

<b>GFA</b>	
EXISTING:	168.4m <sup>2</sup>
PROPOSED:	272.9m <sup>2</sup>

**NOTES**

ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**LOT 8**  
**DP 234596**

**SITE AREA = 761.9 m<sup>2</sup>**

TRUE NORTH:



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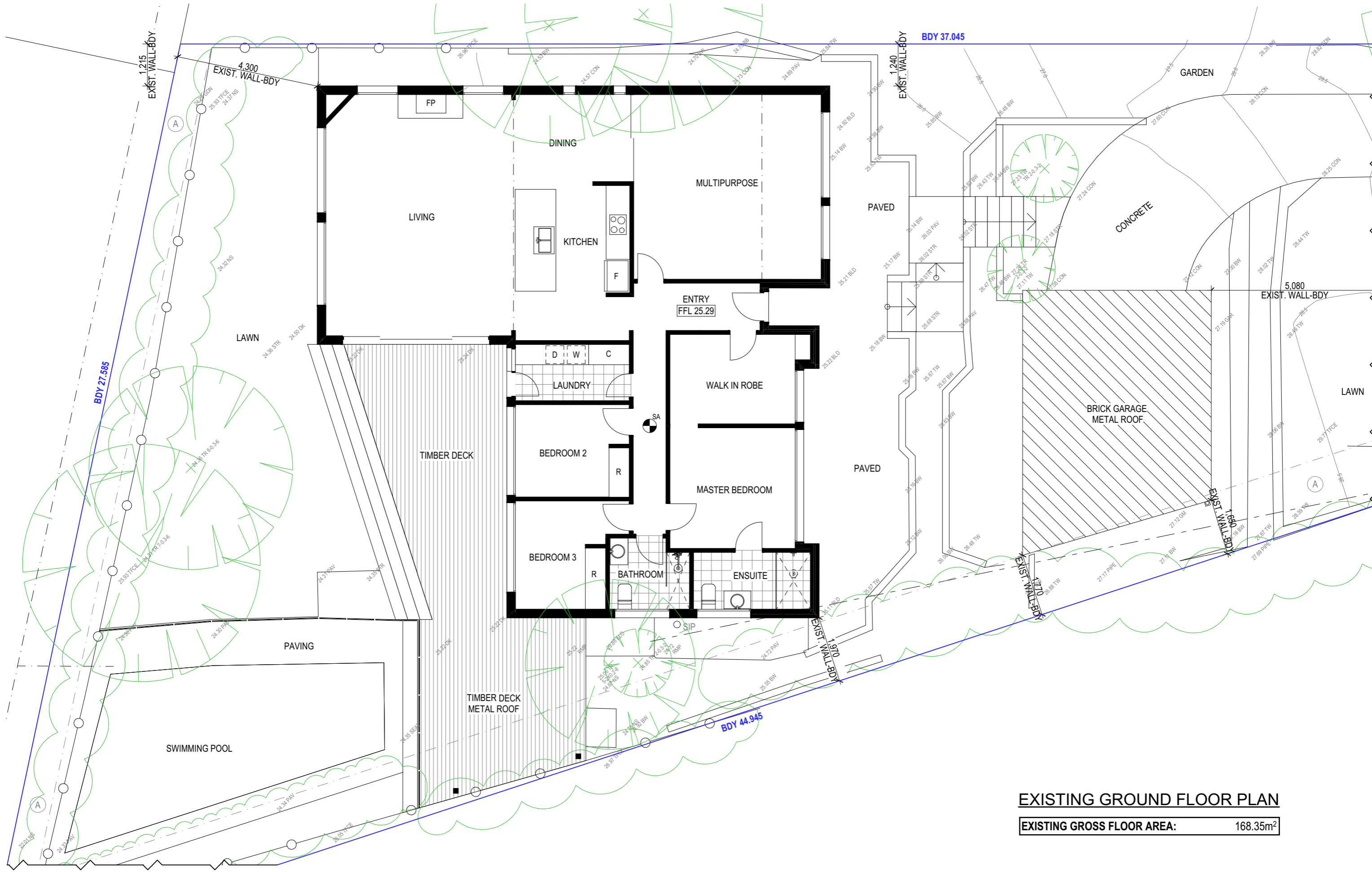
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(B)	17/06/24	PRELIM. OPTION 3
(C) A	24/06/24	CDC DRAWINGS
(D) B	27/06/24	DA DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS  
6 DELWOOD CLOSE, MONA VALE  
CLIENT:  
SCOTT & SALLY WILLOUGHBY  
DRAWING TITLE:  
SITE ANALYSIS PLAN



DATE: OCT/23	DRAWN BY: AD	SCALE: 1:200 @ A3
JOB No: 1204/23	CHECKED BY: JJ	DRAWING No: <b>DA.01</b>

**SITE ANALYSIS PLAN**



**EXISTING GROUND FLOOR PLAN**

**EXISTING GROSS FLOOR AREA: 168.35m<sup>2</sup>**

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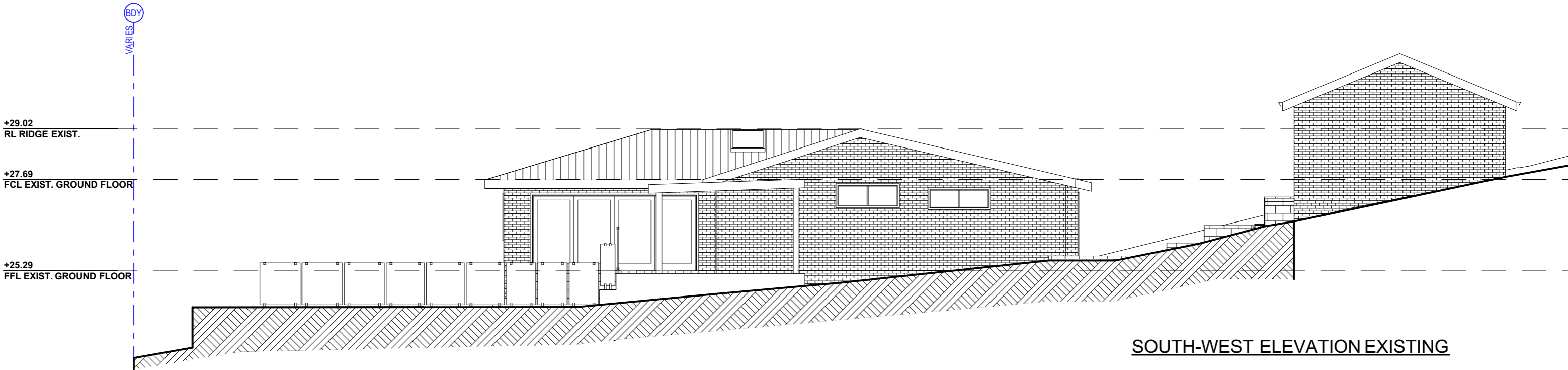
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 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY

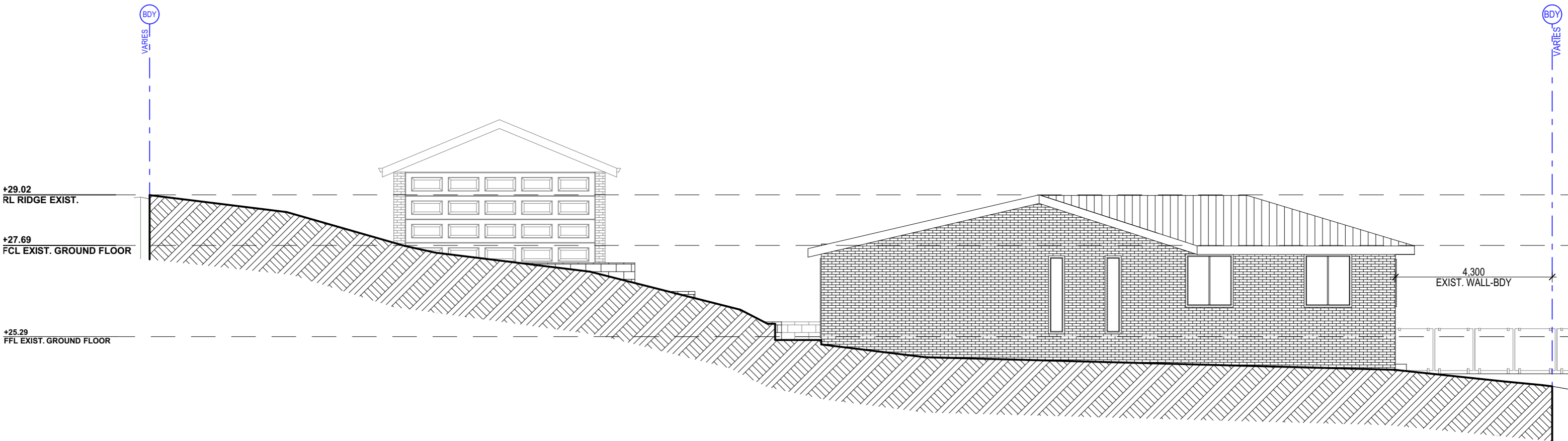
DRAWING TITLE:  
 EXISTING FLOOR PLAN

**ACCREDITED BUILDING DESIGNER**

DATE: OCT/23	DRAWN BY: AD	SCALE: 1:100 @ A3
JOB No: 1204/23	CHECKED BY: JJ	DRAWING No: <b>DA.02</b>



**SOUTH-WEST ELEVATION EXISTING**



**NORTH-EAST ELEVATION EXISTING**

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PROPOSED ALTERATIONS AND ADDITIONS  
6 DELWOOD CLOSE, MONA VALE  
CLIENT:  
SCOTT & SALLY WILLOUGHBY  
DRAWING TITLE:  
EXISTING ELEVATIONS



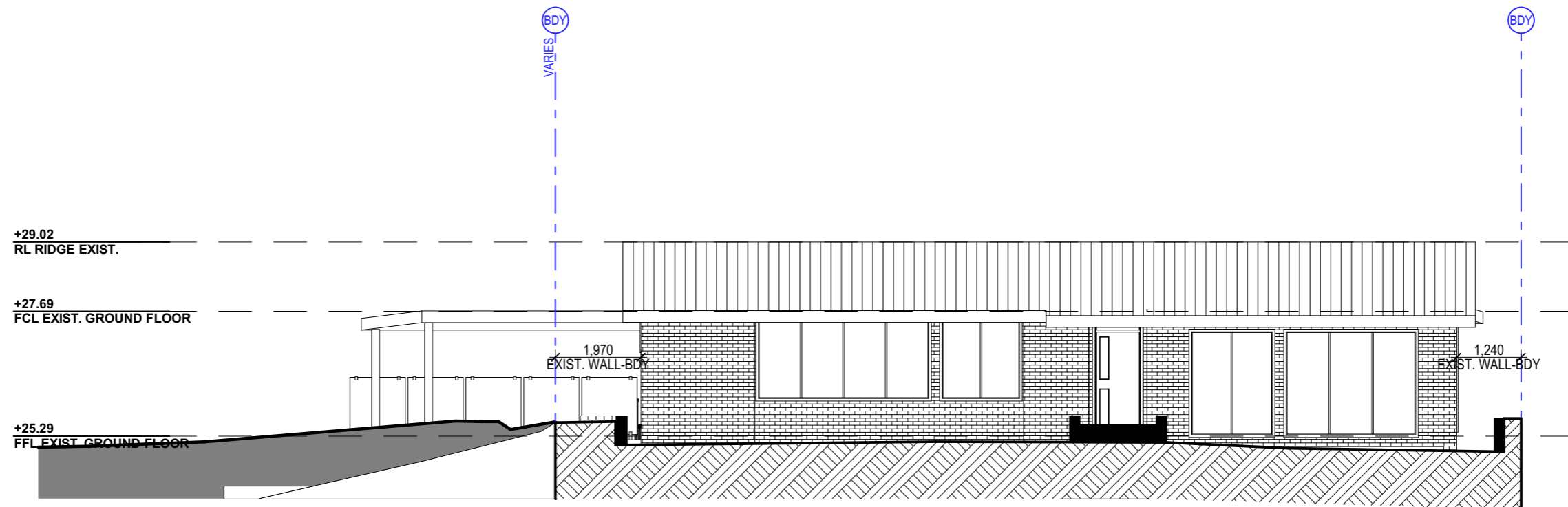
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1204/23

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AD  
CHECKED BY:  
JJ

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DRAWING No:  
**DA.03**



**NORTH-WEST ELEVATION EXISTING**



**SOUTH-EAST ELEVATION EXISTING**

**NOTES (E & OE)**

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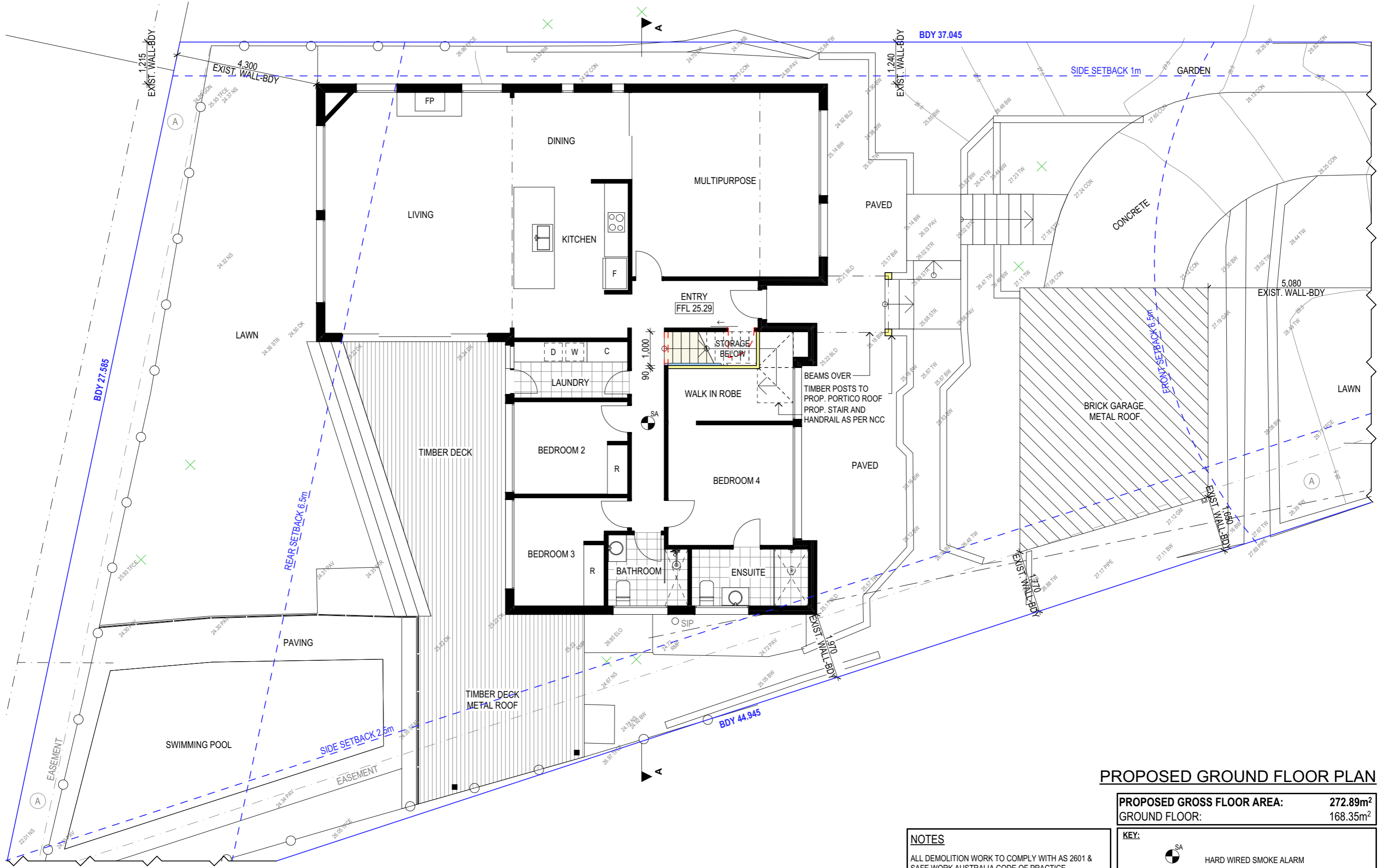
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PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE CLIENT: SCOTT & SALLY WILLOUGHBY
DRAWING TITLE: EXISTING ELEVATIONS



DATE: OCT/23	DRAWN BY: AD	SCALE: 1:100 @ A3
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**PROPOSED GROUND FLOOR PLAN**

<b>PROPOSED GROSS FLOOR AREA:</b>	<b>272.89m<sup>2</sup></b>
<b>GROUND FLOOR:</b>	<b>168.35m<sup>2</sup></b>

**NOTES**  
 ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**KEY:**

	HARD WIRED SMOKE ALARM
--	------------------------

**TRUE NORTH:**

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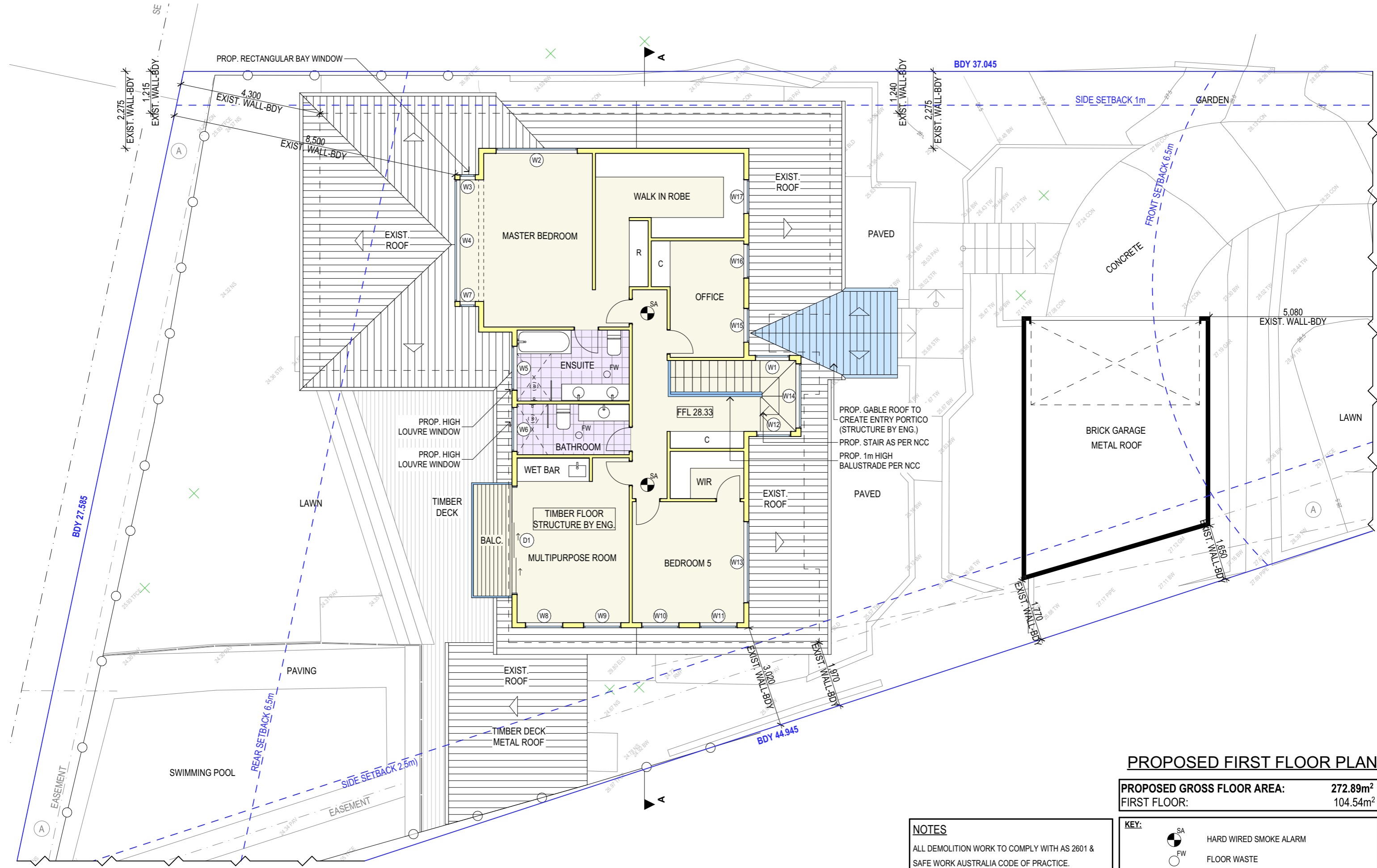
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**PROPOSED ALTERATIONS AND ADDITIONS**  
 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY  
 DRAWING TITLE:  
 FLOOR PLAN

**bdaa**  
 ACCREDITED  
 BUILDING DESIGNER



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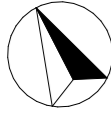


**PROPOSED FIRST FLOOR PLAN**

**PROPOSED GROSS FLOOR AREA:** 272.89m<sup>2</sup>  
**FIRST FLOOR:** 104.54m<sup>2</sup>

**NOTES**  
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**KEY:**  
 HARD WIRED SMOKE ALARM  
 FLOOR WASTE

**TRUE NORTH:** 

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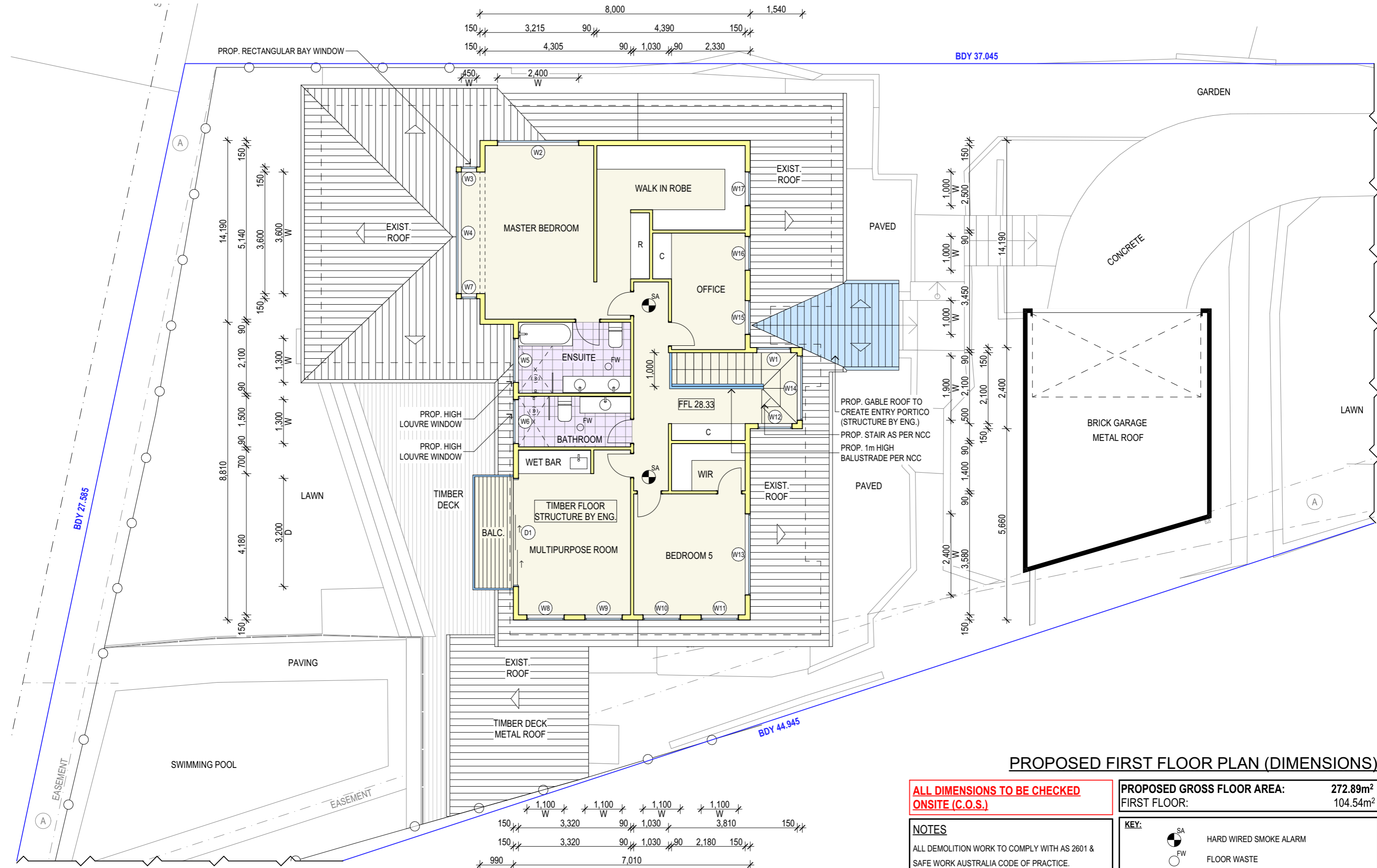
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**PROPOSED ALTERATIONS AND ADDITIONS**  
 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY

DRAWING TITLE:  
**FLOOR PLAN**



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**PROPOSED FIRST FLOOR PLAN (DIMENSIONS)**

**ALL DIMENSIONS TO BE CHECKED  
ONSITE (C.O.S.)**

**PROPOSED GROSS FLOOR AREA:** 272.89m<sup>2</sup>  
**FIRST FLOOR:** 104.54m<sup>2</sup>

**NOTES**  
ALL DEMOLITION WORK TO COMPLY WITH AS 2601 & SAFE WORK AUSTRALIA CODE OF PRACTICE.

**KEY:**  
 HARD WIRED SMOKE ALARM  
 FLOOR WASTE

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**PROPOSED ALTERATIONS AND ADDITIONS**  
 6 DELWOOD CLOSE, MONA VALE  
**CLIENT:**  
 SCOTT & SALLY WILLOUGHBY  
**DRAWING TITLE:**  
 FLOOR PLAN



**DATE:**  
OCT/23

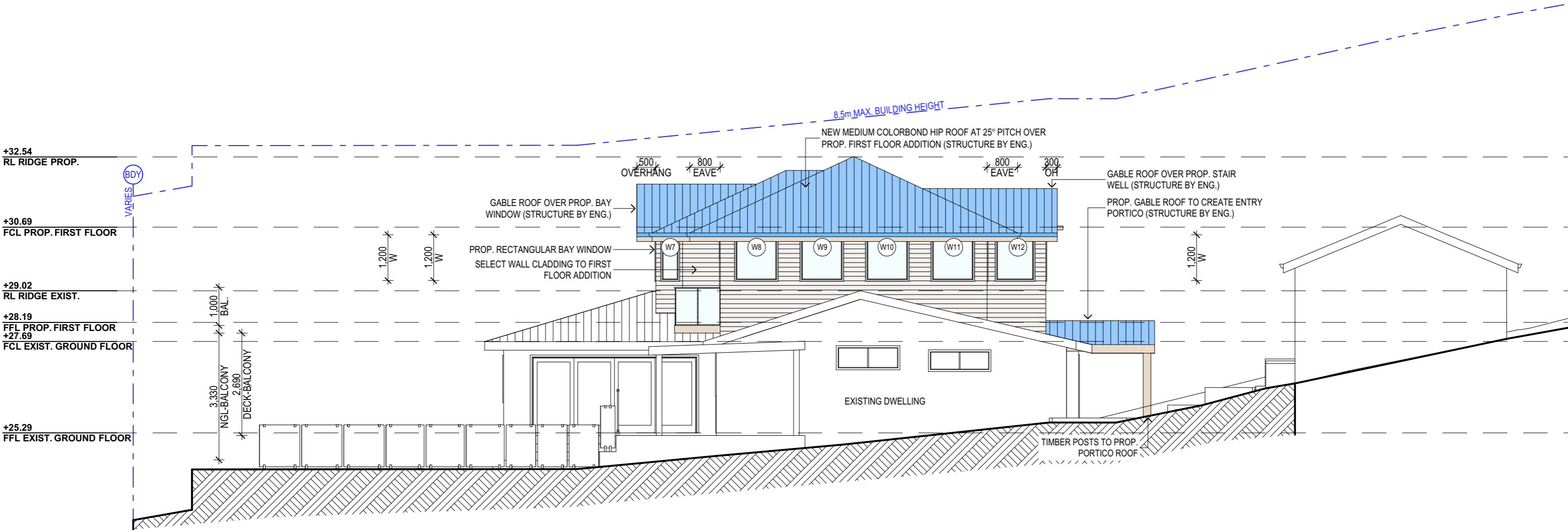
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**DRAWING No:**  
**DA.07**



**SOUTH-WEST ELEVATION**

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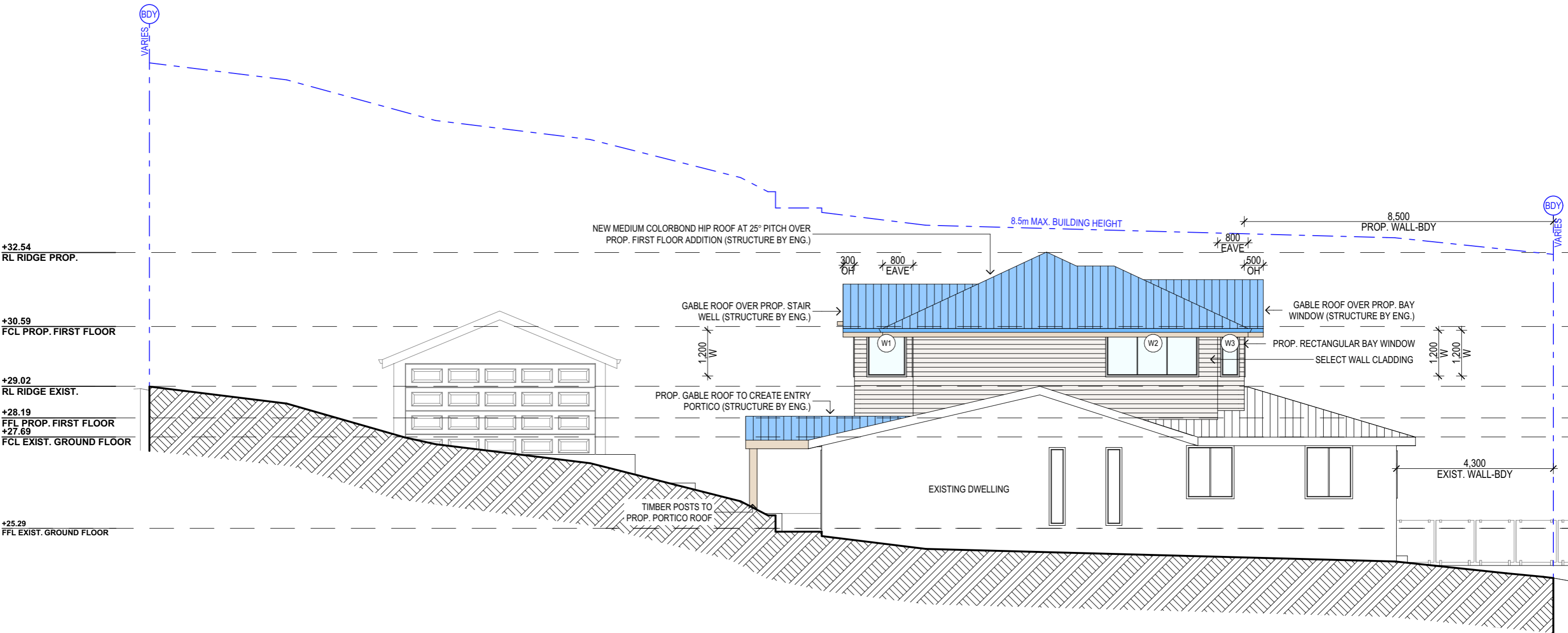
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PROPOSED ALTERATIONS AND ADDITIONS  
6 DELWOOD CLOSE, MONA VALE  
CLIENT:  
SCOTT & SALLY WILLOUGHBY  
DRAWING TITLE:  
ELEVATIONS



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JOB No: 1204/23	CHECKED BY: JJ	DRAWING No: <b>DA.08</b>





**NORTH-EAST ELEVATION**

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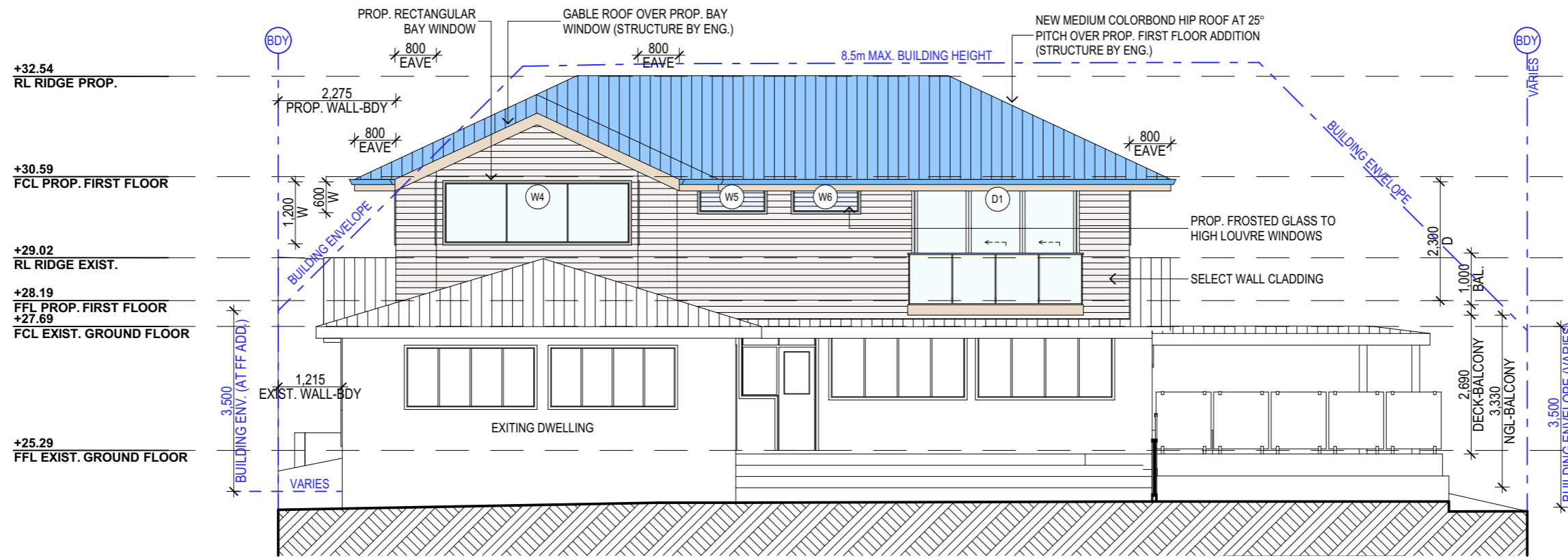
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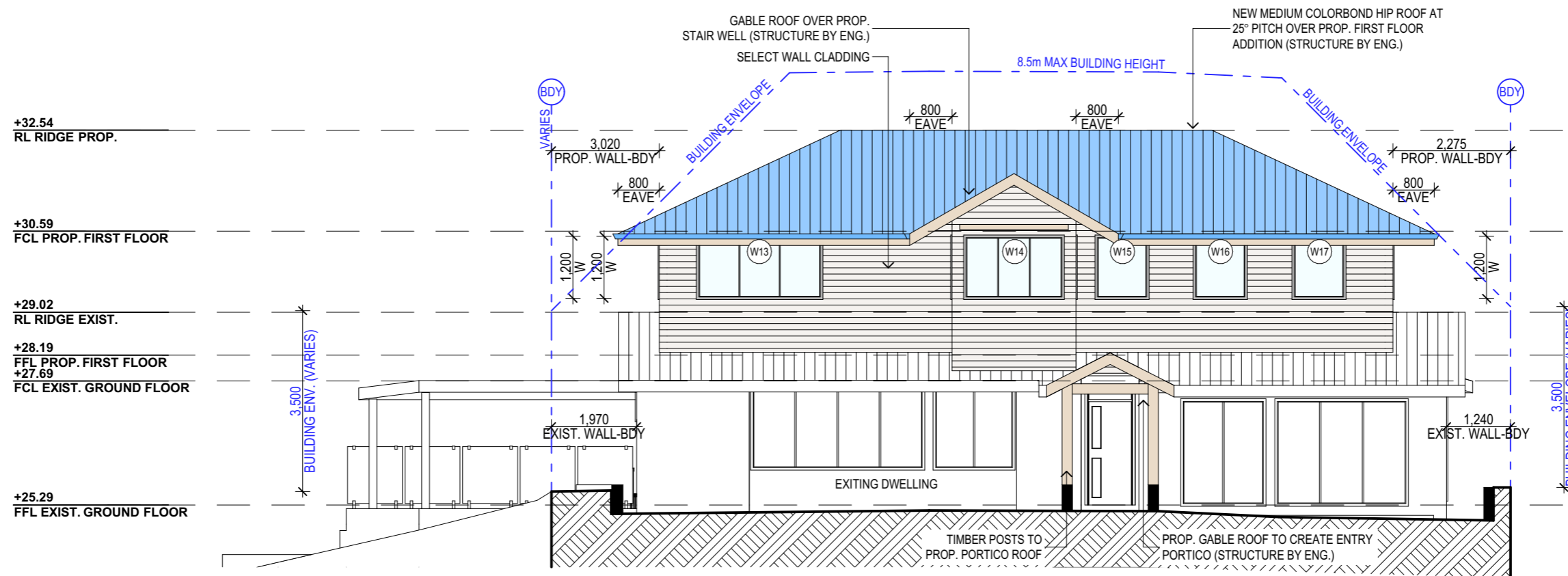
PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE CLIENT: SCOTT & SALLY WILLOUGHBY
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**NORTH-WEST ELEVATION**



**SOUTH-EAST ELEVATION**

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PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE CLIENT: SCOTT & SALLY WILLOUGHBY
DRAWING TITLE: ELEVATIONS



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**BASIX REQUIREMENT:**

BASIX Inclusions for 7 DELWOOD CLOSE, MONA VALE

**LIGHTING REQUIREMENTS**

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

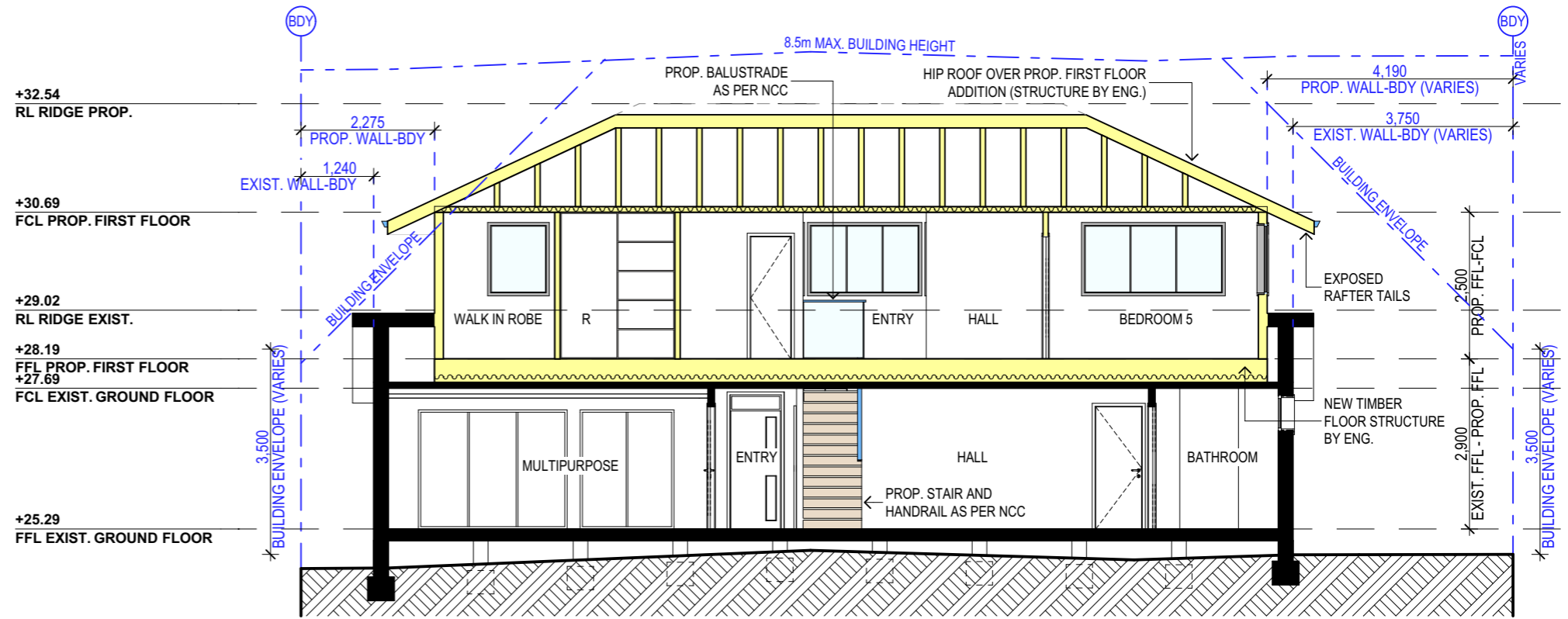
- SHOWER RATING \_\_\_\_\_ MINIMUM 3 STAR  
 - TAP RATING \_\_\_\_\_ MINIMUM 3 STAR  
 - WC'S RATING \_\_\_\_\_ MINIMUM 3 STAR

**WATER INSULATION REQUIREMENTS**

CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
FLAT CEILING, PITCHED ROOF	Ceiling: R1.45 (up), roof: foil backed blanket (55 mm) Medium (solar absorptance 0.475 - 0.70)

**GLAZING DOORS / WINDOWS**

- STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)  
 WINDOWS - W1, W2, W3, W4, W5, W6, W7, W8, W9, W10, W11, W12, W13, W14, W15, W16, W17  
 DOORS - D1



**SECTION AA**

**SPECIFICATION NOTES**

**INTERNAL LINING**  
 - PROVIDE PLASTERBOARD LINING.

**EXTERNAL WALLS:**  
 - ALL EXTERNAL WALL CLADDINGS MUST BE COMPLIANT WITH THE REQUIREMENTS OF NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS1684 AND ALL RELEVANT CODEMARK CERTIFICATES.  
 - ROOF AND WALL CLADDING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 7 & AS 1562 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING.

**CONDENSATION MANAGEMENT:**  
 - CONDENSATION MANAGEMENT MUST BE ADHERED TO IN ACCORDANCE WITH NCC 2022 – HOUSING PROVISIONS PART 10.8.

**FLOOR:**  
 - FIRST FLOOR TO BE TIMBER FRAMED FINISHED WITH T&G HARDWOOD FLOORING.

**WET AREAS:**  
 - ALL WATERPROOFING TO NCC 2022 – ABCB HOUSING PROVISIONS PART 10, AS3740 AND PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWER WALLS TO MANUFACTURED SPECIFICATIONS AND INSTALLATION INSTRUCTIONS.  
 - WATERPROOF INSTALLATION NCC (2022): HOUSING PROVISIONS PART 10, AS 3740 WATERPROOFING OF DOMESTIC WET AREAS (INTERNAL) & AS 4654 WATERPROOF MEMBRANES FOR EXTERNAL USE.

**BEARERS AND JOISTS:**  
 - SHALL BE INSTALLED TO COMPLY WITH AS1684 AS AMENDED FOR TIMBER COMPONENTS OR AS3620 FOR LIGHTWEIGHT STEEL FRAMING SECTIONS OR AS PER THE NASH ALTERNATIVES TO AS 3623.

**ANT CAPS:**  
 - SHALL BE INSTALLED IN ACCORDANCE WITH AS3660.

**PROFILED STEEL ROOF:**  
 - COLORBOND ROOF CLADDING  
 - METAL ROOF DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 7, AS 1562.

**ROOF TILES OR SHINGLES:**  
 - NCC VOL.2 PART 3.5.2.

**CONCRETE:**  
 - SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
 - ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

**BRICK AND BLOCKWORK:**  
 - MASONRY STRUCTURES TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5 & AS 3700 MASONRY STRUCTURES.

**FOOTINGS:**  
 - FOOTINGS TO BE IN ACCORDANCE WITH NCC 2022.  
 - RESIDENTIAL SLABS, FOOTINGS AND CONCRETE STRUCTURES TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3 & 4, AS 2870 RESIDENTIAL SLABS AND FOOTING & AS 3600 CONCRETE STRUCTURES.

**CARPENTRY:**  
 - TIMBER TO COMPLY WITH NCC 2022.  
 - TERMITE MANAGEMENT INSTALLATION OF PERIMETER & COLLARS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 3.4 & AS 3660.1 TERMITE MANAGEMENT - NEW BUILDING WORK.

**TIMBER FRAMING:**  
 - ALL EXTERNAL TIMBER FRAMED WALLS TO BE WRAPPED IN A BREATHABLE VAPOUR PERMEABLE MEMBRANE THAT COMPLIES, INSTALLED WITH AS/NZS 4200.1 & AS/NZS 4200.2.- TO COMPLY WITH NCC2022.  
 - TIMBER FRAMING INSTALLATION TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 1684 RESIDENTIAL TIMBER FRAMED CONSTRUCTION & AS/NZS 1170 STRUCTURAL DESIGN ACTIONS.  
 - GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
 - IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
 - WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
 - USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
 - DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
 - USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

**STEEL FRAMING:**  
 - ALL STEEL FRAMING TO NCC 2022 - ABCB HOUSING PROVISIONS PART 6, AS 4100 STEEL STRUCTURES, AS/NZS 4600 COLD-FORMED STEEL STRUCTURES & NASH STANDARD.

**TERMITE CONTROL:**  
 - TO BE IN ACCORDANCE WITH TO NCC2022.

**FLASHING AND CAPPINGS:**  
 - SELECTION AND INSTALLATION OF METAL RAINWATER GOODS  
 - FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING, WITH AT LEAST 100mm OVERLAP.  
 - PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.  
 - DAMP PROOF COURSE AND FLASHINGS TO NCC 2022 - ABCB HOUSING PROVISIONS PART 5, 7 & 12 & AS/NZS 2904 DAMP-PROOF COURSES AND FLASHINGS.

**CONCRETE BLOCKS OR BRICKS:**  
 - TO COMPLY WITH TO NCC2022

**LIGHTING:**  
 - 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**WATERPROOFING FOR EXTERNAL TILED BALCONIES:**  
 - WATERPROOFING TO COMPLY WITH NCC2022

**DOORS & WINDOWS:**  
 - ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH NCC2022 - ALUMINIUM WINDOWS AND TIMBER WINDOWS.  
 - ALUMINIUM FRAMED WINDOWS AND DOORS.  
 - WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.  
 - ALL WINDOWS ARE TO BE RESTRICTED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11.3.7 & PART 11.3.8 PROTECTION OF OPENABLE WINDOWS WHERE SURFACE BELOW IS MORE THAN 2M.  
 - PROVIDE LIFT-OFF HINGES WHERE THE TOILET PAN IS WITHIN 1.2 METRES OF THE HINGED SIDE OF THE DOOR IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.

**STAIRS, HANDRAILS AND BALUSTRADES:**  
 - RELATIONSHIP OF RISER TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED TO GOING SHALL BE BETWEEN 1:2 AND 1:1.35 UNLESS OTHERWISE DIRECTED OR AS PERMITTED IN NCC2022.  
 - BALUSTRADES SHALL BE PROVIDED TO ALL LANDINGS, RAMPS, DECKS, ROOFS AND OTHER ELEVATED PLATFORMS WHERE THE VERTICAL DISTANCE FROM THAT LEVEL IS MORE THAN 1m ABOVE THE ADJOINING FLOOR OR FINISHED GROUND LEVEL.  
 - THE HEIGHT OF BALUSTRADE MUST BE A MINIMUM OF 1m HIGH ABOVE LANDING AND NOT LESS THAN 865mm ABOVE THE NOSINGS OF ANY STAIR TREADS OR FLOOR RAMP AND HAVE NO OPENING GREATER THAN 125mm.  
 - THE HEIGHT OF BALUSTRADE TO THE NEW STAIRCASES IS TO BE MEASURED A MINIMUM 865mm ABOVE THE NOSING LINE AND HAVE NO OPENING GREATER NO OPENING GREATER THAN 125mm.  
 - ALL BALUSTRADES & PRIVACY SCREENS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 1684, AS 1170, AS 1288 & AS/NZS 2208

**SLIP RESISTANCE:**  
 - MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN NCC2022.  
 - ALL STAIRS PROVIDING ACCESS TO COMPLY WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 11, AS 4586 INCLUDING SLIP RESISTANCE P3 / R10 FOR DRY OR P4 / R11 FOR WET.

**STORMWATER: EAVES GUTTERS, VALLEY GUTTERS AND DOWNPIPES**  
 - IN ACCORDANCE WITH NCC 2022  
 - NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
 - COLORBOND GUTTERS AND DOWNPIPES  
 - MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

**GLAZING:**  
 - ALL WINDOW GLAZING AND DOOR GLAZING TO BE INSTALLED IN ACCORDANCE TO NCC 2022 - ABCB HOUSING PROVISIONS PART 8, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 2047 WINDOWS AND EXTERNAL DOORS IN BUILDINGS.  
 - SHOWER SCREEN/MIRRORS / WARDROBE GLASS INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 8, AS 1288 & AS/NZS 2208.  
 - GLASS BALUSTRADE INSTALLATION TO NCC 2022 - HOUSING PROVISIONS PART 11, AS 1288 GLASS IN BUILDINGS, AS/NZS 2208 SAFETY GLAZING MATERIALS IN BUILDINGS & AS 1170 STRUCTURAL DESIGN ACTIONS.

**FIRE SAFETY, SMOKE DETECTORS/ALARMS:**  
 - PROVIDE HARDWIRED & INTERCONNECTED SMOKE ALARM DEVICES COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY. SMOKE ALARMS TO BE INSTALLED TO NCC 2022 – ABCB HOUSING PROVISIONS PART 3.7.5  
 - INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1a AND 1b MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SECTIONS 3.7.5.3 and 3.7.5.4.  
 - FIRE SEPARATING WALL, A WALL WITHIN 900MM OF BOUNDARY INSTALLATION CERTIFICATE (FRL60/60/60) INCL ACOUSTIC SOUND (RW) + CTR50 TO NCC 2022 - ABCB HOUSING PROVISIONS  
 - BUSHFIRE-PRONE AREAS CERTIFICATE FOR BUILDING - NCC 2022 - VOL. 2 PART NSW H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS - AS 3959 CONSTRUCTION OF BUILDING IN BUSHFIRE-PRONE AREAS & PLANNING FOR BUSHFIRE PROTECTION 2019.

**WASTE MANAGEMENT:**  
 - ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
 - ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
 - WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**  
 - A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

**SWIMMING POOLS & SAFETY:**  
 - POOL PLUMBING/CIRCULATION TO COMPLY WITH NCC 2022 PART NSW H7D2, AS 1926.3 SWIMMING POOL SAFETY - WATER RECIRCULATION SYSTEMS  
 - ALL POOL FENCING TO BE INSTALLED TO: NCC 2022 NSW H7D2, AS 1926.1 – 2012 - SAFETY BARRIERS FOR SWIMMING POOLS, AS NCC2022 – LOCATION OF SAFETY BARRIERS FOR SWIMMING POOLS, STRUCTURAL DESIGN ACTIONS AND IF GLASS POOL FENCING TO ADDITIONALLY COMPLY WITH NCC2022 – SAFETY GLASS,  
 - AS 2783 USE OF REINFORCED CONCRETE FOR SMALL SWIMMING POOLS

**MISCELLANEOUS ITEMS:**  
 - ALLOW FOR SEPARATE TAPS FOR THE WASHING MACHINE AND KEEP THEM SEPARATE FROM THOSE OF THE LAUNDRY TUB. A DEDICATED LAUNDRY SPACE COMPRISING OF ONE WASHTUB AND A SPACE FOR A WASHING MACHINE MUST BE PROVIDED IN ACCORDANCE WITH NCC 2022 – ABCB HOUSING PROVISIONS PART 10.4.  
 - GAS FIRE SUPPLY AND INSTALLATION TO COMPLY WITH NCC 2022 - ABCB HOUSING PROVISIONS PART 12.4, AS/NZS 5601 GAS INSTALLATIONS.

**NOTE:**  
 ALL PLANS ARE TO BE READ IN CONJUNCTION AND COMPLY WITH THE BASIX CERTIFICATE, BUSHFIRE AND GEOTECH REPORTS.

**NOTES (E & OE)**

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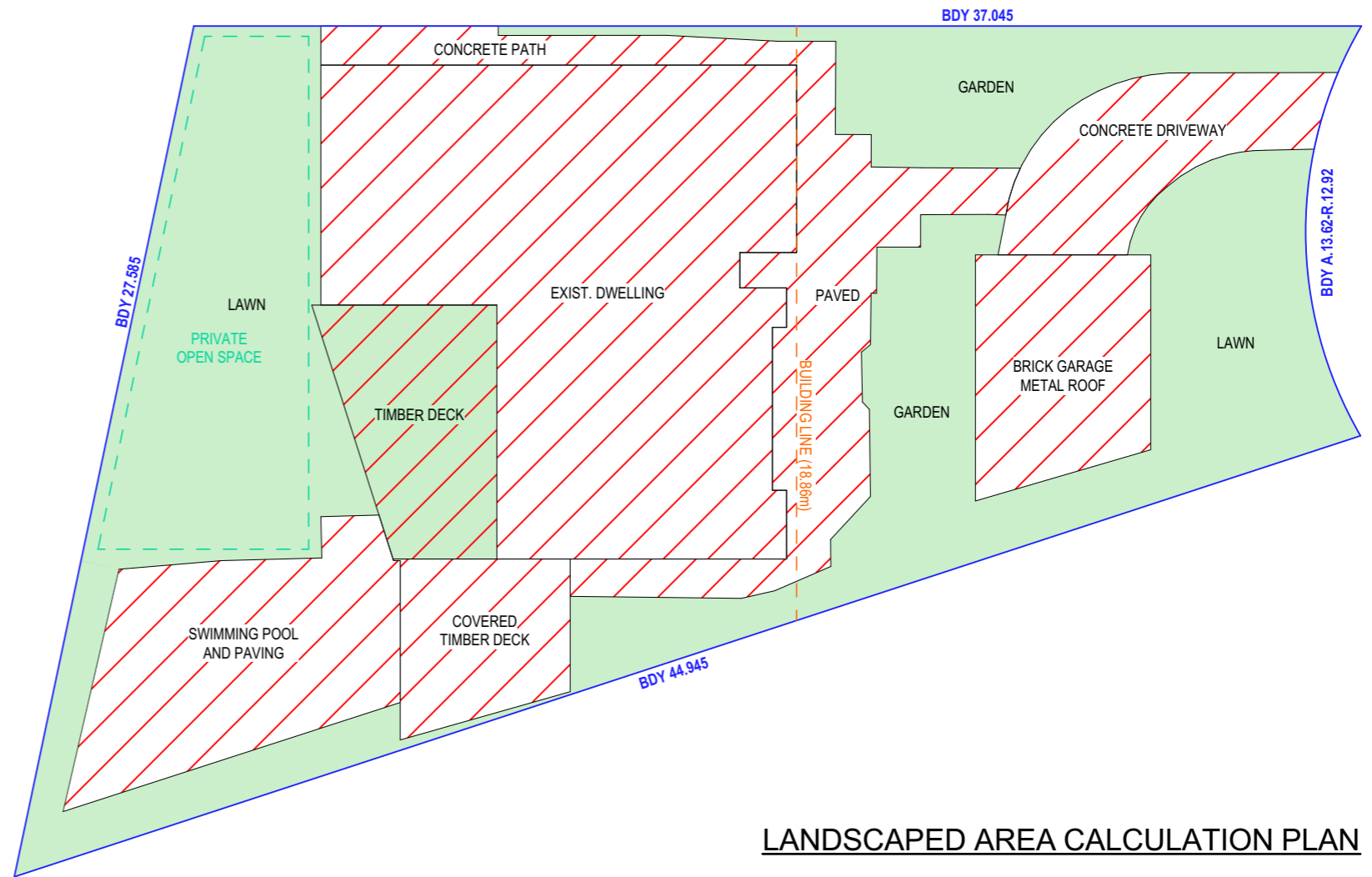
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(B)	17/06/24	PRELIM. OPTION 3
(C) A	24/06/24	CDC DRAWINGS
(D) B	27/06/24	DA DRAWINGS

PROPOSED ALTERATIONS AND ADDITIONS  
 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY

DRAWING TITLE:  
 SECTION / BASIX

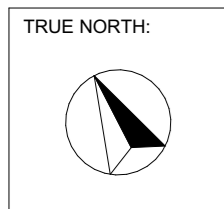


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**LANDSCAPED AREA CALCULATION PLAN**

CALCULATIONS			
SITE AREA		761.9m <sup>2</sup>	
LANDSCAPE CONTROL		60% = 457.1m <sup>2</sup>	
EXISTING LANDSCAPED AREA (INCLUDING 6% RECREATIONAL AREA)		44.8% = 341.3m <sup>2</sup>	<b>NO CHANGE</b>
PRIVATE OPEN SPACE		80m <sup>2</sup>	<b>NO CHANGE</b>
EXISTING HARD SURFACE AREA		420.7m <sup>2</sup>	<b>NO CHANGE</b>



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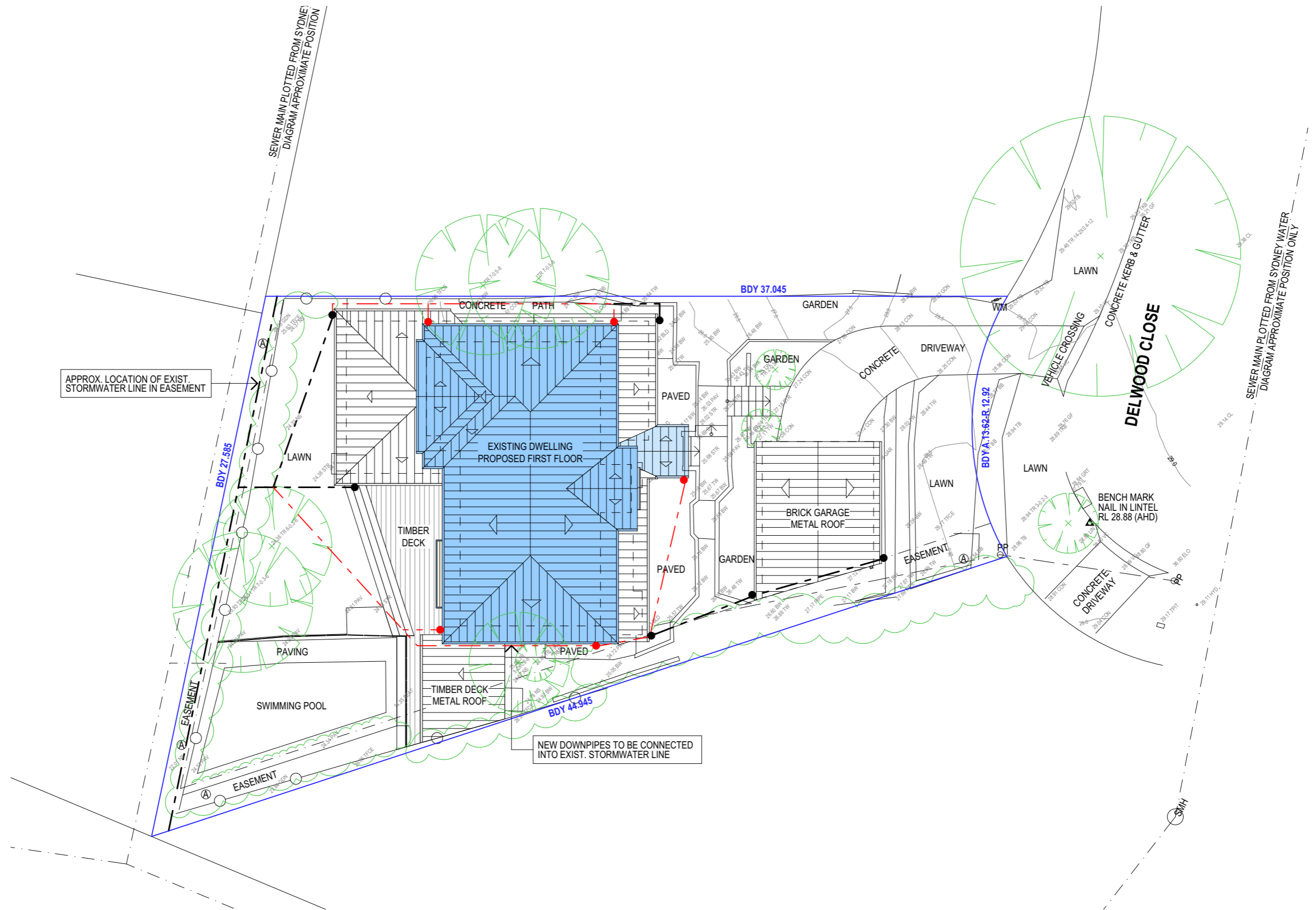
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PROPOSED ALTERATIONS AND ADDITIONS  
 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY

DRAWING TITLE:  
 LANDSCAPED AREA CALCULATION PLAN



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APPROX. LOCATION OF EXIST. STORMWATER LINE IN EASEMENT

NEW DOWNPIPES TO BE CONNECTED INTO EXIST. STORMWATER LINE

**STORMWATER CONCEPT LEGEND**

- EXISTING DOWNPIPES
- NEW DOWNPIPES
- EXISTING STORMWATER LINE
- NEW STORMWATER LINE

**ROOF AND STORMWATER CONCEPT PLAN**

TRUE NORTH:

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 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY  
 DRAWING TITLE:  
 ROOF & STORMWATER CONCEPT PLAN

**bdca**  
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**NOTES**

**DESIGNATED SITE MANAGER/BUILDER**

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

**TOPSOIL MANAGEMENT**

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

**BUILDING MATERIAL STOCKPILING**

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

**SEDIMENT FENCES**

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY(S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

**DUST CONTROL**

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

**EROSION & SEDIMENT CONTROLS**

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

**SEDIMENT TRAPS**

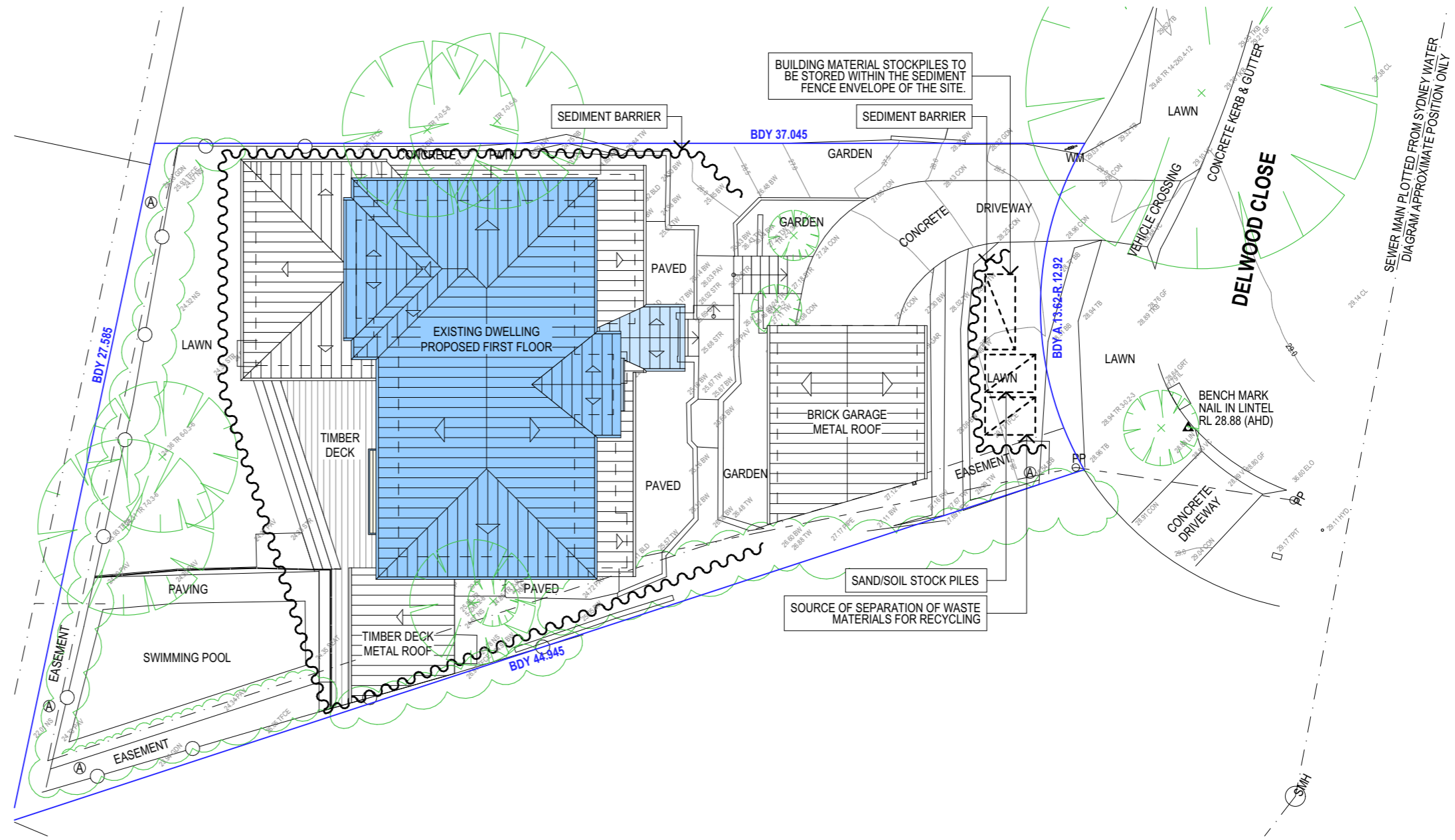
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

**DIVERSION CHANNELS**

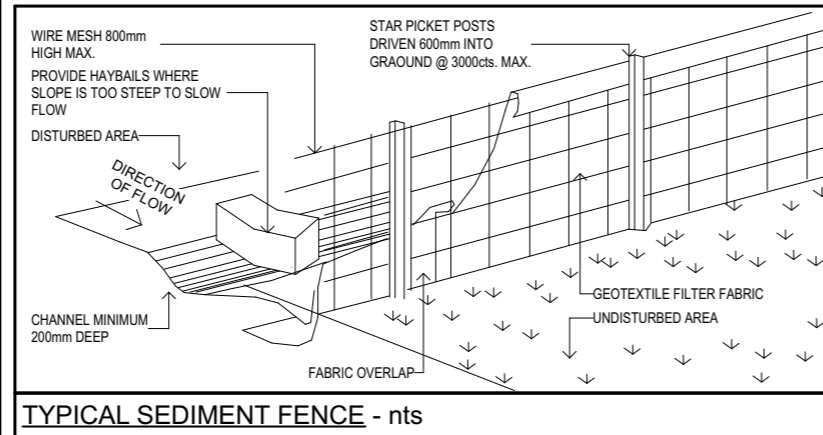
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

**VEHICLE MOVEMENTS**

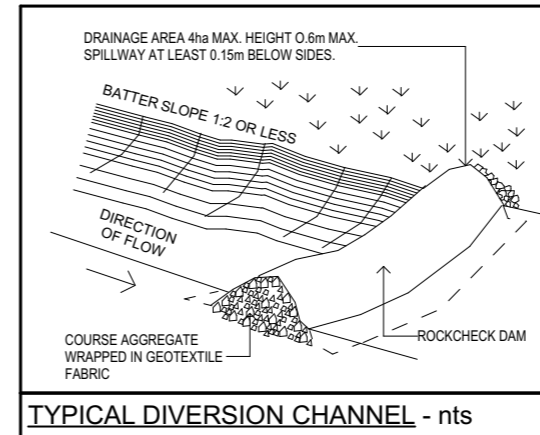
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



**EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN**



TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts

TRUE NORTH:



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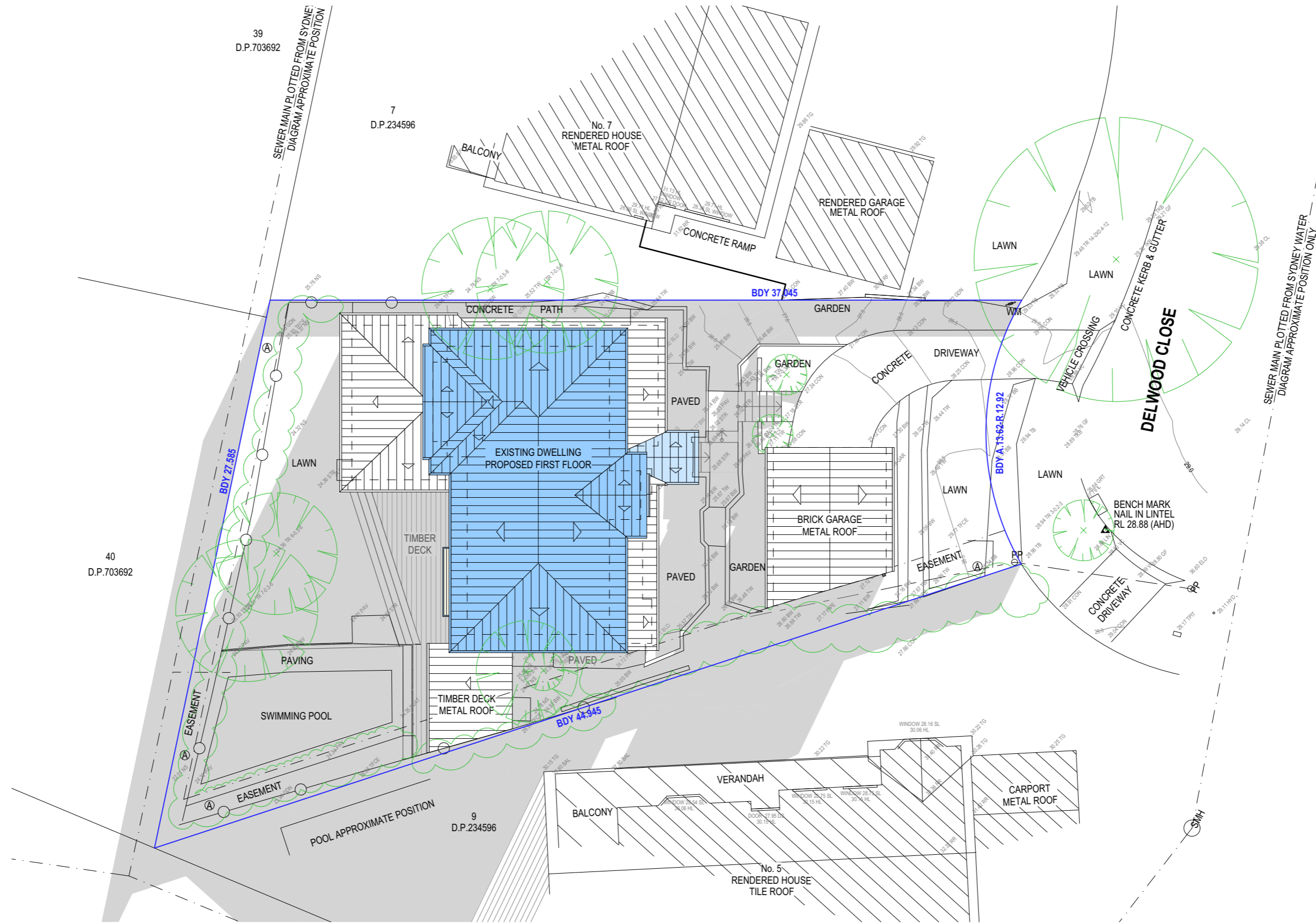
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PROPOSED ALTERATIONS AND ADDITIONS  
 6 DELWOOD CLOSE, MONA VALE  
 CLIENT:  
 SCOTT & SALLY WILLOUGHBY  
 DRAWING TITLE:  
 EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT PLAN



DATE: OCT/23	DRAWN BY: AD	SCALE: 1:200 @ A3
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21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

SHADOW DIAGRAM 21 JUNE 9AM

**TRUE NORTH:**

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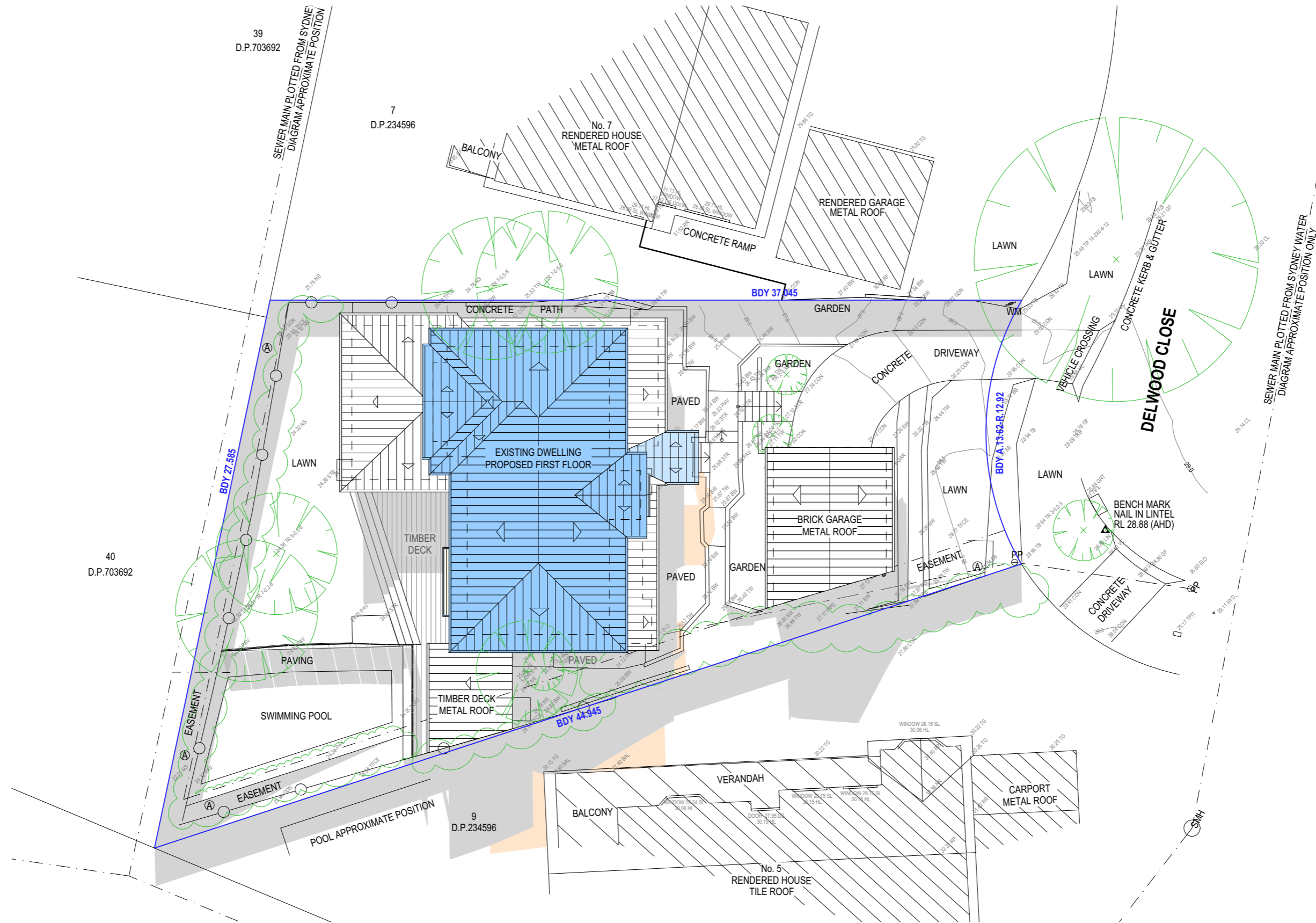
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PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE
CLIENT: SCOTT & SALLY WILLOUGHBY
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 9:00 am

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 BUILDING DESIGNER

DATE: OCT/23	DRAWN BY: AD	SCALE: 1:200 @ A3
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**SHADOW DIAGRAM 21 JUNE 12PM**

21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

**TRUE NORTH:**

**NOTES (E & OE)**

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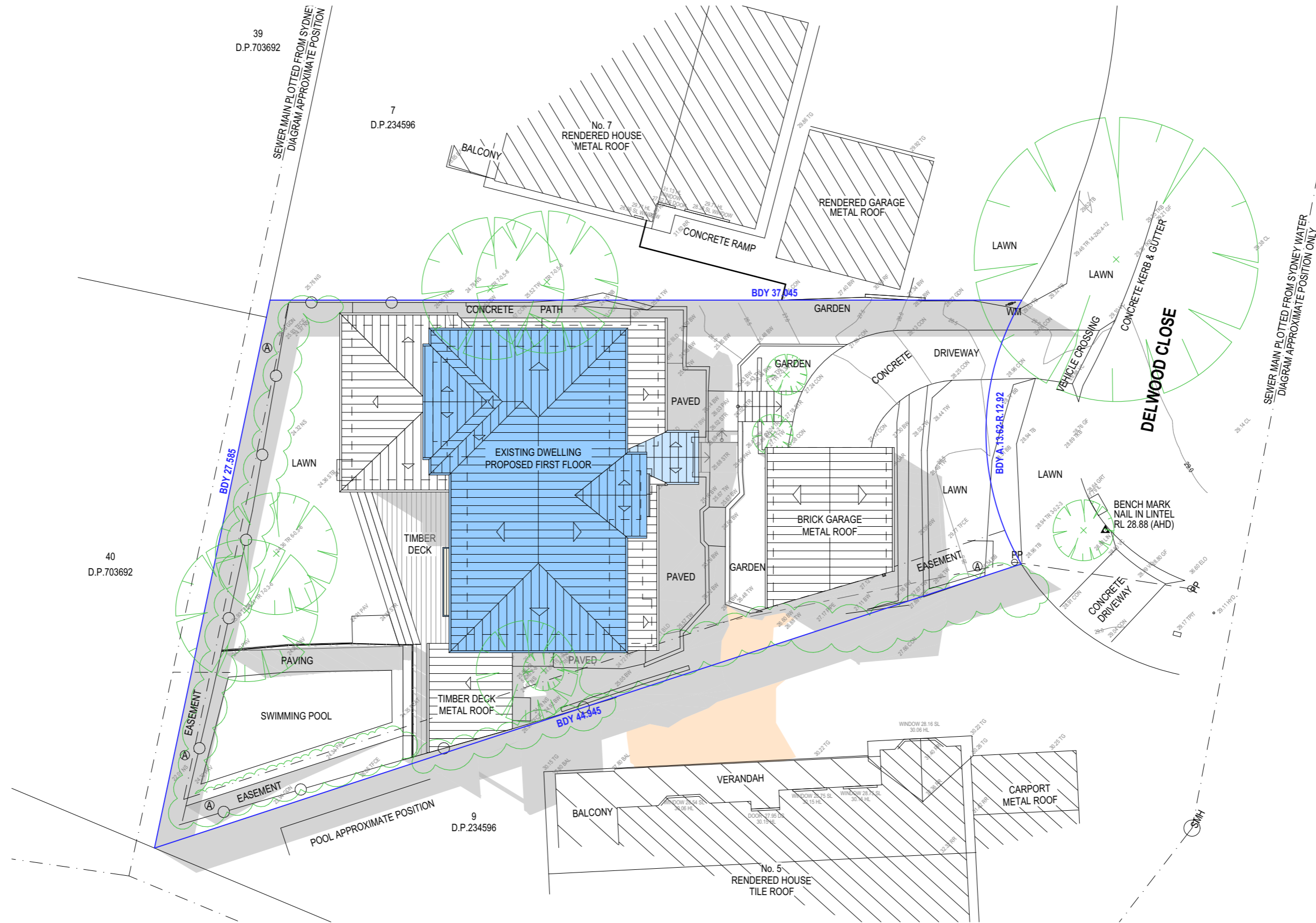
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PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE
CLIENT: SCOTT & SALLY WILLOUGHBY
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 12 noon

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21 JUNE SHADOW DIAGRAM LEGEND	
EXISTING SHADOWS	
NEW SHADOWS	

**SHADOW DIAGRAM 21 JUNE 3PM**

**TRUE NORTH:**

**NOTES (E & OE)**

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PROPOSED ALTERATIONS AND ADDITIONS 6 DELWOOD CLOSE, MONA VALE
CLIENT: SCOTT & SALLY WILLOUGHBY
DRAWING TITLE: SHADOW DIAGRAM JUNE 21 3:00 pm

**ACCREDITED BUILDING DESIGNER**

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