

STATEMENT OF ENVIRONMENTAL EFFECTS

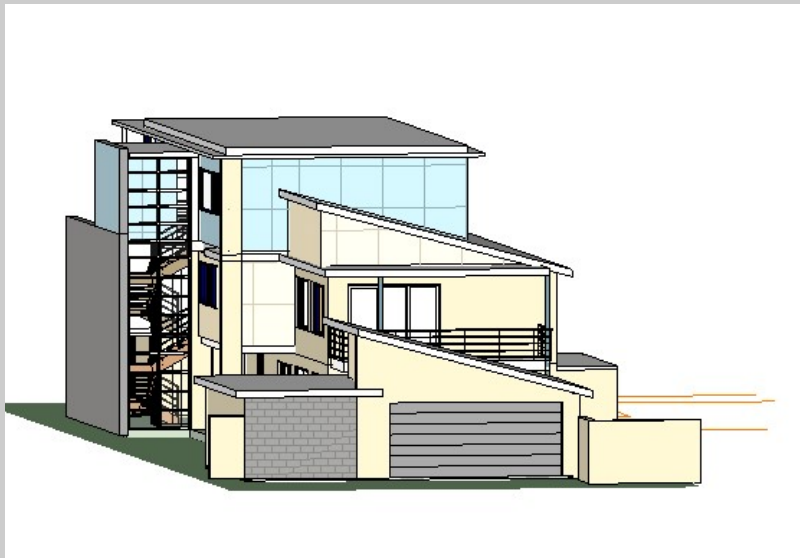
for

SECOND FLOOR DWELLING ADDITION

At

6 MONASH PARADE

DEE WHY



Dated November 2024

Prepared by

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DETAILED STATEMENT OF ENVIRONMENTAL EFFECTS

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November 2024

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1.0 INTRODUCTION.

This report constitutes a Statement of Environmental Effects and has been prepared on behalf of Mr J and Mrs C Taggart to accompany the submission of a Development Application to Northern Beaches Council made under the *Environmental Planning and Assessment Act 1979*.

The application proposes the construction of a second floor to an existing two storey dwelling located at 6 Monash Parade Dee Why (the “subject site”).

1.1 Background.

This application is lodged in response to the refusal of DA2023/0729 which proposed a similar application of a third storey addition providing for the main habitable spaces to be provided within the uppermost floor and a master bedroom, ensuite and walk-in-robe on the first floor. The addition has been positioned to take advantage of the location of the site, with views over the Dee Why Headland to the Pacific Ocean. DA2023/0729 was determined by Planning Panel on 12 April 2024 by way of refusal. Reasons for refusal related to impacts associated with view loss. Further amendments to the design have been undertaken to improve compliance and reduce impacts to adjoining properties.

A prelodgement meeting was held on the 5th November 2024 between council staff (Adam Richardson and Michael Fenech), the site Owner’s Jim and Carol Taggart, as well as the Owners consultants Graham Zerk, draftsman, John Aspinal, View sharing expert, and Rebecca Zerk, town planner. At that meeting Council acknowledged the amendments made to the design to better fit within Council’s controls as well as address the view sharing impacts identified by Owners of the adjoining allotments.

1.1 Scope.

The purpose of this report is to:

- Define the site & describe existing development.
- Describe the proposed development and the locality in which it is situated.
- Discuss Statutory Controls governing the development.
- Discuss the potential environmental effects of the proposal.
- Draw conclusions as to whether those impacts are significant.
- Make a recommendation to Council as to whether the proposed development described in this development application should be supported.

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1.2 Annexures.

This report is to be read in conjunction with the following accompanying material:

- ❑ Owners consent
- ❑ Architectural drawings
- ❑ BASIX certificate
- ❑ Waste Management Plan
- ❑ Cost Summary Information
- ❑ Colour Schedule
- ❑ Survey
- ❑ View Sharing analysis

2.0 DESCRIPTION.

2.1 Legal Description.

The land is described as Lot 1 in Deposited Plan 653825, No 6 Monash Parade, Dee Why.

2.2 Site location.

The site is located on the eastern side of Monash Parade, midway between Oaks Ave and Pacific Parade.

The rear of the property adjoins a public reserve including an associated public carpark which is located at the west and open space along the escarpment overlooking the Pacific Ocean. The reserve is located along the shoreline and leads to the Dee Why Rock Pool and Dee Why Beach at the north and Dee Why Cliffs Reserve at the South.

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Figure 2: Satellite Image Source: LPMA SIX Viewer

This area of Dee Why is dominated by residential developments of varying scales and architectural styles. Whilst a number of sites have been redeveloped in recent years to provide higher density living in this idyllic setting, some sites have been retained as single occupancy residences, which include large areas of glazing affording water and shoreline views.

To the south of the property, sites have been retained as single dwellings on individual land parcels. These properties contain a range of housing styles, of varying form and scale.

The north and west of the subject site are dominated by varying scales of multi-unit developments. Directly neighbouring the subject site to the north is a two storey dual occupancy. This development is of a contemporary style, with the main living spaces orientated towards the views at the east, and vehicle access and parking provided from the Monash St frontage at the west. Beyond this neighbouring is a multi-unit development, which provides views over both the escarpment at the east and towards Dee Why Beach at the north. This development is 5 storeys in height and has been designed to respond to its prominent position. To the western side of Monash Parade are further multi-unit developments. These developments range in height from 4 to 8 storeys and are provided with dual street frontages. Carparking is provided at ground level, with the upper floors dedicated to unit style living.

3.0 EXISTING DEVELOPMENT

3.1 On the site.

Between 2016 – 2017 extensive modifications were undertaken to the previously existing older style dwelling. The modifications (approved under DA2015/0828) included provision for reconfiguration of the internal spaces and the installation of a lift.

The dwelling in its current form includes provision for a large bedroom with ensuite and robe, rumpus, laundry and formal entry at ground floor. A large enclosed alfresco area abuts the inground swimming pool and includes provision for a sauna. The first floor provides for a 3 bedrooms, which are located at the western end of the structure and living spaces including a covered balcony addressing the east, particularly towards the oceanic views towards this elevation.

The dwelling is of a contemporary form, and has been designed to take advantage of the location, particularly the Oceanic views of the Pacific. Access to the site is via either Monash Parade which provides both vehicle and pedestrian access or pedestrian access via the public carpark at the rear. A detached garage is located at the Monash Parade frontage.

4.0 PROPOSED DEVELOPMENT.

The application seeks council consent for the construction of a third storey to provide new living spaces, and the conversion of the existing living spaces located on the second floor to a master bedroom with ensuite and walk-in-robe.

The new internal spaces will include provision for a lounge, dining and kitchen as well as large pantry and powder room. The existing lift-shaft and stairwell is to be extended to provide internal access between the floors. The first floor kitchen/dining/lounge area is to be converted to a master bedroom with ensuite, and walk-in-robe.

The additions will be provided with a flat roof form to reduce the building height and assist in maintaining the views of properties to the west of Monash Parade. The flat roof also ensures the development sits within the maximum building height as required by the LEP.

A partially covered deck will extend towards the east taking advantage of the scenic location.

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Materials and colours to be utilised in the construction works will sympathize with the existing dwelling and the adjoining developments.

The design has been modified from the previous, by reducing the building height, reducing the habitable space of the second storey by eliminating 1 m from the western end and 2.115m from the eastern end of the second floor, as well as splaying of the second floor balcony to reduce impacts to No. 8 Monash Parade.

Overall, the modifications from the previous application confirm the site Owners' have identified and worked to address the concerns raised by adjoining occupants.

5.0 ENVIRONMENTAL PLANNING INSTRUMENTS

5.1 State Environmental Planning Policy No. 71 – Coastal Protection .

The policy identifies State Significant Development within the coastal zone and requires certain development applications to carry out development in sensitive coastal locations to be referred to the Director General of the Department of Infrastructure, Planning and Natural Resources for comment.

Clause 8 of the Policy contains matters for consideration in the assessment of development applications. The proposal is considered to be generally consistent with the matters for consideration:

(a) the aims of this Policy set out in clause 2.

Clause 2 requires development protects, manages, improves and preserves the coast line, beach and marine environments including public access to the foreshores as well as Aboriginal cultural heritage. The proposal is considered compliant with Clause 2. All proposed works are to be contained within the property boundaries and will not reduce public access to or appreciation of the coastal or marine environments.

(b) existing public access to and along the coastal foreshore for pedestrians or persons with a disability should be retained and, where possible, public access to and along the coastal foreshore for pedestrians or persons with a disability should be improved

The proposal will have a negligible impact on public access to the coastal foreshore. Public access is currently available via the reserve located at the rear of the site. All works proposed will be undertaken within the property boundaries and will not encroach on public spaces.

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(c) opportunities to provide new public access to and along the coastal foreshore for pedestrians or persons with a disability

The proposal relates to the construction of alterations and additions to an existing, privately utilised, dwelling. The proposed works will not impact on the existing public access provisions to the foreshore.

(d) the suitability of development given its type, location and design and its relationship with the surrounding area;

The proposed development is compliant with the zone objectives, and is consistent with the provisions of scale and use of sites within sensitive coastal areas. The design provides for a contemporary built form which is responsive to existing development on the site and in the immediate locality. The proposal seeks to continue the use of the site for residential purposes and will not result in a negative impact to the surrounding area.

(e) any detrimental impact that development may have on the amenity of the coastal foreshore, including any significant overshadowing of the coastal foreshore and any significant loss of views from a public place to the coastal foreshore

Orientation of the site in conjunction with the location of the new works (ie at the northern elevation), will ensure the proposal will not result in overshadowing beyond that already cast by the development. Further we advise the proposal will not negatively impact on views from public spaces.

(f) the scenic qualities of the New South Wales coast, and means to protect and improve these qualities

The proposed design ensures the development is responsive to the existing natural and built environment. The dwelling is of a form, scale and appearance which is consistent with the character of existing development in the locality. The additions are of a minor scale and are to be a form and scale which is complimentary to the existing built form. The proposal is consistent with this clause.

(g) measures to conserve animals (within the meaning of the Threatened Species Conservation Act 1995) and plants (within the meaning of that Act), and their habitats

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The proposal does not require the removal of any threatened tree species. Existing landscaping of the site will be maintained.

(h) *measures to conserve fish (within the meaning of Part 7A of the Fisheries Management Act 1994) and marine vegetation (within the meaning of that Part), and their habitats,*

All works will be undertaken within the property boundaries, and are to be located above the existing development. The proposal will not cause any disturbance to the ground, however we note appropriate steps will be taken to ensure correct disposal of construction waste.

(i) *existing wildlife corridors and the impact of development on these corridors*

The proposal is located in an established residential area. It is not considered that the proposal will impact on existing wildlife corridors.

(j) *the likely impact of coastal processes and coastal hazards on development and any likely impacts of development on coastal processes and coastal hazards*

The site is separated from the foreshore by a public reserve which is to be maintained. Further, the site is located with sufficient setbacks from the foreshore to ensure coastal hazards associated with landslip and corrosion will not impact on development, nor will the development contribute to these events.

(k) *measures to reduce the potential for conflict between land-based and waterbased coastal activities*

The site has been used for an extended period for residential development. No changes to this land use are proposed. Further, the proposal will not impact on use of the adjoining public reserve, which provides access and views to the coastal foreshore.

(l) *measures to protect the cultural places, values, customs, beliefs and traditional knowledge of Aboriginals;*

Alterations and additions to the existing dwelling and the continued use of the premises for low density residential purposes is not considered to impact on cultural places, values, customs, beliefs and traditional knowledge of Aboriginals.

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- (m) *likely impacts of development on the water quality of coastal water bodies*

The proposal is not considered to impact on water quality. Existing measures for stormwater proposal will continue. Additionally, appropriate methods of storage and disposal of construction materials for the duration of construction will ensure any run-off from the construction works do not enter the adjoining coastal waterway.

- (n) *the conservation and preservation of items of heritage, archaeological or historic significance*

The site is not identified as having any items of archaeological or heritage significance.

- (o) *only in cases in which a council prepares a draft local environmental plan that applies to land to which this Policy applies, the means to encourage compact towns and cities*

The proposal seeks development consent for the constructions of alterations and additions to an existing dwelling which is located in an established residential area.

- (p) *only in cases in which a development application in relation to proposed development is determined:*

- (i) *the cumulative impacts of the proposed development on the environment;*

The design ensures the dwelling additions are responsive to the existing built and natural environments, and will have a positive contribution to the streetscape and coastal character of the locality.

- (ii) *measures to ensure that water and energy usage by the proposed development is efficient*

The site has the benefit of all essential services. Additionally compliance with the BASIX commitments will ensure that water and energy usage will be efficient.

5.2 State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

In accordance with Clause 3, the proposal is considered BASIX affected development being:

- (c) development that involves the alteration, enlargement or extension of a BASIX affected building, where the estimated construction cost of the development is:
 - ii. \$50,000 or more – in the case of development for which a development application or an application for a complying development certificate is made on or after 1 July 2007.**

The estimated costs of the works will exceed \$50,000 and therefore the proposal is considered BASIX affected development.

A BASIX Certificate has been prepared in accordance with this legislation and forms part of the submission documents.

5.3 Warringah Local Environmental Plan 2011

The relevant provisions of Warringah LEP 2011 (WLEP 2011) are listed below with commentary in relation to the proposal.

Clause 2.3 Zone objectives and Land Use Table

The subject land is zoned R2 – Low Density Residential

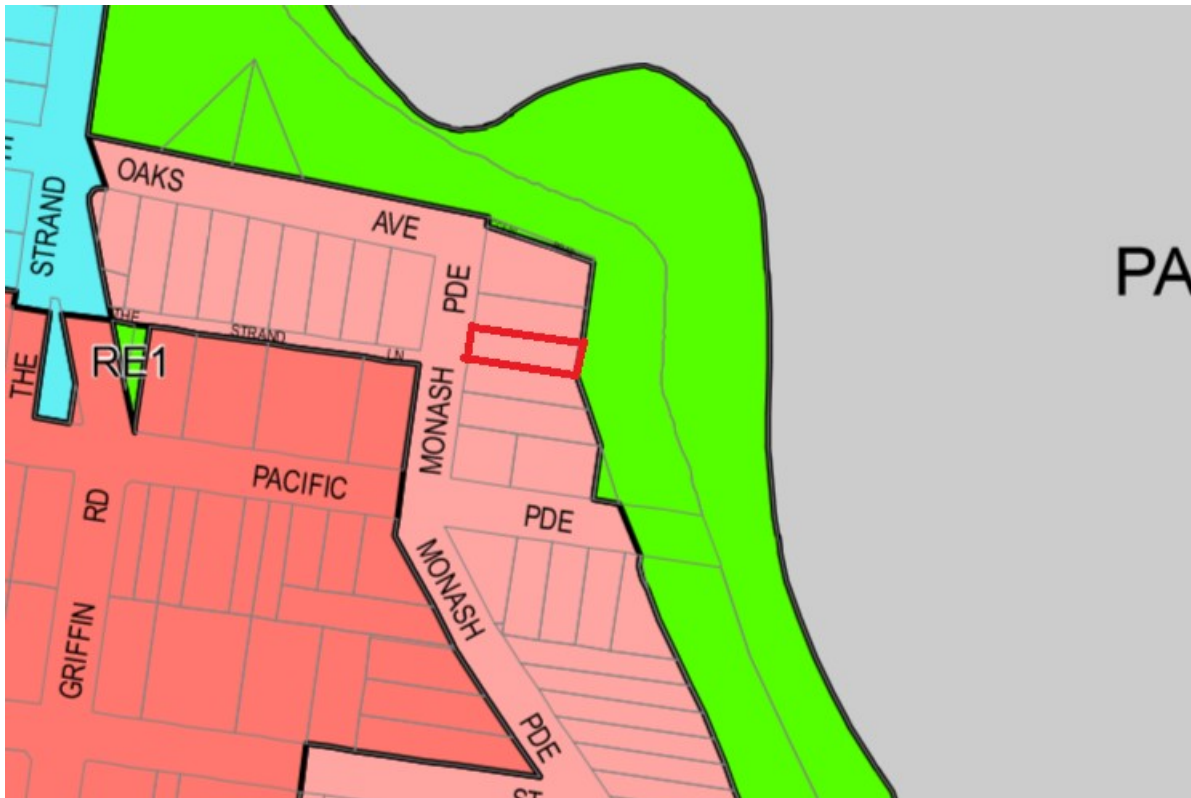


Figure 5: Extract from WLEP 2011 Land Zoning Map - Sheet LZN_010A

The objectives of the R2 – Low Density Residential zone are listed below with comments in relation to the proposal.

- ▶ *To provide for the housing needs of the community within a low density residential environment.*

The proposal will not impact on the low density residential environment. The proposed works are of a minor scale and are responsive to existing built form. The works will provide for additional habitable spaces which take advantage of the oceanic views.

- ▶ *To enable other land uses that provide facilities or services to meet the day to day needs. of residents.*

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The site has previously been established and used for residential purposes. The residential use is to continue following construction of the additions.

- ▶ *To ensure that low density residential environments are characterised by landscaped settings that are in harmony with the natural environment of Warringah.*

Design, layout and colour and material use of the proposed development ensures the development satisfies this objective and contributes positively to the streetscape and natural environment.

The proposal is permissible in the R2 zone with Council consent.

Part 4 Principal Development Standards

Clause 4.3 Height of Buildings

The maximum building height for the land identified on the Height of Buildings Map is 8.5m.

As detailed on the attached architectural drawings, the proposed height of the dwelling following completion of the works will be 8.5m in compliance with this clause.

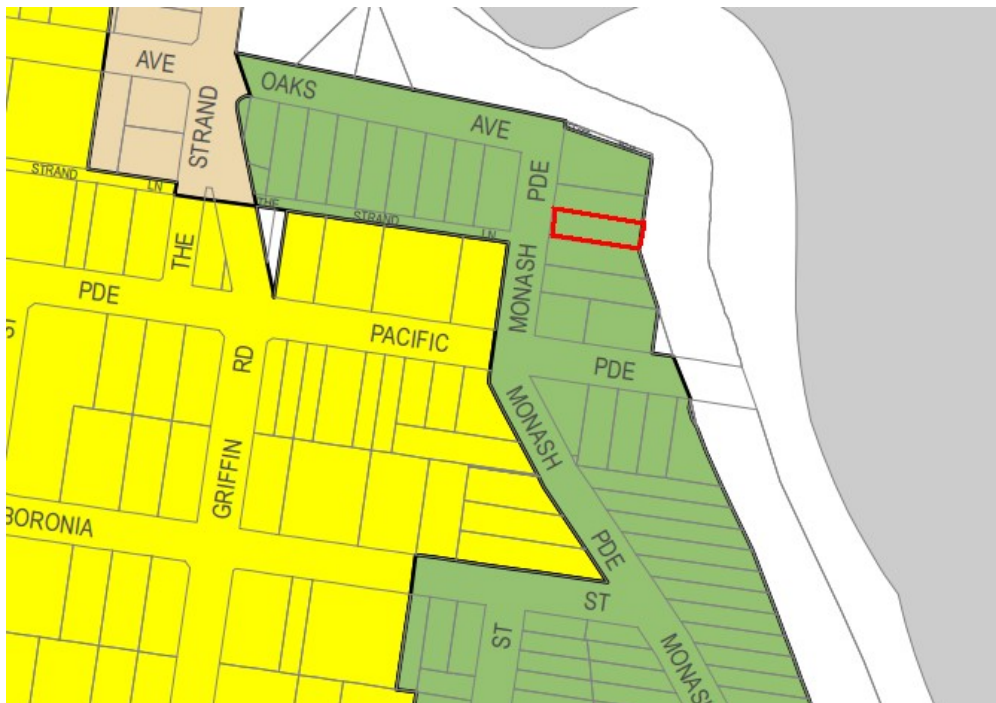


Figure 5: Extract from WLEP 2011 Height of Buildings Map - Sheet HOB_010AB

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Clause 5.9 Preservation of trees or vegetation

The application proposes a third storey addition and does not require the removal of any significant or native vegetation.

PART 6 Additional Local Provisions

Clause 6.1 Acid sulfate soils

The land is not identified as containing any Acid Sulfate Soils. Therefore there are no specific requirements to be applied to the proposal.

Clause 6.4 Development on sloping land

The land is identified as being within an area flanking a slope of 5° - 25° (see excerpt below), therefore consideration of this clause is required.

(3) Development consent must not be granted to development on land to which this clause applies unless the consent authority is satisfied that:

- (a) the application for development has been assessed for the risk associated with landslides in relation to both property and life, and*
- (b) the development will not cause significant detrimental impacts because of stormwater discharge from the development site, and*
- (c) the development will not impact on or affect the existing subsurface flow conditions*

The development is sited with a setback of approximately 25m from the top of the embankment which leads to the Ocean. This separation distance is relatively level, and contains a public carpark and pedestrian access.

Proper construction methods and standards of constructions, coupled with the setback and the provision of previously established stormwater discharge will reduce the risk or potential risk to both life and property.

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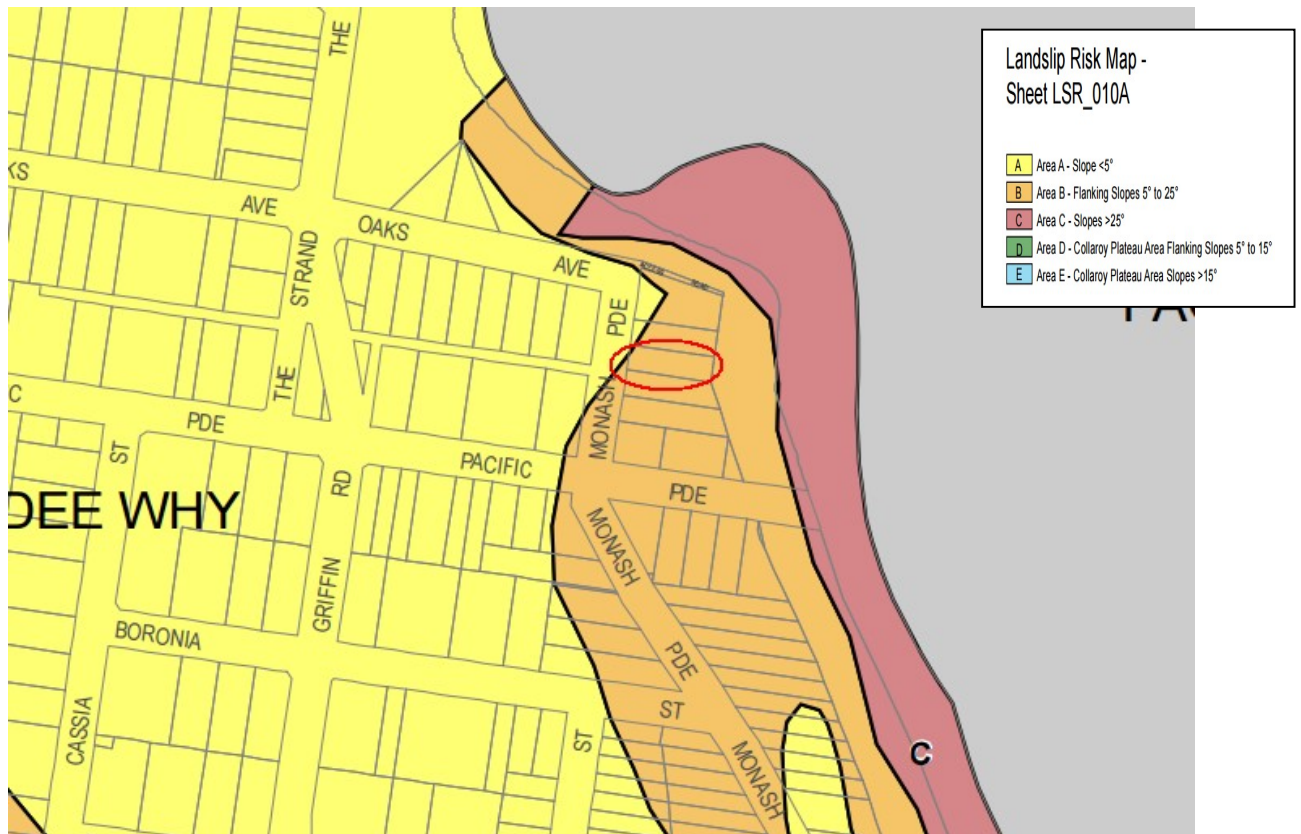


Figure 7: Extract from WLEP 2011 Landslip Risk Map LSR_010A
Clause 6.5 Coastline hazards

The site is not identified as being subject to coastline hazards.

5.4 Draft Environmental Planning Instruments

There are no draft environmental planning instruments applying to the land.

5.5 Planning Agreements

No planning agreement has been entered into or is offered under Part 7 Subdivision 2 of the Environmentally Planning and Assessment Act, 1979 in respect of the land.

5.6 Development Control Plans

The Warringah Development Control Plan applies to the subject land. The following chapters are relevant to the proposed development.

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Part A: 7 – Notification

The application proposes alterations and additions to an existing two storey dwelling. The alterations include a third storey component and the proposal is required to be notified.

It is noted that following from the previous proposal,

Part B: Built Form Controls

BI: Wall Heights

Objectives:

- *To minimise the visual impact of development when viewed from adjoining properties, streets, waterways and land zoned for public recreation purposes.*
- *To ensure development is generally beneath the existing tree canopy level.*
- *To provide a reasonable sharing of views to and from public and private properties.*
- *To minimise the impact of development on adjoining or nearby properties.*
- *To ensure that development responds to site topography and to discourage excavation of the natural landform.*
- *To provide sufficient scope for innovative roof pitch and variation in roof design*

Walls are not to exceed 7.2 metres from ground level (existing) to the underside of the ceiling on the uppermost floor of the building (excluding habitable areas wholly located within a roof space).

The wall heights of the dwelling following completion of the additions will exceed 7.2m, having a height of 8.2m resulting in a variation of 13.9%.

It is noted however, that the dwelling will have a height equal to the dwelling at No.8 and below the dwelling at No. 4 and will therefore not be excessive in height or scale when viewed in context with adjoining development.

The design modifications assist to reduce the scale of the additions and as supported in the view sharing analysis by Urbaine Architectural, view loss resulting from the proposal is considered minor and acceptable.

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B.2: Number of Storeys

Buildings on land shown coloured on the DCP Map Number of Storeys must comply with the maximum number of storeys identified on the DCP Map Number of Storeys

The Number of Storeys Map does not place any restrictions on the site, therefore a three storey dwelling is permissible.

B3 Side Boundary Envelope

1. Buildings on land shown coloured on the DCP Map Side Boundary Envelopes must be sited within a building envelope determined by projecting planes at 45 degrees from a height above ground level (existing) at the side boundaries of:

- ▶ 4 metres, or
- ▶ 5 metres

as identified on the map.

The Side Boundary Envelope Map identifies the site as being within the 5m height area.

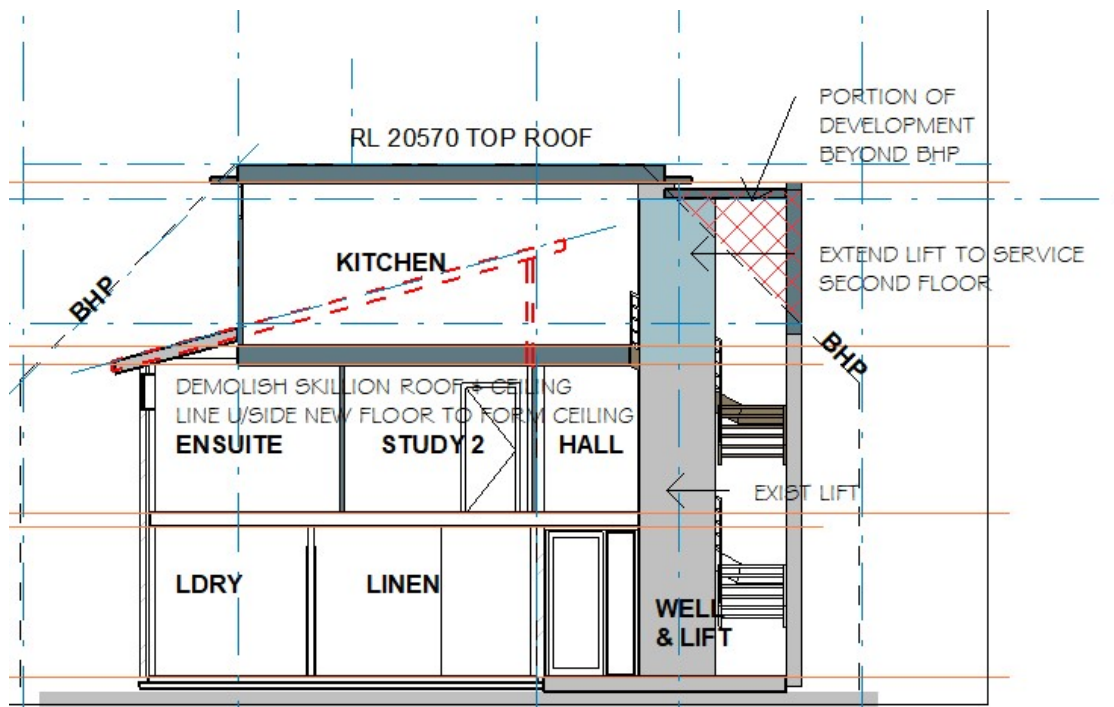
As detailed on the accompanying plans, the development is mostly compliant with the building height plane (with the exception of the lift and stairwell. All habitable spaces are within the required plane.

The portion of the development outside the plane is detailed on the accompanying plans. This non-compliance was discussed at the prelodgement meeting and it was determined that there was no alternative. In support of the application, it is noted that the boundary setbacks afford view sharing between the building and side boundary. Further, the dwelling height will be at the same height as the neighbouring dwelling at No. 8 and lower than No. 4 confirming that the works will not result in excessive bulk or scale. Changes to the design, ensure the development is more sympathetic to the existing built form and affords greater compliance with Council's development standards and controls.

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Building Height Plane Noted

B4: Site Coverage

- 1. Development on land shown coloured on the DCP Map Site Coverage shall not exceed the maximum site coverage shown on the map. Where shown on the map as:*

The site is not affected by site coverage provisions.

B5: Side Boundary Setbacks

- 1. Development on land shown coloured on the DCP Map Side Boundary Setbacks is to maintain a minimum setback from side boundaries as shown on the map*

In accordance with the Side Boundary Setback Map a minimum setback to the north and south boundaries of 0.9m applies to the site.

A minimum 1m setback has been applied to all new works in compliance with this clause.

B7: Front Boundary Setbacks

- 1. Development is to maintain a minimum setback to road frontages.*

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The works are to be located above the existing dwelling and will maintain the current, established, approved setback to the verandah. The setback to the dwelling has been increased to 8.385m.

B9: Rear boundary setbacks

- 1. Development is to maintain a minimum setback to rear boundaries.*
- 2. The rear setback area is to be landscaped and free of any above or below ground structures*

The works are to be located above the existing dwelling and will not encroach on existing setbacks.

Part C: Siting Factors

C2: Traffic, Access, Safety

The proposal does not seek to alter existing provisions for vehicle or pedestrian access, nor the existing approved facilities for on-site vehicle manoeuvring and parking.

C4: Stormwater

The proposal relates to alterations and additions to an existing dwelling. The existing stormwater disposal method via council's stormwater drainage system will continue to service the development. Additionally we note, Council does not require the provision of OSD facilities for additions to existing residential developments.

C5: Erosion and Sedimentation

Erosion and sedimentation prevention measures must be installed on all sites where some degree of soil erosion and sedimentation is likely to occur

Appropriate erosion and sedimentation measures will be installed and maintained throughout the duration of site works.

C7: Excavation and Landfill

The works are to be located above the existing development and no excavation or landfill is required.

C8: Demolition and Construction

- 1. Section 1 of the Waste Management Plan must be satisfactorily completed and submitted.*

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- 2. An area must be allocated for the sorting and storage of materials for use, recycling and disposal. This area should be located in a disturbed area of the site, giving consideration to slope, drainage, location of waterways, stormwater outlets, vegetation, pedestrian and traffic movement and access and handling requirements.*
- 3. The timing and frequency, and routes of vehicle movements are to be safe and minimise impact on roads, pedestrian and traffic movement and surrounding residents.*
- 4. Demolition and construction waste must be legally handled, transported and disposed of.*

A waste management plan accompanies the submission. The plan details expectant quantities of waste and their method of disposal. Further, the attached site plan details the location of waste storage areas during construction. This dedicated area satisfies the above requirements, being appropriately located to ensure adequate sorting and handling areas as well as ensuring the area will not result in negative impacts to vegetation, access or drainage.

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C9: Waste Management

- 1. Each dwelling must include a designated area to accommodate Council's allocated number of waste/recycling containers for residential premises (as indicated in Appendix 13)*

The existing on-site storage provisions for receptacles will be retained.

Part D: Design

D1: Landscaped Open Space and Bushland Settings

The required minimum area of landscaped open space is shown on DCP Map Landscaped Open Space and Bushland Setting. To measure the area of landscaped open space:

- a) Driveways, paved areas, roofed areas, tennis courts, car parking and stormwater structures, decks, etc, and any open space areas with a dimension of less than 2 metres are excluded from the calculation;*
- b) The water surface of swimming pools and impervious surfaces which occur naturally such as rock outcrops are included in the calculation;*
- c) Landscaped open space must be at ground level (finished); and*
- d) The minimum soil depth of land that can be included as landscaped open space is 1 metre.*

The proposal seeks consent for additions to the existing residential development. The works are to be located above the existing structure and will not impact on the existing spaces, as approved, for landscaping purposes.

D2: Private Open Space

- 1. Residential development is to include private open space for each dwelling.*
- 2. The minimum area and dimensions of private open space are as follows:*

Dwelling houses (including dual occupancy) and attached dwellings with 3 or more bedrooms – A total of 60m² with minimum dimensions of 5 metres

The proposal seeks consent for additions to the existing residential development. The works are to be located above the existing structure and will not impact on the existing spaces as approved for landscaping purposes.

D3: Noise

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The application proposes alterations and additions to an existing residential dwelling. Noise generation from the proposal is expected to be minimal, in line with usual residential uses and developments.

D6: Access to Sunlight

- 1. Development should avoid unreasonable overshadowing any public open space.*
- 2. At least 50% of the required area of private open space of each dwelling and at least 50% of the required area of private open space of adjoining dwellings are to receive a minimum of 3 hours of sunlight between 9am and 3pm on June 21.*

The proposed additions are generally three storeys in height, however are of a minor scale and no impacts to overshadowing or solar access are anticipated. The attached shadow diagrams confirm compliance with this control.

D7: Views

- 1. Development shall provide for the reasonable sharing of views*

A view sharing analysis has been undertaken by John Aspinal of Urbaine Design Group. The detailed report confirms that the development satisfies the view sharing principals and is worth of Council support.

D8: Privacy

To ensure privacy to the adjoining allotments is maintained, a privacy screen is to be provided to the southern side of the new balcony.

D9: Building Bulk

The proposal provides for only a small increase in floor area only. The additions comprise a third storey which has been designed to sympathise with the existing development and complement built form.

D10: Building Colours and Materials

The colours and materials used in the additions shall complement the existing external building façade.

D13: Front Fences and Front walls

No front boundary fences or walls are proposed.

D20: Safety and Security

1. Buildings are to overlook streets as well as public and communal places to allow casual surveillance.

The proposal provides for a new elevated deck within the eastern façade which will provide surveillance to the adjoining public reserve.

D22: Conservation of water and Energy

A BASIX Certificate prepared in accordance with SEPP BASIX accompanies the submission.

5.4 ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979

Section 4.15 Evaluation

(1) Matters for consideration—general

In determining a development application, a consent authority is to take into consideration such of the following matters as are of relevance to the development the subject of the development application:

(a) the provision of:

(i) any environmental planning instrument, and

(iii) any development control plan, and

(iv) the regulations,

that apply to the land which the development application relates,

Section 5 of this Statement addresses all of these items in detail.

(b) the likely impacts of that development, including environmental impacts on both the natural & built environments, & social & economic impacts in the locality,

No vegetation is required to be removed to facilitate this development & will not adversely impact on the natural or built environment.

It is considered that there will be social benefits resulting from the development, affording an increase in habitable areas for the site owners/occupiers.

The proposal will provide affordable accommodation in close proximity to public services & utilities.

(c) the suitability of the site for the development.

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The site & surrounding locality do not present any significant physical, ecological or social constraints on the development of the site for residential activities.

The subject site is located within a rural/residential zone. There is no evidence to support that the site is or has ever been used in a manner that would cause the site to become contaminated. It is therefore considered that the site is not contaminated.

(e) the public interest.

It is considered that the development is in the interest of the public as it assists in the implementation of Councils Housing Strategy through encouraging urban consolidation. The use of the site for residential purposes is in keeping with identified housing needs in the area & will increase the range of housing & housing stock available to the public within the Dee Why area.

6.0 CONCLUSION

The aim of this report has been:

- ❑ To describe the proposal
- ❑ To illustrate compliance of the proposed development with relevant statutory considerations; and
- ❑ To provide an assessment of the likely environmental effects of the proposal

The proposal satisfies the relevant Council planning objectives and policies, State Planning Policies and provisions of the Environmental Planning and Assessment Act, 1979.

The development at 6 Monash Parade, Dee Why will have a positive impact on the locality.

The proposal is a sympathetic development in the context of a primarily residential locality.

Having regard to the analysis & assessment within this report, it is recommended that Council support the application.