

ALTERATIONS & ADDITIONS

13 WYADRA AVENUE NSW 2096
DEVELOPMENT APPLICATION SET
JANUARY 2020

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002	DEMO PLAN
003	EROSION AND SEDIMENT CONTROL PLAN
004	STORMWATER CONCEPT PLAN
005	LANDSCAPE OPEN SPACE
100	LOWER GROUND FLOOR
101	GROUND FLOOR PLAN
102	FIRST FLOOR PLAN
103	ROOF PLAN
200	ELEVATIONS 1
201	ELEVATIONS 2
300	SECTIONS 1
400	SHADOW DIAGRAMS

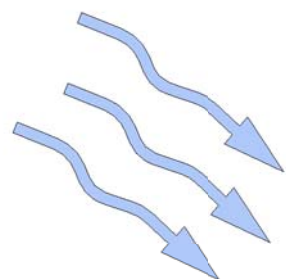


ALEX BRYDEN
ARCHITECTURE

ALEXANDER BRYDEN
NSW ARCHITECT no. 9693
ABN: 27 757 367 270

54 GARDERE AVENUE
CURL CURL NSW 2096

M: 0409 954 675
E: bryden.alex@gmail.com



WYADRA

WYADRA AVE

NO.17
WYADRA
AVENUE

NO.15
WYADRA
AVENUE

LOT 31
DP 13915

LOT 28
DP 13915

WINTER SUN
APR 80
GRASSED
YARD
DP 13915

SUMMER SUN

NO.2
COOKSEY
AVENUE

~~COOKSEY AVE~~

COOKSEY

SUMMER BREEZE

This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.

A	28.01.20	FOR DEVELOPMENT
issue	date	revision



ALEX BRYDEN
ARCHITECTURE

ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW
M: 0409 954 675 . E: studio@alexbryden.com.au
ABN: 76 631 848 345

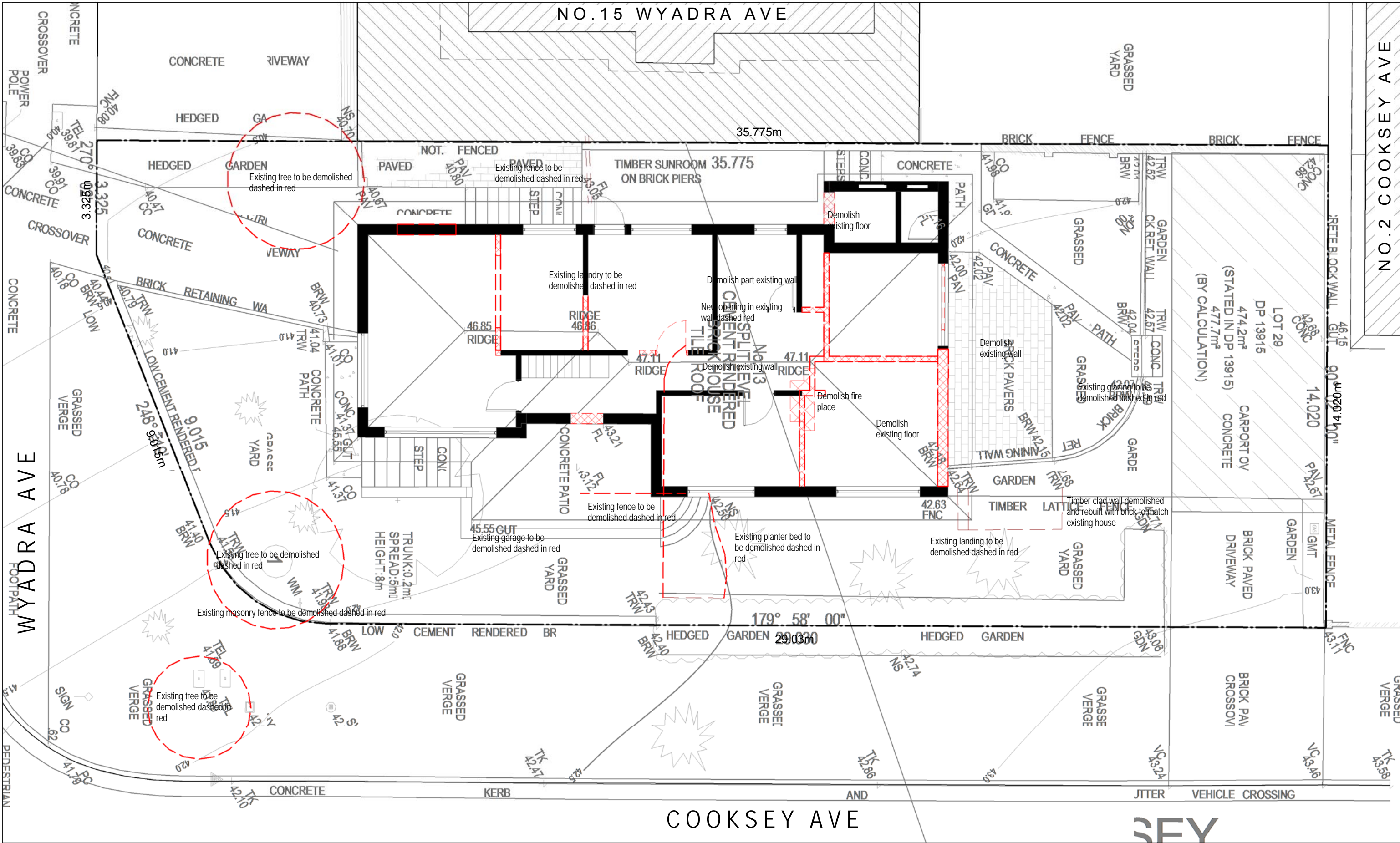
CLIENT

NETWORKED URBAN
SOLUTIONS PTY LTD

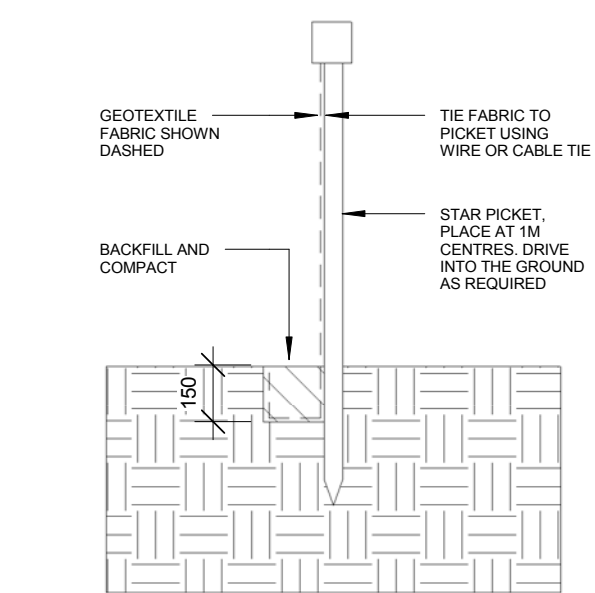
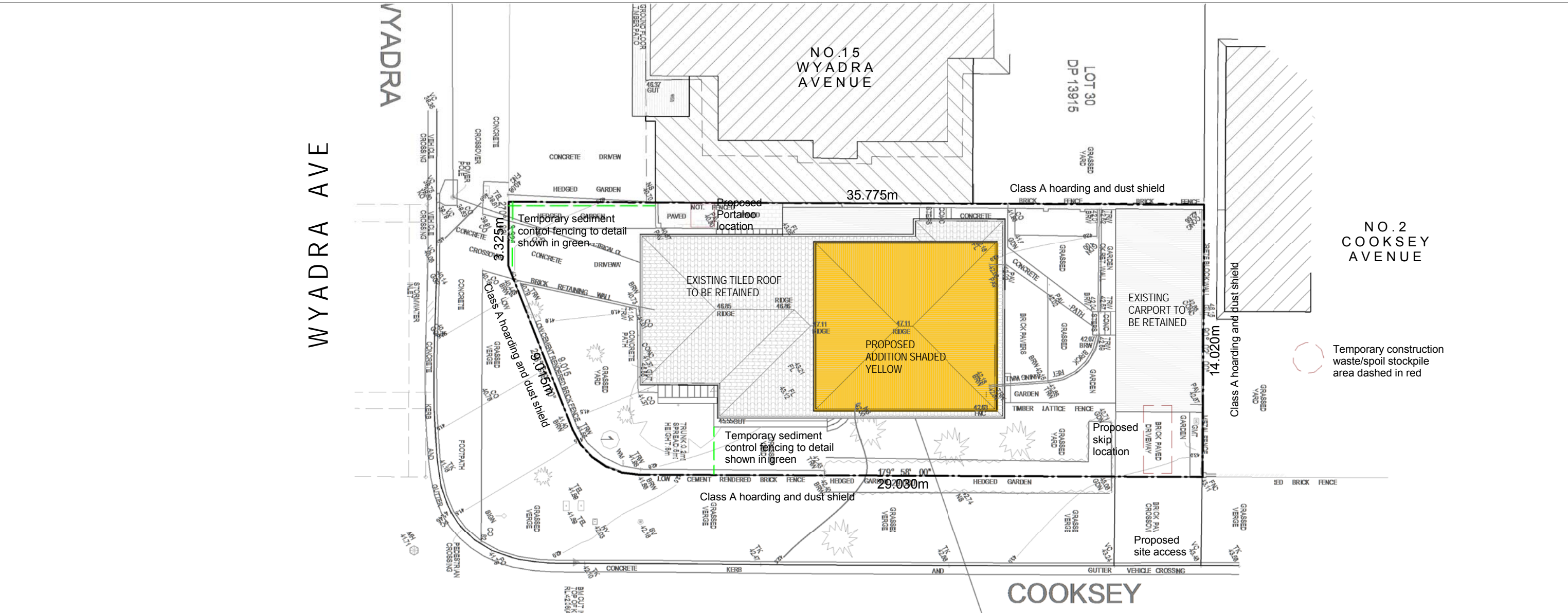
project no. 19002
scale 1 : 200@ A3
drawn AB
date 28.01.20

drawing no. DA001
issue / A





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A	28.01.20	FOR DEVELOPMENT APPLICATION		<p>ALEX BRYDEN ARCHITECTURE</p> <p>ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW M: 0409 954 675, E: studio@alexbyden.com.au ABN: 76 631 848 345</p>				<p>PROJECT</p> <p>ALTERATIONS & ADDITIONS</p> <p>13 WYADRA AVENUE NSW 2096</p> <p>CLIENT</p> <p>NETWORKED URBAN SOLUTIONS PTY LTD</p>				<p>DRAWING</p> <p>DEMO PLAN</p> <p>project no. 19002</p> <p>scale 1 : 100@ A3</p> <p>drawn AB</p> <p>date 28.01.20</p> <p>drawing no. DA002 / A</p>			



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Roof to be medium colour.
Alum. framed windows to be min. U-value 7.63, SHGC 0.75.

 **ALEX BRYDEN ARCHITECTURE**

ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbyrden.com.au
ABN: 76 631 848 345

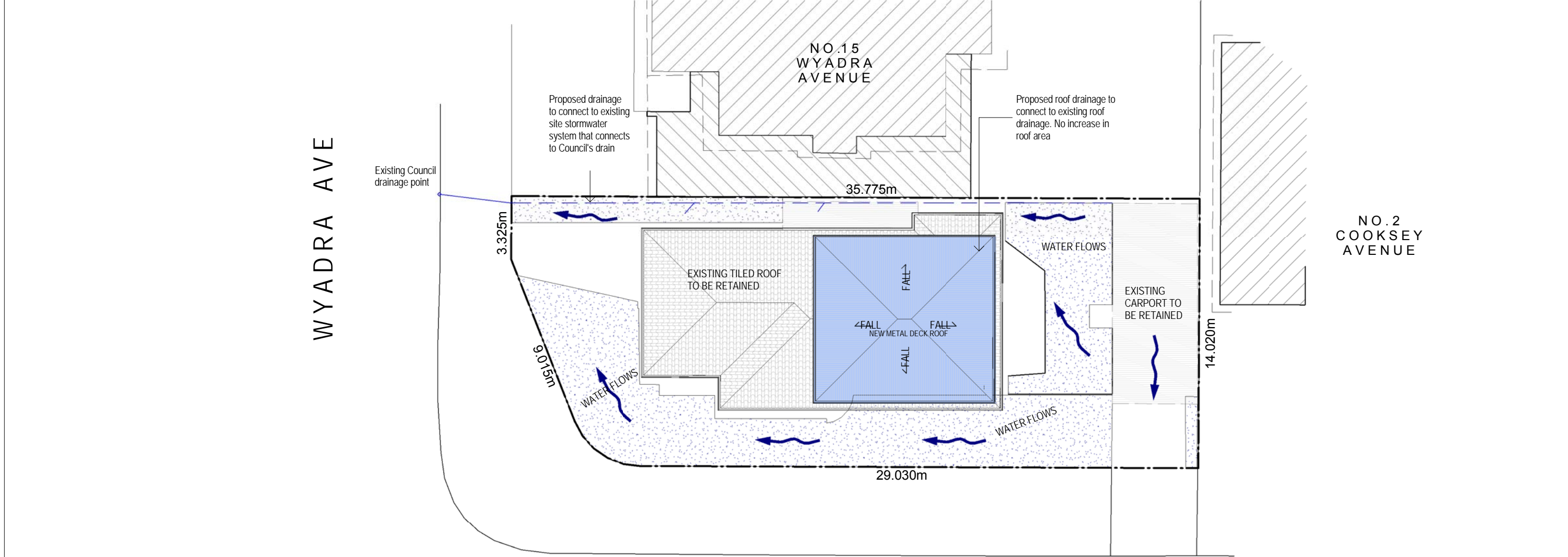
PROJECT
ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT
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SOLUTIONS PTY LTD

DRAWING
EROSION AND SEDIMENT
CONTROL PLAN



project no. 19002
scale As@ A3
drawn indicated AB
date 28.01.20

drawing no. DA003 / A
issue



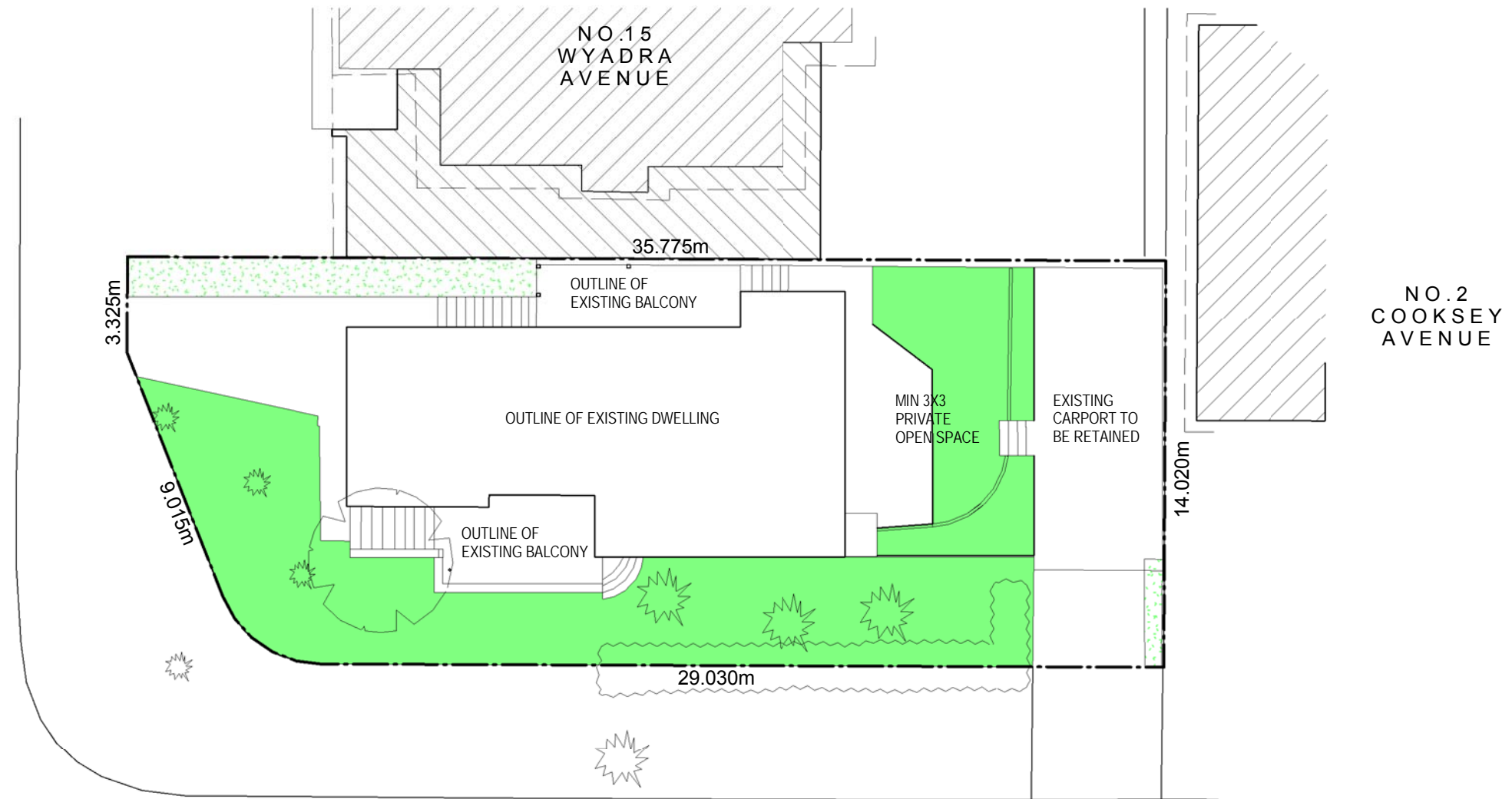
COOKSEY AVE STORMWATER MANAGEMENT PLAN

SITE AREA = 474.2sqm
PERCENTAGE OF IMPERVIOUS AREA - EXISTING = 183.8sqm / 38.8%
PERCENTAGE OF IMPERVIOUS AREA - PROPOSED = 183.8sqm / 38.8%
COMPLIES NO, HOWEVER THERE IS NO CHANGE FROM EXISTING

 DIRECTION OF WATER FLOWS
 LINE OF STORMWATER DRAINAGE

NOTES:
1. ALL PIPES MUST BE INSTALLED AS A CHARGED DISCHARGE SYSTEM WITH NO AIR GAPS BETWEEN THE DOWN PIPES AND THE MAIN STORMWATER DISCHARGE PIPE
2. ALL PLUMBING WORKS SHALL BE INSTALLED AS PER COUNCIL REQUIREMENTS
3. ALL PIPES TO BE uPVC AT THE SIZE NOMINATED IN THIS DRAWING
4. ALL PLUMBING WORKS AS PER AS 1477.1 (1988) UNPLASTICIZED PVC (uPVC) PIPES AND FITTINGS FOR PRESSURE APPLICATIONS

WYADRA AVE



LANDSCAPE OPEN SPACE

SITE AREA	= 474.2sqm
MINIMUM OF 40% LANDSCAPE AREA TO BE PROVIDED	= 189.7sqm
EXISTING/PROPOSED LANDSCAPE OPEN SPACE	= 162.5sqm / 34.3%
COMPLIES?	NO, HOWEVER THERE IS NO CHANGE FROM EXISTING

---	EXISTING TREES TO BE REMOVED
---	EXISTING TREES TO BE RETAINED
---	GRASS OR VEGETATION WIDER THAN 2M
---	GRASS/VEGETATION <2M WIDE OR PERMEABLE GROUND COVER

Notes

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BASIX

Hot water: Gas instantaneous.
Lighting: Min. 40% fluro or LED lights
Showerheads, toilets and taps to be min. 3-star water rating.
R1.3 insulation external framed walls.
R0.4 ins. (up) to ceiling & 100mm foil-backed ins. to roof.
Roof to be medium colour.
Alum. framed windows to be min. U-value 7.63, SHGC 0.75.



ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbyden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

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DRAWING

LANDSCAPE OPEN SPACE

project no. 19002

scale As@ A3

drawn indicated AB

date 28.01.20

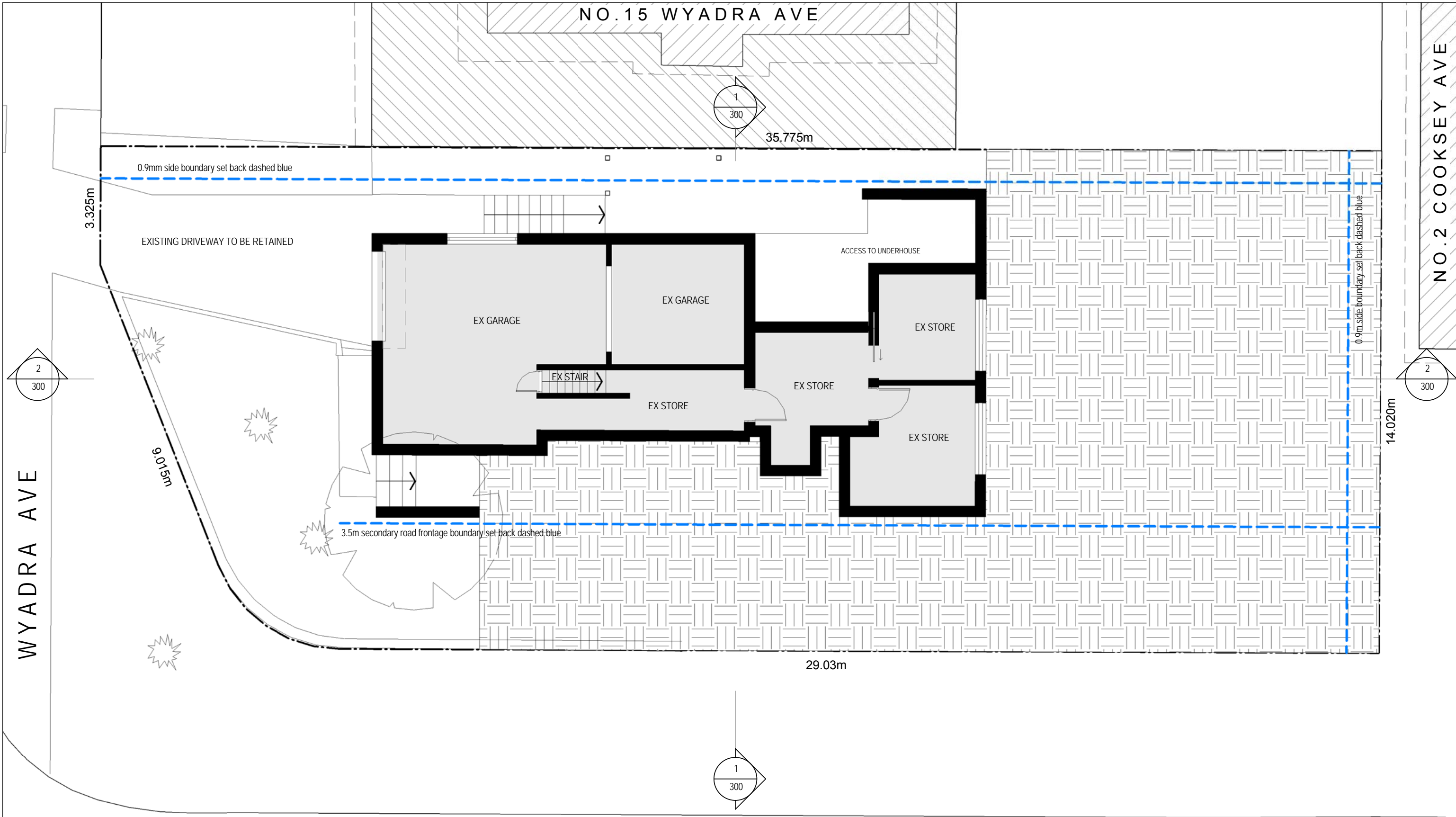
drawing no.

DA005

issue

/ A

A 28.01.20 FOR DEVELOPMENT APPLICATION
issue date revision



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LEGEND

- EXISTING WALLS
- PROPOSED WALLS
- EXISTING FLOOR AREA - NO CHANGE
- EXISTING FLOOR AREA - ALTS & ADDS
- PROPOSED ADDITIONAL FLOOR AREA

ALEX BRYDEN ARCHITECTURE

ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW
 M: 0409 954 675 . E: studio@alexbyrden.com.au
 ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
 13 WYADRA AVENUE NSW 2096

CLIENT

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DRAWING

LOWER GROUND FLOOR

project no. 19002
 scale As@ A3
 drawn indicated AB
 date 28.01.20

drawing no. DA 100 / A
 issue

A

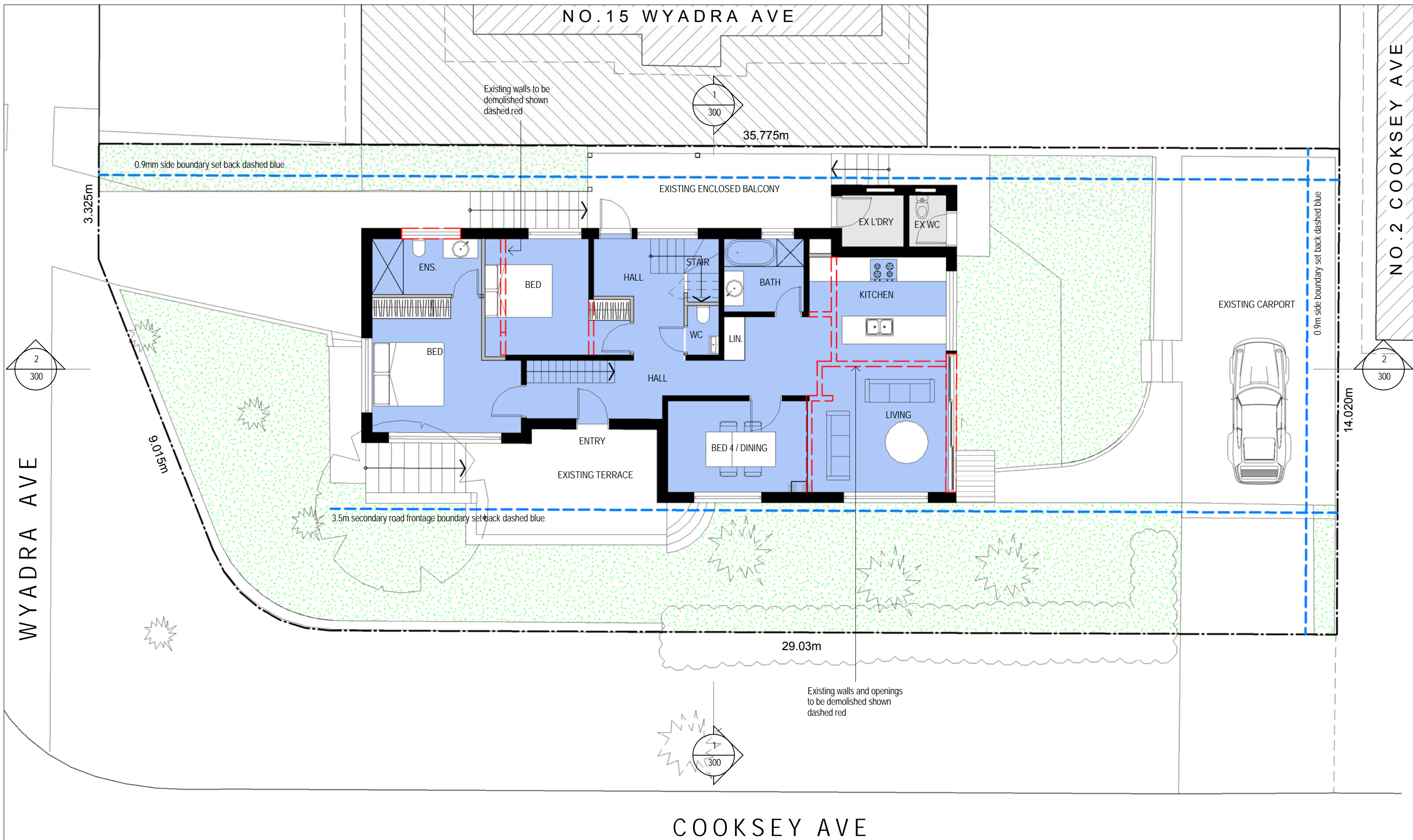
28.01.20

FOR DEVELOPMENT APPLICATION

issue

date

revision



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LEGEND

- EXISTING WALLS
- PROPOSED WALLS
- EXISTING FLOOR AREA - NO CHANGE
- EXISTING FLOOR AREA - ALTS & ADDS
- PROPOSED ADDITIONAL FLOOR AREA



**ALEX BRYDEN
ARCHITECTURE**

ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW
M: 0409 954 675 . E: studio@alexbryden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

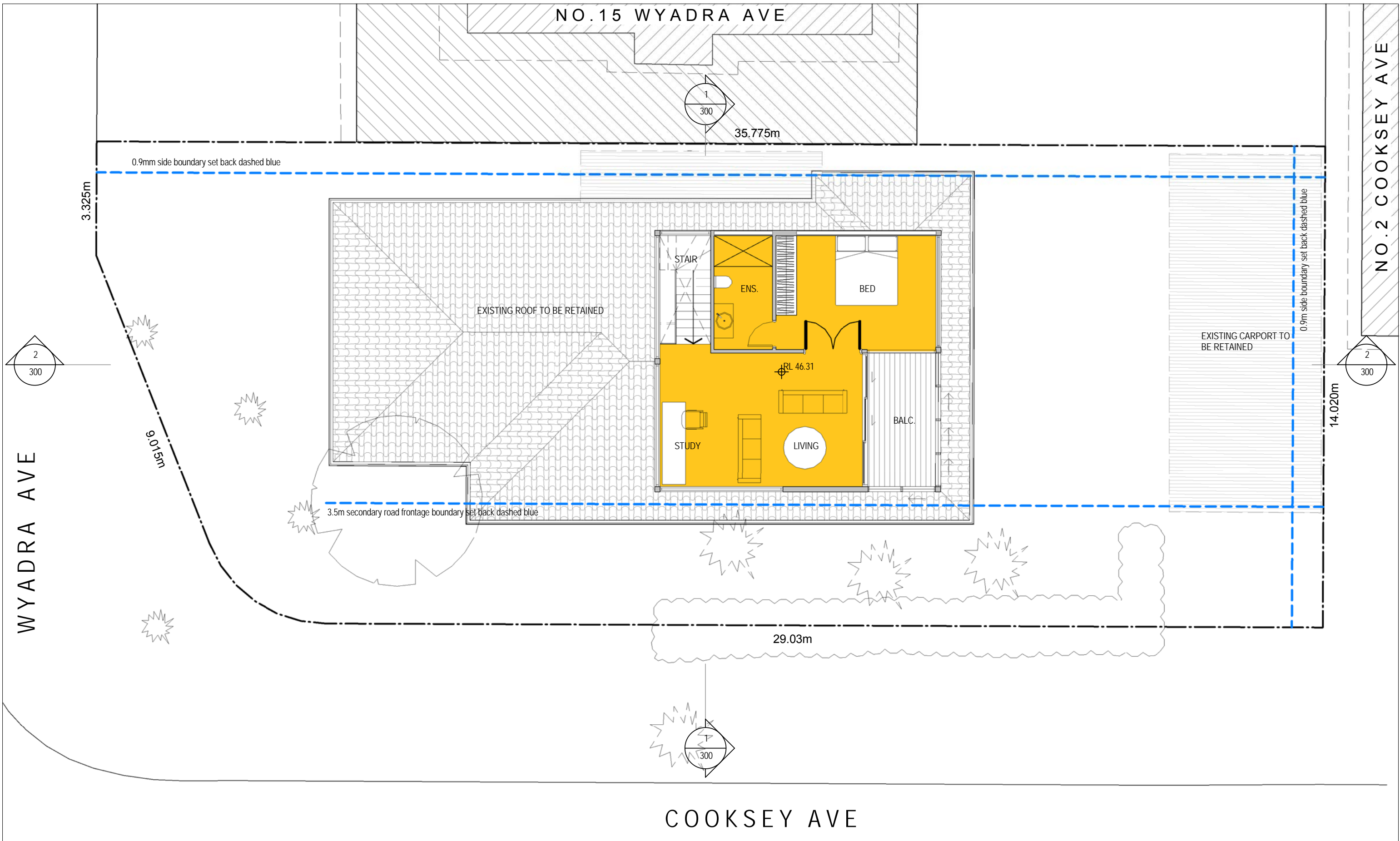
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DRAWING

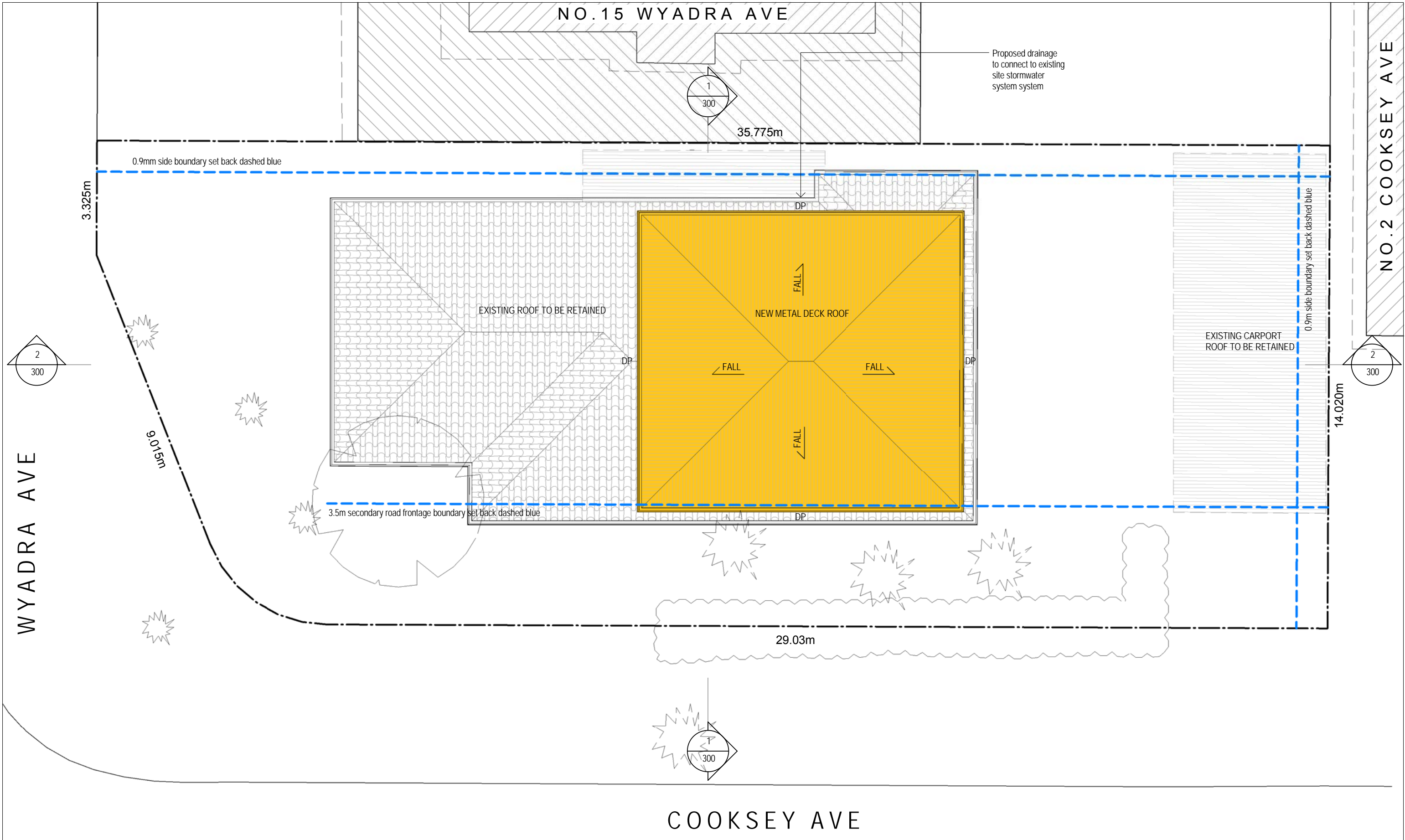
GROUND FLOOR PLAN

project no. 19002
scale As@ A3
drawn indicated AB
date 28.01.20

drawing no. DA101 / A
issue



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A	28.01.20	FOR DEVELOPMENT APPLICATION				 ALEX BRYDEN ARCHITECTURE <small>ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW M: 0409 954 675, E: studio@alexbrayden.com.au ABN: 76 631 848 345</small>								



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LEGEND

- EXISTING WALLS
- PROPOSED WALLS
- EXISTING FLOOR AREA - NO CHANGE
- EXISTING FLOOR AREA - ALTS & ADDS
- PROPOSED ADDITIONAL FLOOR AREA

ALEX BRYDEN ARCHITECTURE

ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbryden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

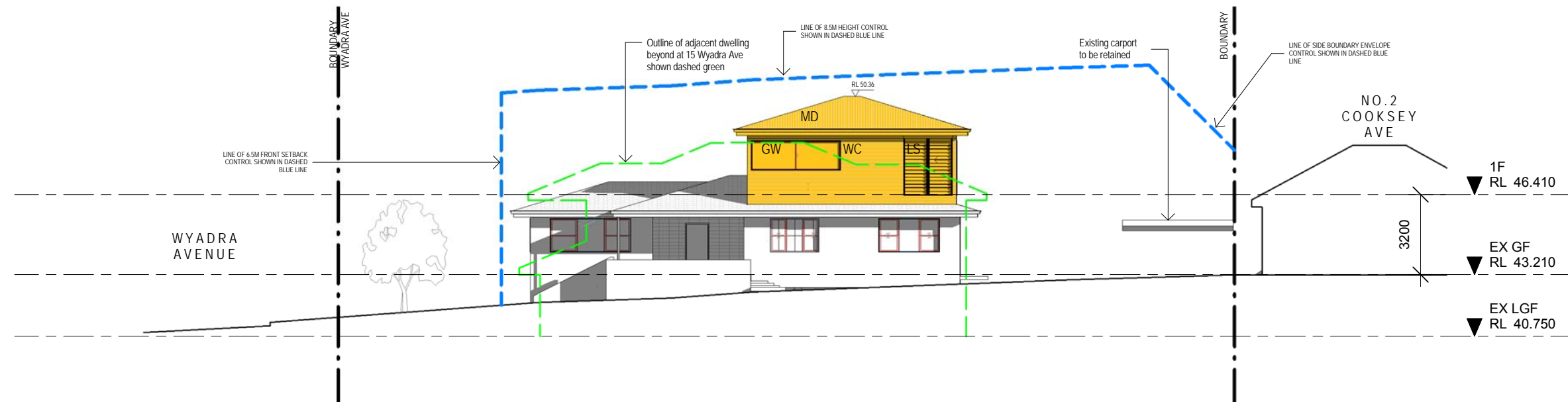
NETWORKED URBAN SOLUTIONS PTY LTD

DRAWING

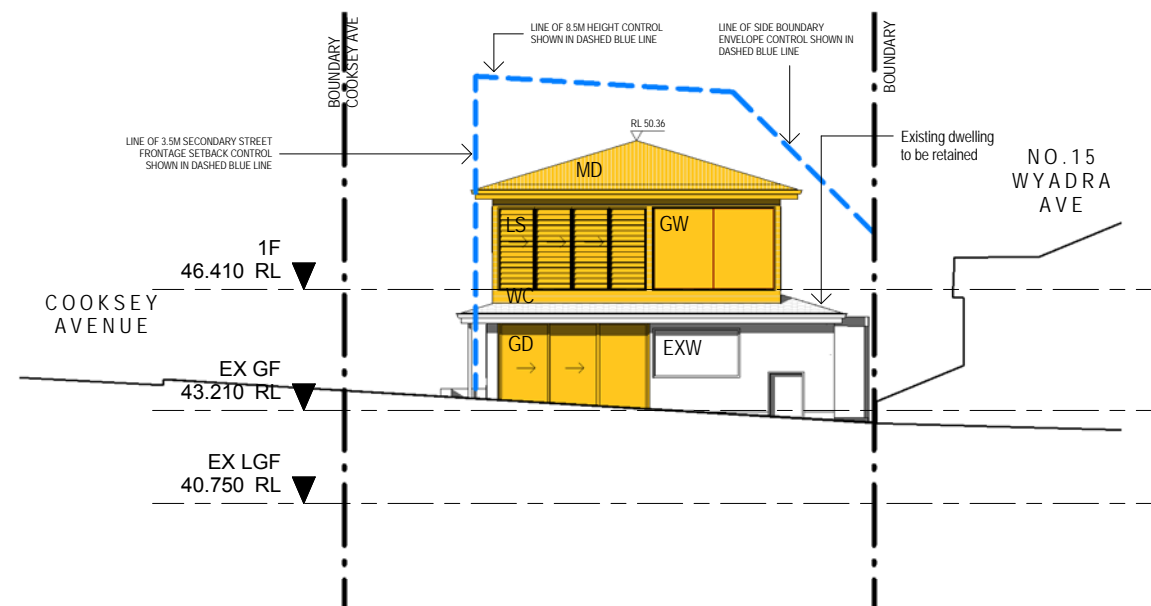
ROOF PLAN

project no. 19002
scale indicated As@ A3
drawn AB
date 28.01.20

drawing no. DA 103 / A
issue



1 EAST ELEVATION



2 NORTH ELEVATION

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KEY (SEE SCHEDULES FOR DETAILS)

GW - TIMBER FRAMED WINDOWS
LS - LOUVRE SCREENS
MD - METAL DECK ROOF
WC - WEATHERBOARD CLADDING

LEGEND

PROPOSED ALTERATIONS AND ADDITIONS
EXISTING DWELLING TO BE RETAINED



ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbrayden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

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DRAWING

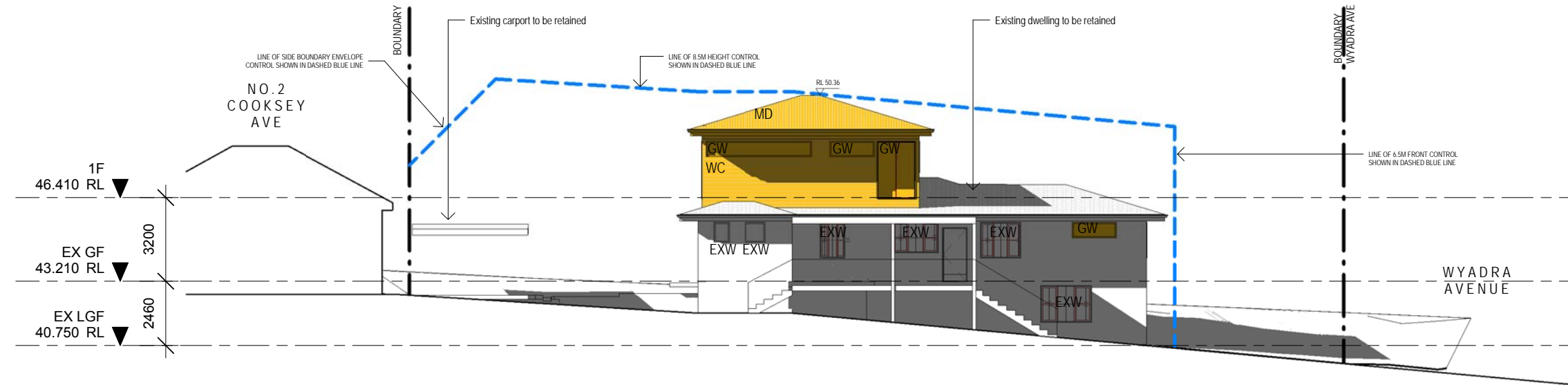
ELEVATIONS 1

project no. 19002
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drawn AB
date 28.01.20

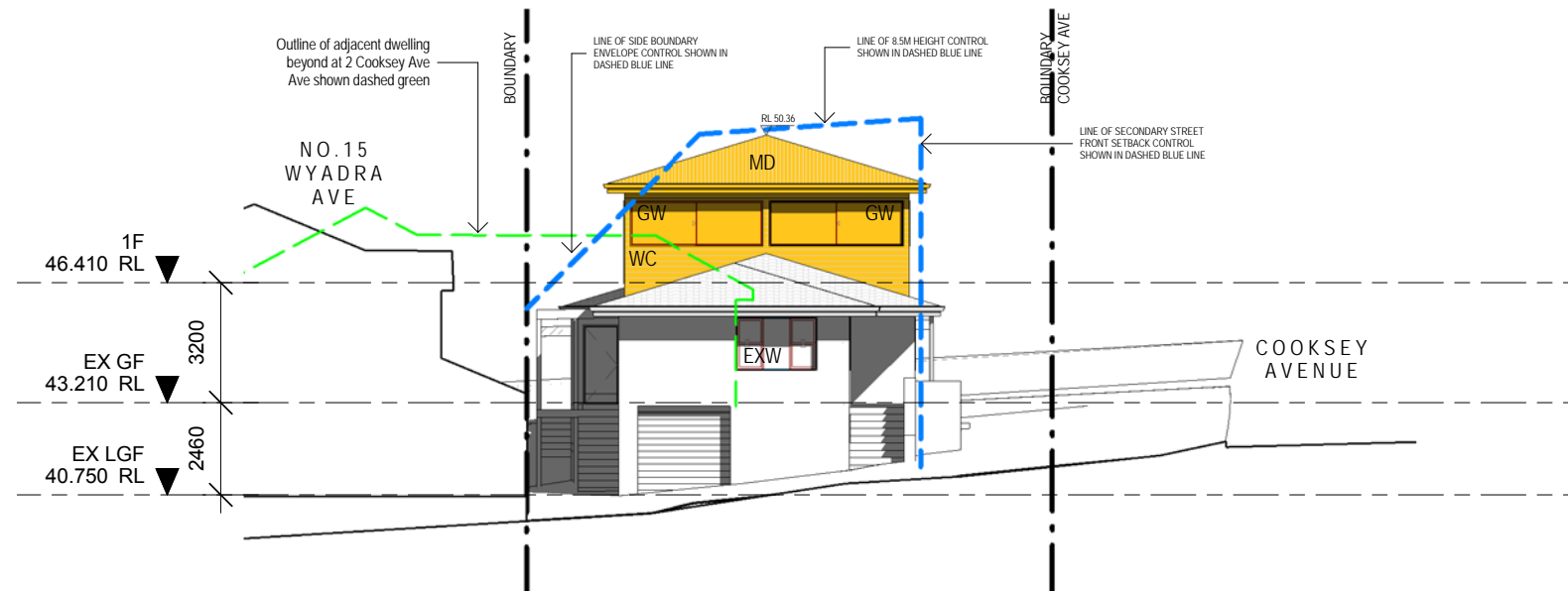
drawing no.

DA200
/ A

A 28.01.20 FOR DEVELOPMENT APPLICATION
issue date revision



1 WEST ELEVATION



2 SOUTH ELEVATION

FINISHES SCHEDULE



WC - WEATHERBOARD CLADDING



MD - METAL DECK ROOFING



GW - TIMBER FRAMED WINDOWS



LS - LOUVRE SCREENS

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KEY (SEE SCHEDULES FOR DETAILS)

GW - TIMBER FRAMED WINDOWS
LS - LOUVRE SCREENS
MD - METAL DECK ROOF
WC - WEATHERBOARD CLADDING

LEGEND

PROPOSED ALTERATIONS AND ADDITIONS
EXISTING DWELLING TO BE RETAINED



ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbyrden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

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DRAWING

ELEVATIONS 2

project no. 19002

scale As@ A3

drawn indicated AB

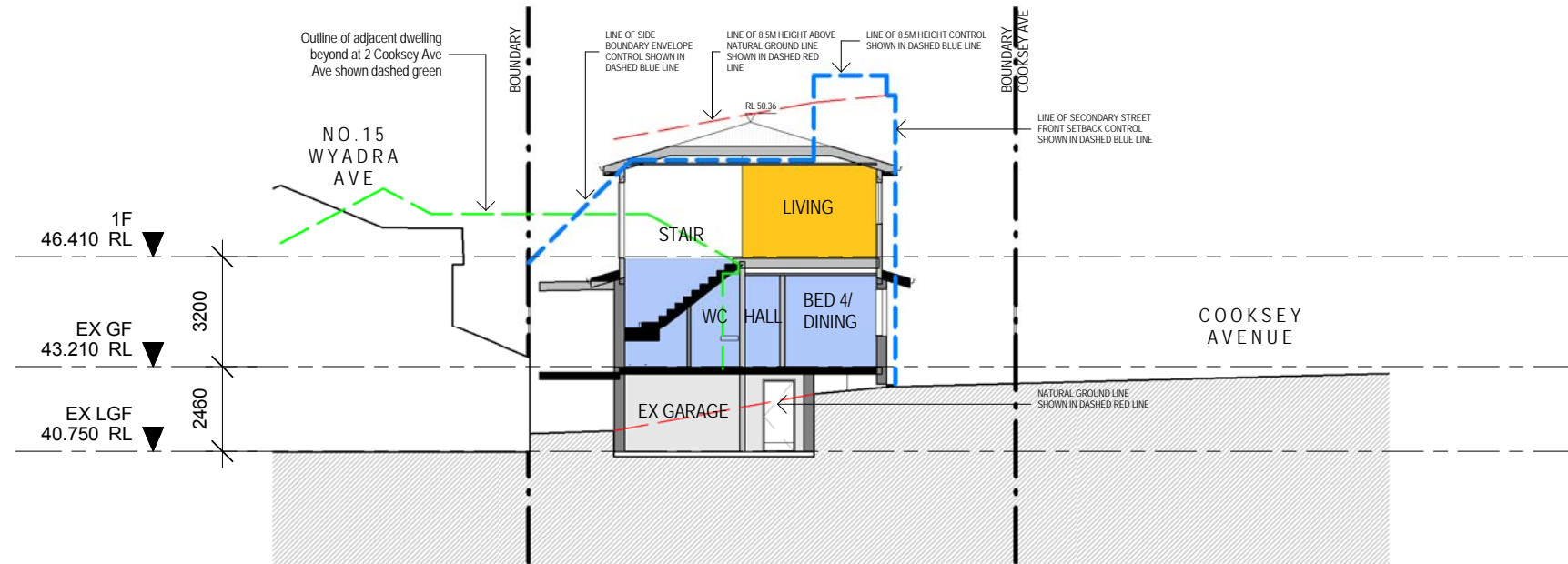
date 28.01.20

drawing no.

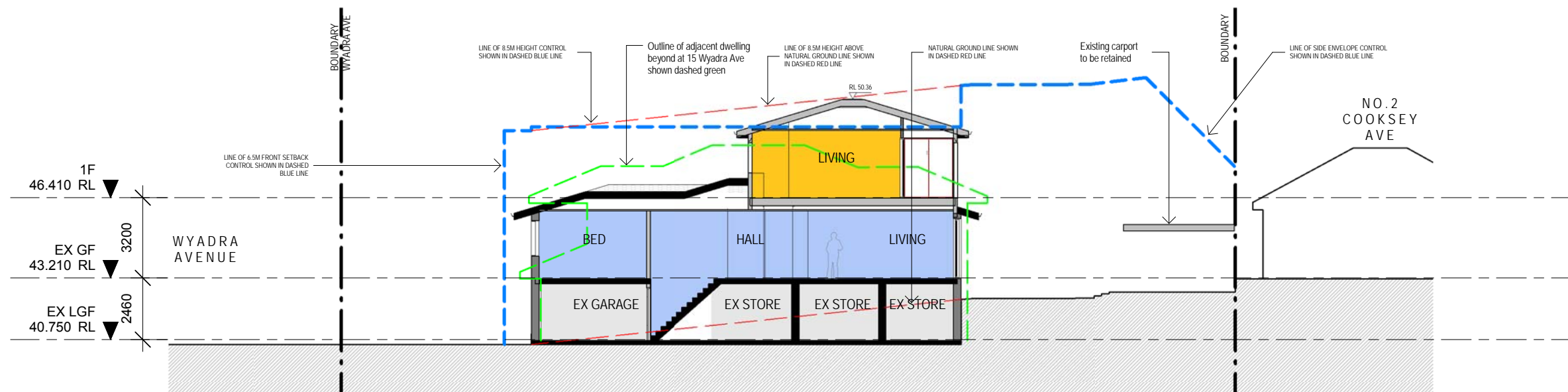
DA201

issue / A

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issue date revision



1 CROSS SECTION



2 LONGITUDINAL SECTION

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KEY (SEE SCHEDULES FOR DETAILS)

GW - TIMBER FRAMED WINDOWS
LS - LOUVRE SCREENS
MD - METAL DECK ROOF
WC - WEATHERBOARD CLADDING

LEGEND

EXISTING WALLS
PROPOSED WALLS
EXISTING FLOOR AREA - NO CHANGE
EXISTING FLOOR AREA - ALTS & ADDS
PROPOSED ADDITIONAL FLOOR AREA



ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexanderbryden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

NETWORKED URBAN
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DRAWING

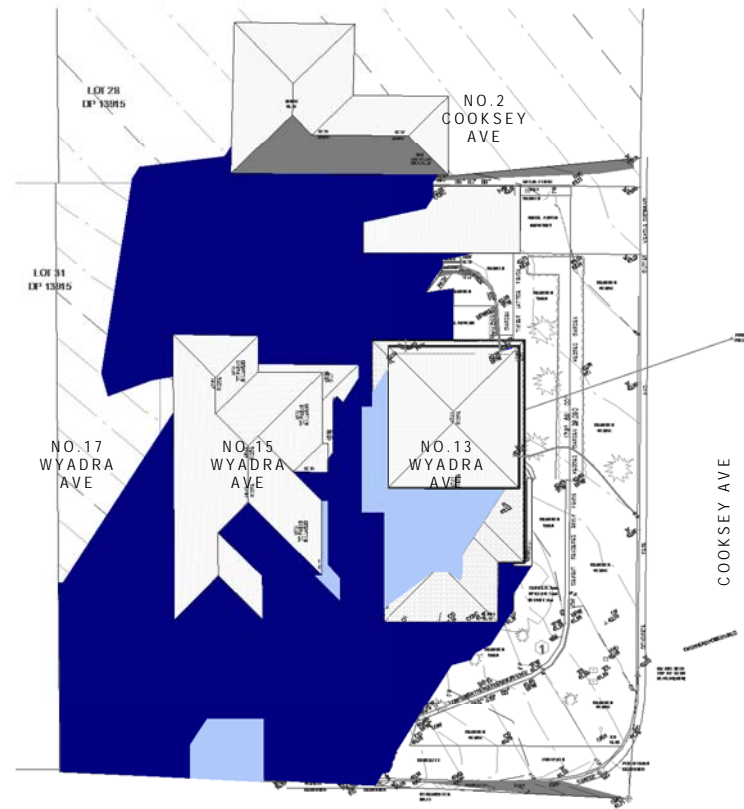
SECTIONS 1

project no. 19002
scale As@ A3
drawn indicated AB
date 05.03.20

drawing no.

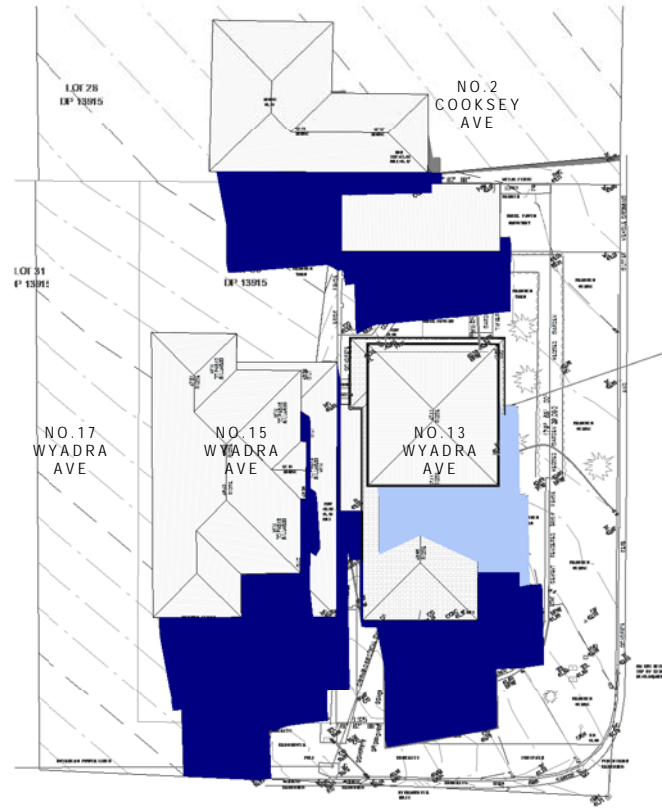
DA300
/ B

B 05.03.20 FOR ADDITIONAL INFORMATION
A 28.01.20 FOR DEVELOPMENT APPLICATION
issue date revision



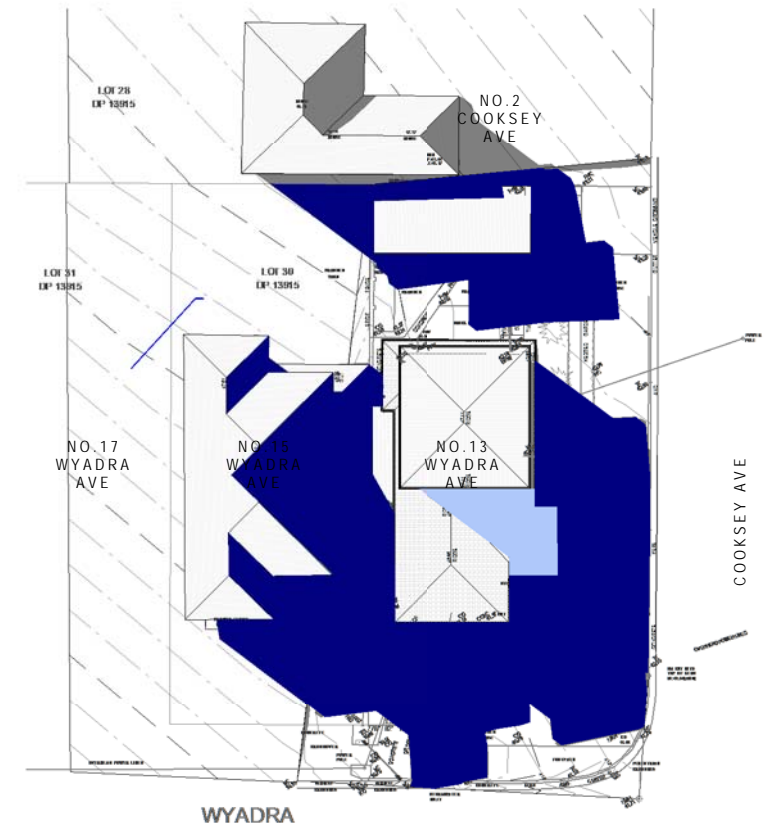
WYADRA AVE

1 JUNE 21 9AM
1:500 @ A3



WYADRA AVE

2 JUNE 21 12PM
1:500 @ A3



WYADRA AVE

3 JUNE 21 3PM
1:500 @ A3

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BASIX

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Alum. framed windows to be min. U-value 7.63, SHGC 0.75.

legend

SHADOWS CAST BY EXISTIN
ADDITIONAL SHADOWS CAS



ALEX BRYDEN
ARCHITECTURE

ALEXANDER BRYDEN, NSW ARB 9693, Curl Curl NSW
M: 0409 954 675, E: studio@alexbyryden.com.au
ABN: 76 631 848 345

PROJECT

ALTERATIONS & ADDITIONS
13 WYADRA AVENUE NSW 2096

CLIENT

NETWORKED URBAN
SOLUTIONS PTY LTD

DRAWING

SHADOW DIAGRAMS

project no. 19002
scale As@ A3
drawn indicated AB
date 28.01.20

drawing no.

DA400
/ A



A 28.01.20 FOR DEVELOPMENT APPLICATION
issue date revision