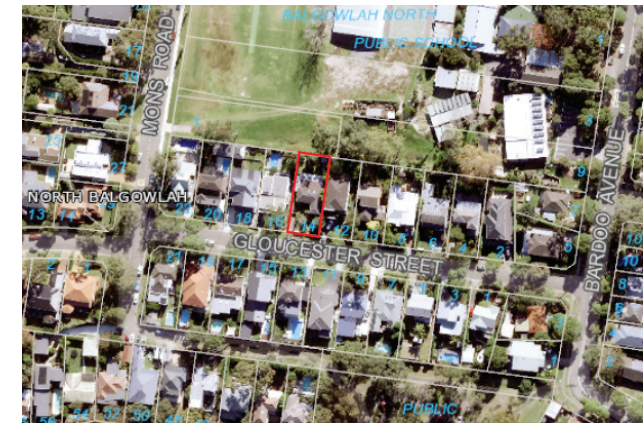




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LOCATION PLAN N.T.S

Sheet List

DA-01	Site Plan + Analysis
DA-02	Garage Plan
DA-03	Garage Roof Plan
DA-04	South Elevation
DA-05	West Elevation
DA-06	East Elevation
DA-07	Section
DA-08	Shadow Diagram
DA-09	Erosion + Sediment Control Plan
DA-10	Stormwater Concept Plan
DA-11	Example of Finishes
DA-12	Notification Plan

KETLEY RESIDENCE

DEVELOPMENT APPLICATION
14 GLOUCESTER STREET, NORTH BALGOWLAH

for
H KETLEY + W de MARS

November, 2020












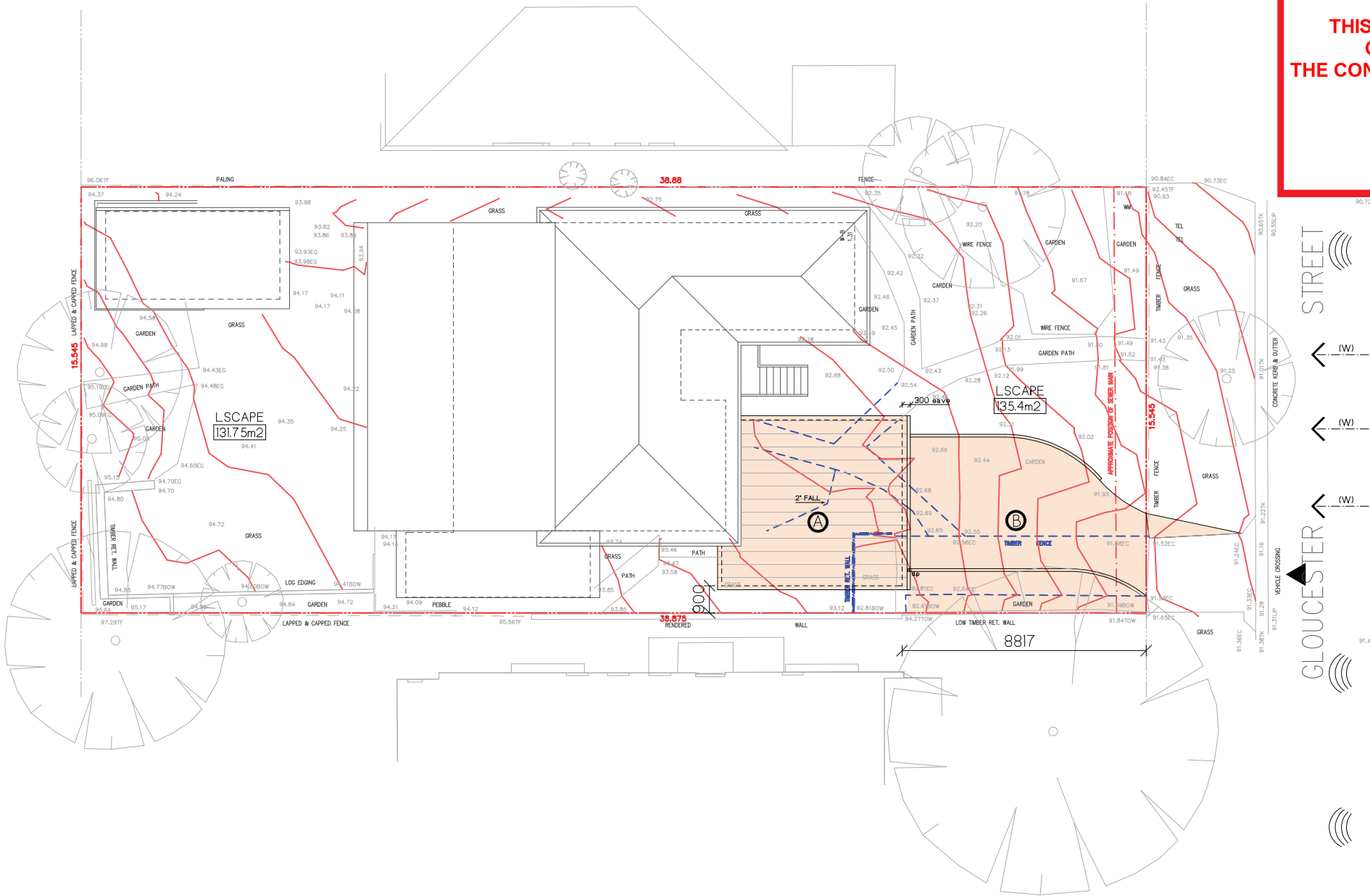
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KEY

	CAR ENTRY POINT
	BOUNDARY
	PREVAILING WINDS (summer)
	PREVAILING WINDS (winter)
	WINDOW TO LIVING SPACE IN ADJACENT DWELLING
	EXISTING CONTOURS SLOPE OF LAND
	ROAD NOISE
	PROPOSED GARAGE
	PROPOSED DRIVEWAY



SITE CALCULATIONS

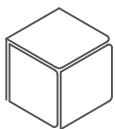
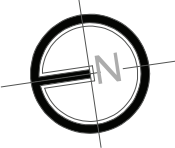
	Required	Proposed
Site Area	604.3m ²	
Floor Space Ratio	N/A	
Setbacks Garage (mm)		
-South (front)	6500	8817
-North (rear)	8000	23297
-East (side)	900	8415
-West (side)	900	900
EXISTING RESIDENTIAL AREA	141.4m ²	
EXISTING HARD SURFACE AREA	235.0m ²	
PROPOSED HARD SURFACE AREA	313.0m ²	
PROPOSED LANDSCAPED AREA	241.72m ²	291.0m ²



Zoning Map of 14 Gloucester Street, North Balgowlah



Aerial View of 14 Gloucester Street, North Balgowlah



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ISSUE
1

DATE
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AMENDMENT
DA ISSUE

ADDRESS:
LOT 18 IN D.P. 36678
14 GLOUCESTER STREET, NORTH BALGOWLAH

CLIENT:
H. KETLEY + B. de MARS

SHEET TITLE:
SITE PLAN + ANALYSIS

SCALE:
1:200 @ A3

PROJECT No:
1918

DWG No:
DA-01

DATE
23.11.20

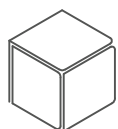
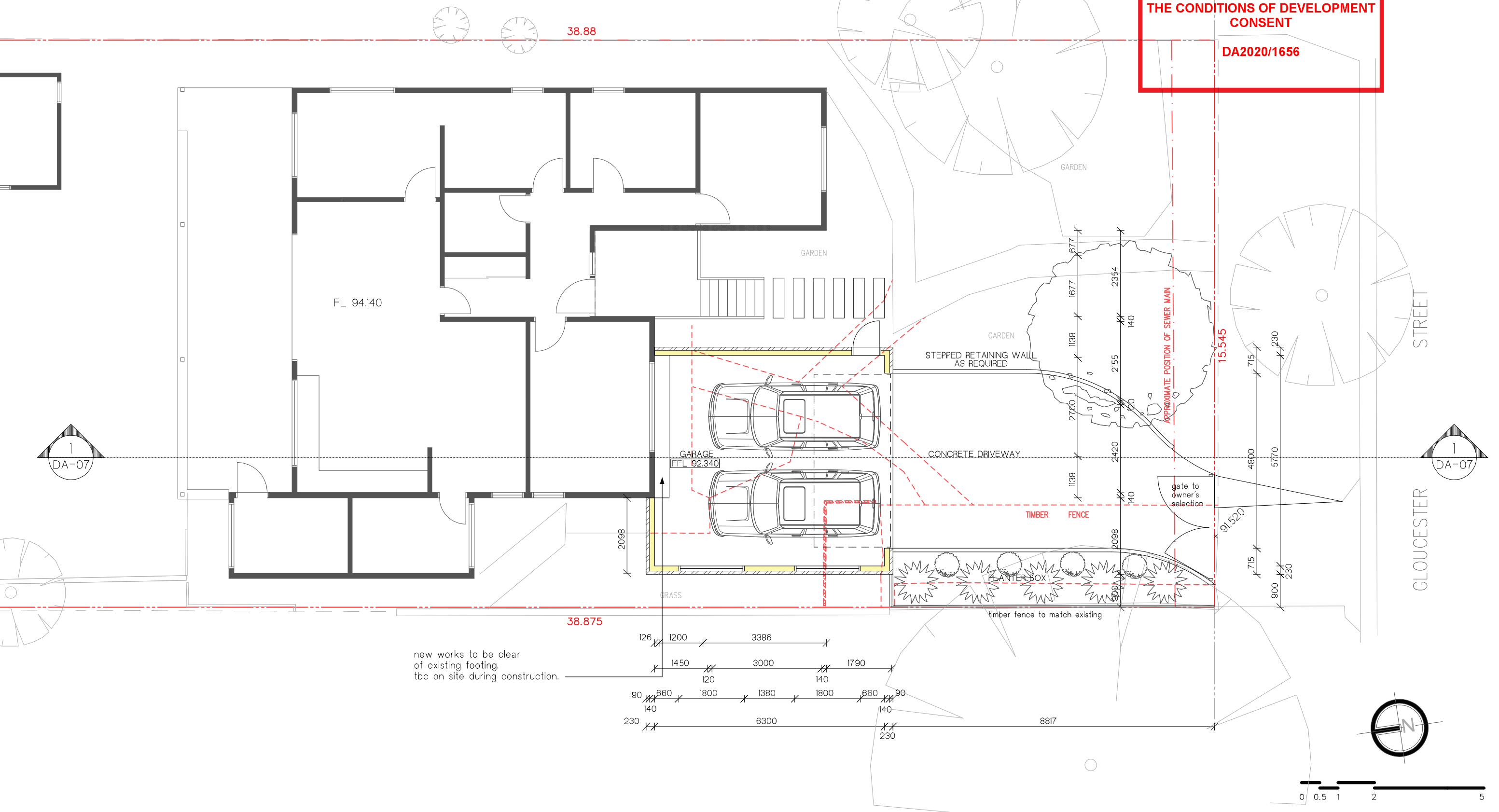
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SHEET TITLE:
GARAGE PLAN

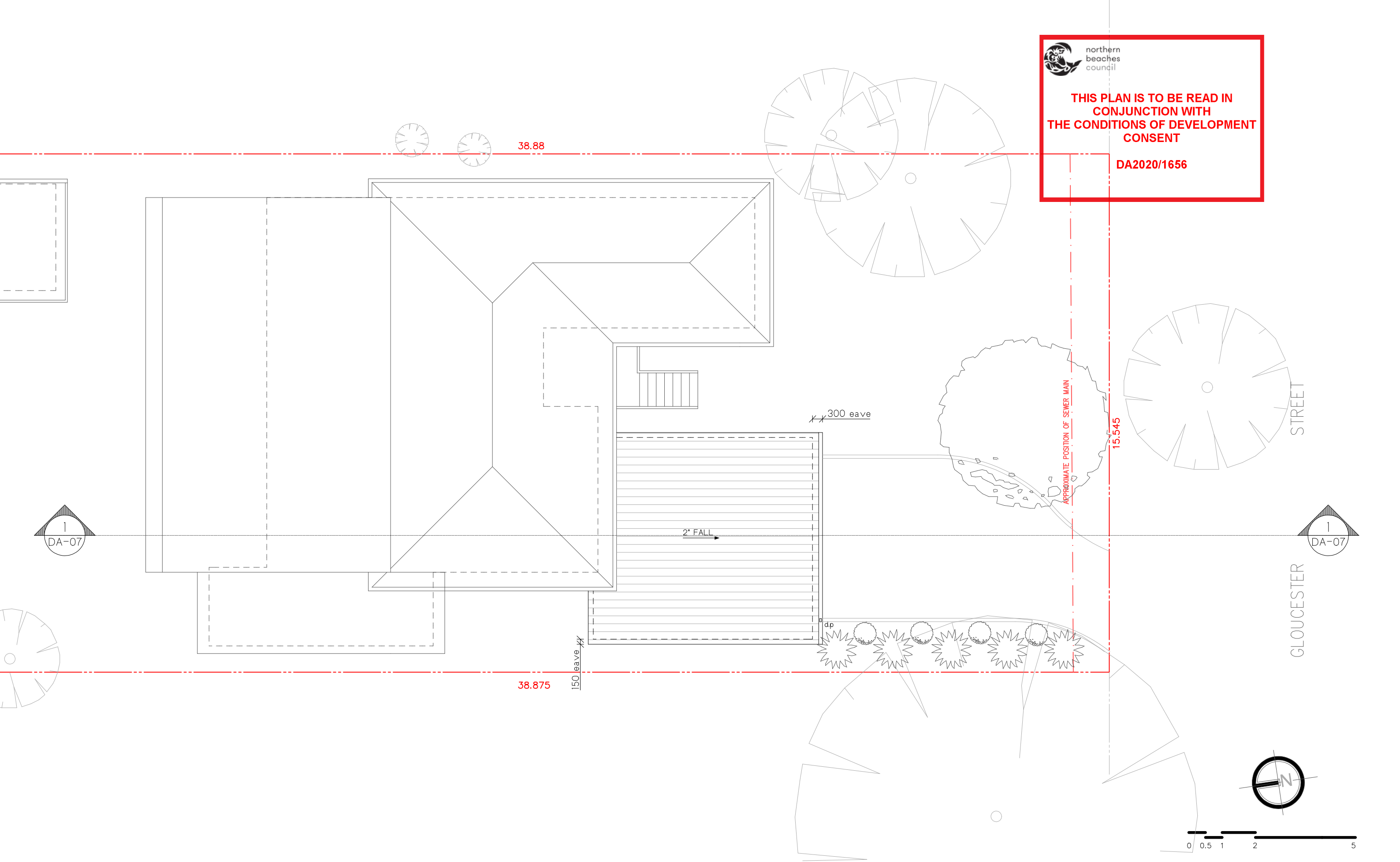
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1918

DWG No:
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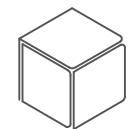
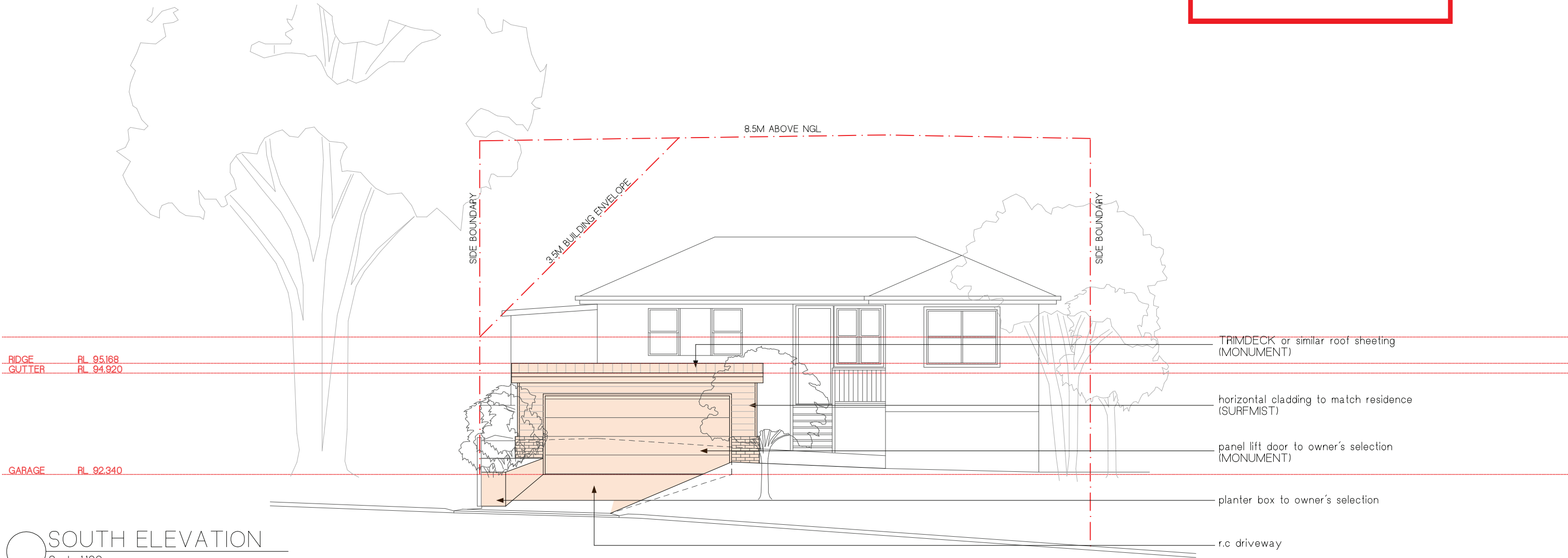
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CLIENT:

H. KETLEY + B. de MARS

SHEET TITLE:

SOUTH ELEVATION

DATE

23.11.20

SCALE:

1:100 @ A3

PROJECT No:

1918

DWG No:

DA-04

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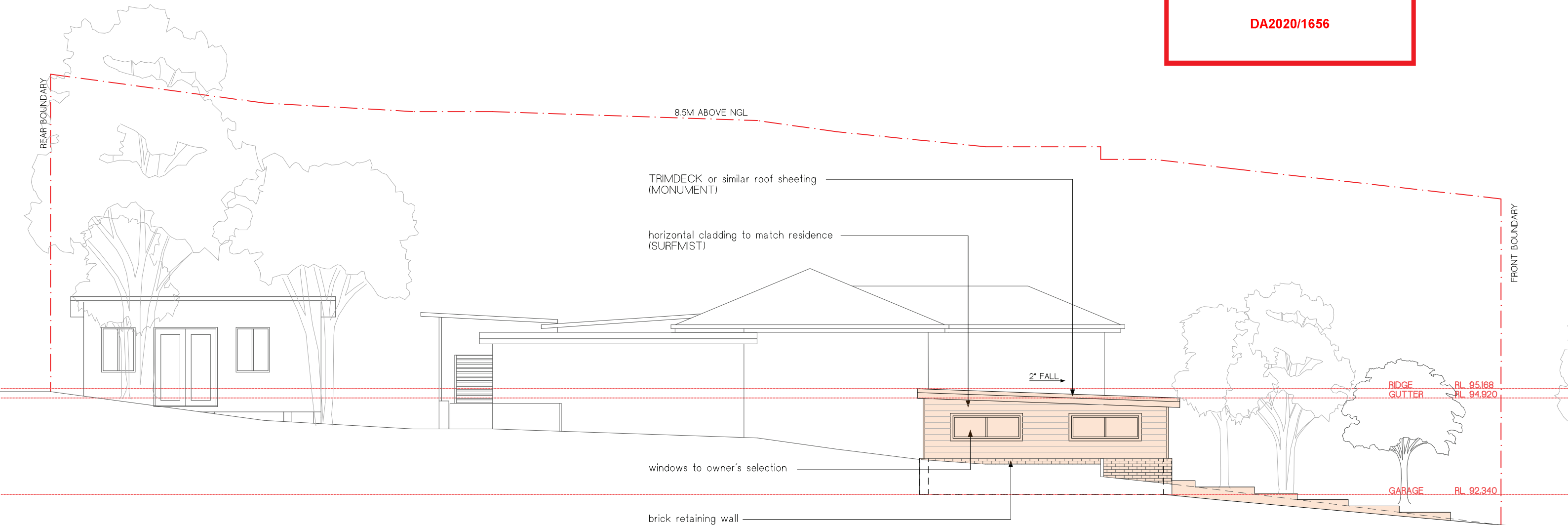
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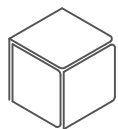
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WEST ELEVATION
Scale 1:100



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WEST ELEVATION

SCALE:
1:100 @ A3

PROJECT No:
1918

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DA-05

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23.11.20

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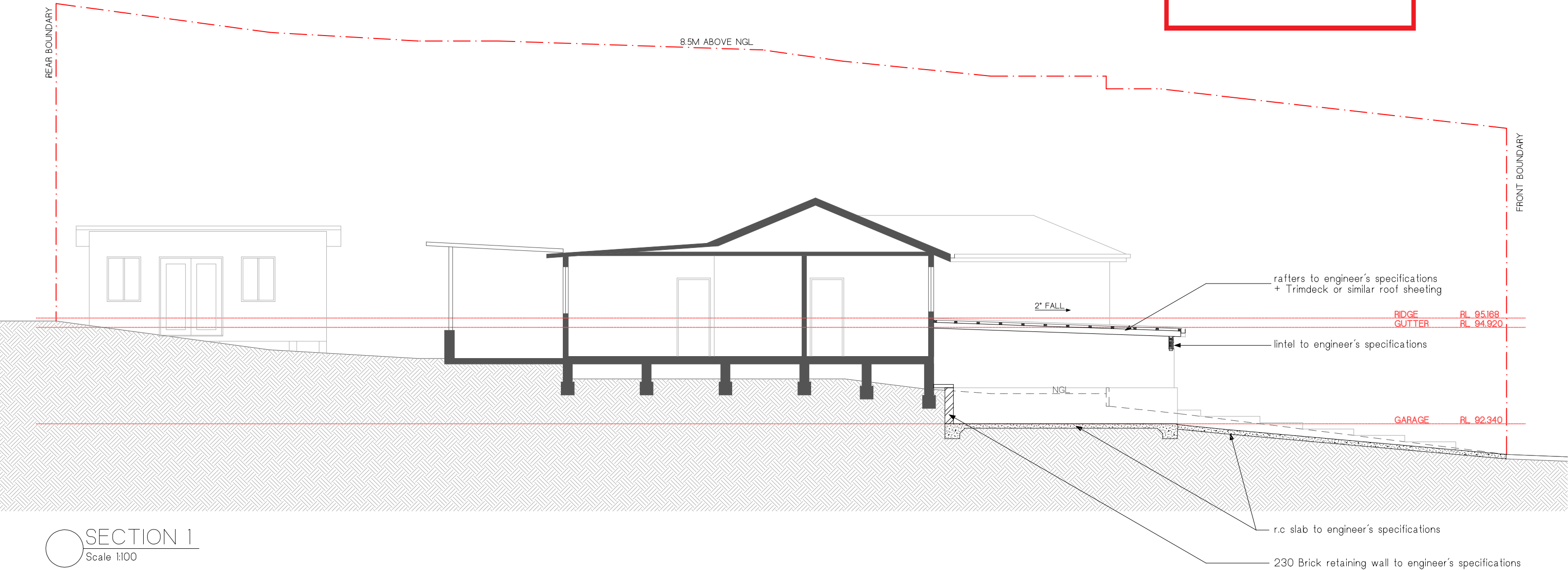




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CLIENT:
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SHEET TITLE:
SECTION

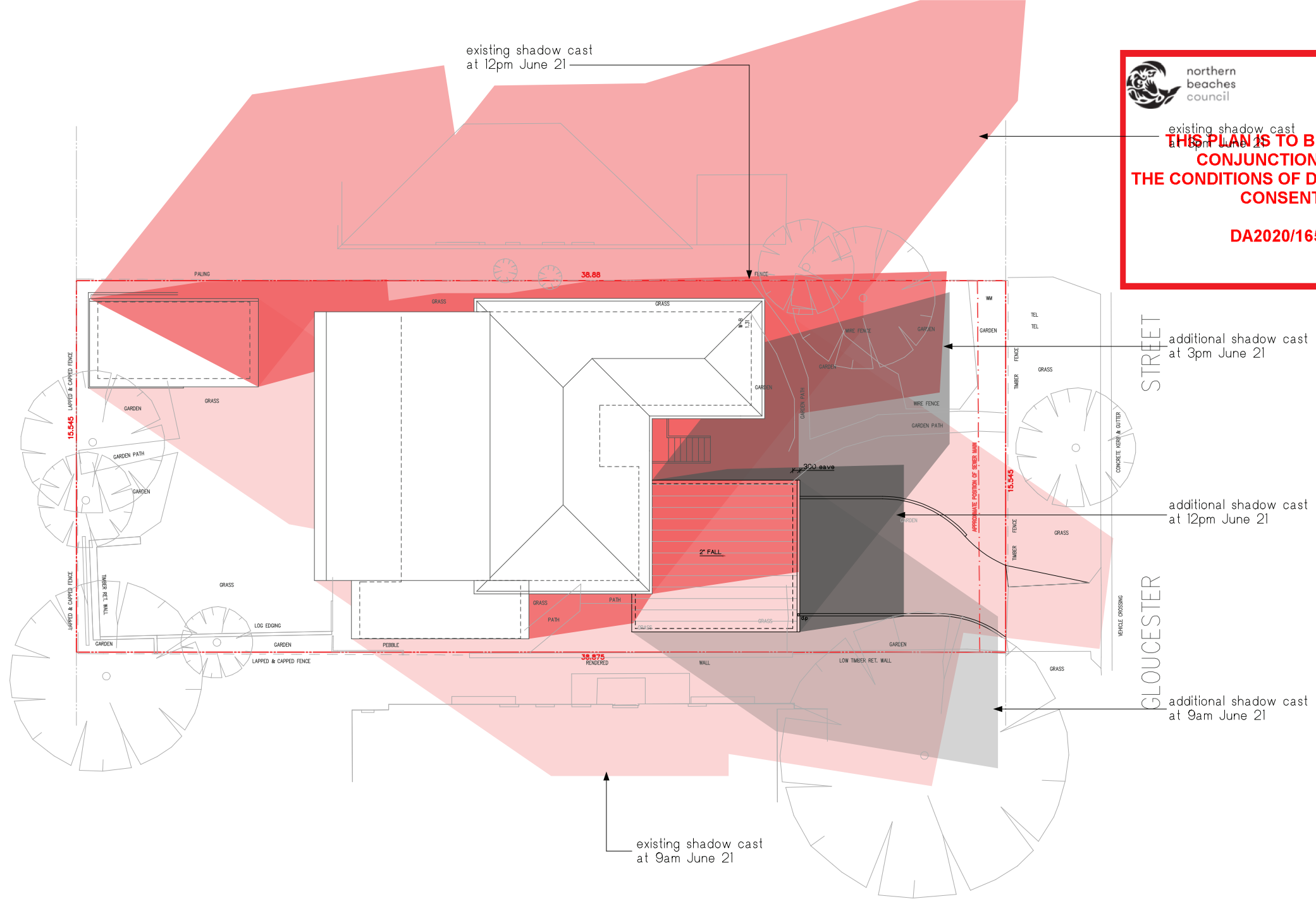
SCALE:
1:100 @ A3

PROJECT No:
1918

DWG No:
DA-07

DATE
23.11.20

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existing shadow cast
at 12pm June 21

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SHEET TITLE:
SHADOW DIAGRAM

SCALE:
1:200 @ A3

PROJECT No:
1918

DWG No:
DA-10

DATE
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Erosion & Sediment Control Plan (ESCP)

This drawing is in accordance with the requirements of the NSW Department of Land and Water Conservation's "Urban Erosion and Sediment Control" manual.

Any vehicle leaving the site must be washed down on the "Stabilised Site Entry" to remove any clay that may have become attached to the vehicle.

The road around the entry/exit site is to be swept at regular intervals to prevent sediment build up at the entry/exit point of the site.

1. Site works will not start until the erosion and sediment control works outlined in clauses 2 to 5, below, are installed and functional.

2. Entry and exit to the site will be confirmed to one stabilised location. Fencing will be used to restrict all vehicular movements to stabilised entrance. Stabilisation achieved by either:

- * Constructing a concrete driveway to the street.
- * Constructing a stabilised site access, according to the Stabilised Site Access Detail drawing.

3. Sediment control (see Typical Sediment Fence Plan and Sediment Fence Section Detail) and barrier fences will be installed as shown on the ESCP with low flow channel bank (see Stabilised Site Entry).

4. Mesh and gravel sausage protection will be provided to protect gutter inlets near the allotment.

5. Topsoil will be stripped and stockpiled for later use in landscaping the site.

6. All stockpiles will be placed in the location shown on the ESCP and at least 2 metres clear of all areas of concentrated water flow and the driveway protected by site works.

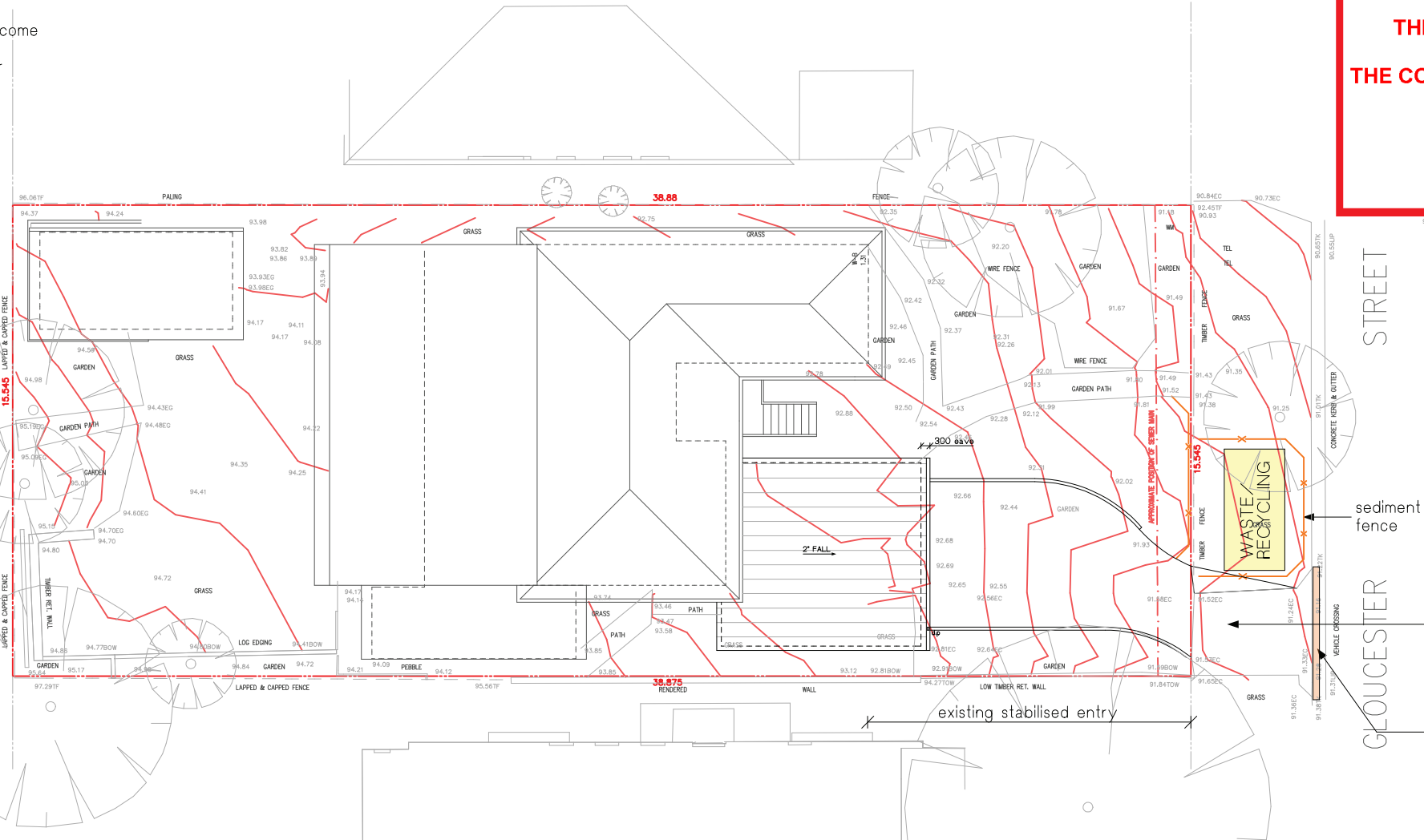
7. Lands to the rear and sides of the allotment and on the footpath will not be disturbed during works except where essential, e.g. drainage works across the footpath. Where work are necessary, they will be undertaken in such a way to leave the lands in a condition of high erosion hazards for as short a period as practicable. They will be rehabilitated as soon as possible. Stockpiles will not be placed on these lands and they will not be used as vehicle parking areas.

8. Approved bins for concrete and mortar slurries, paints, acid washings and litter will be provided and arrangements made for collection and disposal.

9. Guttering will be connected to the stormwater system as soon as practicable.

10. Topsoil will be respread and all disturbed areas will be rehabilitated within 20 working days of the completion of works.

11. All erosion and sediment controls will be checked at least weekly and after rain to ensure they are maintained in a fully functional condition.





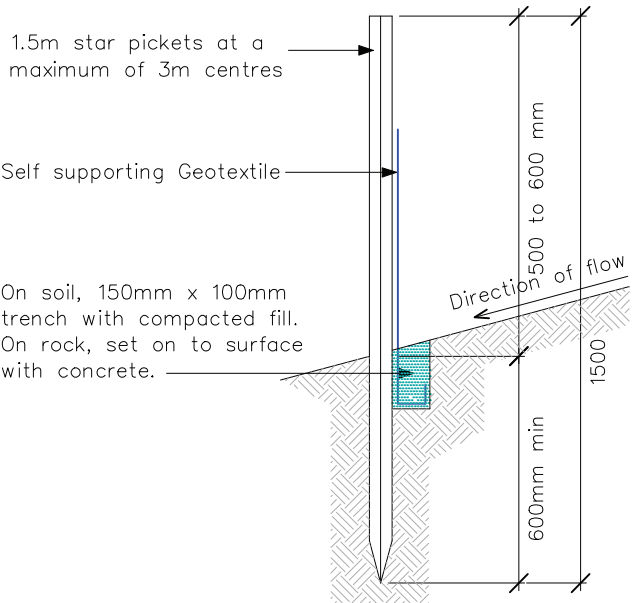
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Site Access
Vehicular access to the site must be via a single entry point that is stabilised to prevent the tracking of sediment onto the roads and footpath. Soil, earth, mud, clay, concrete washing, paint or similar materials must be removed from the roadway, by means other than washing, on a daily basis. All clay or similar to be brushed or washed from vehicles before leaving site.

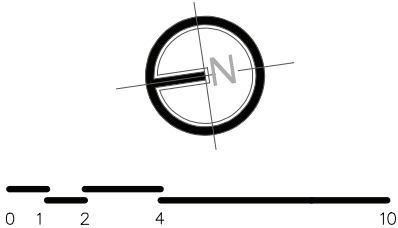
Gutter Protection
Provide protection to down hill Grate in Gutter by means of Sand bags or blue metal wrapped in geotextile fabric. When soil or sand builds up around this sediment barrier, the material should be relocated to the site for disposal.

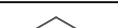


SEDIMENT FENCE SECTION DETAIL
Scale 1:20

TYPICAL SEDIMENT FENCE PLAN
Scale 1:200

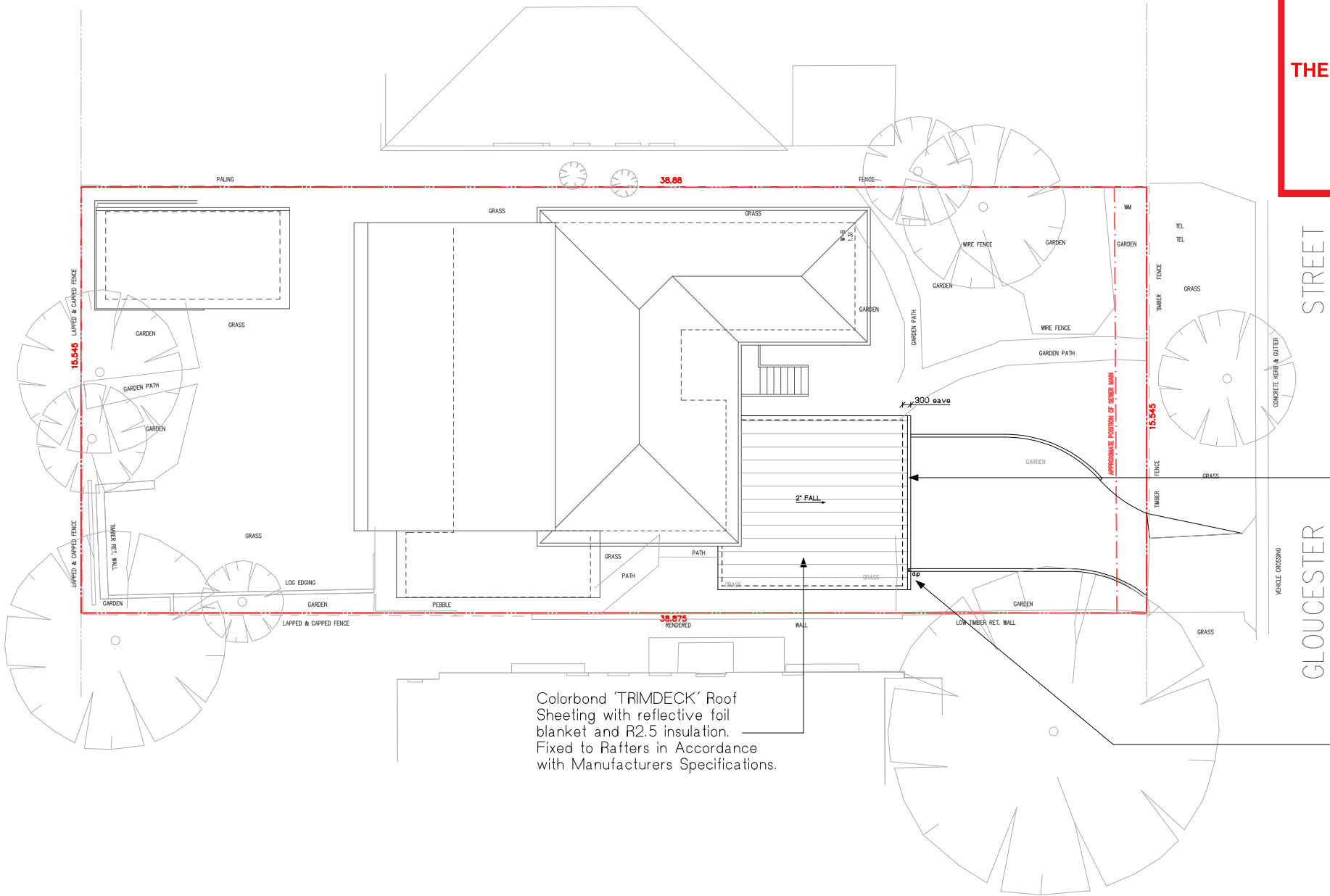
- Construction Notes:—
1. Construct sediment fence as close as possible to parallel to the contours of the site.
 2. Drive 1.5 m long star pickets into ground, 3m apart maximum.
 3. Dig a 150mm deep trench along the upslope line of the fence for the bottom of the fabric to be entrenched.
 4. Backfill trench over base of fabric.
 5. Fix self supporting geotextile to upslope side of post with wire ties or as recommended by geotextile manufacturer.
 6. Join sections of fabric at a support post with a 150mm overlap.



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					14 GLOUCESTER STREET, NORTH BALGOWLAH	CLIENT: H. KETLEY + B. de MARS	SCALE: 1:200 @ A3	PROJECT No: 1918	DWG No: DA-09

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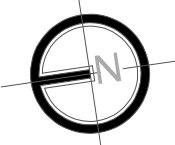


Provide Colorbond Standard Quad Gutters to all new eaves. Set with sufficient fall to all downpipes and secure with brackets max. 1200mm apart.

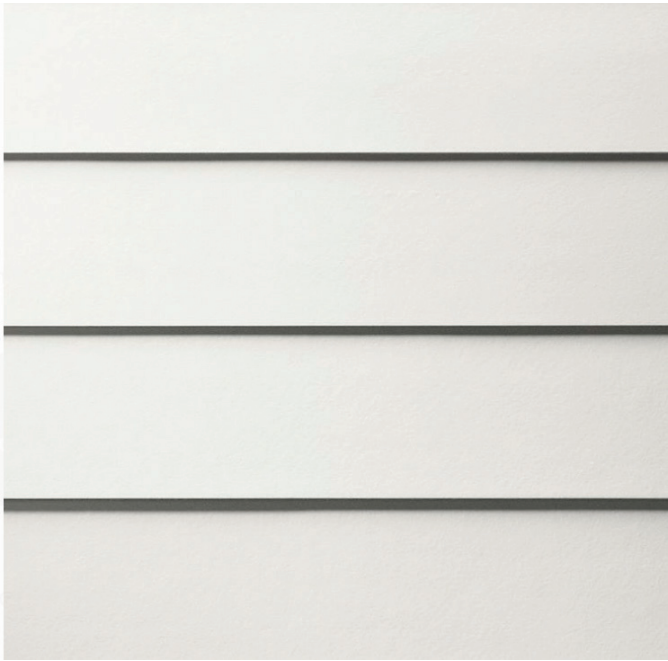
Provide Colorbond downpipes where required. Connect head to gutter & foot to drainage system with brackets at 2700mm max. spacing with a minimum of 2 brackets. All new downpipes are to be connected to the existing stormwater system, that discharges to an existing Council stormwater Collection system.

All pipes unless otherwise specified on the plan to be 100 dia. UPVC pipe.
Inspection openings will be required at even spacings not more than 30 metres apart and at any change of direction greater than 45 degrees.
HP - High Points in the guttering
DP - Downpipes
Drainage Pipe Notes.
Slope of pipes to be a minimum of 1:100 i.e. 1%
All levels and dimensions to be checked and confirmed on site.

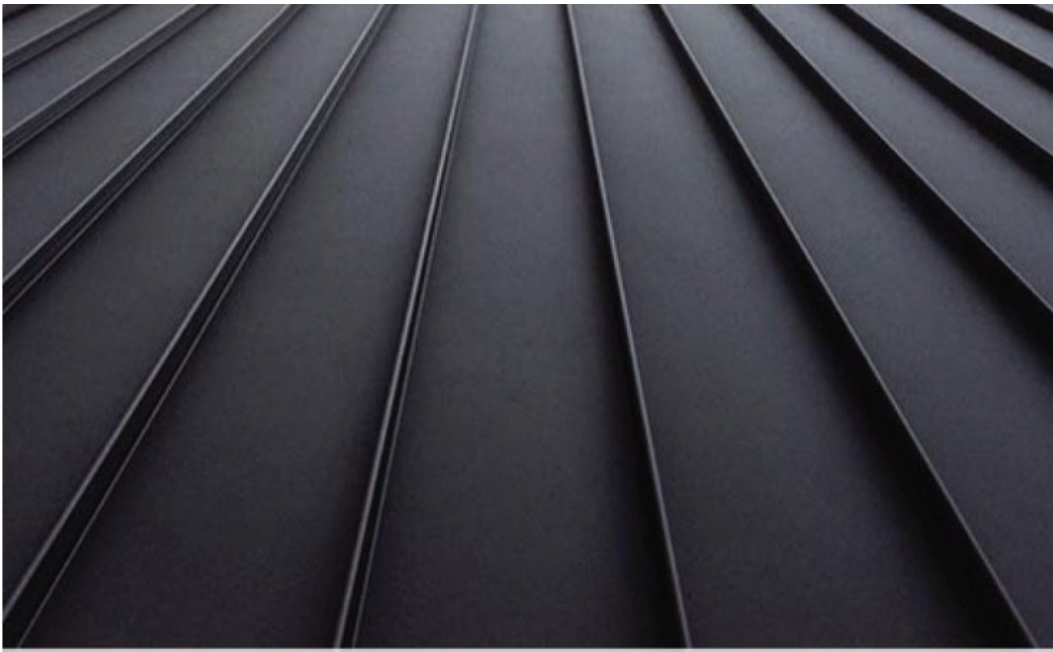
All design work and works to be in accordance with AS/NZS 3500.5 (2000) and AS/NZS 3500.3.2 (1998)
The Eaves Gutter minimum of 125mm D Gutter with a cross sectional area of 6300 sq. mm (as taken from Lysaght Pty Ltd), or similar. Downpipes attached to the eaves gutter to have a minimum diameter of 90mm or similar.
Downpipes can be connected to existing stormwater pipes. However, existing pipelines need to be checked and repaired in accordance to AS3500.
Dimensions and slope of existing need to be checked in accordance with AS3500 to ensure adequacy.
Tank dimensions shown in drawing is not to scale. Tanks sizes should be determined with consideration on height limits.



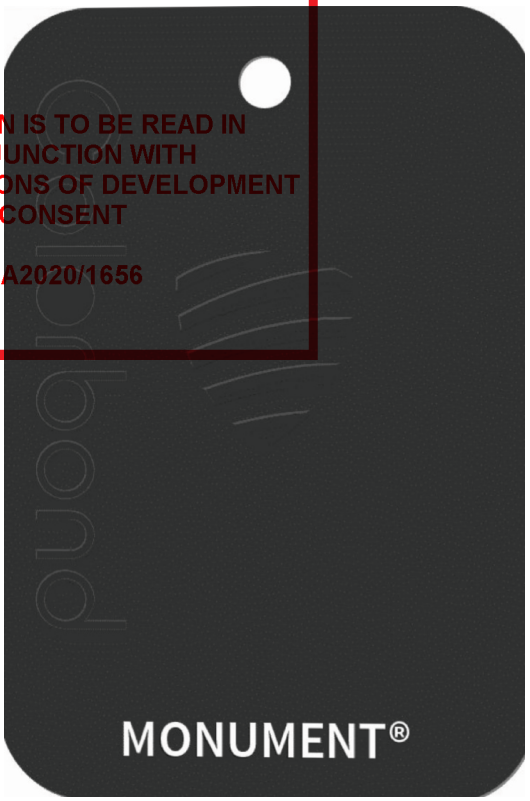
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HORIZONTAL CLADDING TO MATCH
EXISTING RESIDENCE
- SURFMIST OR SIMILAR



TRIMDECK ROOF SHEETING
- MONUMENT OR SIMILAR



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