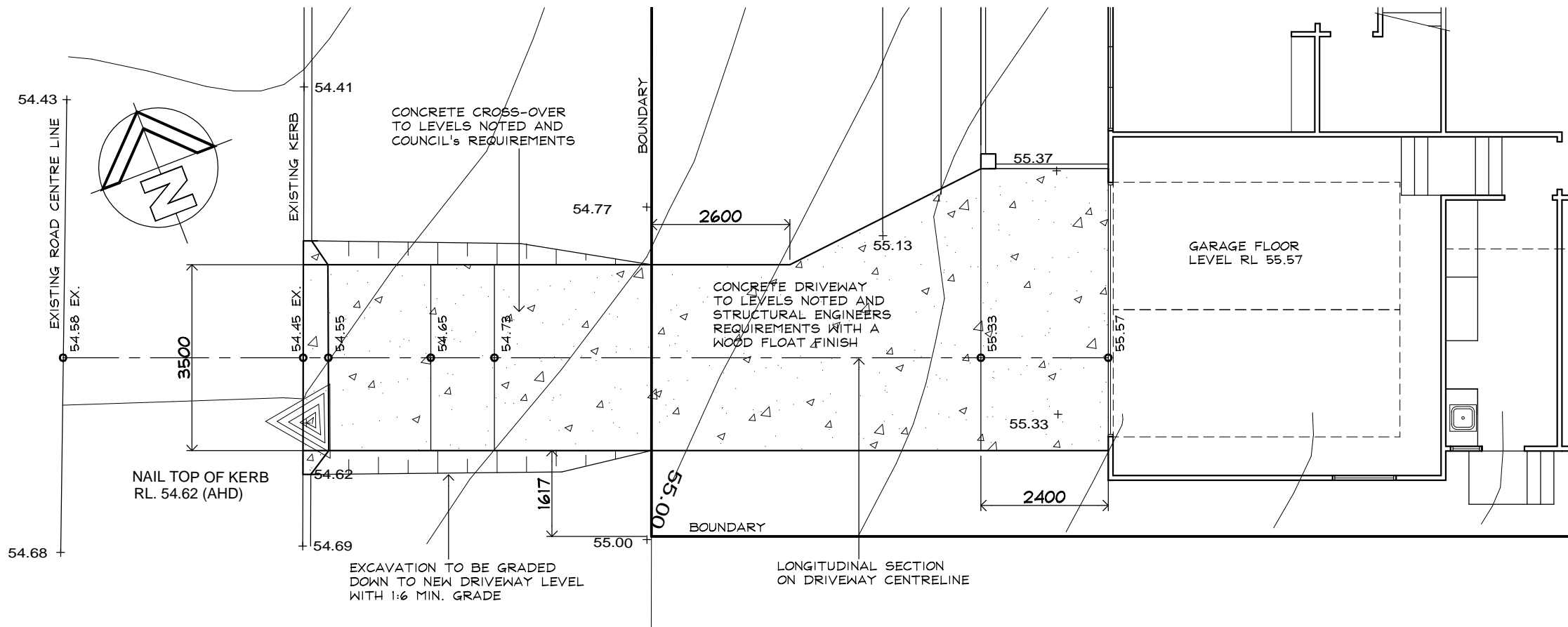
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**NOTE:-**  
 DRIVEWAY & CROSS-OVER HAS BEEN DESIGNED TO BE IN ACCORDANCE WITH THE COUNCIL'S NORMAL STANDARD VEHICLE CROSSING PROFILE A4 - 3330/2 NH

**NOTE:-**  
 DRIVEWAY CROSS-OVER TO BE IN ACCORDANCE WITH THE COUNCIL'S SPECIFICATION AND AUSTRALIAN STANDARD AS1428.1:2001-DESIGN FOR ACCESS AND MOBILITY.

CROSS-OVER TO BE IN ACCORDANCE WITH COUNCILS CIVIL INFRASTRUCTURE WORKS, DEVELOPEMENT & SUBDIVISION 2003 & AS1428.1 2001. TO PROVIDE FOR FUTURE FOOTPATH

## DRIVEWAY SET-OUT PLAN

Scale 1:100

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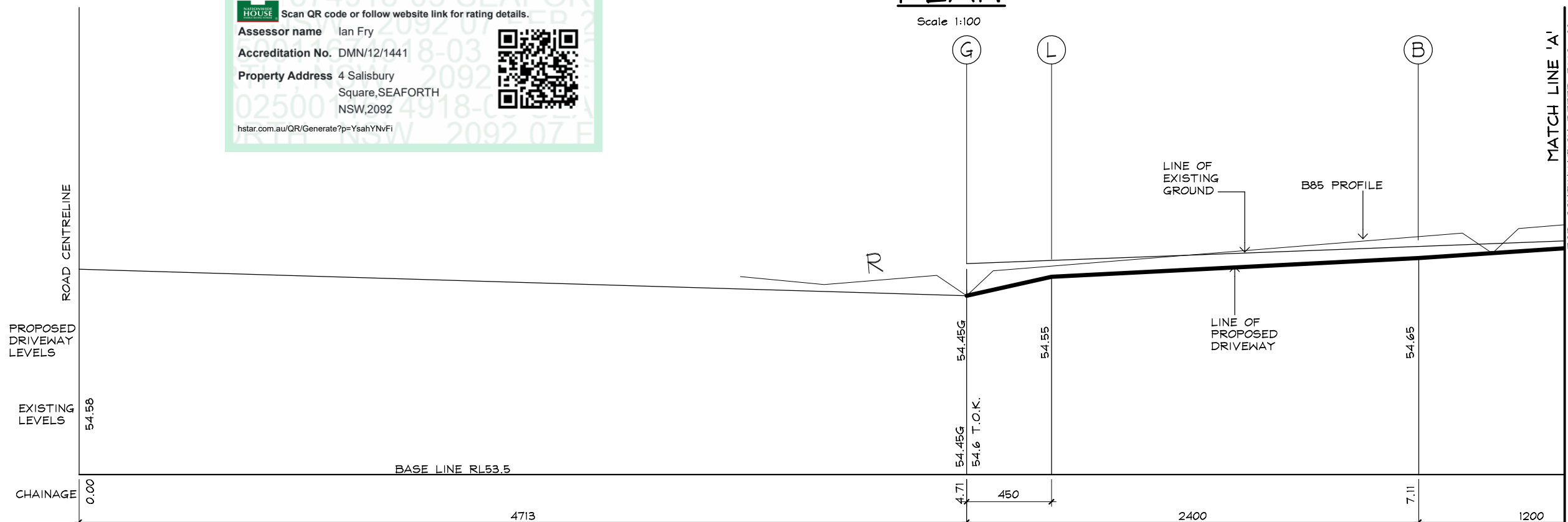
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## PART DRIVEWAY LONGITUDINAL SECTION ALONG CENTRELINE

Scale 1:25

IF IN DOUBT ASK

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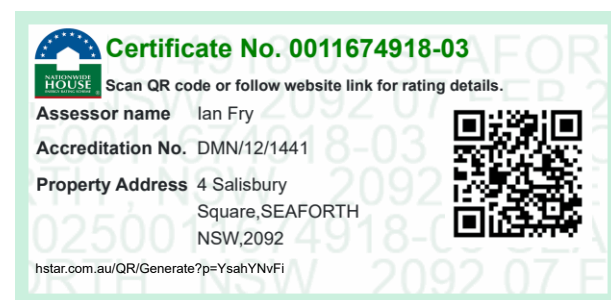
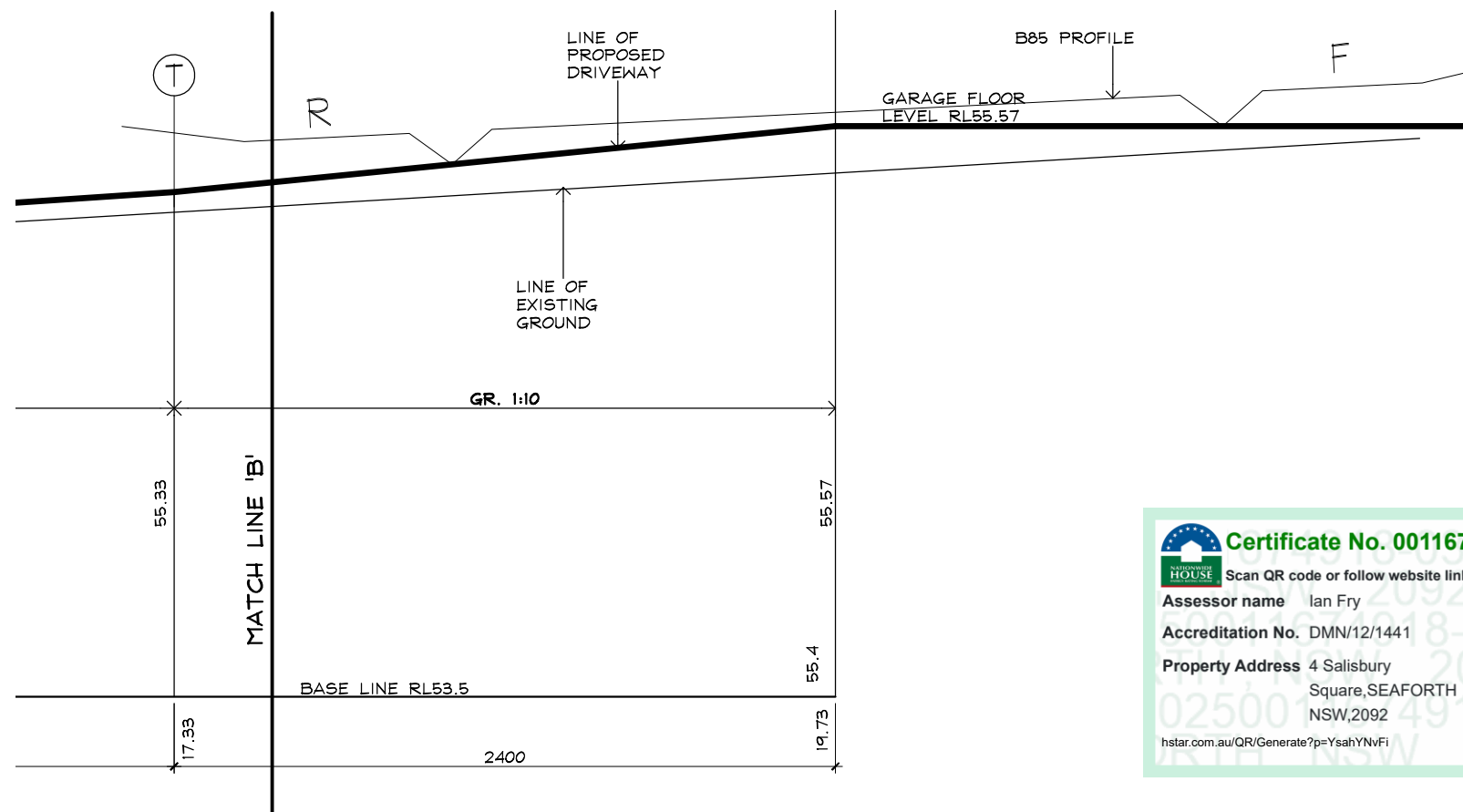
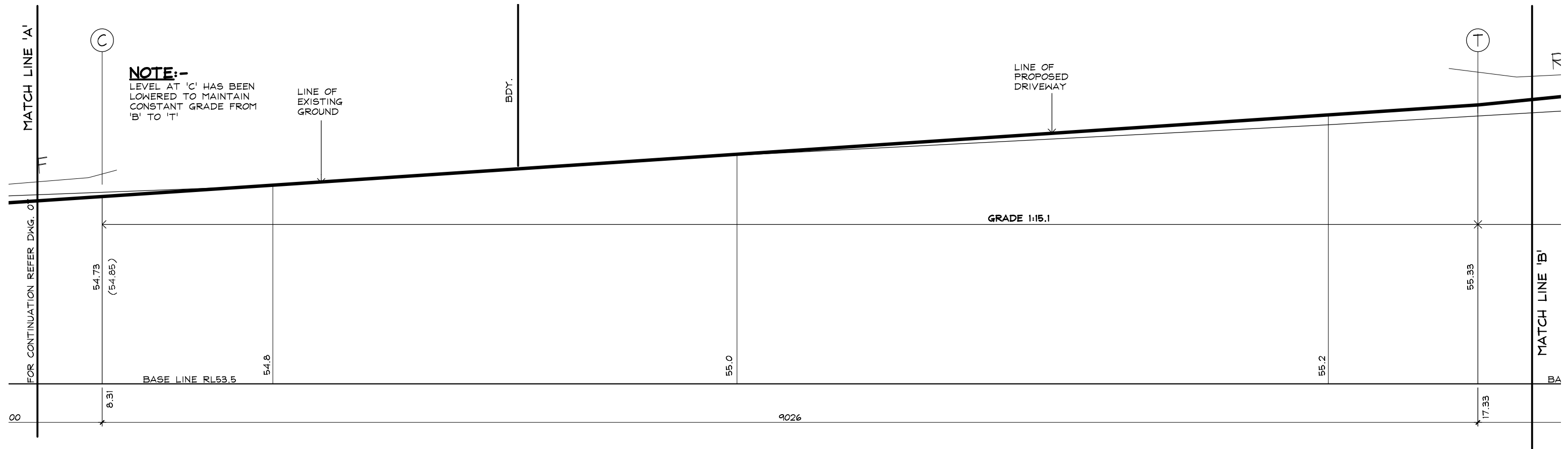
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JOB No. DWG. No. REV

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**08**

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**PART DRIVEWAY LONGITUDINAL SECTION ALONG SOUTHERN EDGE**

Scale 1:25

REMOVE EXISTING  
DRIVE STRIPS &  
KERB LAY-BACK  
RE-INSTALL KERB  
& GUTTER

No.6

2 TREES & SHRUBS  
TO BE REMOVED

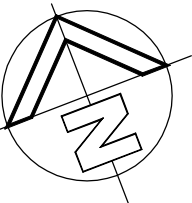
ACCESS HANDLE FOR No.4A

SALISBURY SQUARE

SEDIMENTATION  
CONTROL

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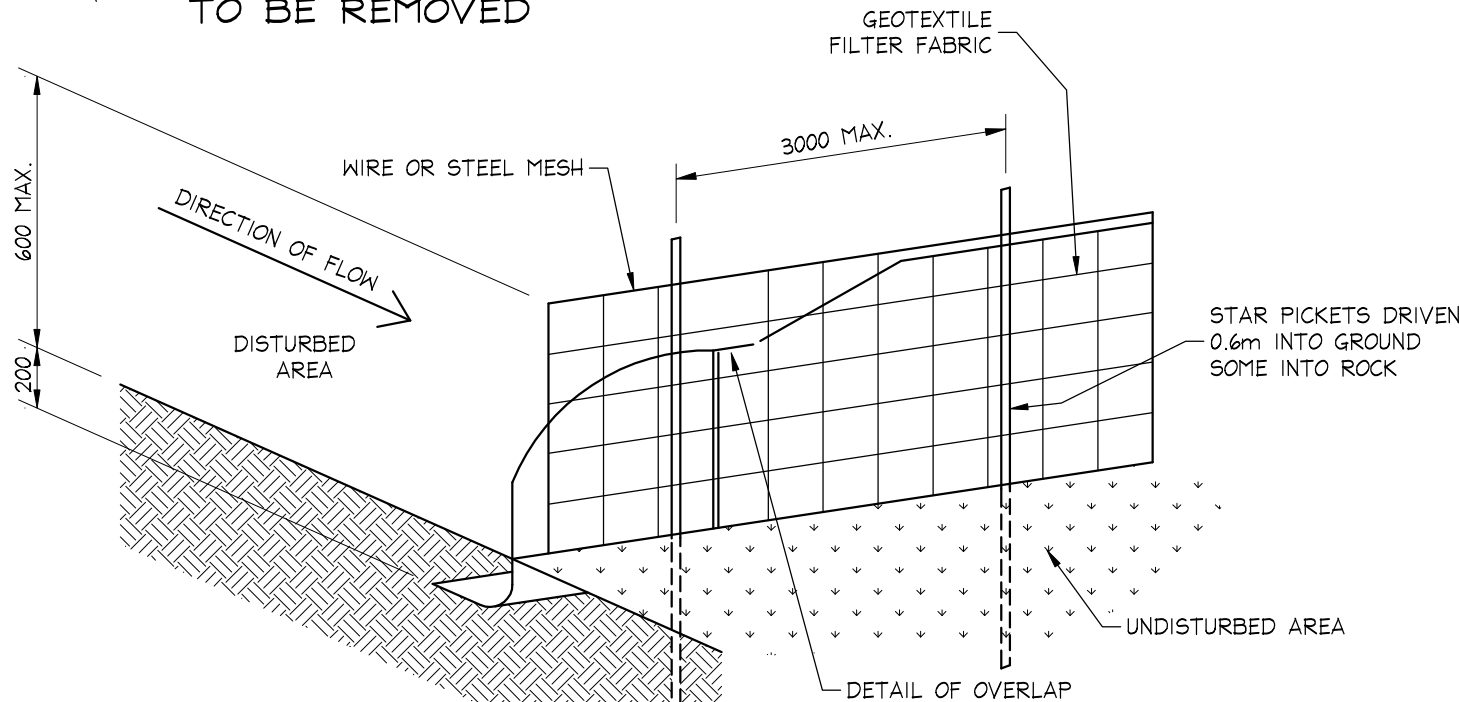
No.2



EXISTING CONCRETE  
DRIVEWAY, DWELLING,  
GARAGES & HARDSTAND  
TO BE REMOVED

## DEMOLITION AND SEDIMENTATION CONTROL FENCE PLAN

Scale 1:200



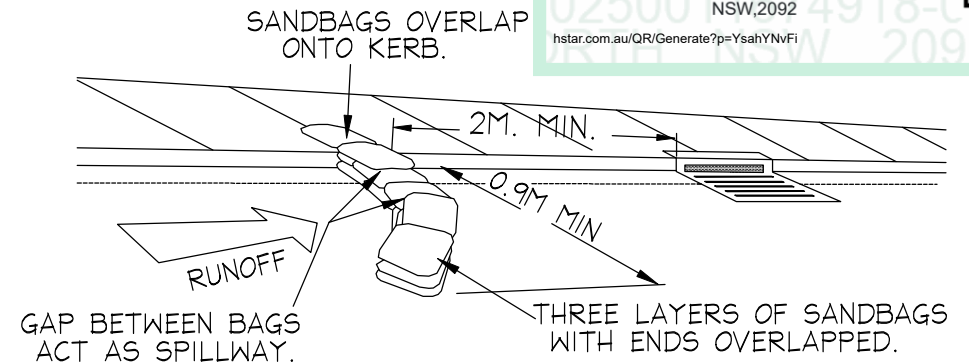
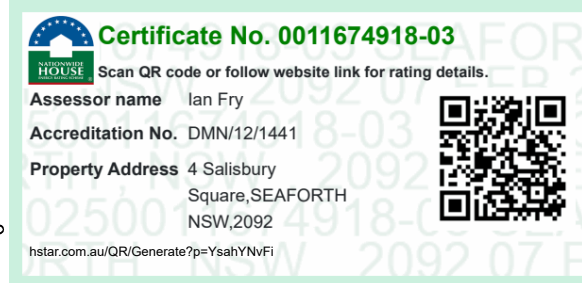
## SEDIMENTATION CONTROL FENCE DETAIL

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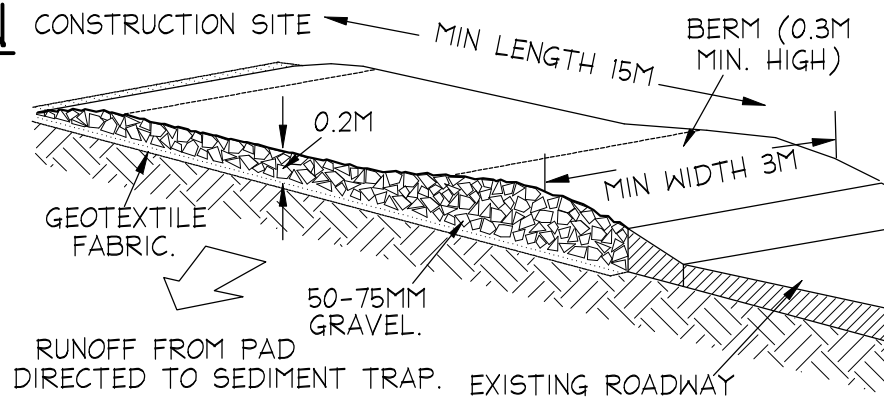
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## SEDIMENT CONTROL:

1. INSTALL SEDIMENT CONTROL STRUCTURES IN LOCATIONS INDICATED ON DRAWINGS AND AS OTHERWISE REQUIRED TO CONTROL SEDIMENT DURING ALL EXCAVATIONS AND WHILST AREAS OF THE SITE ARE EXPOSED TO EROSION.
2. CONTROL STRUCTURES TO BE AS DETAILED OR AS OTHERWISE REQUIRED.
3. REVIEW CONTROL MEASURES AND MAINTAIN STRUCTURES DURING CONSTRUCTION.
4. IF ADDITIONAL MEASURES ARE REQUIRED FOR EROSION CONTROL OR BY COUNCIL REQUIREMENTS REFER TO "URBAN EROSION AND SEDIMENT CONTROL" GUIDELINES PREPARED BY THE DEPARTMENT OF CONSERVATION AND LAND MANAGEMENT.



## SANDBAG KERB INLET SEDIMENT TRAP



## TYPICAL TEMPORARY CONSTRUCTION ENTRY/EXIT DETAIL

### CONSTRUCTION NOTES:

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE or 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE or OTHER SEDIMENT TRAP.
6. OR CONSTRUCT A CATTLE GRID LOCATED AT ANY POINT WHERE TRAFFIC ENTERS OF LEAVES THE SITE.



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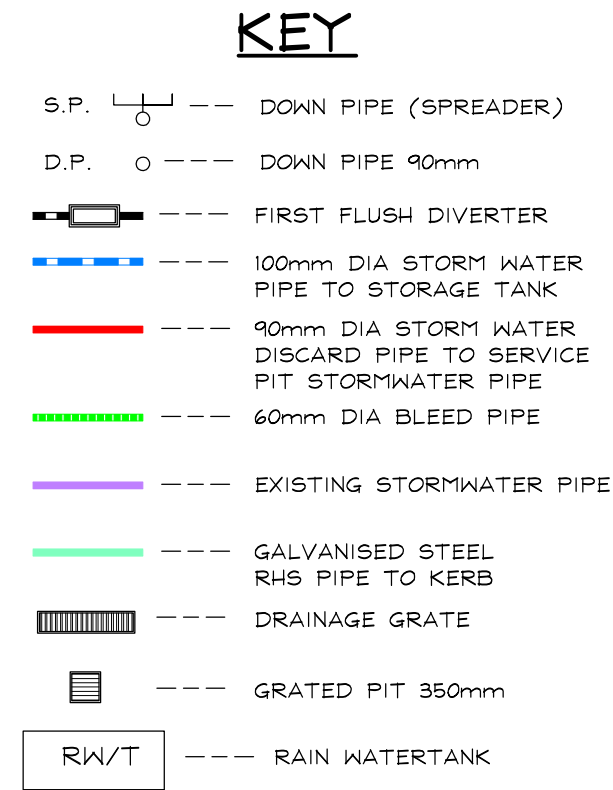
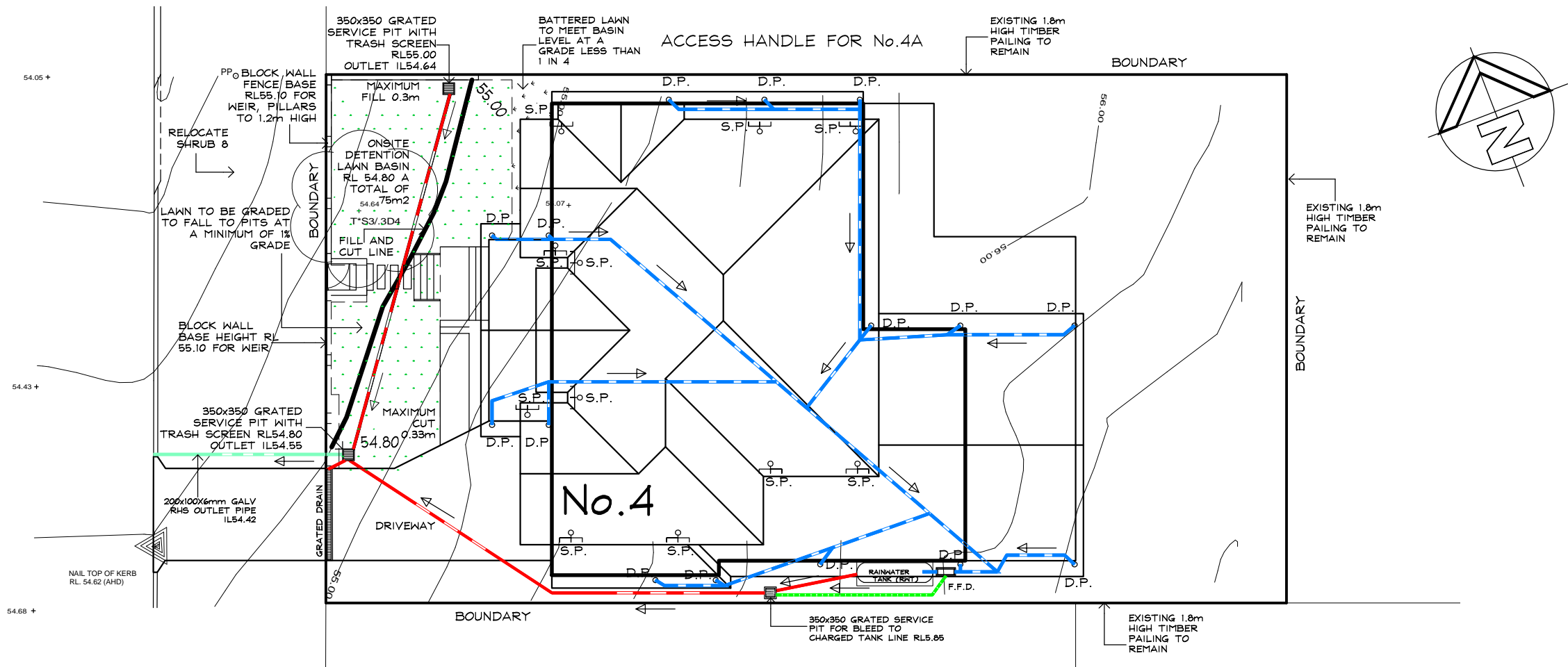
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## STORMWATER MANGEMENT PLAN No.1

Scale 1:200

### ONSITE STORMWATER DRAINAGE CALCULATIONS

TOTAL SITE AREA:	735.7 m2
ROOF CATCHMENT AREA	341.5 m2
OTHER PAVED AREAS (Refer to Site Plan)	41.1 m2
TOTAL IMPERVIOUS AREA	382.3 m2 (52.0%)
RAIN WATER TANK STORAGE (MINIMUM)	2,000 LITRES
ON-SITE DETENTION IS REQUIRED AS 382.6 m2 IS > 307.5 m2 (35% OF SITE AREA OF 735.7m2 = 257.5 + 50m2 = 307.5m2)	
STREAMLINE METHOD FOR SINGLE DWELLINGS AS SET OUT IN SECTION 9.3.2.3.	
SECTION/REGION:	SECTION/REGION 3
ZONE:	ZONE 1
MINIMUM SSR AND MAXIMUM PSD IN ACCORDANCE WITH TABLE 8	
MINIMUM SITE STORAGE REQUIRED (SSR):	0.2 m3 Per m2 = 14.7m3
MINIMUM O.S.D. VOLUME:	14.7m3
MINIMUM LAWN BASIN O.S.D. VOLUME PLUS 20%:	17.7m3
MINIMUM LAWN BASIN O.S.D. VOLUME (APPENDIX 8 < 60% IMP):	20.9 m3
PROPOSED LAWN BASIN AREA 75 m2 (0.28 m2 DEPTH X AREA 75 m2) =	21.0 m3
MAXIMUM PERMISSIBLE SITE DISCHARGE (PSD):	0.4 L/PER SEC = 29.5 L/PER SEC
POST DEVELOPEMENT SITE DISCHARGE: (5 YEAR)	21 L Per/Sec
POST DEVELOPEMENT SITE DISCHARGE: (5 YEAR)	41 L Per/Sec
POST DEVELOPEMENT MAXIMUM BASIN OVERFLOW:	20 L Per/Sec
O.S.D. ORIFICE SIZE:	T.B.A. BY ENGINEER
DRIVEWAY/IMPERVIOUS AREA TO BY PASS O.S.D:	0 m2
RAINWATER TANK VOLUME/SIZE:	2,000 L/T - 2.9 X 1.2 0.75 m

### HYDRAULIC NOTES

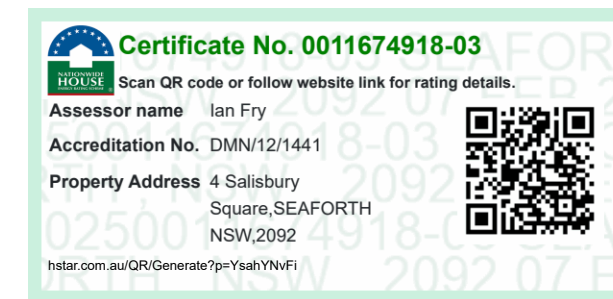
1. THE CONTRACTOR SHALL GIVE NOTICE TO COUNCIL'S ENGINEER IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS WHEN INSPECTIONS ARE REQUIRED.
2. WHERE DEPTH OF STORMWATER DRAINAGE PITS EXCEEDS 1.2m, HOT DIPPED GALVANISED STEEL STEP IRONS SHALL BE PROVIDED.
3. ALL PITS SHALL BE PRECAST CONCRETE WITH GRATE OR APPROVED EQUIVALENT UNLESS NOTED OTHERWISE.
4. STORMWATER CONNECTION TO COUNCIL'S DRAINAGE SYSTEM SHALL BE DONE UNDER THE SUPERVISION OF COUNCIL'S ENGINEER.
5. ALL STORMWATER PIPES BELOW AND INCLUDING 225Ø SHALL BE UPVC OR APPROVED EQUIV. UNLESS NOTED OTHERWISE.
6. ALL PIPES ABOVE 225Ø SHALL BE REINFORCED CONCRETE WITH RUBBER RING JOINTS UNLESS NOTED OTHERWISE.
7. MINIMUM PIPE COVER TO BE 700mm UNLESS NOTED OTHERWISE.
8. ALL PIPES TO BE LAID AND COVERED WITH SAND TO A MINIMUM DEPTH EQUAL TO THE PIPE DIAMETER, BUT NOT LESS THAN 300mm.
9. IN SANDY SOILS THE EXCAVATED SOIL MAY BE REUSED.
10. ALL 100Ø SUBSOIL DRAINAGE TO BE PLACED A MINIMUM OF 650mm BELOW FINISHED SURFACE LEVELS AND COVERED WITH A
11. MINIMUM OF 500mm GRAVEL.
12. PIPE BEDDING SUPPORT SHALL BE H1 UNLESS NOTED OTHERWISE.
13. STORMWATER GRATES AND MANHOLE CLASSES SHALL BE IN ACCORDANCE WITH AS3996.
14. WITH AS3996.
15. WHERE PIPE GRADES ARE NOT SHOWN ON DRAWINGS, MINIMUM PIPE GRADES SHALL BE 1% UNO.
16. PIPE GRADES INDICATED ON DRAWINGS ARE MINIMUM GRADES. IF MINIMUM GRADES CANNOT BE ACHIEVED CONTACT
17. THE DESIGN ENGINEER PRIOR TO PLACEMENT.

### RAINWATER TANK NOTES

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS. 3500.3.2.
2. THIS PLAN TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE NUMBER LISTED IN BASIX/NATERS NOTES.
3. A TOTAL RAINWATER TANK STORAGE CAPACITY OF 2,000 LITRES IS PROVIDED VIA ONE SLIMLINE TANK CONSISTING OF AN APPROX SIZE 750mm WIDE X 2,900mm L X 1,200mm H WATER TANK CONNECTED TO THE FOLLOWING:
  - ALL TOILETS IN THE DEVELOPEMNT.
  - THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHER IN THE DEVELOPMENT.
  - AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT (NOTED: NSW HEALTH DOES NOT RECOMMEND THAT RAINWATER BE USED FOR HUMAN CONSUMPTION.)
4. ALL PIPE AND DOWN PIPES TO BE PRESUURE GRADE PIPES TO 500mm ABOVE MAXIMUM WATER LEVEL OF RAIN WATERTANKS.

### GUTTER NOTES

1. ALL GUTTERS TO HAVE A MINIMUM CROSS SECTION AS OUTLINED IN TABLE 1.
2. ALL GUTTER GRADIENTS TO BE NOT LESS THAN 1:500
3. TOP OF FASCIA TO BE A MINIMUM OF 15mm ABOVE GUTTER SLOTTED OVERFLOW
4. DOWNPIPE SIZES TO BE IN ACCORDANCE WITH TABLE 1.



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PROJECT

**PROPOSED NEW DWELLING  
4 SALISBURY SQUARE  
SEAFORTH**

FOR

**Mr. J. & Mrs. M. SMYTH**

DATE **JAN. 2025** SCALE **1:200**

JOB No.

**CC175**

DWG. No.

**14**

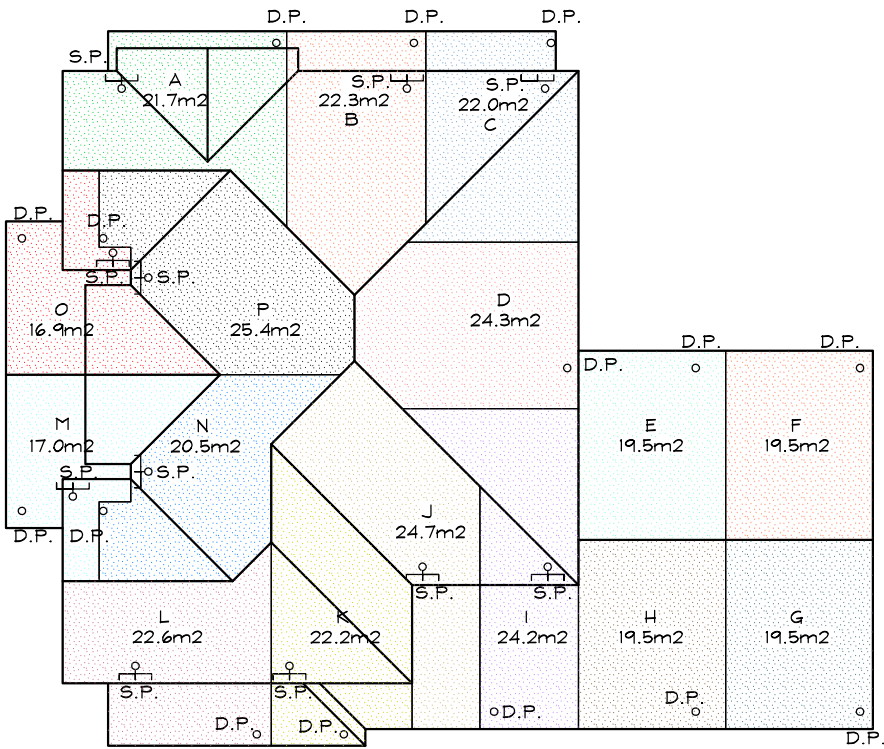
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**01**

IF IN  
DOUBT  
ASK

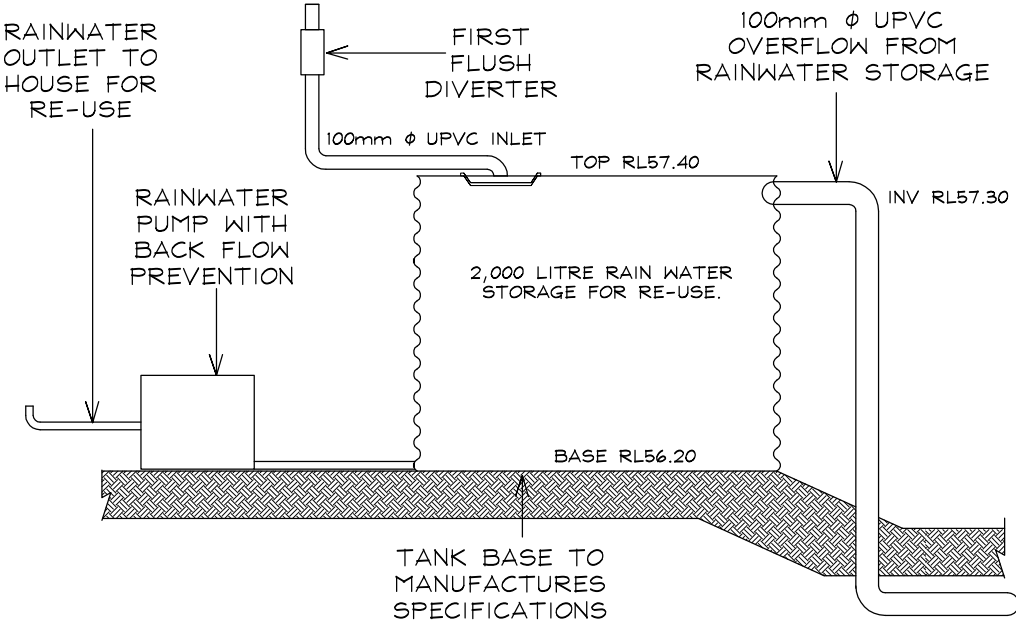
CATCHMENT AREAS FOR INDIVIDUAL  
DOWNPIPES AND GUTTERS

	PLAN VIEW AREA m2	AREA INC SLOPE	GUTTER mm2 (CROSS SECTION)	DOWNPIPE SIZE	AVERAGE RECURRENCE INTERVAL 1 IN 20 YEAR
A	21.7	23.0888	7700	90mm	200mm/hr
B	22.3	23.7272	7700	90mm	200mm/hr
C	22	23.408	7700	90mm	200mm/hr
D	24.3	25.8552	7700	90mm	200mm/hr
E	19.5	20.748	7700	90mm	200mm/hr
F	19.5	20.748	7700	90mm	200mm/hr
G	19.5	20.748	7700	90mm	200mm/hr
H	19.5	20.748	7700	90mm	200mm/hr
I	24.2	25.7488	7700	90mm	200mm/hr
J	24.7	26.2808	7700	90mm	200mm/hr
K	22.2	23.6208	7700	90mm	200mm/hr
L	22.6	24.0464	7700	90mm	200mm/hr
M	17	18.088	7700	90mm	200mm/hr
N	20.5	21.812	7700	90mm	200mm/hr
O	16.9	17.9816	7700	90mm	200mm/hr
P	25.4	27.0256	7700	90mm	200mm/hr



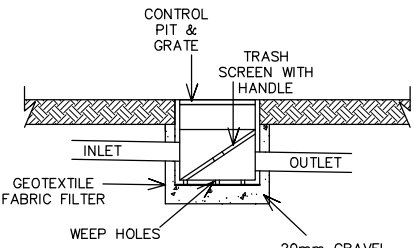
STORMWATER ROOF PLAN

Scale 1:200



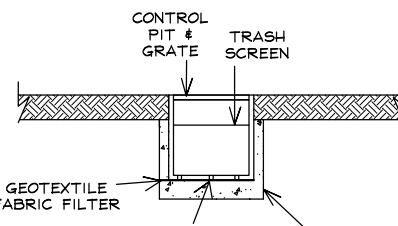
SECTION 1 RAINWATER TANK

N.T.S.



SECTION 2 CONTROL PIT

N.T.S.



SECTION 2 CONTROL PIT

N.T.S.



FRONT BOUNDARY FENCE ELEVATION

STORMWATER MANGEMENT PLAN No.2

Scale 1:200

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Scan QR code or follow website link for rating details.  
Assessor name Ian Fry  
Accreditation No. DMN/12/1441  
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BUILDING & DESIGN  
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