

NOTES

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3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
4. Supply & install selected smoke alarm system to comply with AS3785.
5. All storm water to be connect to existing system.
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7. Setting out dimensions shown on the drawings shall be verified by the builder.
8. During construction the structure shall be maintained in a stable condition, and no part shall be over-stressed.
9. Flashings and damp proof course to be placed in accordance with good building principles whether shown on the details or not.
10. Supply and install lift off hinges to all wet area doors.

LEGEND

- UNDISTURBED VEGETATION
- SILT FENCE
- STOCK PILE
- BARRIER FENCE
- FABRIC FILLED WITH GRAVEL
- SAND AND SOIL STOCKPILE

INVESTIGATION OF "DIAL BEFORE YOU DIG" UNDERGROUND SERVICES HAS BEEN MADE. DETECTION OF UNDERGROUND SERVICES IS NOT AN INTENTIONAL PART OF THIS SURVEY. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE.

DEVELOPERS & EXCAVATORS MAY BE HELD FINANCIALLY RESPONSIBLE BY THE ASSET OWNER SHOULD THEY DAMAGE UNDERGROUND NETWORKS.

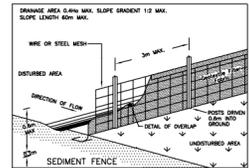
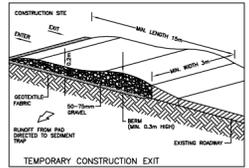
CARELESS DIGGING CAN:

- CAUSE DEATH OR SERIOUS INJURY TO WORKERS AND THE GENERAL PUBLIC
- INCORRECTLY USE OF ELECTRICITY, GAS, WATER AND COMMUNICATIONS
- LEAD TO CRIMINAL PROSECUTION AND FINANCIAL CLAIMS
- CAUSE EXPENSIVE FINANCIAL LOSSES TO BUSINESS
- CUT OFF EMERGENCY SERVICES
- DELAY PROJECT COMPLETION TIMES WHILE THE DAMAGE IS REPAIRED

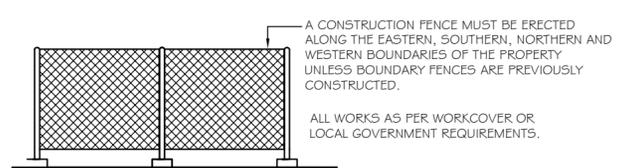
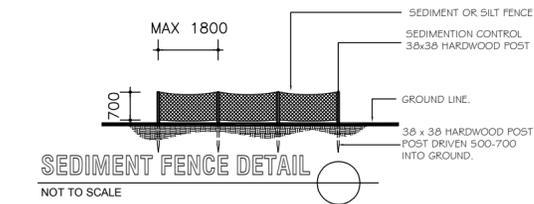
MINIMISE YOUR RISK AND DIAL BEFORE YOU DIG.
TEL: 1100



- SOIL AND WATER MANAGEMENT NOTES**
01. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
 02. MINIMISE DISTURBED AREAS
 03. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
 04. DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
 05. ROADS AND FOOTPATHS TO BE SWEEP DAILY AND KEPT CLEAN AT ALL TIMES
 06. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADEN WATER, TO COUNCIL'S REQUIREMENTS.
 07. NOT WITHSTANDING DETAILS SHOWN, IT IS THE SITE MANAGER'S SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.



STANDARD DETAILS



ARCHITECTURAL PLANS ARE TO BE READ IN CONJUNCTION WITH,

WHITE GEOTECHNICAL GROUP.
BASIX REPORT
PREPARED BY SAMMY FEDELE

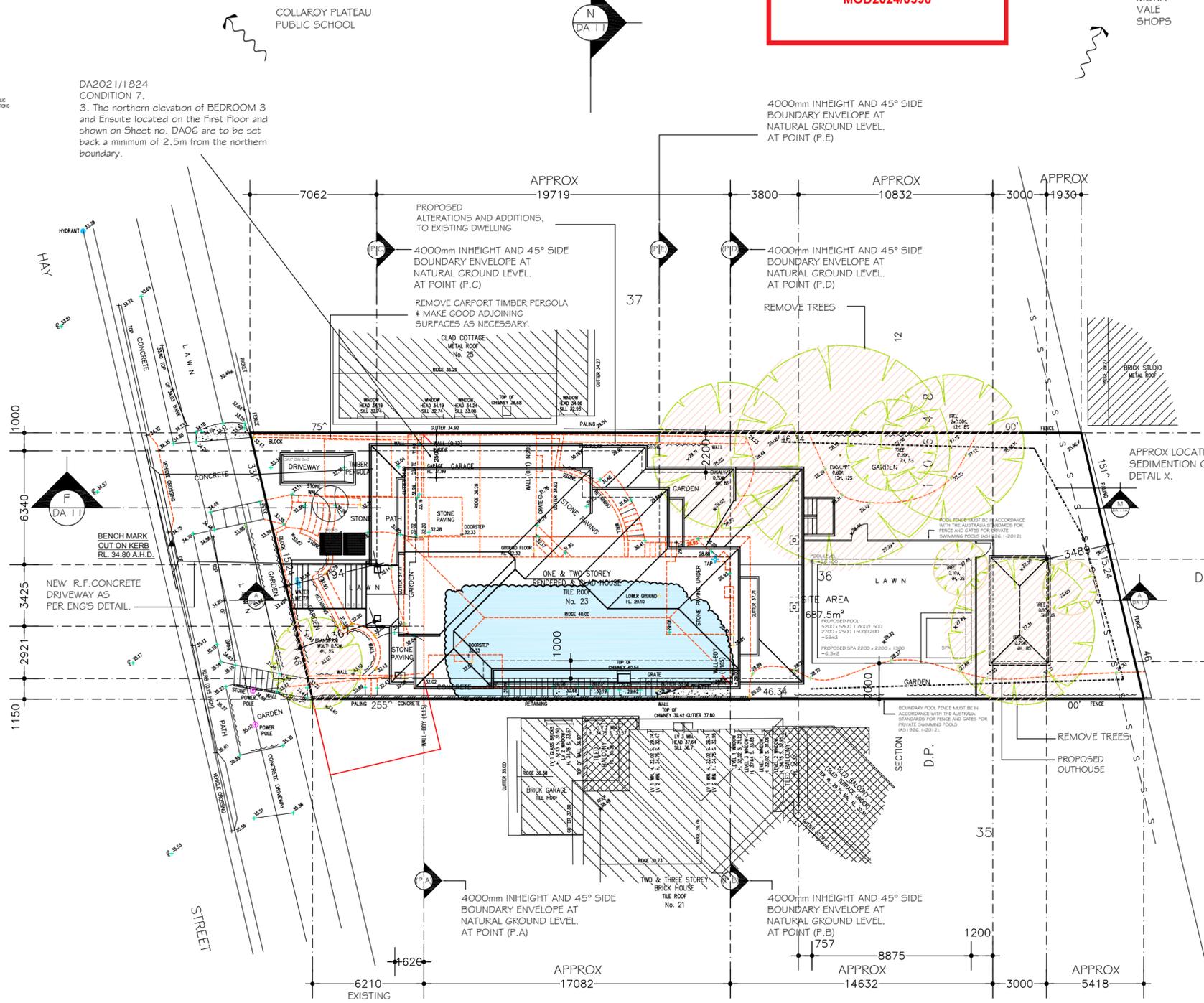
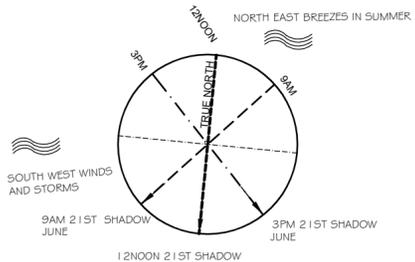
PROPOSED SEDIMENT CONTROL PLAN / SOIL AND WASTE MANAGEMENT / AND SITE PLAN

SCALE 1:200

northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0398



No.	DATE	AMENDMENTS	REV	BY
1.	14.2.2022	RELOCATE REAR EXTERNAL STAIRS	A	SF
2.	14.2.2022	SHELF TO W6 KITCHEN AND W7 DINE WINDOWS ONLY	A	SF
3.	13.4.2022	MEALS WALL SETBACK 2200	B	SF
4.	13.4.2022	BED 2 SIDE SETBACK 3590	B	SF
5.	13.4.2022	ENS SIDE SETBACK 2500	B	SF
6.	13.4.2022	BAHAMA SHUTTERS TO W 5 ,W6,W7 W8,W24,W25	B	SF
7.	13.10.2023	DA2021/1824 CONDITION 7. 1. A 600mm privacy shelf is to project outwards below the windows W6 and W7 on the northern elevation.	C	SF
8.	13.10.2023	DA2021/1824 CONDITION 7. 2. The 'Bahama Shutters' shown on Sheet Nos. DA08 and DA09 of the stamped plans are to have fixed louvers (with a maximum spacing of 20mm), in a 45 degree angle facing downwards, in a material that complements the design of the approved development. The 'Bahama Shutters' are to only be able to open outwards at the base 15cm.	C	SF
9.	13.10.2023	3. The northern elevation of BEDROOM 3 and Ensuite located on the First Floor and shown on Sheet no. DA06 are to be set back a minimum of 2.5m from the northern boundary.	C	SF
10.	04.07.2024	PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION MCO1-MC1 G	D	SF

No.	DATE	AMENDMENTS	REV	BY
12.	11.09.2024	FIRST FLOOR SOUTHERN WALL BEDROOM 1, WIR AND ENS MOVE 1000 AND DELETE WINDOW 22	F	SF

Sammy Fedele Architectural Drafting Services
0404 037 606
email:sammyfedele@primus.com.au

C AND A PARISI
PROPOSED: MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE.
ADDRESS: 23 HAY STREET COLLARROY NSW 2097 DP 10648 LOT 36 SEC 12

PLAN
SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20

SHEET No: **MC01**

A2

DESIGN DATA

LANDSCAPE AREA

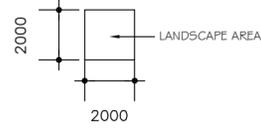
SITE AREA = 687.5m²

PROPOSED = 277.27m² = 40.33%

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.

HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4. AND 11.3.5. OF THE NCC 2022 VOLUME 2

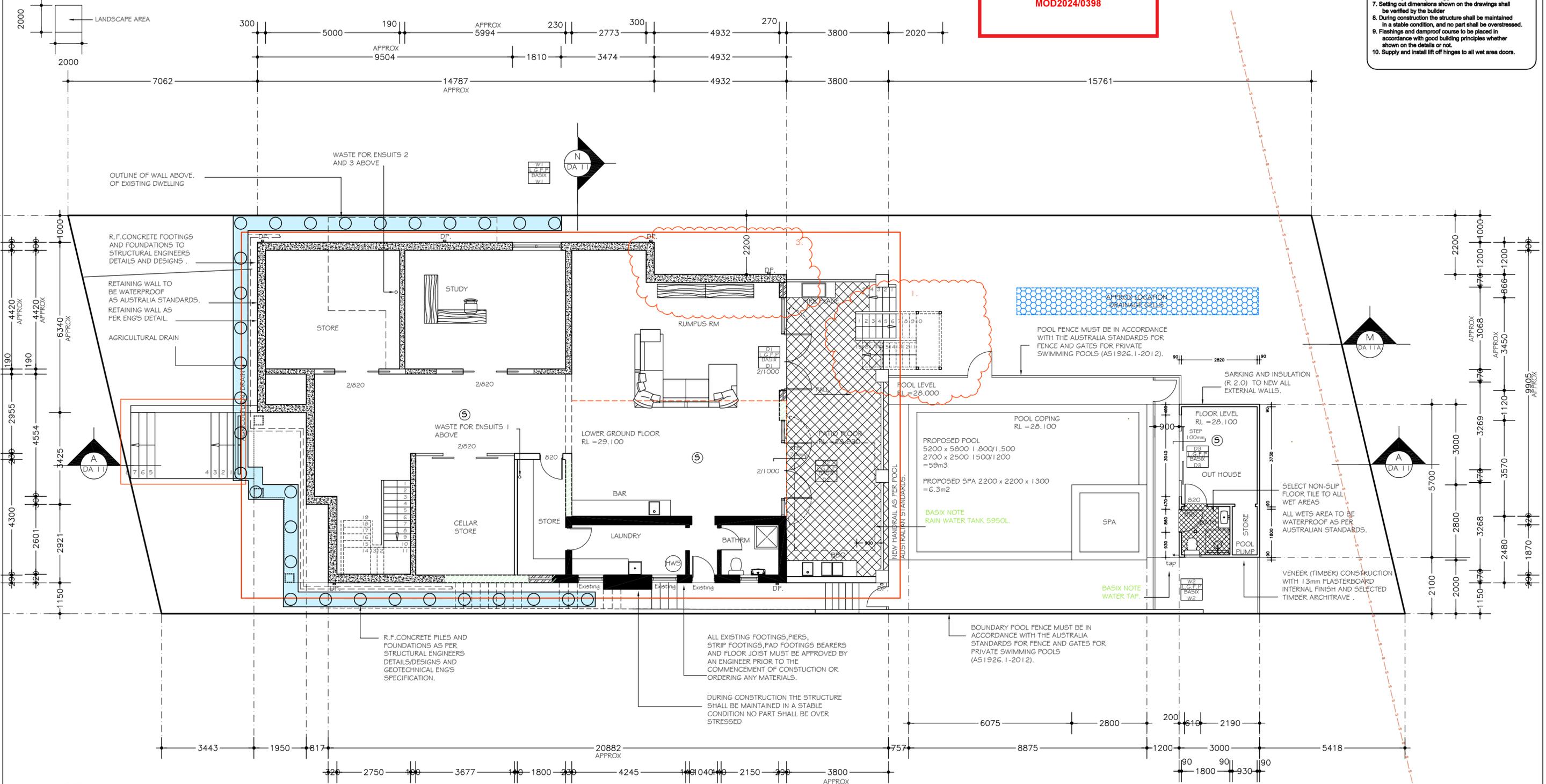
LEGEND:





 northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0398

- NOTES**
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 10. Supply and install lift off hinges to all wet area doors.



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100


 PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION

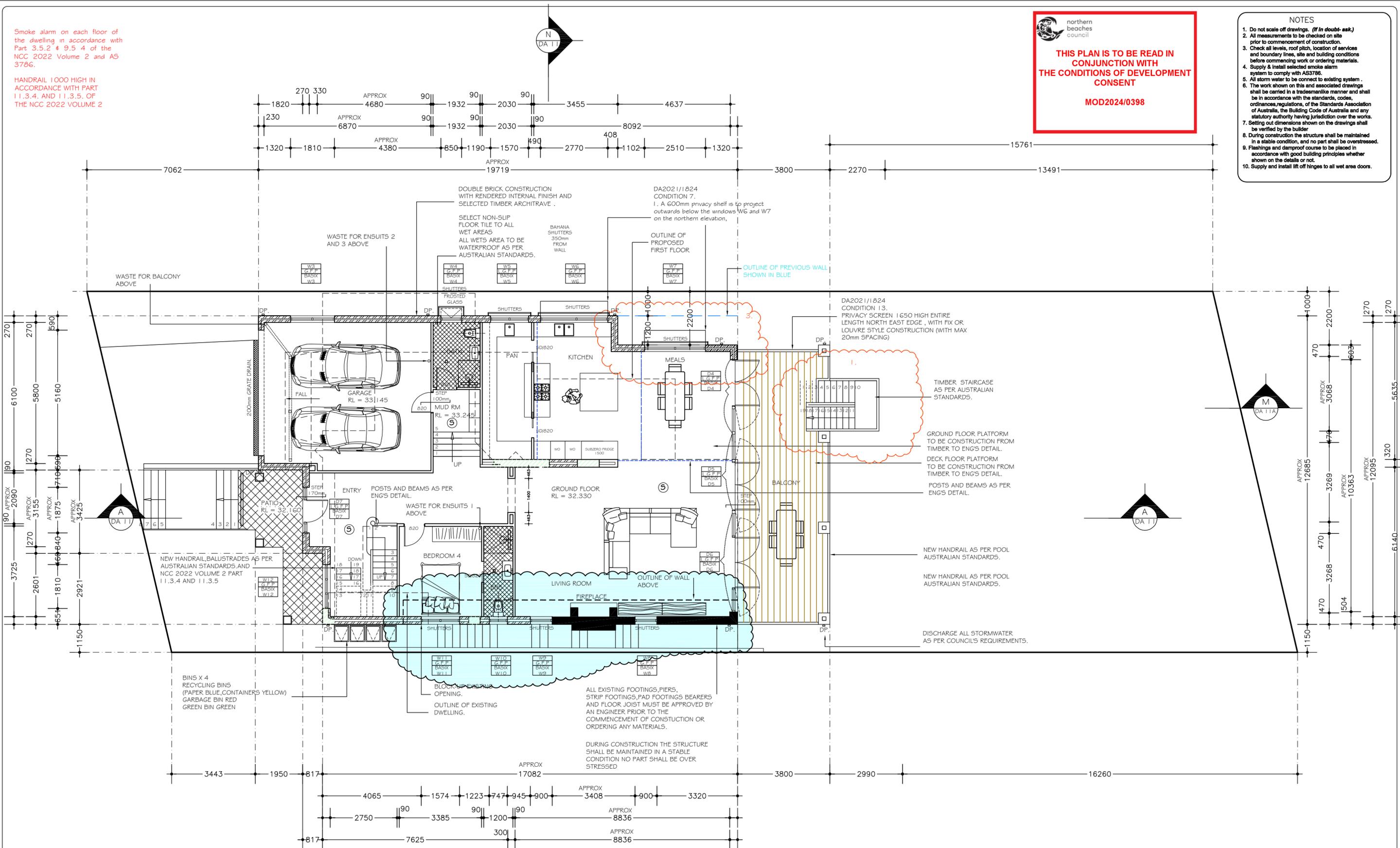
 Sammy Fedele <small>abn 36 627 664 311</small>	Architectural Drafting Services 0404 037 606 <small>email:sammyfedele@primus.com.au</small>	C AND A PARISI		PLAN	
		PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE ADDRESS : 23 HAY STREET COLLAROY NSW 2097	DP 10648 LOT 36 SEC 12	SCALE: 1:100 DATE: 10.06.2021 REV: F	SHEET No : MC04

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.

HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4 AND 11.3.5 OF THE NCC 2022 VOLUME 2

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0398

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PROPOSED GROUND FLOOR PLAN
SCALE 1:100

PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION

Sammy Fedele
Architectural Drafting Services
0404 037 606
email:sammyfedele@primus.com.au

C AND A PARISI
PROPOSED: MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE
ADDRESS: 23 HAY STREET COLLAROY NSW 2097 DP 10648 LOT 36 SEC. 12

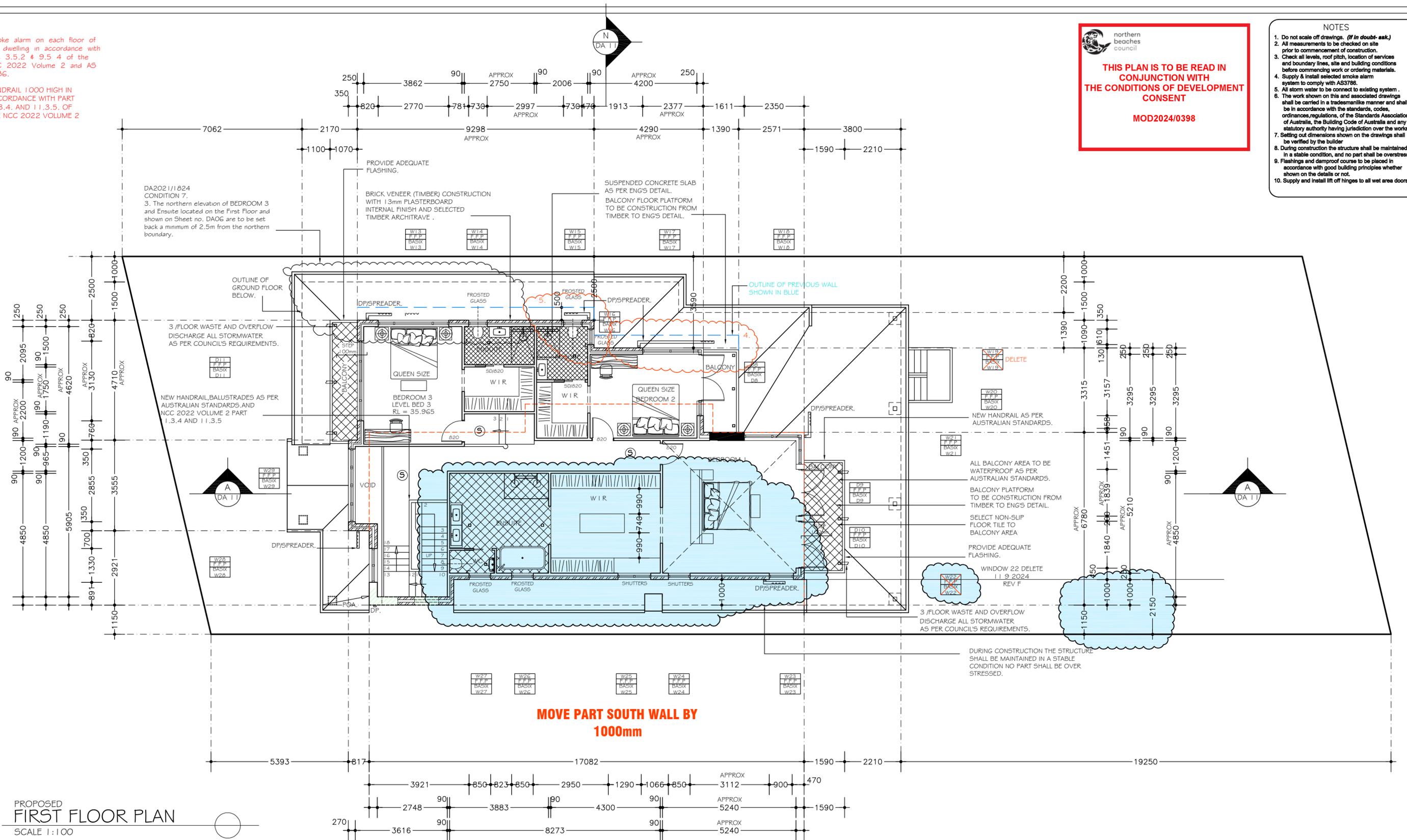
PLAN
SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20
SHEET NO: MC05
A2

Smoke alarm on each floor of the dwelling in accordance with Part 3.5.2 & 9.5.4 of the NCC 2022 Volume 2 and AS 3786.

HANDRAIL 1000 HIGH IN ACCORDANCE WITH PART 11.3.4. AND 11.3.5. OF THE NCC 2022 VOLUME 2

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT
MOD2024/0398

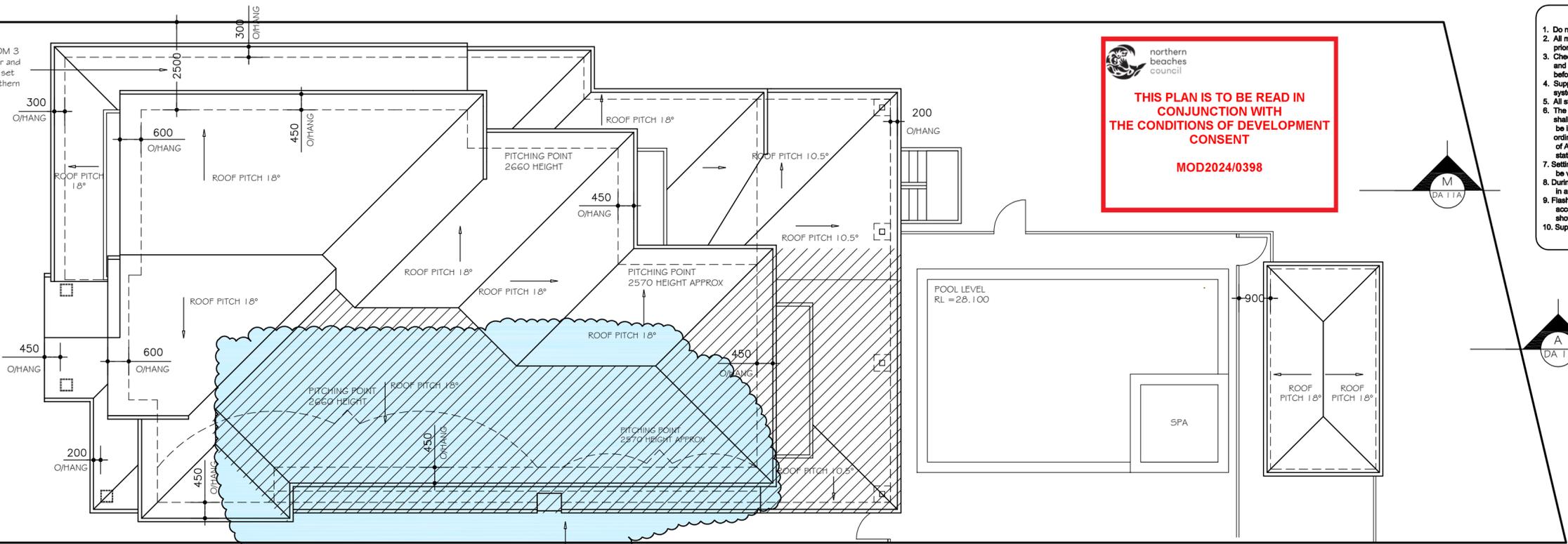
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 10. Supply and install lift off hinges to all wet area doors.



PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 DEMOLITION

<p>Sammy Fedele abn 36 627 664 311</p>	<p>Architectural Drafting Services 0404 037 606 email: sammyfedele@primus.com.au</p>	<p>C AND A PARISI</p>		<p>PLAN</p>	
		<p>PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE</p>	<p>SCALE: 1:100</p>	<p>SHEET No : MC06</p>	<p>A2</p>
<p>ADDRESS : 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12</p>		<p>DATE: 10.06.2021</p>	<p>REV: F JOB: 41/20</p>		

DA2021/1824
CONDITION 7.
3. The northern elevation of BEDROOM 3 and Ensuite located on the First Floor and shown on Sheet no. DA06 are to be set back a minimum of 2.5m from the northern boundary.



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 10. Supply and install fit of hinges to all wet area doors.

PROPOSED
ROOF PLAN
SCALE 1:100

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A422366

- Pool and Spa**
- Rainwater tank**
The applicant must install a rainwater tank of at least 9950 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.
The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area.
The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.
- Outdoor swimming pool**
The swimming pool must be outdoors.
The swimming pool must not have a capacity greater than 59 kilolitres.
The swimming pool must have a pool cover.
The applicant must install a pool pump timer for the swimming pool.
The applicant must not incorporate any heating system for the swimming pool that is part of this development.
- Outdoor spa**
The spa must not have a capacity greater than 6.3 kilolitres.
The spa must have a spa cover.
The applicant must install a spa pump timer.
The applicant must install the following heating system for the outdoor spa that is part of this development: electric heat pump.

- Fixtures and systems**
- Lighting**
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.
- Fixtures**
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor above garage: framed (R0.7).	nil	
floor above existing dwelling or building.	nil	
external wall: brick veneer	R1.16 (or R1.70 including construction)	
external wall: cavity brick	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.30 (or R1.70 including construction)	
external wall: other/undecided	R1.70 (including construction)	
internal wall shared with garage: single skin masonry (R0.18)	nil	
flat ceiling, pitched roof	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)
skated ceiling, pitched/skillion roof: framed	ceiling: R2.50 (up), roof: foil/sarking	medium (solar absorptance 0.475 - 0.70)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W1	N	1.07	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	0.55	0	0	eave/verandah/pergola/balcony >=600 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	N	1.08	0	0	projection/height above sill ratio >=0.29	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W4	N	1.02	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W5	N	1.88	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W6	N	4.8	0	0	external louvre/blind (adjustable)	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W7	N	4	0	0	external louvre/blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W8	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W9	S	1.3	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W10	S	0.67	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W11	S	1.88	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W12	W	3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W13	N	3.32	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
D11	W	6.7	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W14	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W15	N	0.68	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W16	E	0.57	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W17	N	2.6	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W18	N	2.5	0	19250	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W19	E	0.61	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W20	E	1.3	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W21	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W22	E	1.2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
W23	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W24	S	0.8	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W25	S	2	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W26	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Overshadowing Distance (m)	Shading device	Frame and glass type
W27	S	1.08	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W28	W	2.05	0	0	eave/verandah/pergola/balcony >=450 mm	aluminium, single Lo-Tsol low-e, (U-value: 5.6, SHGC: 0.36)
W29	W	4.2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single pyrolytic low-e, (U-value: 4.48, SHGC: 0.46)
D1	N	11.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D2	N	9.07	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D3	W	6.3	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D4	E	11	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D5	E	8	0	0	pergola (adjustable shade) >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D6	E	10.2	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D7	W	4.7	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
D8	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D9	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)
D10	E	3.9	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47)

A2

PLAN

SHEET No: **MC07**

SCALE: 1:100

DATE: 10.06.2021

REV: **F** JOB: 41/20

C AND A PARISI

PROPOSED MODIFICATION OF CONSENT 4/55 DA 2021/1824 TO ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE

ADDRESS: 23 HAY STREET DP 10648 LOT 36 COLLARBY NSW 2097 SEC 12

Architectural Drafting Services
0404 037 606
email:sammyfedele@iprimus.com.au

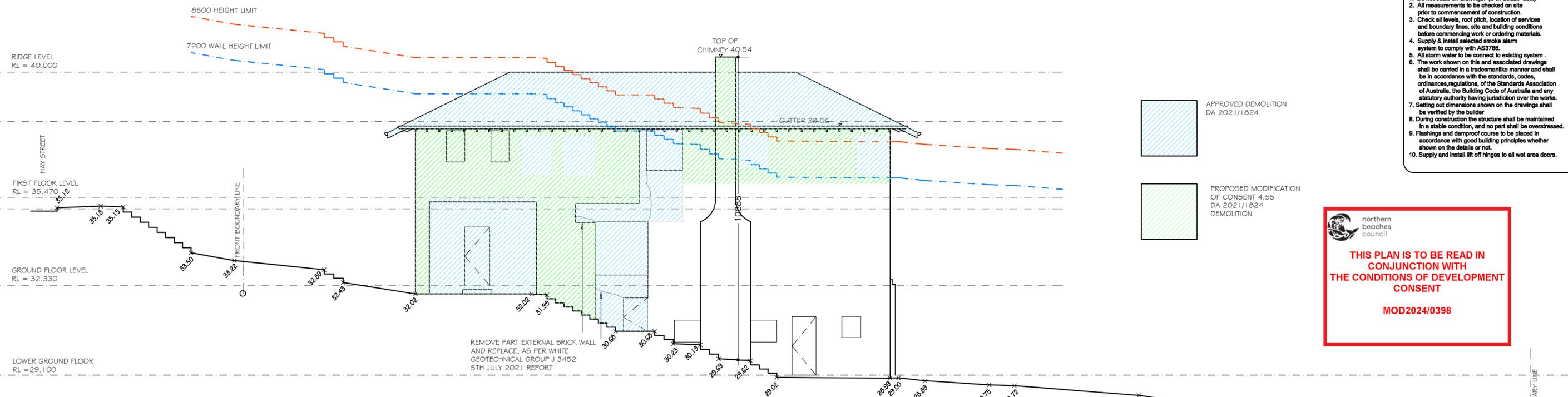
Sammy Fedele
Abn: 36 627 664 911

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 10. Supply and install lift off hinges to all wet area doors.

 northern beaches council

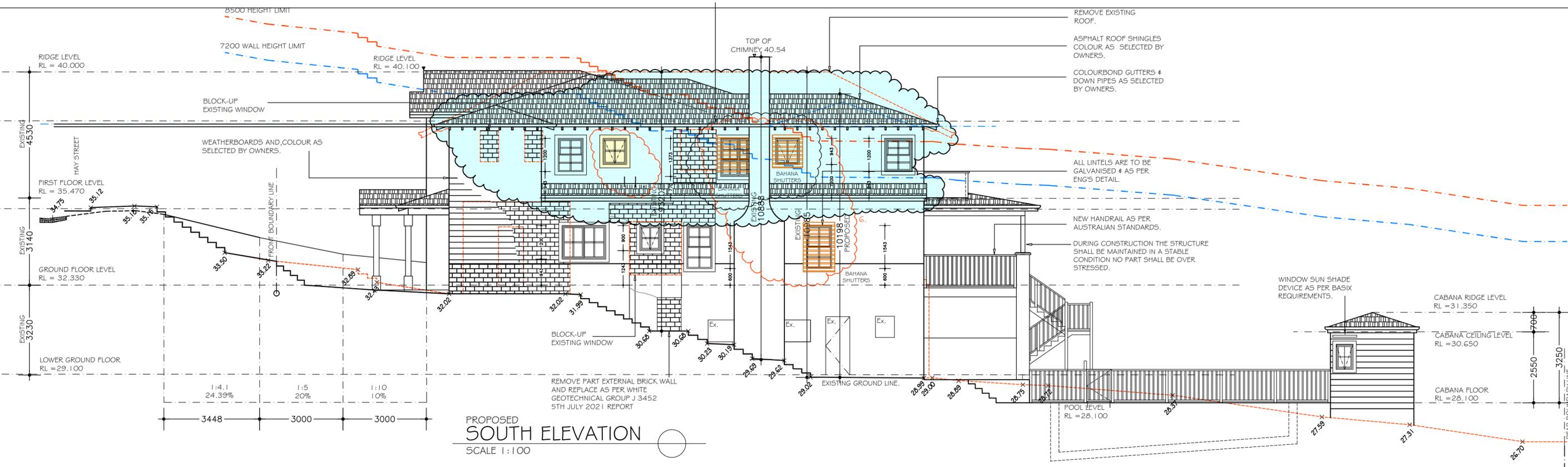
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0398



EXISTING SOUTH ELEVATION
SCALE 1:100

DA2021/1824
CONDITION 7.
2. The 'Bahama Shutters' shown on Sheet Nos. DAO8 and DAO9 of the stamped plans are to have fixed louvers (with a maximum spacing of 20mm), in a 45 degree angle facing downwards, in a material that complements the design of the approved development.
The 'Bahama Shutters' are to only be able to open outwards at the base 15cm.



PROPOSED SOUTH ELEVATION
SCALE 1:100

 <p>Sammy Fedele abn 36 627 664 311</p>	<p>Architectural Drafting Services 0404 037 606 email: sammyfedele@iprimus.com.au</p>	<p>C AND A PARISI</p>		<p>ELEVATION</p>	
		<p>PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE</p> <p>ADDRESS : 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12</p>	<p>SCALE: 1:100</p> <p>DATE: 10.06.2021</p> <p>REV: F JOB: 41/20</p>	<p>SHEET No : MC08</p>	<p>A2</p>



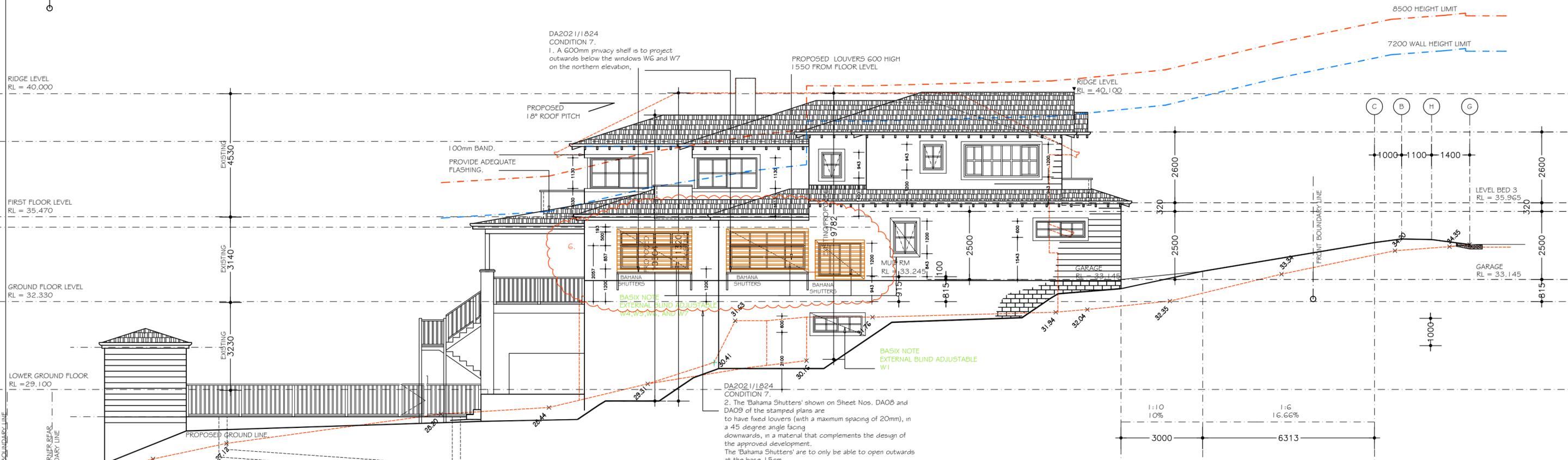
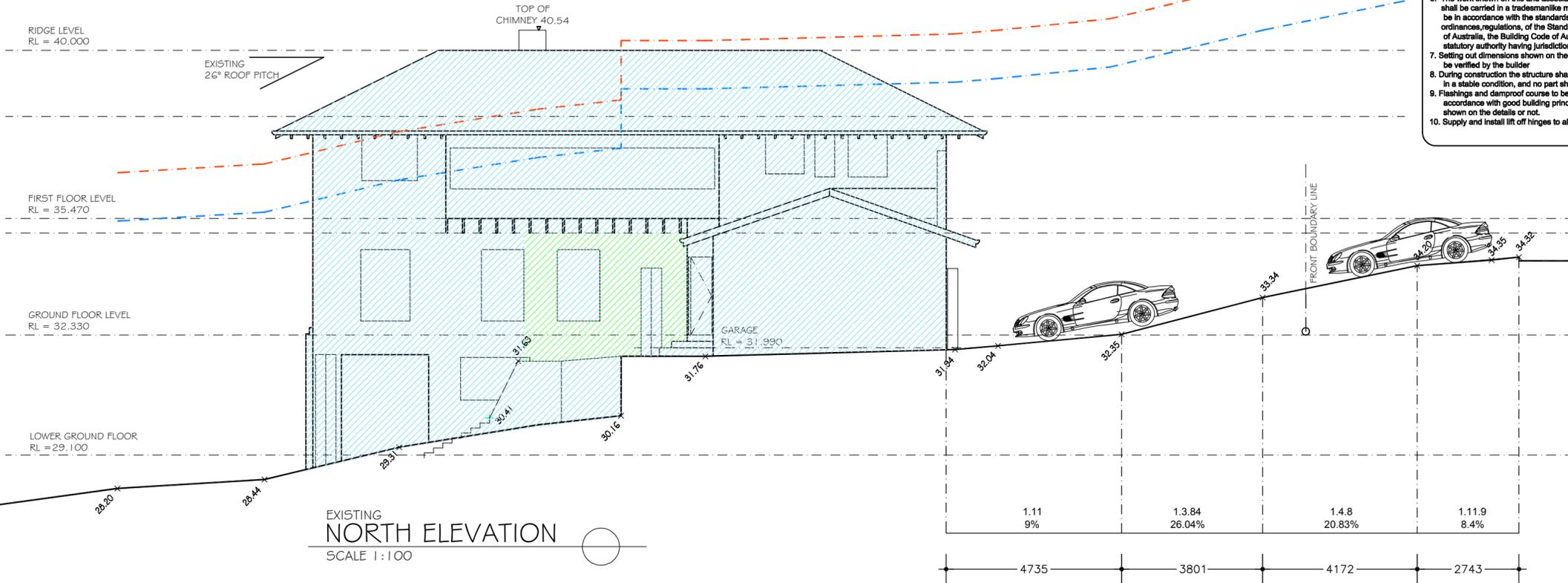
THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0398

APPROVED DEMOLITION
DA 2021/1824

PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

- NOTES**
1. Do not scale off drawings. (If in doubt ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connected to existing system.
 6. The work shown on this and associated drawings shall be carried in a tradesmanlike manner and shall be in accordance with the standards, codes, ordinances, regulations, of the Standards Association of Australia, the Building Code of Australia and any statutory authority having jurisdiction over the works.
 7. Setting out dimensions shown on the drawings shall be verified by the builder.
 8. During construction the structure shall be maintained in a stable condition, and no part shall be overstressed.
 9. Flashings and damp proof courses to be placed in accordance with good building principles whether shown on the details or not.
 10. Supply and install lift off hinges to all wet area doors.



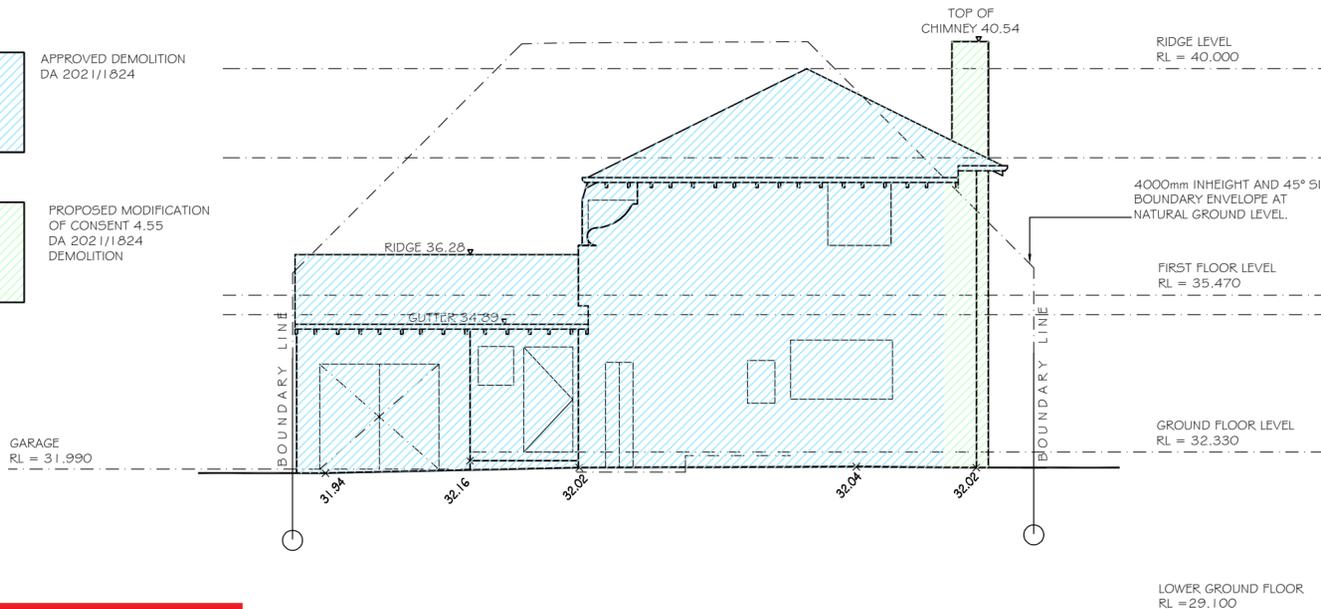
DA2021/1824
CONDITION 7.
1. A 600mm privacy shelf is to project outwards below the windows WG and W7 on the northern elevation,
PROPOSED LOUVERS 600 HIGH 1550 FROM FLOOR LEVEL
PROPOSED 18° ROOF PITCH
100mm BAND.
PROVIDE ADEQUATE FLASHING.
BASIC NOTE
EXTERNAL BLIND ADJUSTABLE W4, W5, W6, AND W7
BASIC NOTE
EXTERNAL BLIND ADJUSTABLE W1
DA2021/1824
CONDITION 7.
2. The 'Bahama Shutters' shown on Sheet Nos. DA08 and DA09 of the stamped plans are to have fixed louvers (with a maximum spacing of 20mm), in a 45 degree angle facing downwards, in a material that complements the design of the approved development.
The 'Bahama Shutters' are to only be able to open outwards at the base 15cm.

 Sammy Fedele atn 36 627 664 311	Architectural Drafting Services 0404 037 606 email:sammyfedele@iprimus.com.au	C AND A PARISI PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE ADDRESS : 23 HAY STREET COLLAROY NSW 2097 DP 10648 LOT 36 SEC 12		ELEVATION SCALE: 1:100 DATE: 10.06.2021 REV: F JOB: 41/20		SHEET No : MC09 A2
		MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS AND POOL TO EXISTING RESIDENCE		SHEET No : MC09		

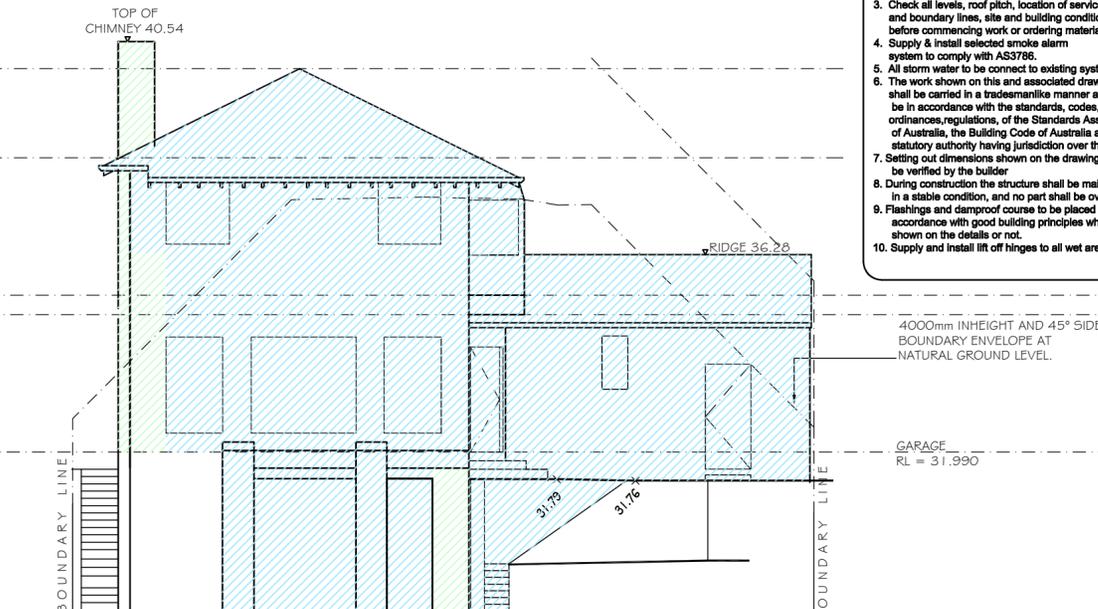
APPROVED DEMOLITION
DA 2021/1824

PROPOSED MODIFICATION
OF CONSENT 4.55
DA 2021/1824
DEMOLITION

- NOTES**
1. Do not scale off drawings. (If in doubt, ask.)
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
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EXISTING
WEST ELEVATION
SCALE 1:100

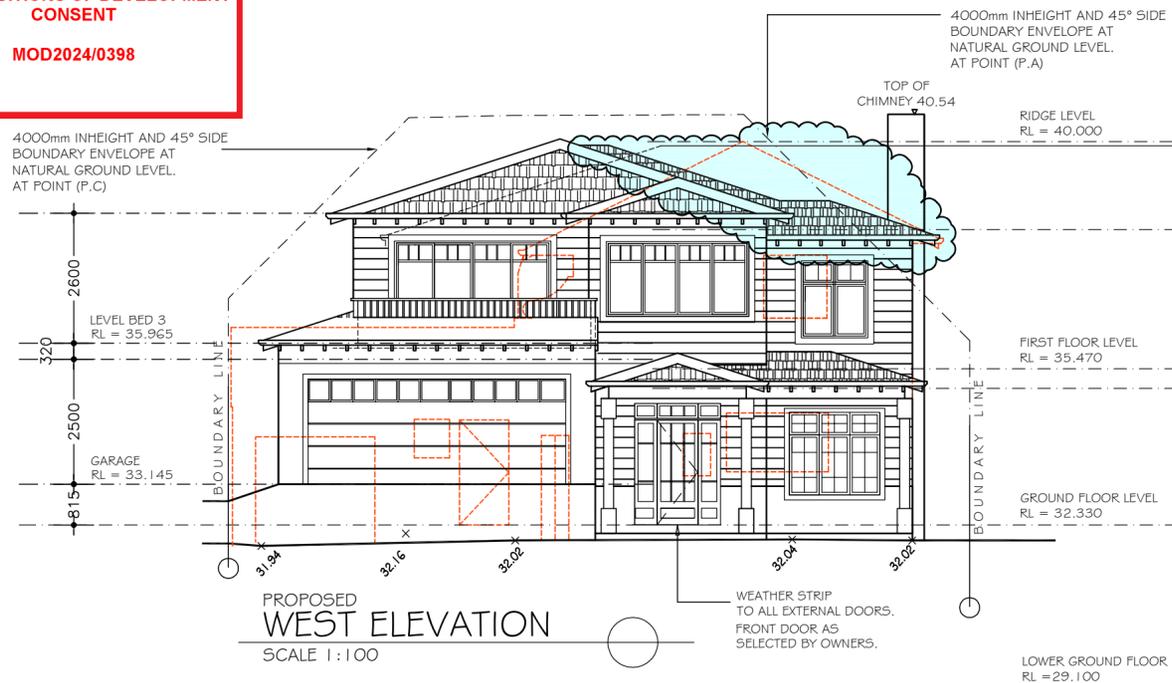


EXISTING
EAST ELEVATION
SCALE 1:100

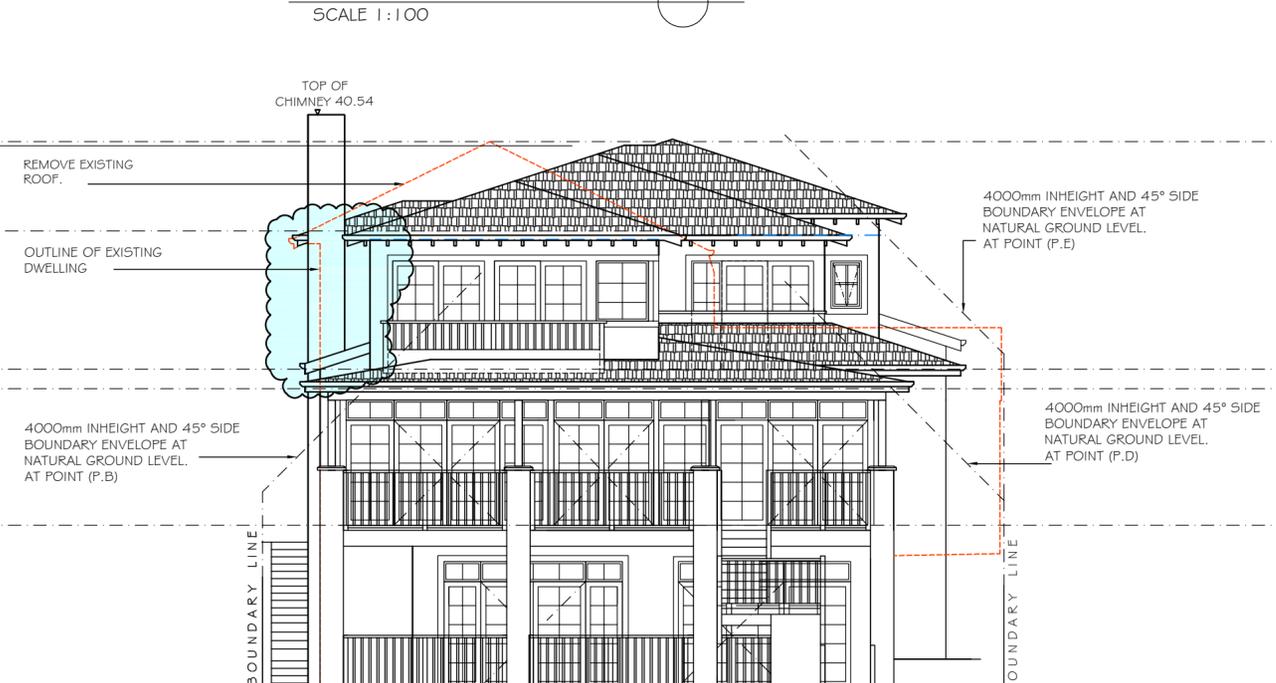
northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

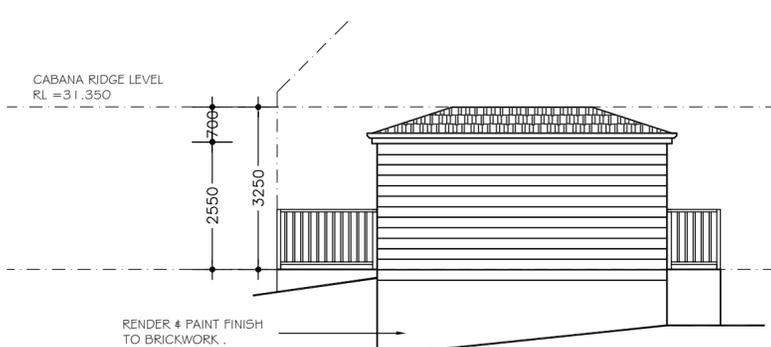
MOD2024/0398



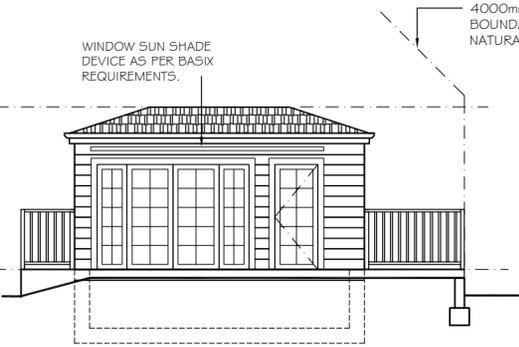
PROPOSED
WEST ELEVATION
SCALE 1:100



PROPOSED
EAST ELEVATION
SCALE 1:100



PROPOSED
EAST ELEVATION
SCALE 1:100



PROPOSED
WEST ELEVATION
SCALE 1:100

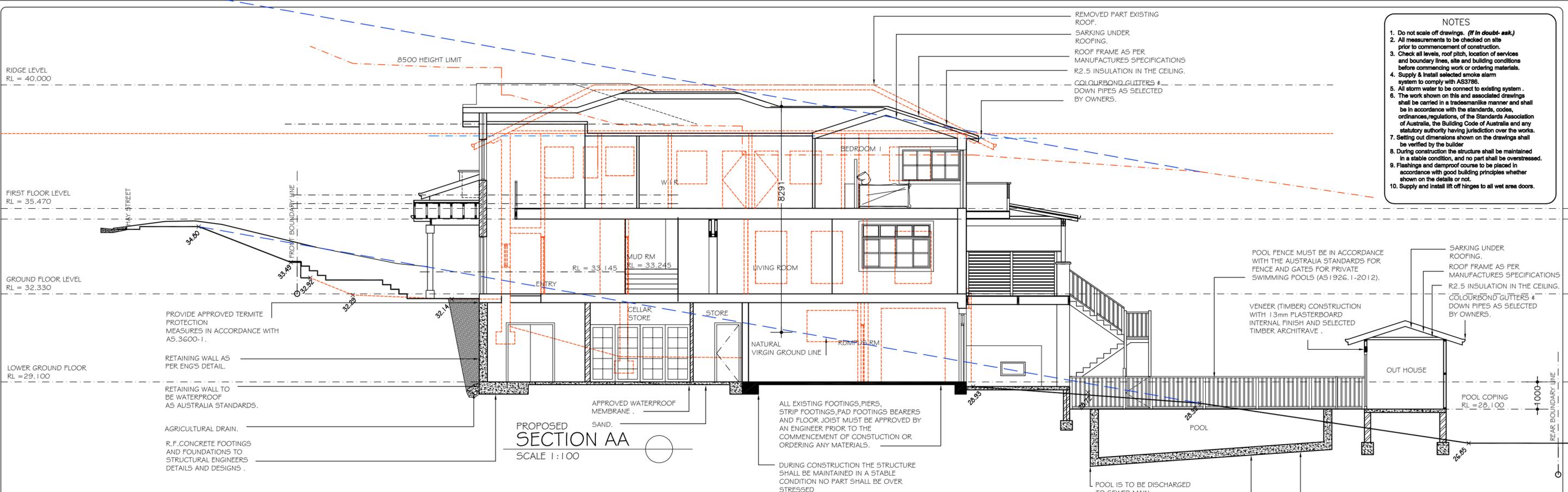
Sammy Fedele
abn 36 627 664 311

Architectural Drafting Services
0404 037 606
email:sammyfedele@primus.com.au

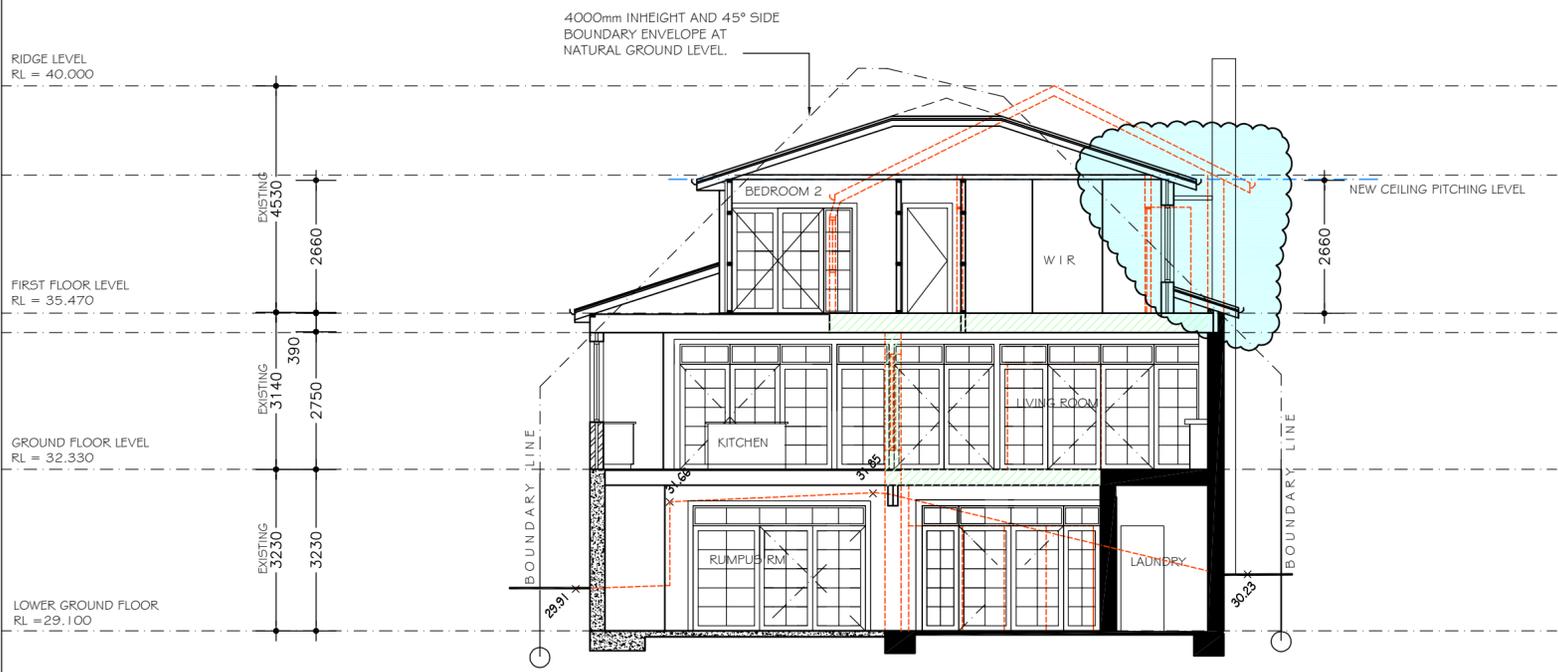
G AND A PARISI
PROPOSED : MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE
ADDRESS : 23 MAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12

ELEVATION
SCALE: 1:100
DATE: 10.06.2021
REV: F JOB: 41/20
SHEET No :
MC10

A2



- NOTES**
1. Do not scale off drawings. *(If in doubt ask.)*
 2. All measurements to be checked on site prior to commencement of construction.
 3. Check all levels, roof pitch, location of services and boundary lines, site and building conditions before commencing work or ordering materials.
 4. Supply & install selected smoke alarm system to comply with AS3786.
 5. All storm water to be connect to existing system.
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 10. Supply and install lift off hinges to all wet area doors.



northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT

MOD2024/0398

<p>Sammy Fedele abn 36 627 664 311</p>	<p>Architectural Drafting Services 0404 037 606 email:sammyfedele@primus.com.au</p>	<p>C AND A PARISI</p>		<p>SECTION AND BASIX</p>		<p>A2</p>
		<p>PROPOSED MODIFICATION OF CONSENT 4.55 DA 2021/1824 ALTERATIONS AND ADDITIONS, AND POOL TO EXISTING RESIDENCE</p> <p>ADDRESS : 23 HAY STREET DP 10648 COLLAROY NSW 2097 LOT 36 SEC 12</p>	<p>SCALE: 1:100</p> <p>DATE: 10.06.2021</p> <p>REV: F JOB: 4/1/20</p>	<p>SHEET No : MC11</p>		