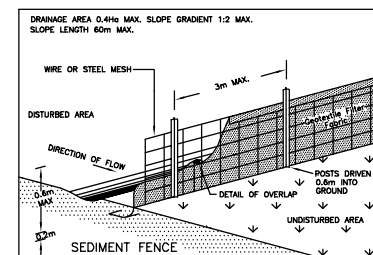
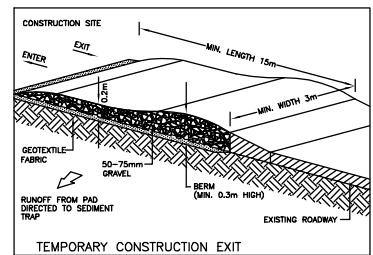
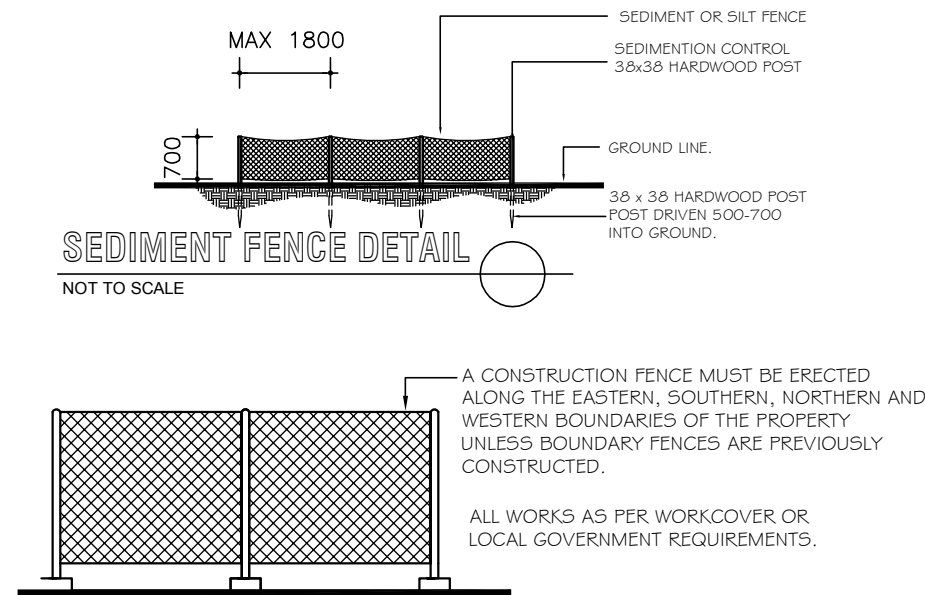


- NOTES
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 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
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 9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.

- SOIL AND WATER MANAGEMENT NOTES
01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
 02. MINIMISE DISTURBED AREAS
 03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
 04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
 05. ROADS AND FOOTPATHS TO BE SWEEP DAILY AND KEPT CLEAN AT ALL TIMES
 06. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL'S REQUIREMENTS.
 07. NOT WITHSTANDING DETAILS SHOWN, IT IS THE SITE MANAGERS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



STANDARD DETAILS



ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH,

WHITE GEOTECHNICAL GROUP.
BASIX REPORT
PERPARED BY SAMMY FEDELE

PROPOSED SEDIMENT CONTROL PLAN / SOIL AND WASTE MANAGEMENT / AND SITE PLAN

SCALE 1:200

LEGEND

UNDISTURBED VEGETATION

SILT FENCE

STOCK PILE

BARRIER FENCE

FABRIC FILLED WITH GRAVEL

SAND AND SOIL STOCKPILE

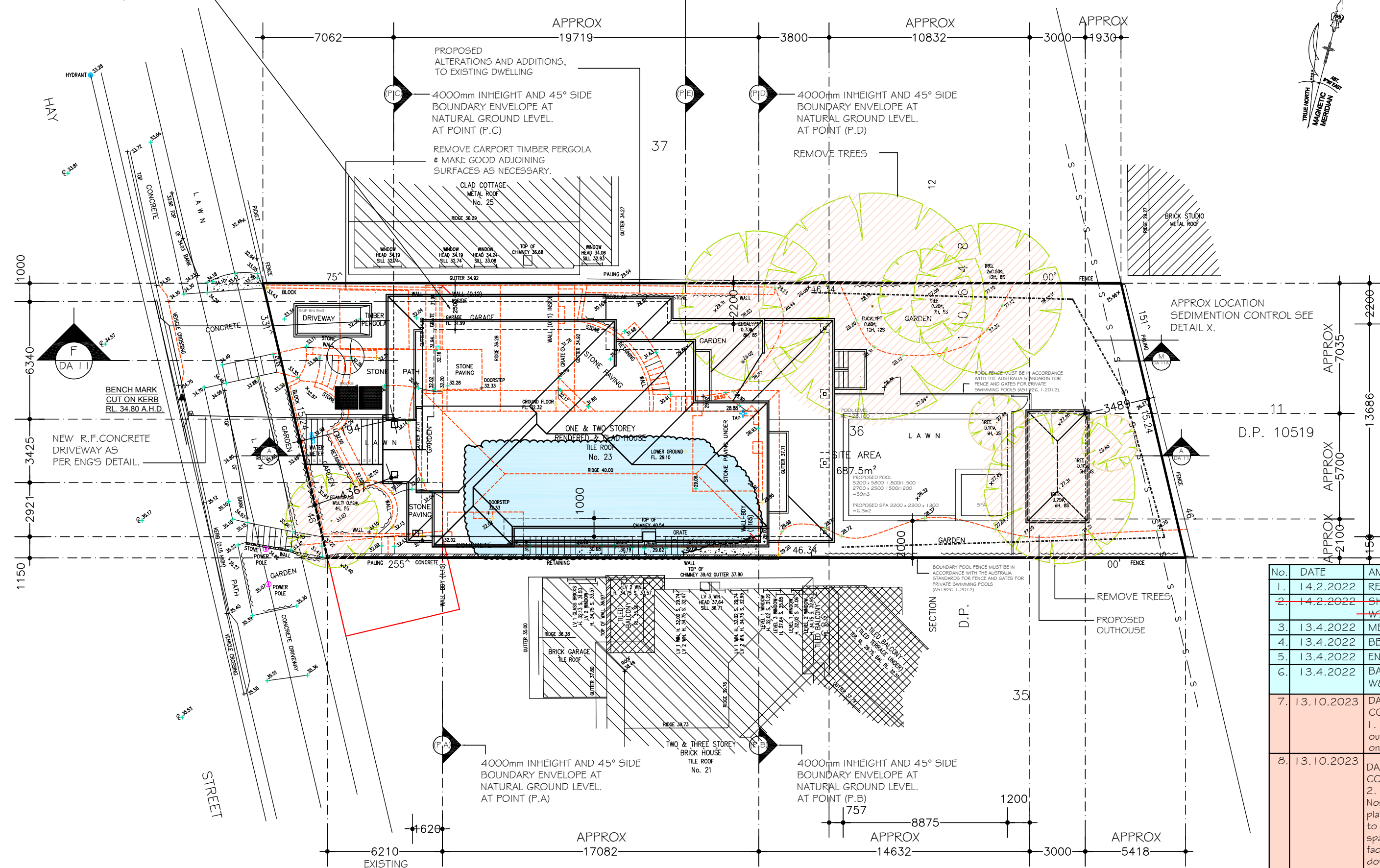
INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTEGRAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

www.dialbeforeyoudig.com.au
DIAL 1100
BEFORE YOU DIG

DA2021/1824
CONDITION 7.

3. The northern elevation of BEDROOM 3 and Ensuite located on the First Floor and shown on Sheet no. DAO6 are to be set back a minimum of 2.5m from the northern boundary.

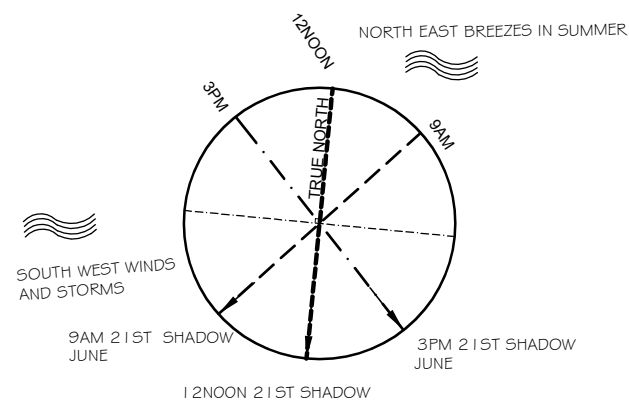


northern
beaches
council

THIS PLAN IS TO BE READ IN
CONJUNCTION WITH
THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2024/0398

MONA
VALE
SHOPS



COLLAROY TENNIS
CLUB AND BEACH

DEE
SHOPS

No.	DATE	AMENDMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF
7.	13.10.2023	DA2021/1824 CONDITION 7. 1. A 600mm privacy shelf is to project outwards below the windows W6 and W7 on the northern elevation.	C	SF
8.	13.10.2023	DA2021/1824 CONDITION 7. 2. The 'Bahama Shutters' shown on Sheet Nos. DAO8 and DAO9 of the stamped plans are to have fixed louvers (with a maximum spacing of 20mm), in a 45 degree angle facing downwards, in a material that complements the design of the approved development. The 'Bahama Shutters' are to only be able to open outwards at the base 15cm.	C	SF
9.	13.10.2023	3. The northern elevation of BEDROOM 3 and Ensuite located on the First Floor and shown on Sheet no. DAO6 are to be set back a minimum of 2.5m from the northern boundary.	C	SF
10.	04.07.2024	PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION MCO1-MC16	D	SF

No.	DATE	AMENDMENTS	REV	BY
12.	11.09.2024	FIRST FLOOR SOUTHERN WALL BEDROOM 1, WIR AND ENS MOVE 1000 AND DELETE WINDOW 22	F	SF

Sammy Fedele

abn 36 627 664 311

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C AND A PARISI

PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE.

ADDRESS : 23 HAY STREET COLLAROY NSW 2097

DP 10648 LOT 36 SEC 12

PLAN

SCALE: 1:100

DATE: 10.06.2021

REV: F JOB: 41/20

SHEET No : **MC01**

A2

DESIGN DATA

LANDSCAPE AREA
SITE AREA = 687.5m2
PROPOSED = 277.27m2 = 40.33%

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.
HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4. AND 11.3.5. OF THE NCC 2022 VOLUME 2

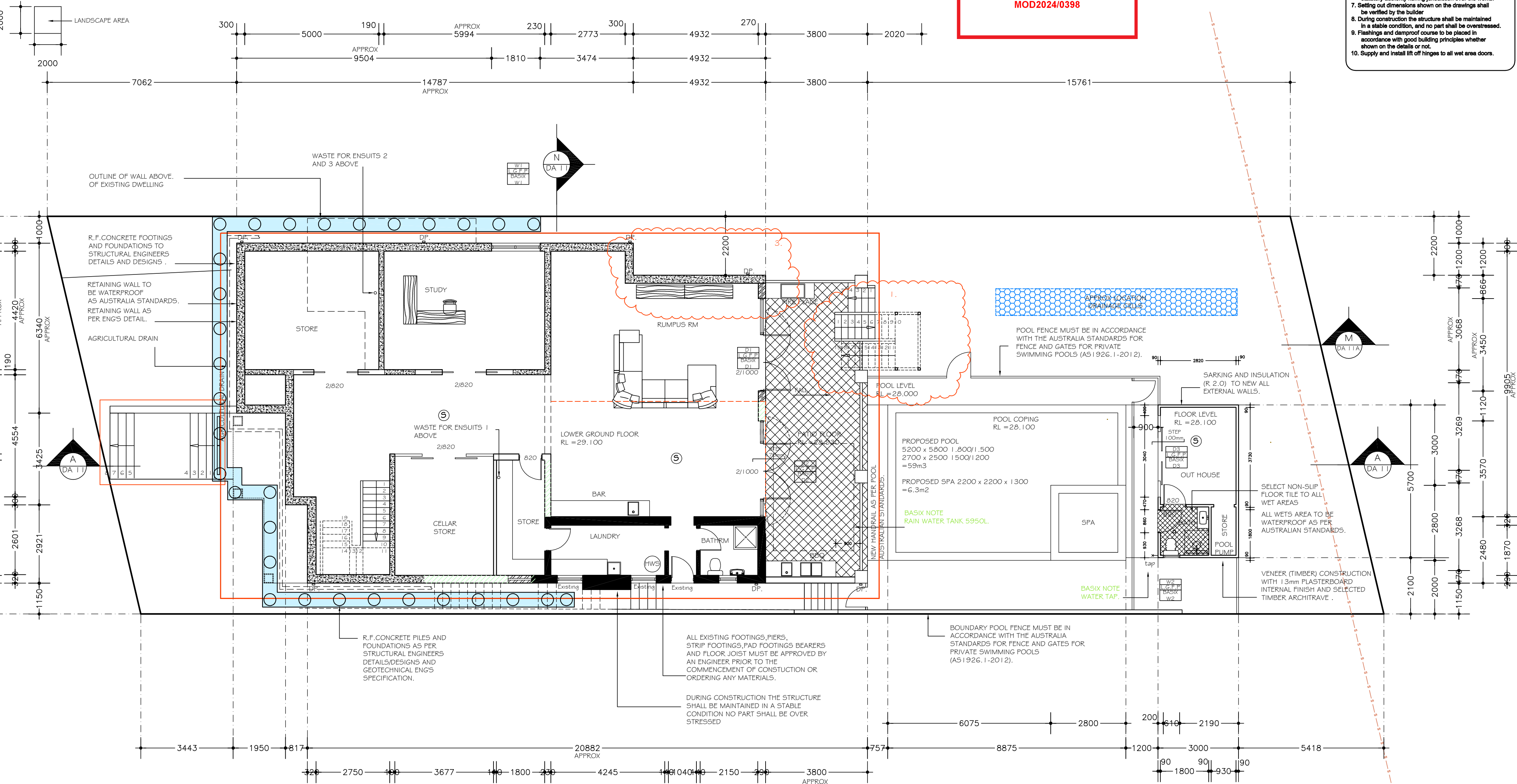


THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0398

NOTES

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5. All storm water to be connect to existing system.
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8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
9. Flashings and dampproof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors.

LEGEND:



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100

PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION

 Sammy Fedele abn 36 627 664 311	Architectural Drafting Services 0404 037 606 email:sammyfedele@primus.com.au	C AND A PARISI		PLAN	
		PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE		SCALE: 1:100	
		ADDRESS : 23 HAY STREET COLLAROY NSW 2097		DATE: 10.06.2021	
		DP: 10648 LOT 36 SEC 12		REV: F JOB: 41/20	
				SHEET No : MC04	
				A2	

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.

HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4. AND 11.3.5. OF THE NCC 2022 VOLUME 2

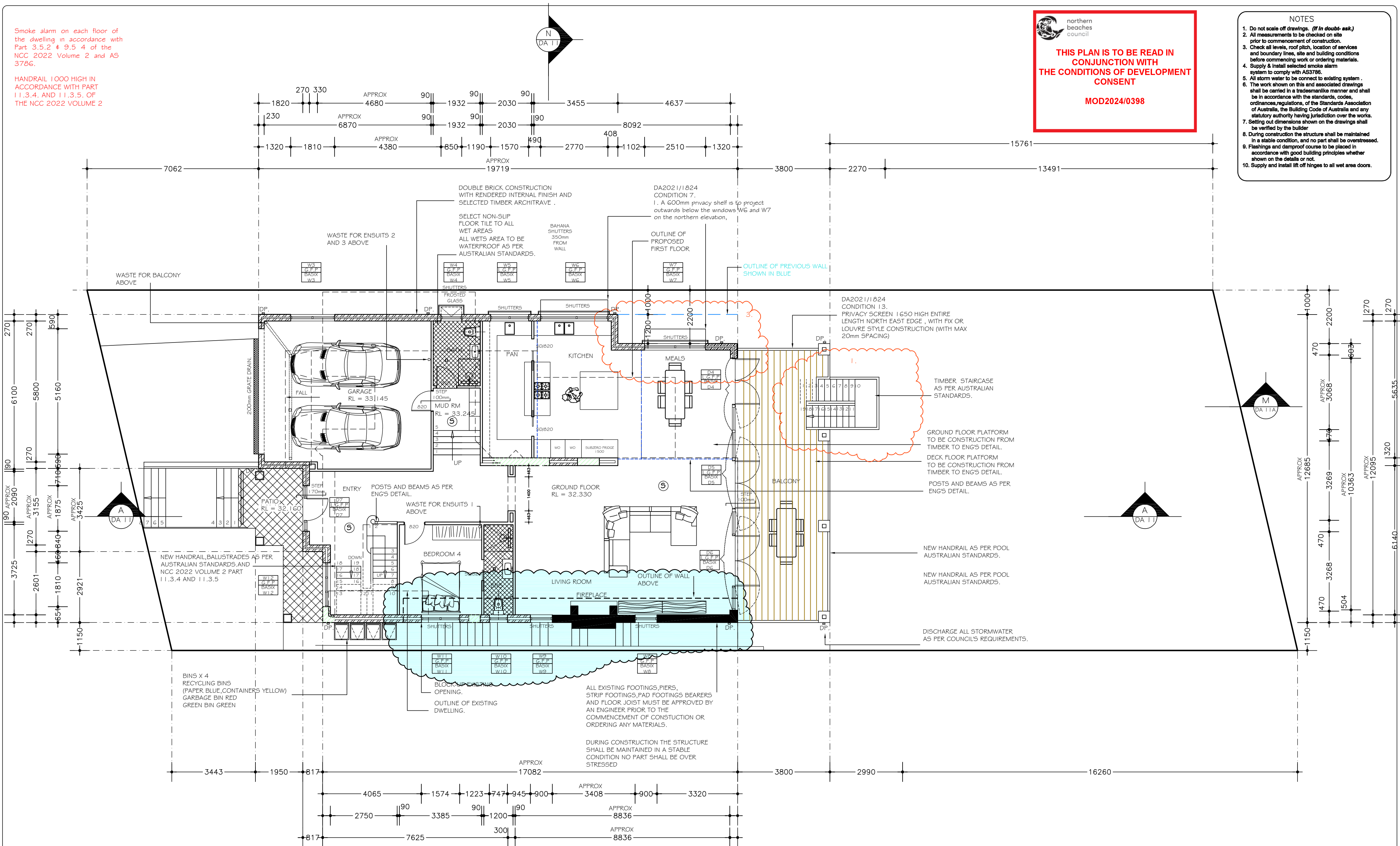


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MOD2024/0398

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PROPOSED GROUND FLOOR PLAN

SCALE 1:100



PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

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C AND A PARISI

PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824
ALTERATIONS AND ADDITIONS, AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

PLAN

SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20

SHEET NO :
MC05

A2

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.

HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4, AND 11.3.5, OF THE NCC 2022 VOLUME 2

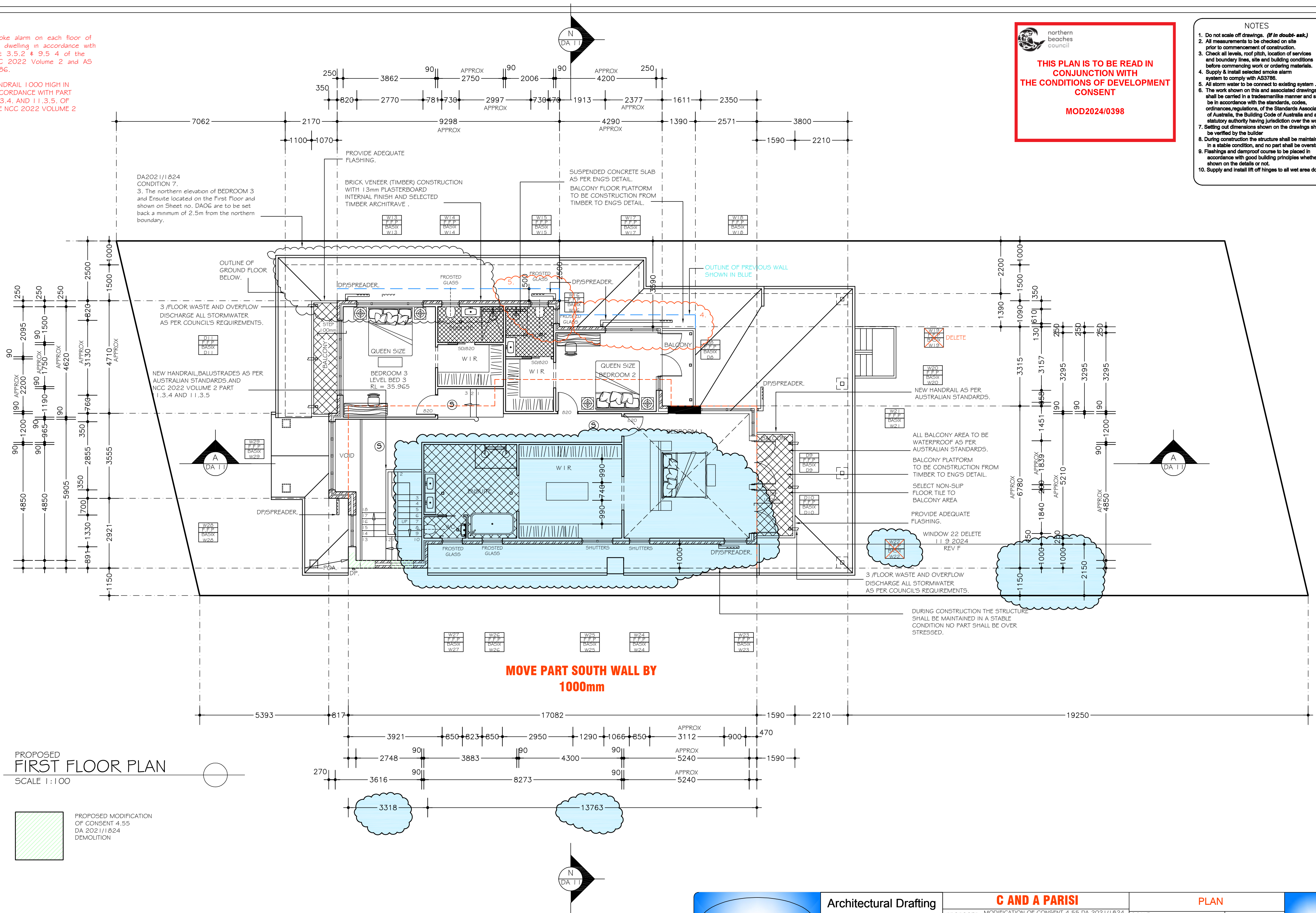


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MOD2024/0398

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PROPOSED
FIRST FLOOR PLAN
SCALE 1:100

PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

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C AND A PARISI

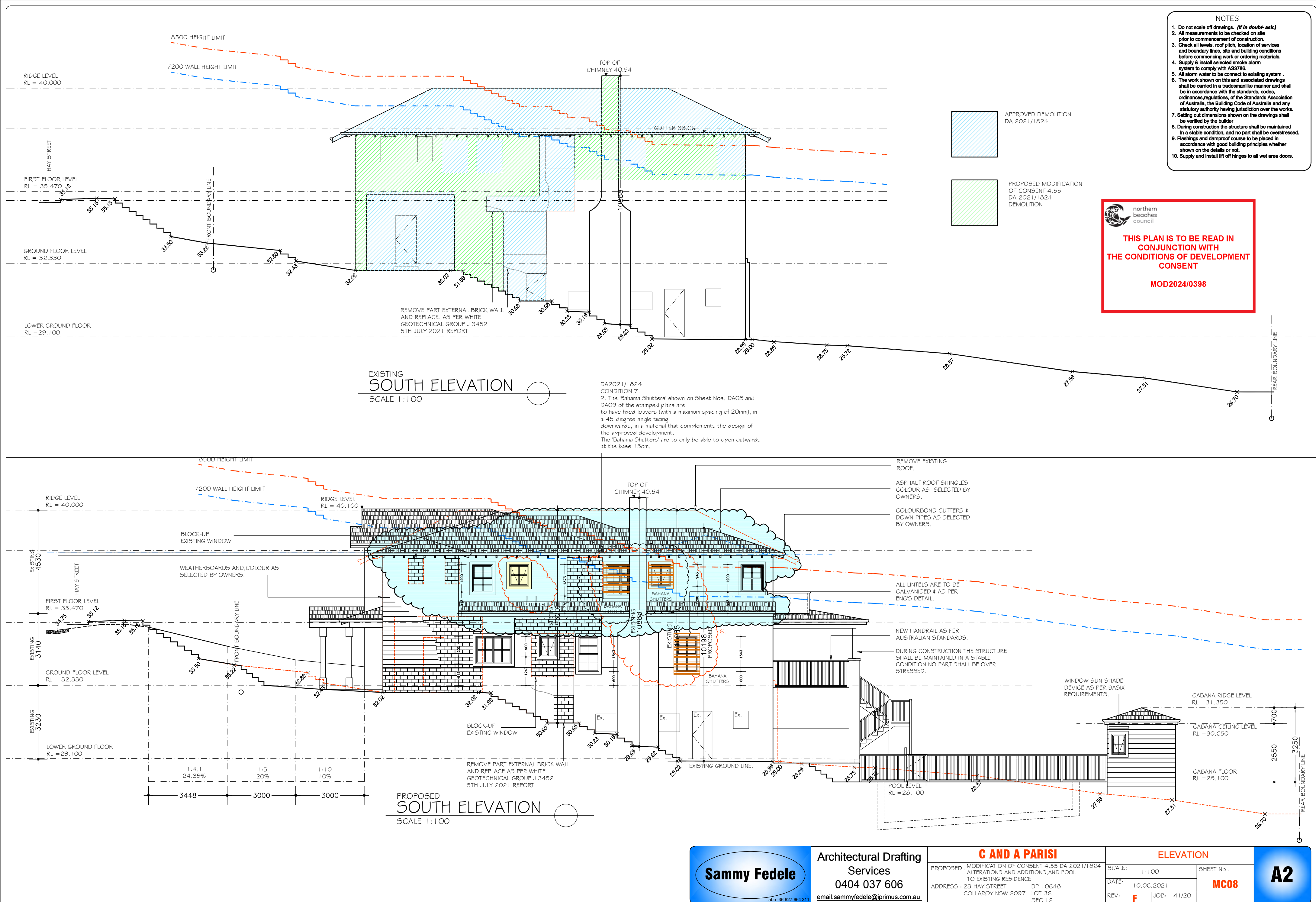
PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824
ALTERATIONS AND ADDITIONS, AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET LOT 36
COLLAROY NSW 2097 SEC 12

SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20

PLAN

SHEET No :
MC06

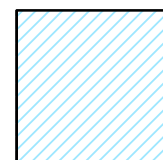
A2





THIS PLAN IS TO BE READ IN
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THE CONDITIONS OF DEVELOPMENT
CONSENT

MOD2024/0398



APPROVED DEMOLITION
DA 2021/1824



PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

RIDGE LEVEL
RL = 40.000

EXISTING
26° ROOF PITCH

TOP OF
CHIMNEY 40.54

FIRST FLOOR LEVEL
RL = 35.470

GROUND FLOOR LEVEL
RL = 32.330

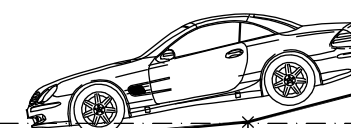
LOWER GROUND FLOOR
RL = 29.100

EXISTING
NORTH ELEVATION
SCALE 1:100

8500 HEIGHT LIMIT

7200 WALL HEIGHT LIMIT

- NOTES
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1.11 9% 4735
1.384 26.04% 3801
1.48 20.83% 4172
1.11.9 8.4% 2743

RIDGE LEVEL
RL = 40.000

FIRST FLOOR LEVEL
RL = 35.470

GROUND FLOOR LEVEL
RL = 32.330

LOWER GROUND FLOOR
RL = 29.100

DA2021/1824
CONDITION 7.
1. A 600mm privacy shelf is to project
outwards below the windows W6 and W7
on the northern elevation,

PROPOSED LOUVERS 600 HIGH
1550 FROM FLOOR LEVEL

RIDGE LEVEL
RL = 40.100

PROPOSED
18° ROOF PITCH

100mm BAND.
PROVIDE ADEQUATE
FLASHING.

BASIX NOTE
EXTERNAL BLIND ADJUSTABLE
W4, W5, W6, AND W7

BASIX NOTE
EXTERNAL BLIND ADJUSTABLE
W1

DA2021/1824
CONDITION 7.
2. The 'Bahama Shutters' shown on Sheet Nos. DAO8 and
DAO9 of the stamped plans are
to have fixed louvers (with a maximum spacing of 20mm), in
a 45 degree angle facing
downwards, in a material that complements the design of
the approved development.
The 'Bahama Shutters' are to only be able to open outwards
at the base 15cm.

PROPOSED
NORTH ELEVATION
SCALE 1:100

8500 HEIGHT LIMIT

7200 WALL HEIGHT LIMIT

C B H G

LEVEL BED 3
RL = 35.965

GARAGE
RL = 33.145

FRONT BOUNDARY LINE

FRONT BOUNDARY LINE

1:10 10% 3000
1:6 16.66% 6313

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C AND A PARISI

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ALTERATIONS AND ADDITIONS AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20

ELEVATION

SHEET No :
MC09

A2

APPROVED DEMOLITION
DA 2021/1824

PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

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northern
beaches
council

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CONSENT

MOD2024/0398

EXISTING
WEST ELEVATION
SCALE 1:100

EXISTING
EAST ELEVATION
SCALE 1:100

PROPOSED
WEST ELEVATION
SCALE 1:100

PROPOSED
EAST ELEVATION
SCALE 1:100

PROPOSED
EAST ELEVATION
SCALE 1:100

PROPOSED
WEST ELEVATION
SCALE 1:100

Sammy Fedele

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G AND A PARISI

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ALTERATIONS AND ADDITIONS, AND POOL
TO EXISTING RESIDENCE
ADDRESS : 23 HAY STREET DP 10648
COLLAROY NSW 2097 LOT 36
SEC 12

ELEVATION

SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20

SHEET No :
MC10

A2

