

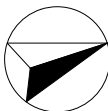
**SITE ANALYSIS PLAN**

LOT 27  
DP 211307

**AREA CALCULATIONS**

SITE AREA	701.90m <sup>2</sup>
EXISTING GROSS FLOOR AREA	272.15m <sup>2</sup>
ADDITIONAL GROSS FLOOR AREA	75.76m <sup>2</sup>
TOTAL GROSS FLOOR AREA	347.91m <sup>2</sup>

TRUE NORTH:



**NOTES:**

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www.jjdrafting.com.au

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E	18.08.20	FRONT ENSUITE ROOF AMENDED
F	20.08.20	CLIENT AMENDMENTS
E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:  
SITE ANALYSIS PLAN

DATE:  
NOVEMBER/19

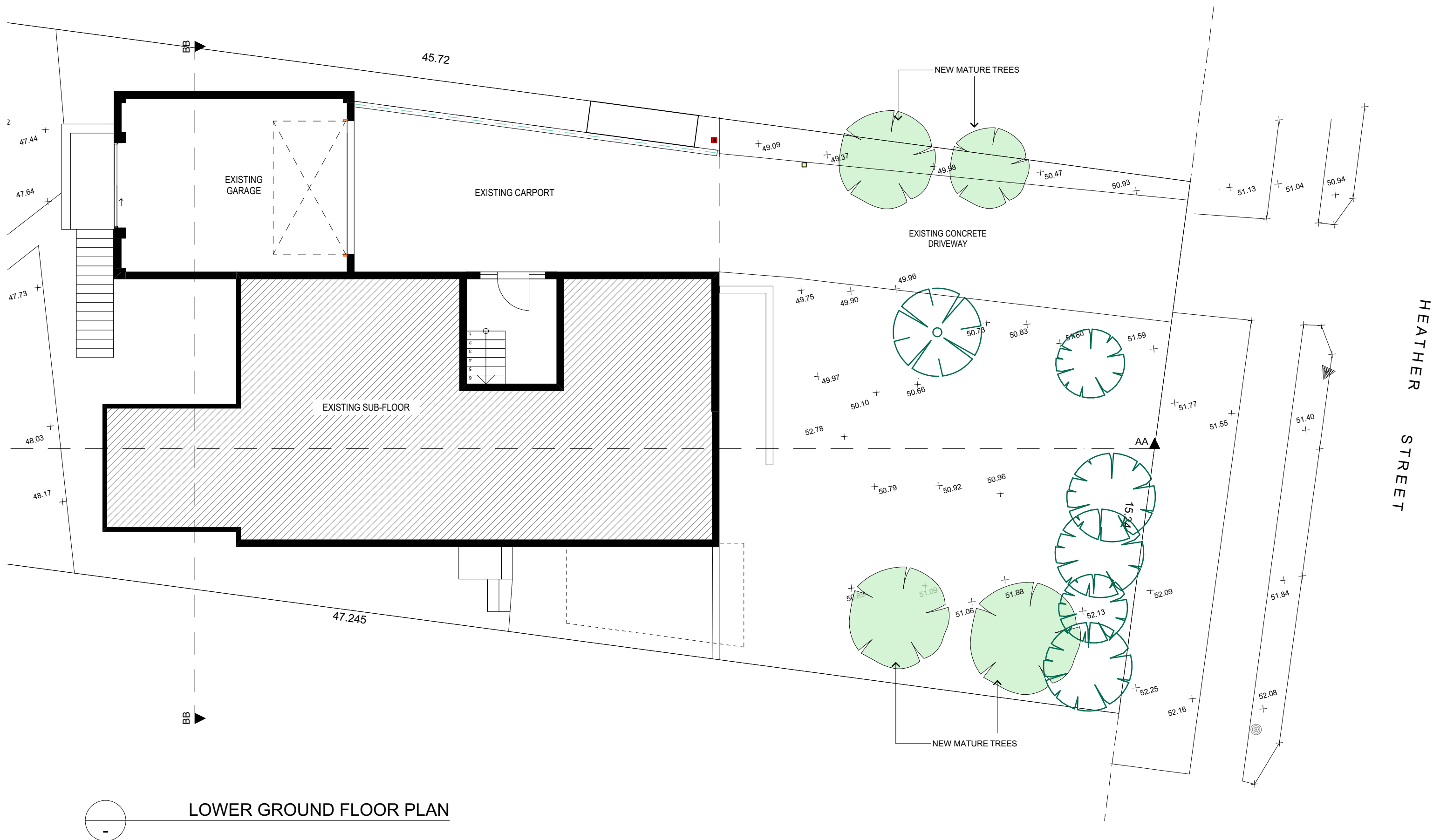
JOB No:  
757/19

DRAWN BY:  
LB

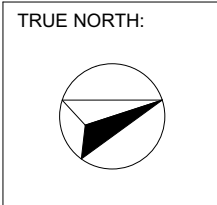
CHECKED BY:  
JJ

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1:200 @ A3

DRAWING No:  
DA.01



GROSS FLOOR AREA	34.92m <sup>2</sup>
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**NOTES:**

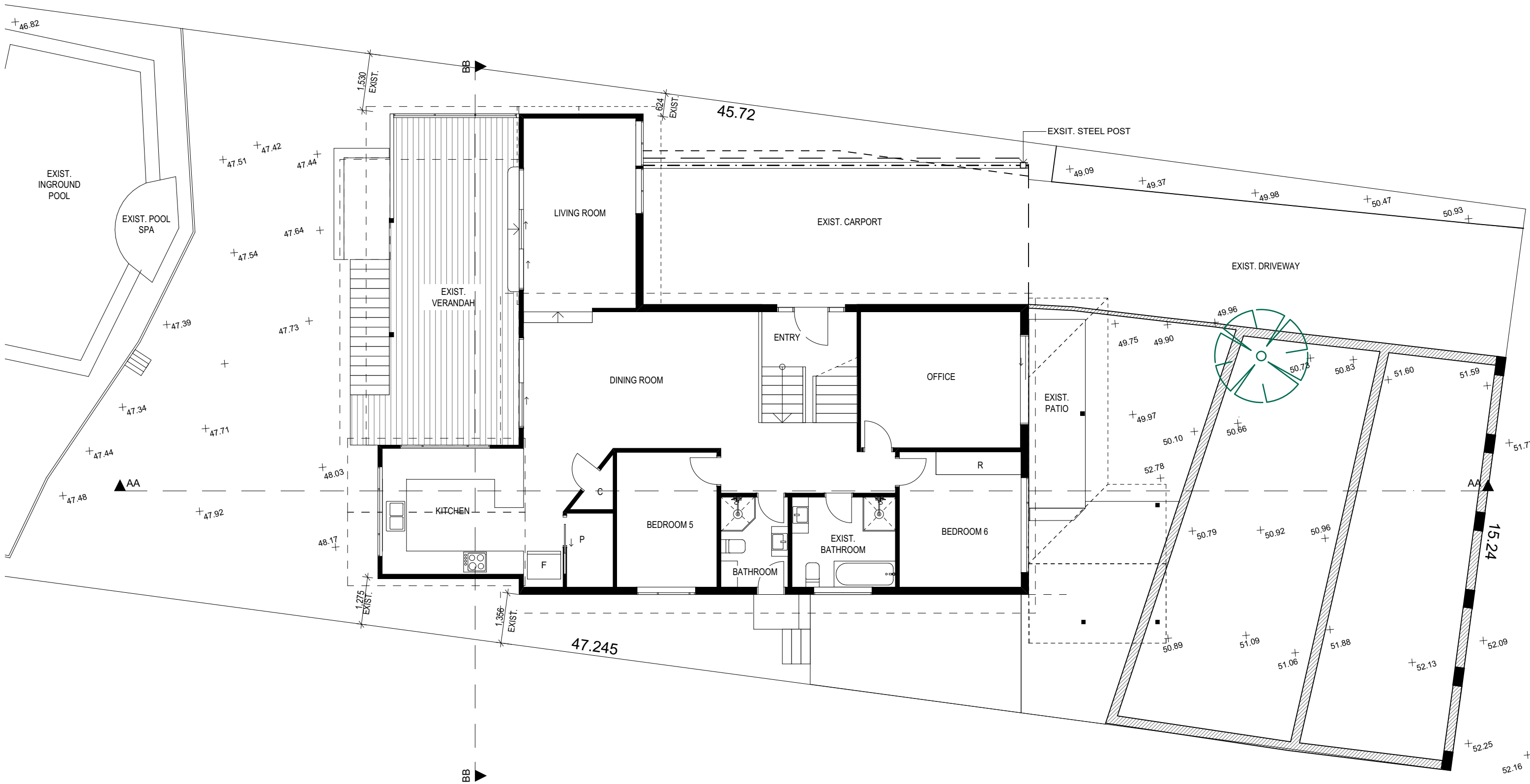
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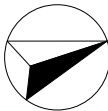
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DRAWING TITLE: LOWER GROUND FLOOR PLAN

DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 757/19	CHECKED BY: JJ	DRAWING No: <b>DA.02</b>



EXISTING GROUND FLOOR PLAN

TRUE NORTH:



NOTES:

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39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:

EXISTING GROUND FLOOR PLAN

DATE:

NOVEMBER/19

DRAWN BY:

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SCALE:

1:100 @ A3

JOB No:

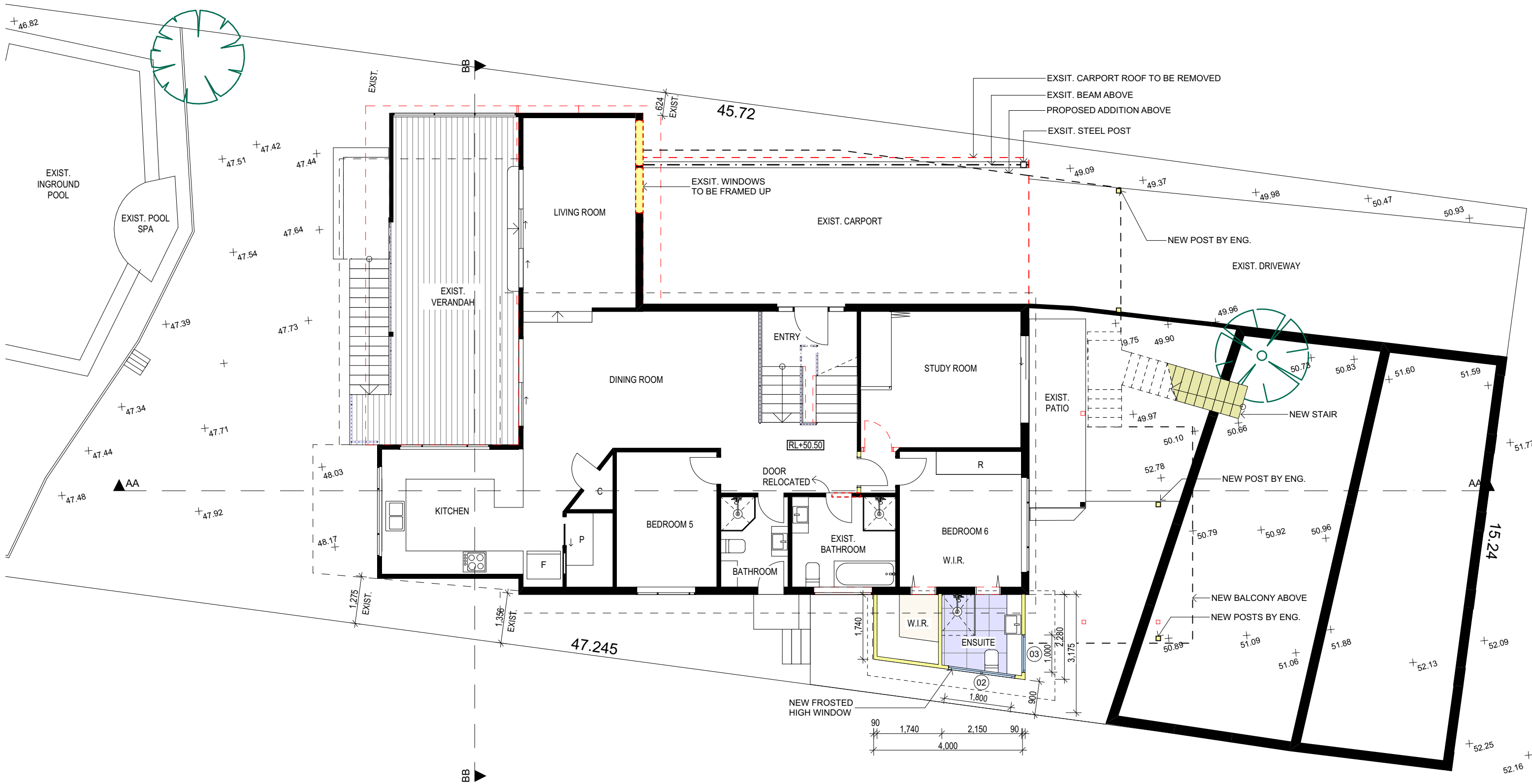
757/19

CHECKED BY:

JJ

DRAWING No:

DA.03



PROPOSED GROUND FLOOR PLAN

GROSS FLOOR AREA 137.20m<sup>2</sup>

TRUE NORTH:

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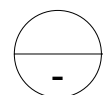
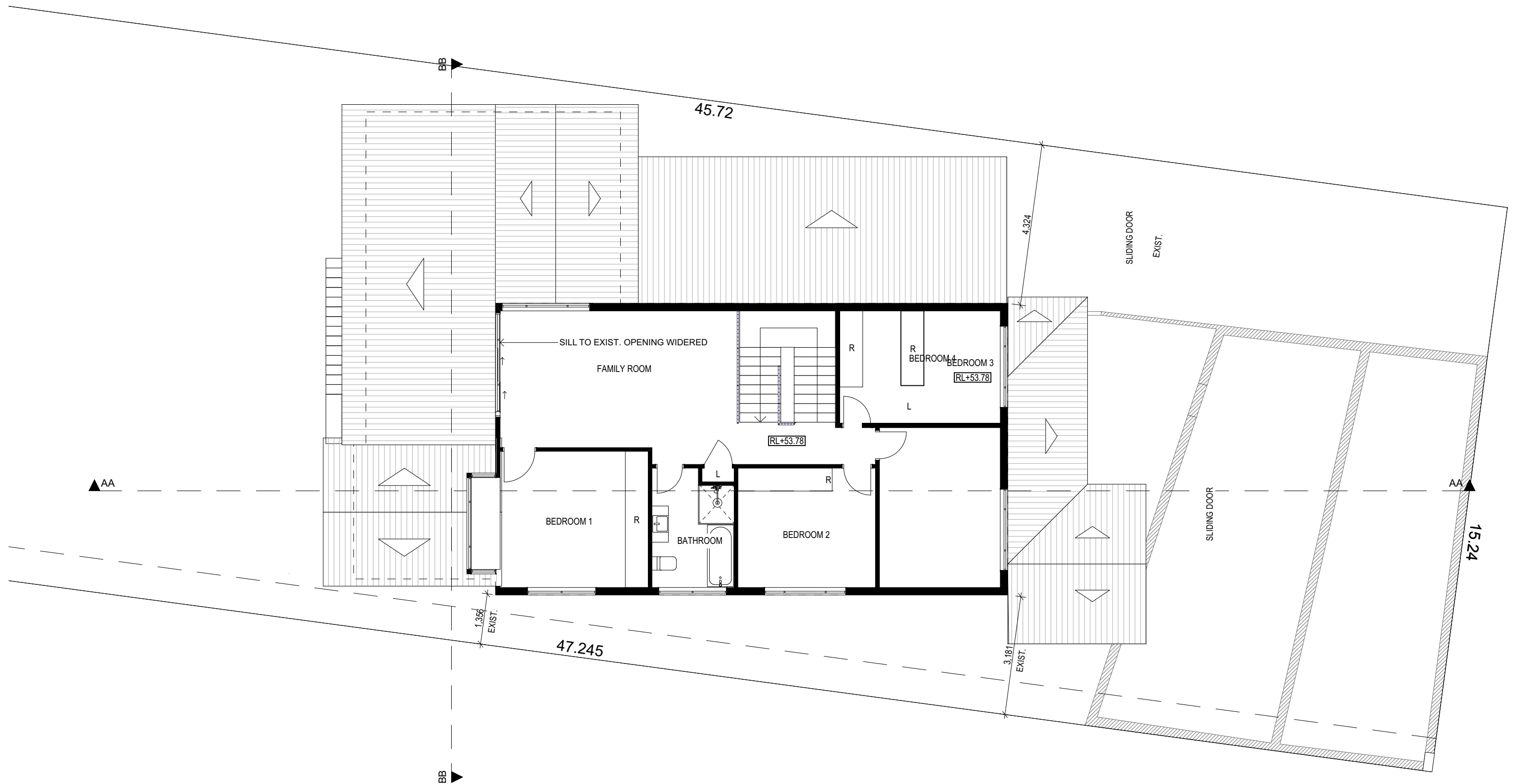
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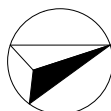
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS	DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN	JOB No: 757/19	CHECKED BY: JJ	DRAWING No: DA.04



EXISTING FIRST FLOOR PLAN

TRUE NORTH:



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39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:

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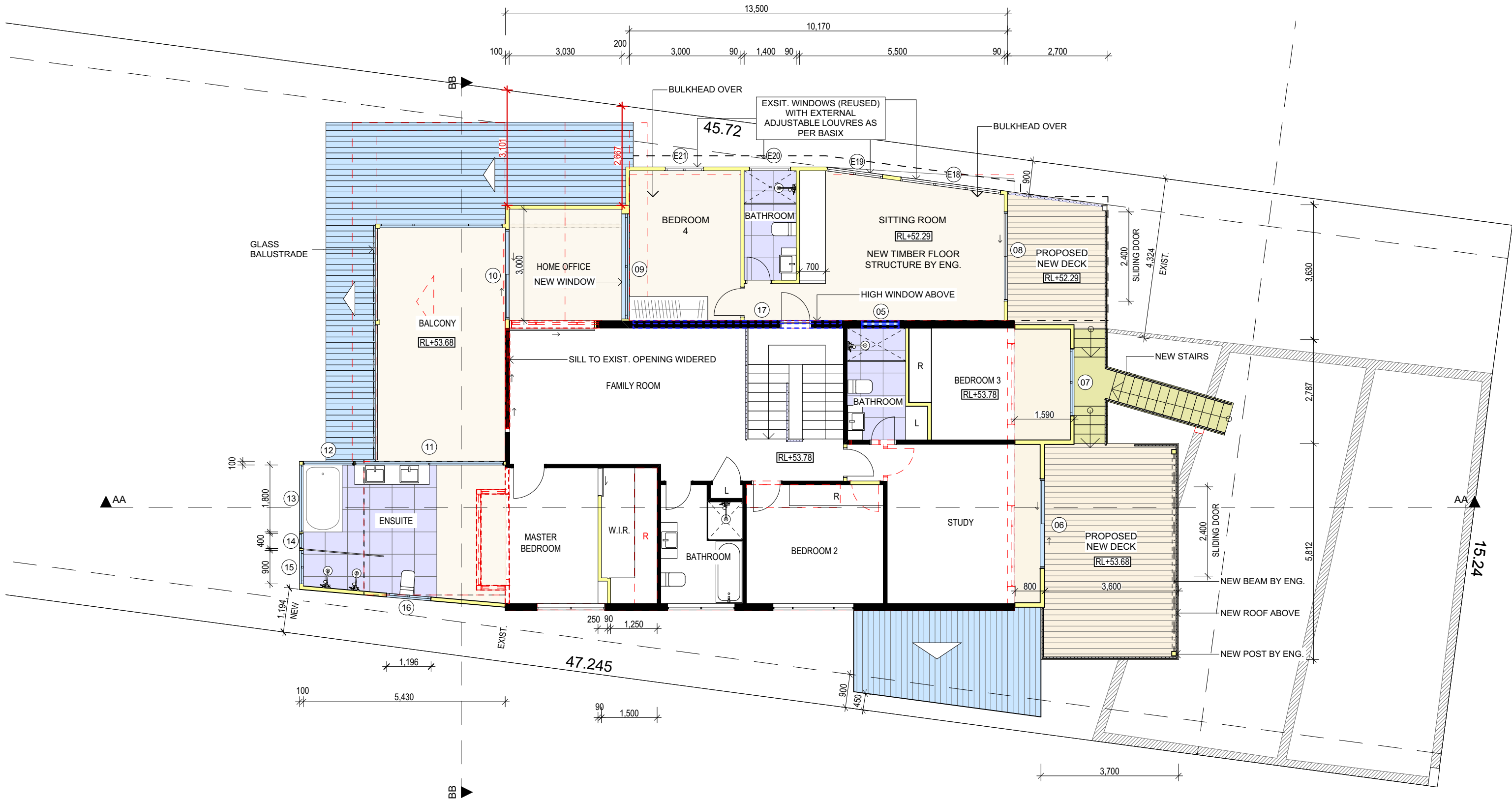
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**DA.05**





PROPOSED FIRST FLOOR PLAN

GROSS FLOOR AREA 175.79m<sup>2</sup>

TRUE NORTH:

NOTES:

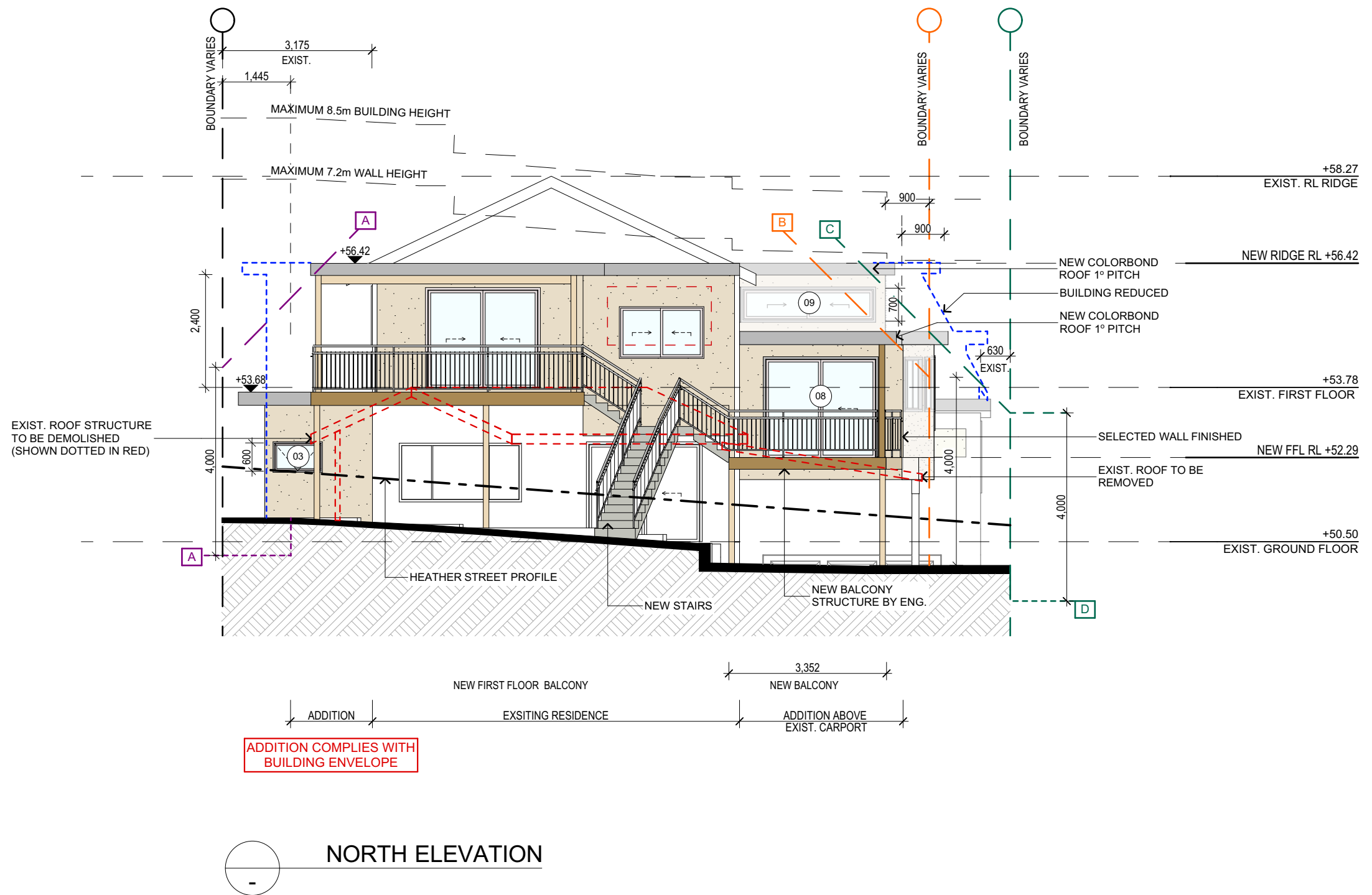
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PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS	NOVEMBER/19	LB	1:100 @ A3
DRAWING TITLE:	JOB No:	CHECKED BY:	DRAWING No:
PROPOSED FIRST FLOOR PLAN	757/19	JJ	DA.06



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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS
DRAWING TITLE: NORTH ELEVATION

DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 757/19	CHECKED BY: JJ	DRAWING No: DA.07



STREET ELEVATION WITH THE ADJOINING PROPERTY

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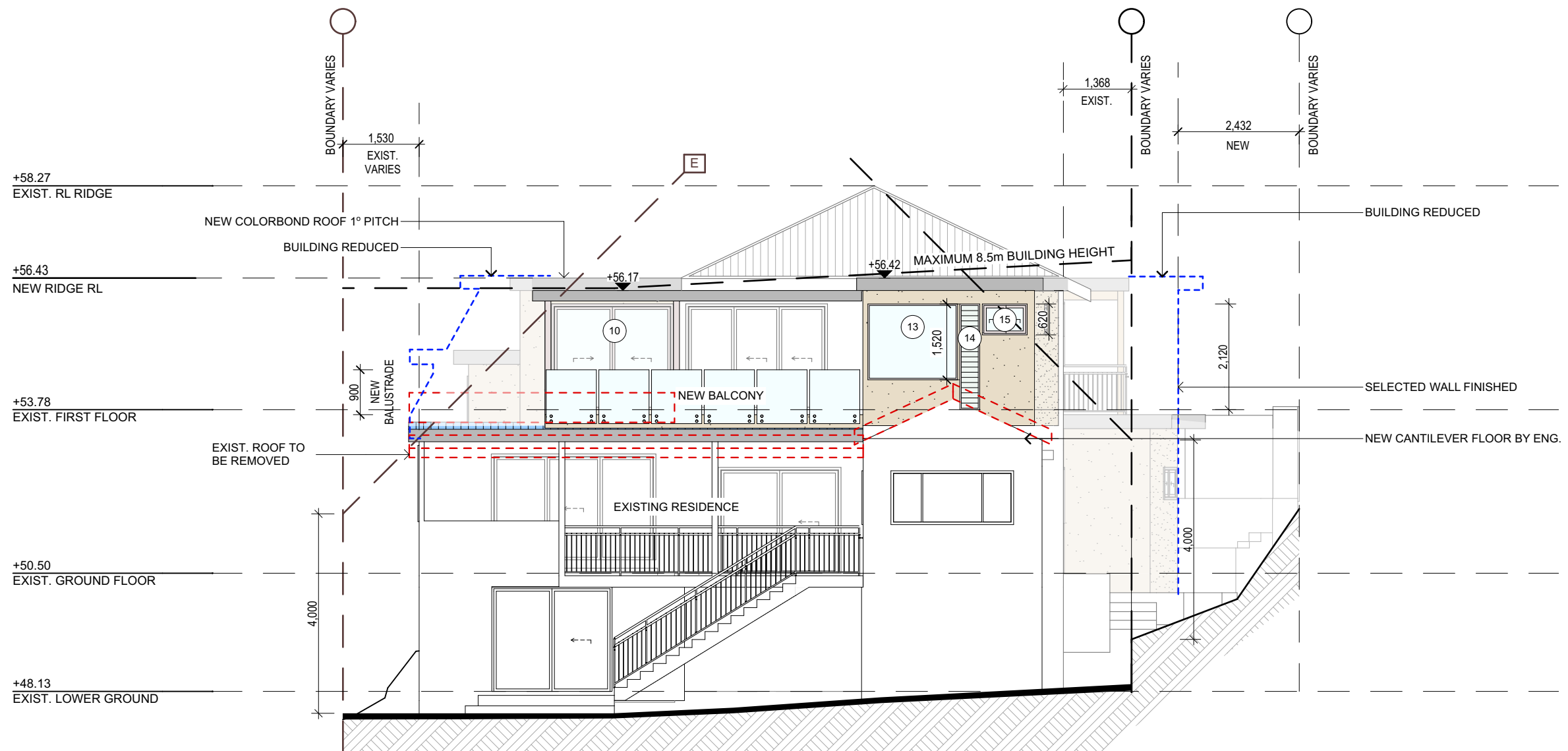
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS
DRAWING TITLE: NORTH ELEVATION WITH THE ADJOINING PROPERTY

DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
JOB No: 757/19	CHECKED BY: JJ	DRAWING No: DA.08





 SOUTH ELEVATION

NOTES:

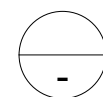
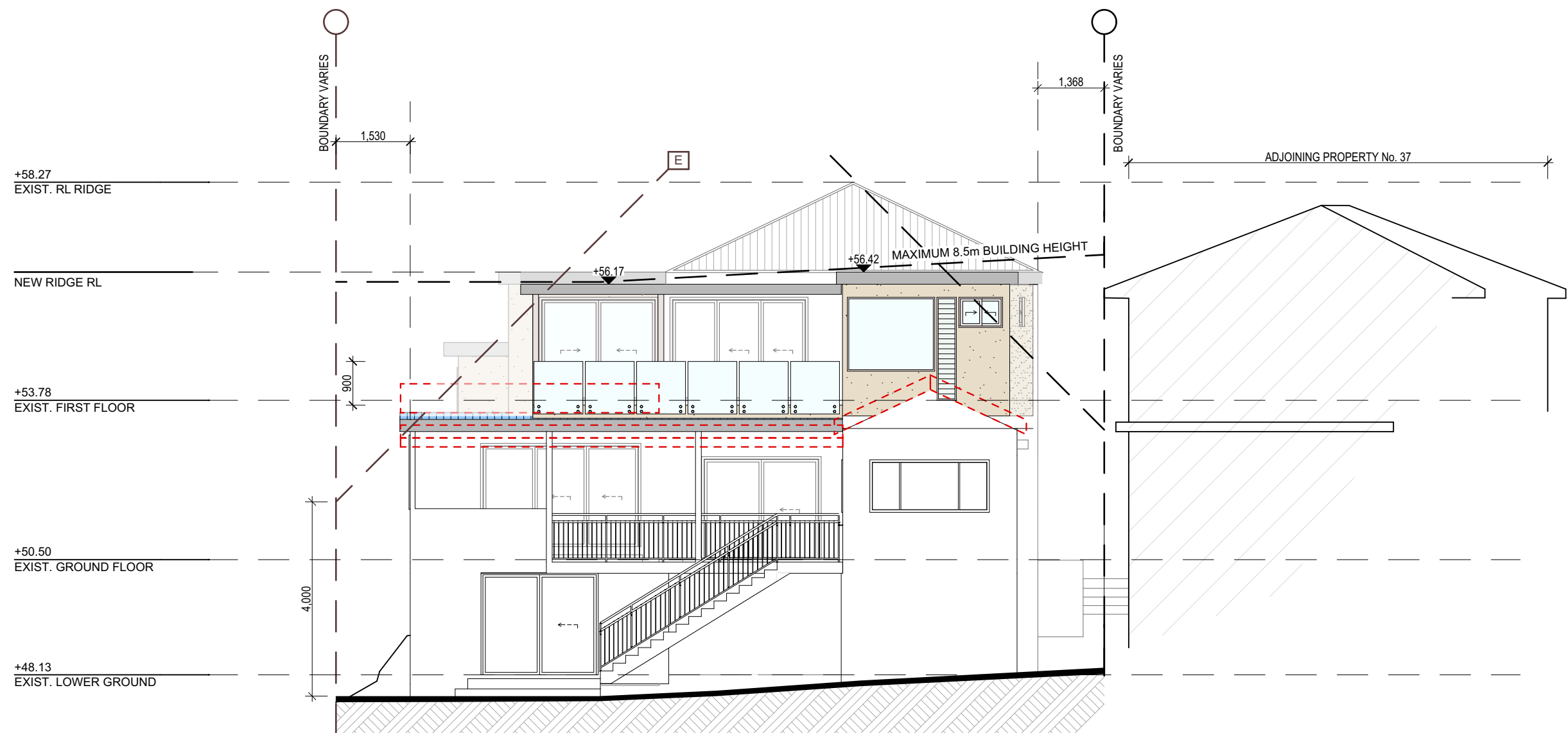
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS
DRAWING TITLE: SOUTH ELEVATION

DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
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SOUTH ELEVATION WITH THE ADJOINING PROPERTY

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DRAWING TITLE:

SOUTH ELEVATION WITH THE ADJOINING PROPERTY

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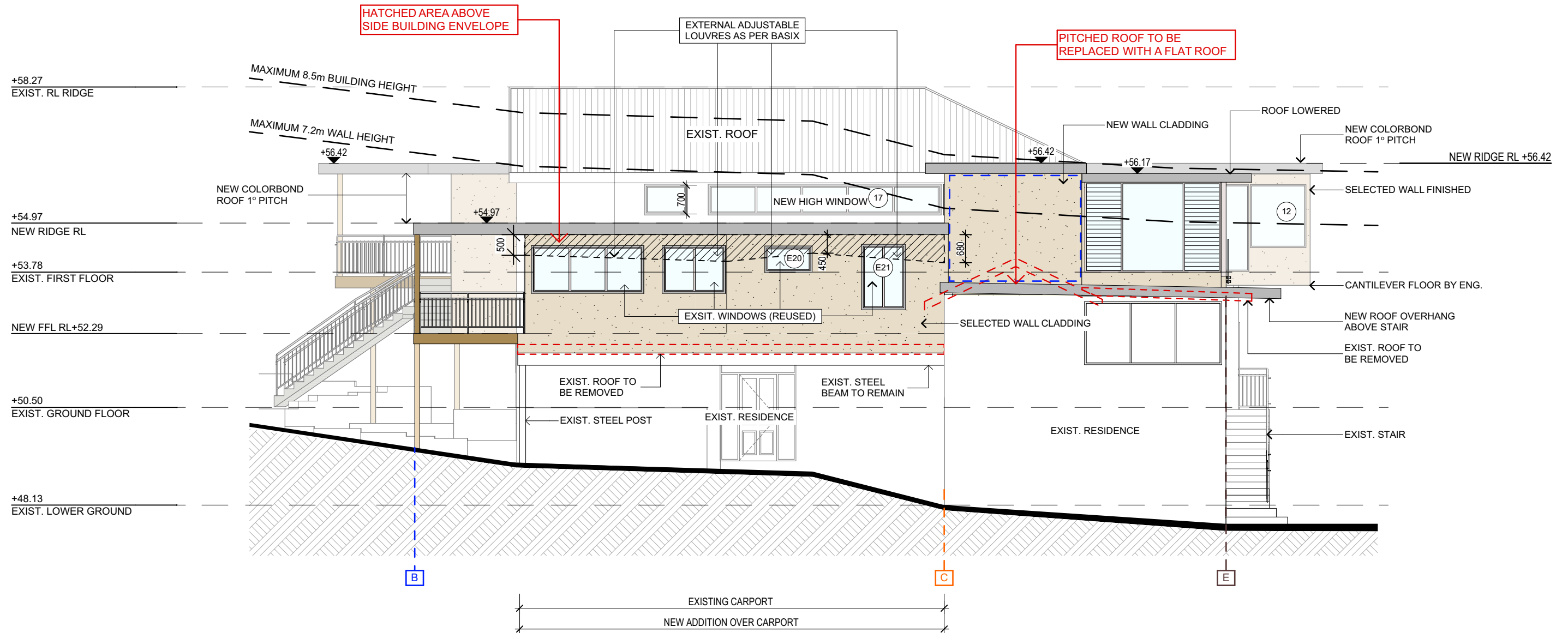
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DRAWING No:

**DA.10**



WEST ELEVATION

NOTES:

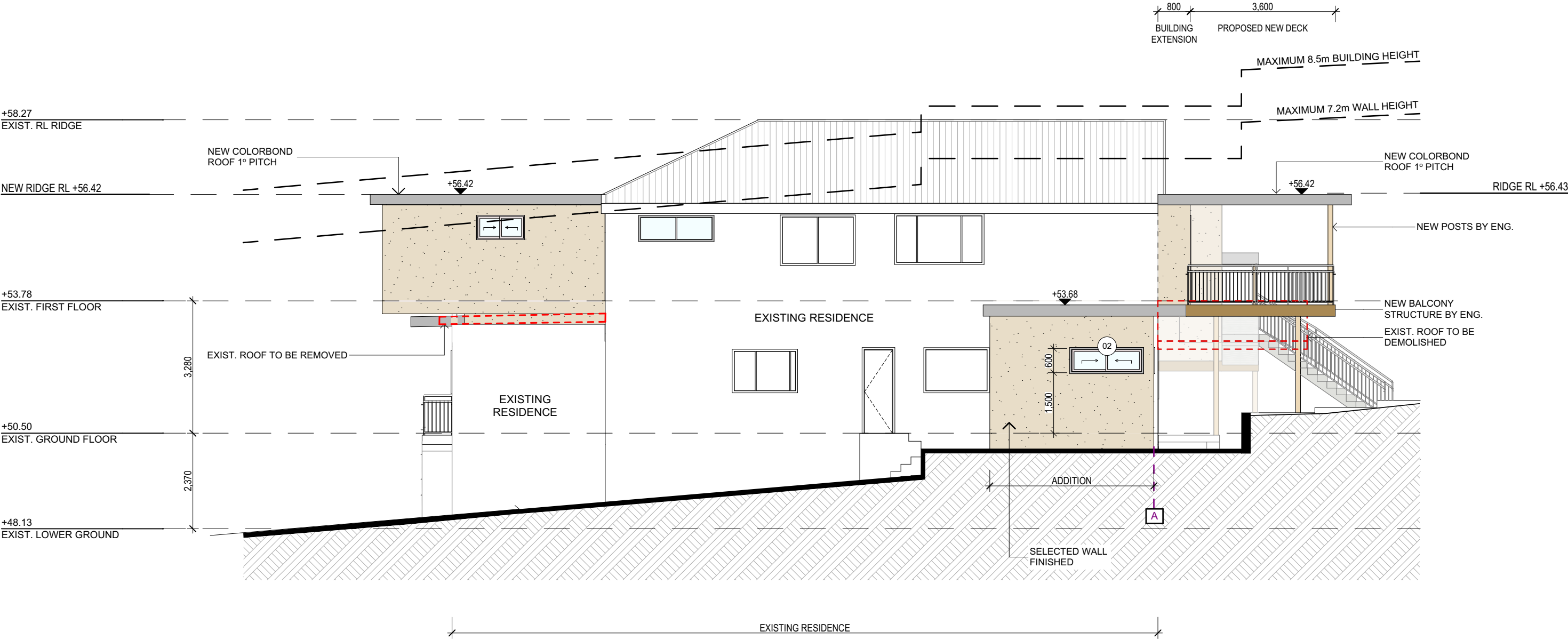
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PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS	DRAWING TITLE: WEST ELEVATION
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DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
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EAST ELEVATION

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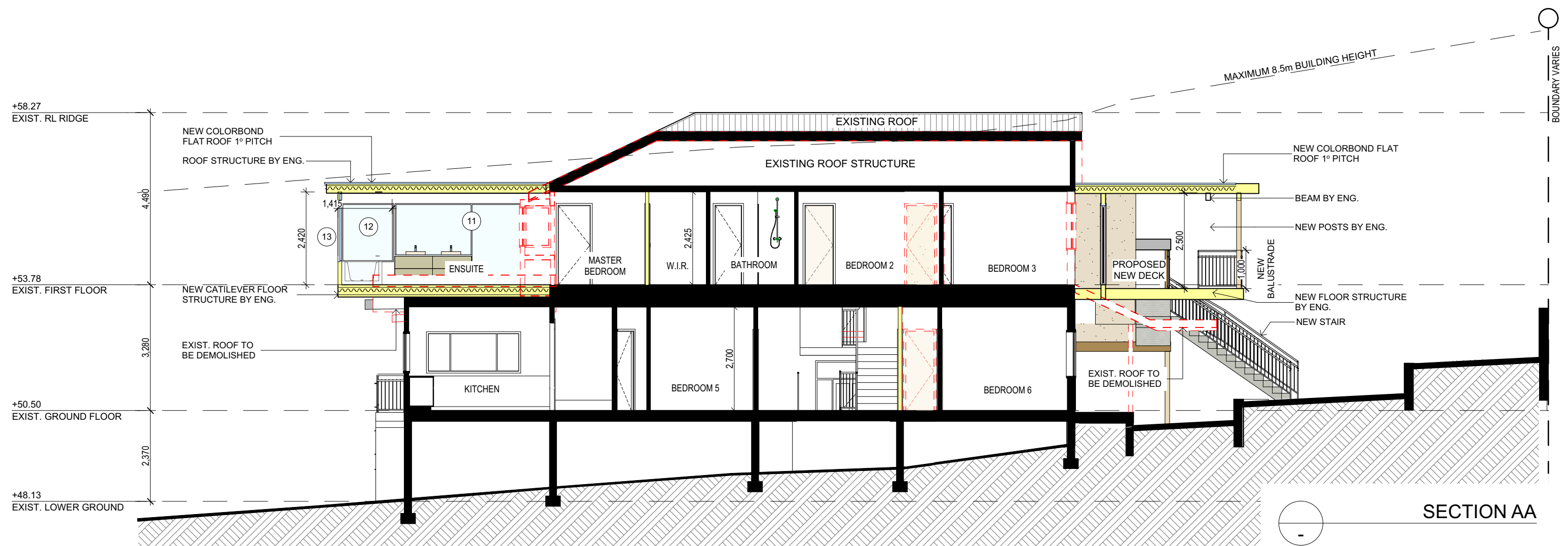
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DRAWING TITLE: EAST ELEVATION

DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:100 @ A3
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**BASIX REQUIREMENT:**

BASIX Inclusions for 39 Heather Street - Wheeler Heights

**LIGHTING REQUIREMENTS**

40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**WATER**

- SHOWER RATING \_\_\_\_\_ MINIMUM 3 STAR  
- TAP RATING \_\_\_\_\_ MINIMUM 3 STAR  
- WC'S RATING \_\_\_\_\_ MINIMUM 3 STAR

**INSULATION REQUIREMENTS**

CONSTRUCTION	ADDITIONAL INSULATION REQUIREMENT (R-VALUE)
SUSPENDED FLOOR WITH ENCLOSED SUBFLOOR	R 1.60 (OR R 1.30 INCLUDING CONSTRUCTION)
FLOOR ABOVE EXISTING DWELLING OR BUILDING	NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO, METAL CLAD)	R 1.30 (OR R 1.70 INCLUDING CONSTRUCTION)
RAKED CEILING, PITCHED/SKILLION ROOF:FRAMED	Ceiling: R2.24 (up), roof: foil backed blanket (55 mm) MEDIUM (solar absorptance 0.45 - 0.70)
FLAT CEILING, FLAT ROOF: FRAMED	Ceiling: R2.08 (up), roof: foil backed blanket (55 mm) MEDIUM (solar absorptance 0.45 - 0.70)

**GLAZING DOORS / WINDOWS**

- STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)  
WINDOWS - W1, W2, W3, W4, W5, W6, W7, W8, W9, W10, W11, W12, W13, W14, W15, W16, W18, W19, W20, W21  
  
- STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E, (or U-value: 5.7, SHGC: 0.47)  
WINDOW - W17

**SPECIFICATION NOTES:**

**INTERNAL LINING**

- PROVIDE PLASTERBOARD LINING.

**EXTERNAL WALLS:**

- TIMBER FRAME WALLS WITH SELECTED CLADDING.  
- RENDER OR SELECTED WALL FINISHED.

**FLOOR:**

- TIMBER FLOOR FRAMING TO BE FINISHED WITH T&G HARDWOOD FLOORING

**WET AREAS:**

- ALL WATERPROOFING TO AS 3740  
- PROVIDE A GUARANTEED FLEXIBLE WATERPROOF MEMBRANE TO ALL WET AREA FLOORS & SHOWERS WALLS TO MANUFACTURES INSTRUCTIONS

**PROFIED STEEL ROOF:**

- NCC VOL.2 PART 3.5.1.  
- DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH AS/NZS 1562.

**ROOFING:**

- COLORBOND ROOF CLADDING

**GUTTERS AND DOWNPIPES:**

- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

**CONCRETE:**

- SHALL BE IN ACCORDANCE WITH NCC VOL.1 PART B1.4 OR VOL.2 PART 3.2.3.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT EDITIONS OF THE AS3600.

**CONCRETE BLOCKS OR BRICKS:**

- TO COMPLY WITH TO AS4455 MANSORY BUILDING BLOCKS/PAVER.

**FOOTINGS:**

- FOOTINGS TO BE IN ACCORDANCE WITH AS1480.  
- FOOTINGS TO BE IN ACCORDANCE WITH NCC VOL.2 PARTS 3.2.3, 3.2.4 AND 3.2.5  
- ALL REINFORCEMENTS SHALL CONFORM TO AS1302, AS1303 AND AS1304.

**CARPENTRY:**

- TIMBER TO COMPLY WITH AS1170.2 OR AS4055.  
- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS1684 AND 1720 AS APPLICABLE.

**STAIR:**

- DRESSED & WELL SEASONED PINE TREADS WITH OPEN RISERS WITH 5mm PENCIL ROUND NOSING.

**LIGHTING:**

- 40% OF NEW OR ALTERED LIGHT FIXTURES TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT, OR LIGHT-EMITTING-DIODE (LED) LAMPS

**TIMBER FRAMING:**

- TO COMPLY WITH NCC VOL.2 PART 3.4  
- GROUND FLOOR TIMBERS SHALL BE ONLY OF HARDWOOD, CYPRESS PINE OR PRESSURE TREATED RADIATA OR CANADA PINE BELOW A HEIGHT OF 300mm ABOVE FINISHED GROUND LEVEL AND MUST NOT BE BUILT INTO BRICKWORK.  
- SUBFLOOR VENTILATION SHALL CONFORM TO NCC VOL.2 PART 3.4.1.  
- IN BUSHFIRE PRONE AREAS SPECIAL CONDITIONS APPLY.  
- WHERE TERMITE BARRIERS NEED TO BE INSPECTED, 400mm CLEARANCE IS REQUIRED BETWEEN THE UNDERSIDE OF BEARER AND GROUND SURFACE.  
- USE TREATED TIMBER WHERE REQUIRED FOR DURABILITY.  
- DO NOT USE TIMBER UNSUITABLE FOR EXPOSURE TO MOISTURE IN EXPOSED LOCATION.  
- PROVIDE STRUCTURE BRACING IN ACCORDANCE WITH AS1684  
- PROVIDE STRUCTURE TIEDOWN IN ACCORDANCE WITH AS1684  
- USE GALVANISED FIXINGS WHERE EXPOSED TO WEATHER.

**TERMITE CONTROL:**

- TO BE IN ACCORDANCE WITH TO AS3660.1  
- SHALL BE IN ACCORDANCE WITH NCC VOL.2 PART 3.1.3 OR VOL.1 PART B1.4.

**FLASHING AND CAPPINGS:**

- SELECTION AND INSTALLATION OF METAL RAINWATER GOODS REFER TO AS2180  
- FLASH PROJECTIONS ABOVE THE ROOF WITH TWO PART FLASHINGS CONSISTING OF AN APRON FLASHING AND OVER FLASHING. WITH AT LEAST 100mm OVERLAP.  
- PROVIDE FOR INDEPENDENT MOVEMENT BETWEEN ROOF AND PROJECTION.

**DOOR & WINDOWS:**

- ALL FRAMED WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH AS2047-48 FOR ALUMINIUM WINDOWS AND AS2047 FOR TIMBER WINDOWS.  
- ALUMINIUM FRAMED WINDOWS AND DOORS.  
- WEATHER STRIPPING IS TO BE PROVIDED TO ALL EXTERNAL WINDOWS AND DOORS.

**GLAZING:**

- NCC VOL.1 PARTS B 1.4, D 3.12, F1.13 OR NCC VOL.2 PART 3.6

**SLIP RESISTANCE:**

- MATERIALS TO BE USED FOR SURFACES OF FLOORS, STAIR LANDING, STEPS AND NOSINGS SHALL BE IN ACCORDANCE WITH THE CLASSIFICATIONS FOR SLIP RESISTANCE AS APPLY IN AS4586 AND HB198.

**STORMWATER:**

**EAVES GUTTERS, VALLEY GUTTERS AND DOWNPIPES**

- TO COMPLY WITH AS/NZS 2179 FOR METAL AND AS1273 FOR UPVC COMPONENTS.  
- NEW DOWNPIPES TO BE CONNECTED INTO EXISTING STORMWATER LINE  
- COLORBOND GUTTERS AND DOWNPIPES  
- MINIMUM SLOPE OF EAVES AND GUTTERS 1:200

**SMOKE DETECTORS/ALARMS:**

- NCC VOL.2 PART 3.7.2. FIRE/SMOKE DETECTORS COMPLYING WITH THE REQUIREMENTS OF THE LOCAL GOVERNMENT ACT AND/OR STATE OR TERRITORY REGULATIONS MUST BE FITTED IN THE LOCATIONS REQUIRED AND APPROVED BY THE AUTHORITY AND SHALL BE INSTALLED IN ACCORDANCE WITH AS3786.  
- INSTALLATIONS IN BUILDINGS OTHER THAN CLASS 1 AND 10 MUST BE INSTALLED AND MANAGED TO COMPLY WITH NCC SPEC. E2.2a.  
- MULTIPLE ALARMS WITHIN HOUSES AND SOLE OCCUPANCY UNITS MUST BE HARD WIRED AND INTERCONNECTED.

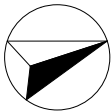
**WASTE MANAGEMENT:**

- ALL WASTE SHALL BE TAKEN AWAY BY TRUCKS TO A SUITABLE LANDFILL OR RECYCLE DEPOT.  
- ALL WASTE SHALL BE COVERED DURING TRANSPORTATION.  
- WASTE GENERATED DURING CONSTRUCTION SHALL BE PLACED IN STEEL BINS AND TAKEN AWAY BY AN APPROVED CONTRACTOR TO A APPROVED LANDFILL SITE.

**SEDIMENT CONTROL:**

- A FILTER CLOTH SYSTEM SHALL BE INSTALLED TO STOP ANY SEDIMENT ENTERING COUNCILS STORMWATER SYSTEM.

TRUE NORTH:



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E	18.08.20	FRONT ENSUITE ROOF AMENDED
F	20.08.20	CLIENT AMENDMENTS
E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:  
SECTION / BASIX

DATE:  
NOVEMBER/19

JOB No:  
757/19

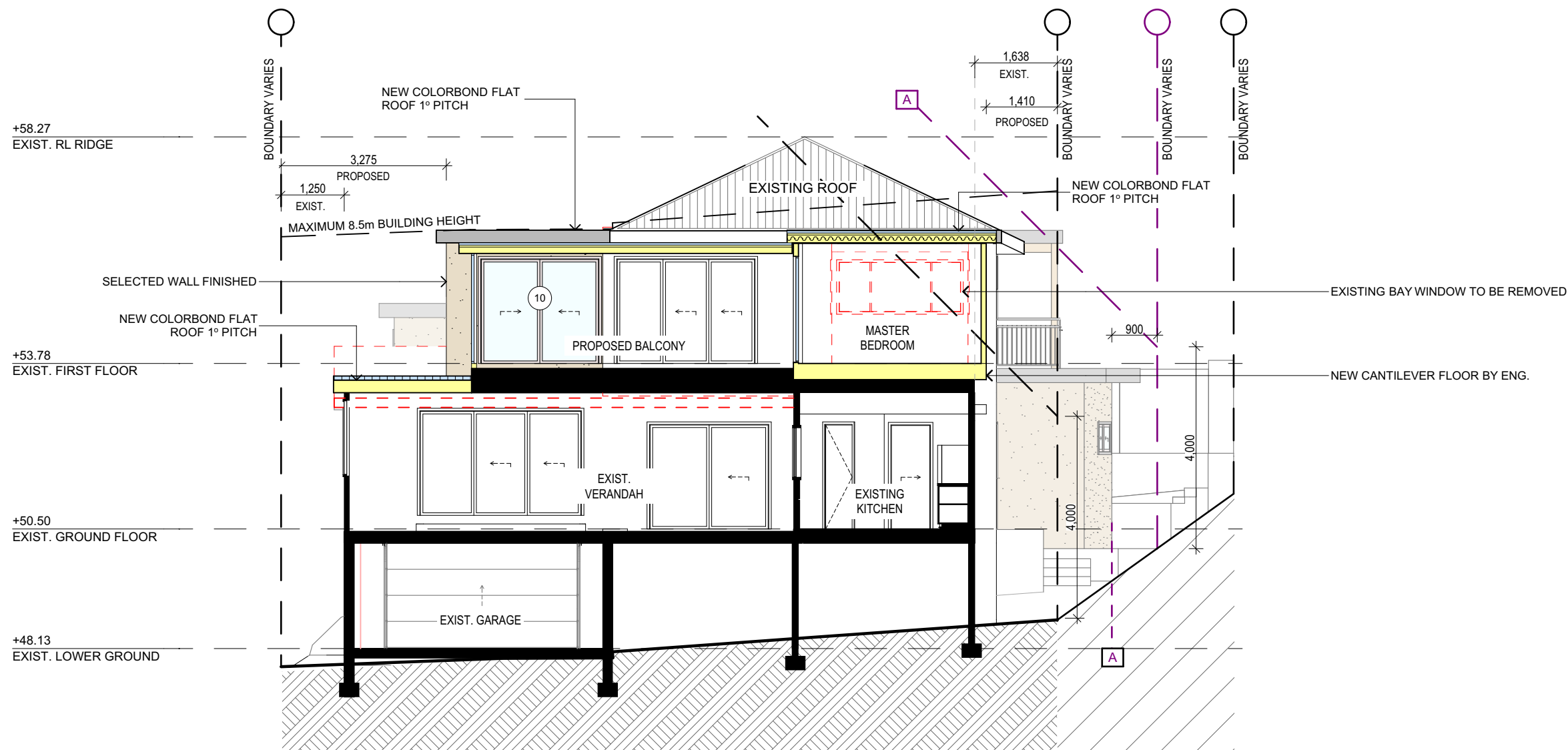
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LB

CHECKED BY:  
JJ

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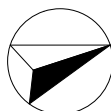
DRAWING No:  
DA.13





SECTION BB

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SECTION BB

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NOVEMBER/19

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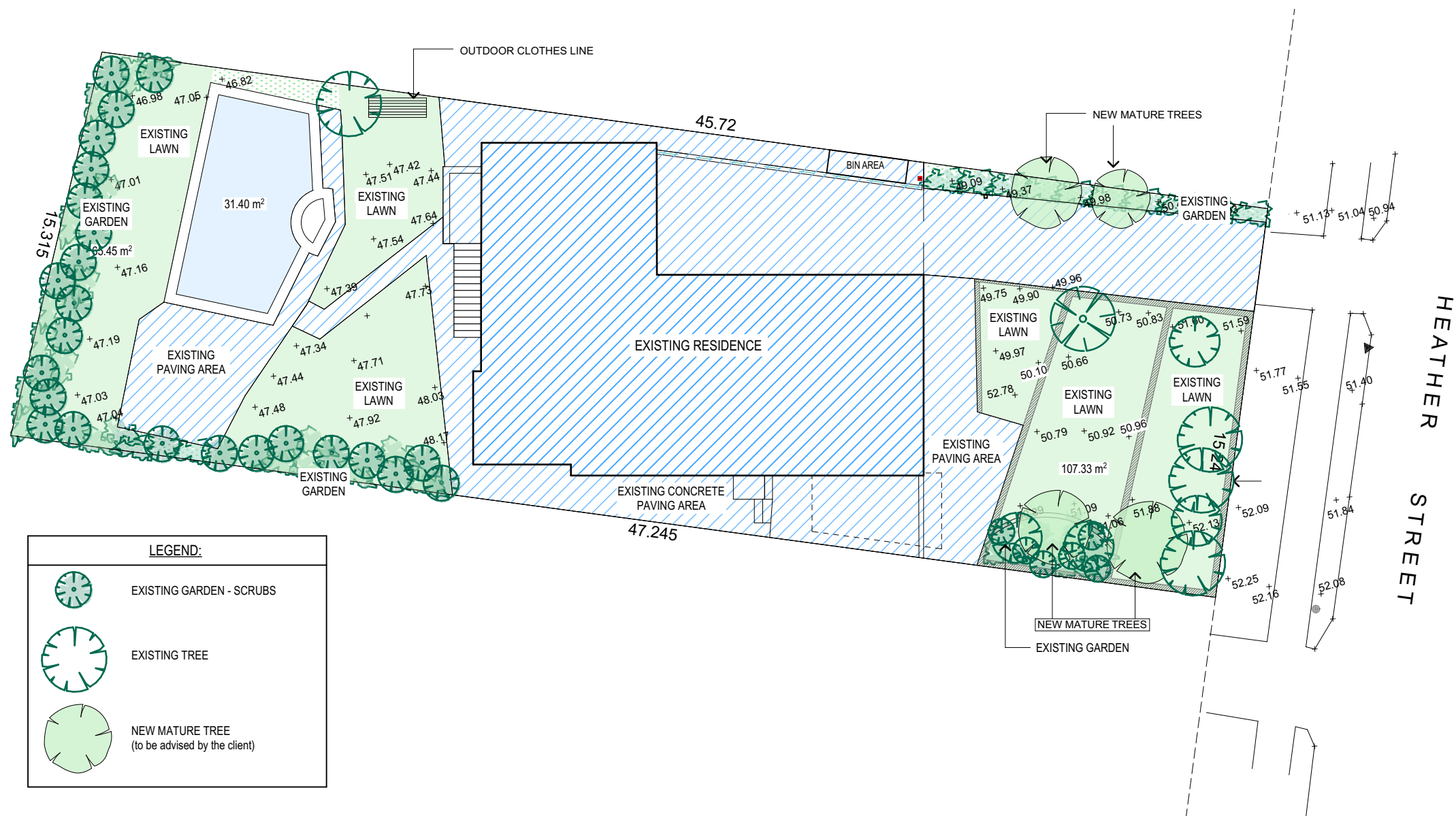
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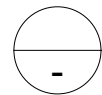
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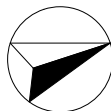
LEGEND:	
	EXISTING GARDEN - SCRUBS
	EXISTING TREE
	NEW MATURE TREE (to be advised by the client)



## LANDSCAPE OPEN SPACE CALCULATION & LANDSCAPE CONCEPT PLAN

CALCULATIONS			
SITE AREA			701.90m²
LANDSCAPE CONTROL		40%	280.76m²
EXISTING LANDSCAPED AREA		40.10%	281.50m²
*PERMEABLE AREA NOT COUNTED			
TOTAL NEW LANDSCAPED AREA (NO CHANGE)		40.10%	281.50m²
EXISTING HARD SURFACE AREA		44.50%	312.40m²
TOTAL NEW HARD SURFACE AREA (NO CHANGE)		44.50%	312.40m²

TRUE NORTH:



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PROPOSED ALTERATIONS AND ADDITIONS  
39 HEATHER ST - WHEELER HEIGHTS

### DRAWING TITLE:

LANDSCAPED AREA CALCULATION PLAN

DATE:

NOVEMBER/19

DRAWN BY:

LB

SCALE:

1:200 @ A3

JOB No:

757/19

CHECKED BY:

JJ

DRAWING No:

**DA.16**

NOTES:

DESIGNATED SITE MANAGER/BUILDER

PRIOR TO COMMENCEMENT OF WORK A SITE MANAGER OR BUILDER MUST BE NOMINATED. THE SITE MANAGER OR BUILDER WILL BE RESPONSIBLE AND LIABLE FOR ALL WORKS CARRIED OUT ON THE SITE. THIS ASSUMES THE RESPONSIBILITY FOR THE ACTIONS OF ALL SUBCONTRACTED PARTIES AS WELL AS ADVISING THEM OF COUNCIL'S REQUIREMENTS WHEN CARRYING OUT WORKS.

TOPSOIL MANAGEMENT

PRIOR TO THE STRIPPING OF TOPSOIL, THE VEGETATIVE COVER MUST BE REDUCED BY EITHER SLASHING OR MOWING. ALL TOPSOIL IS TO BE RETAINED AND PROTECTED FOR REUSE ON SITE. SOIL STOCKPILES MUST NOT BE LOCATED ON NATURE STRIPS, FOOTPATHS, ROADWAYS, KERBS, ACCESSWAYS, WITHIN DRAINAGE LINES/FLOWS/PATHS OR AROUND OR AGAINST TREE SHRUBS. SEDIMENT CONTROL MEASURES MUST BE INCORPORATED WITH ANY RESULTING STOCKPILE. THE STOCKPILE CAN BE PROTECTED FROM EROSION BY COVERING IT WITH AN IMPERVIOUS MATERIAL, IN CONJUNCTION WITH THE INSTALLATION OF A SEDIMENT FENCE AROUND IT. IF STOCKPILES ARE TO REMAIN FOR MORE THAN ONE MONTH THEY ARE TO BE GRASSED IMMEDIATELY AND STABILISED WITHIN FOURTEEN DAYS. SURPLUS TOPSOIL MUST BE REASONABLY REMOVED FROM SITE.

BUILDING MATERIAL STOCKPILING

SUFFICIENT AREA MUST BE ALLOCATED WITHIN THE SITE FOR SUCH STORAGE OF BUILDING MATERIALS, DEMOLITION WASTE, WASTE CONTAINERS, ETC. AS WILL BE REQUIRED.

SEDIMENT FENCES

A SEDIMENT FENCE SHOULD BE LOCATED ALONG THE DOWNSLOPE BOUNDARY (S) OF THE SITE, ON THE CONSTRUCTION SIDE OF THE TURF FILTER STRIP OR NATIVE VEGETATION, AND AROUND ALL STOCKPILES OF MATERIAL ON THE SITE.

DUST CONTROL

ALL TRUCKS/UTES MUST COVER THEIR LOADS AT ALL TIMES. APPROPRIATE METHODS ARE TO BE EMPLOYED TO PREVENT BLOWING DUST CREATING AN UNACCEPTABLE HAZARD OR NUISANCE ON THE SITE OR DOWN WIND. PRODUCTION OF DUST CAN BE MINIMISED BY LIMITING AREA OF EARTHWORKS, WATERING AND PROGRESSIVE VEGETATION. WHERE DUST IS CREATED AS A RESULT WORKS AND/OR SOIL EXPOSURE, THE BARE SOIL AREAS MUST BE WATERED, DURING AND/OR AT THE END OF EACH DAY TO LAY THE DUST. EARTH MOVING ACTIVITIES SHOULD BE AVOIDED WHERE WINDS ARE SUFFICIENTLY STRONG ENOUGH TO RAISE VISIBLE DUST.

EROSION & SEDIMENT CONTROLS

APPROPRIATE EROSION AND SEDIMENT CONTROLS MUST BE IMPLEMENTED ON ALL SITES THAT INVOLVE SOIL DISTURBANCE. THE MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF WORK. THOSE CONTROLS ARE TO BE MONITORED AND MAINTAINED IN ORDER TO SERVE THEIR INTENDED FUNCTION FOR THE DURATION OF THE WORKS OR UNTIL SUCH TIME AS THE SITE IS FULLY STABILISED. IF ANY CONTROLS ARE DAMAGED OR BECOME INEFFECTIVE DURING THE COURSE OF THE WORKS THEY ARE TO BE REINSTATED OR REPLACED IMMEDIATELY. SUFFICIENT ACCESS TO THESE CONTROLS MUST BE PROVIDED IN CASE OF THE NEED TO REPAIR.

SEDIMENT TRAPS

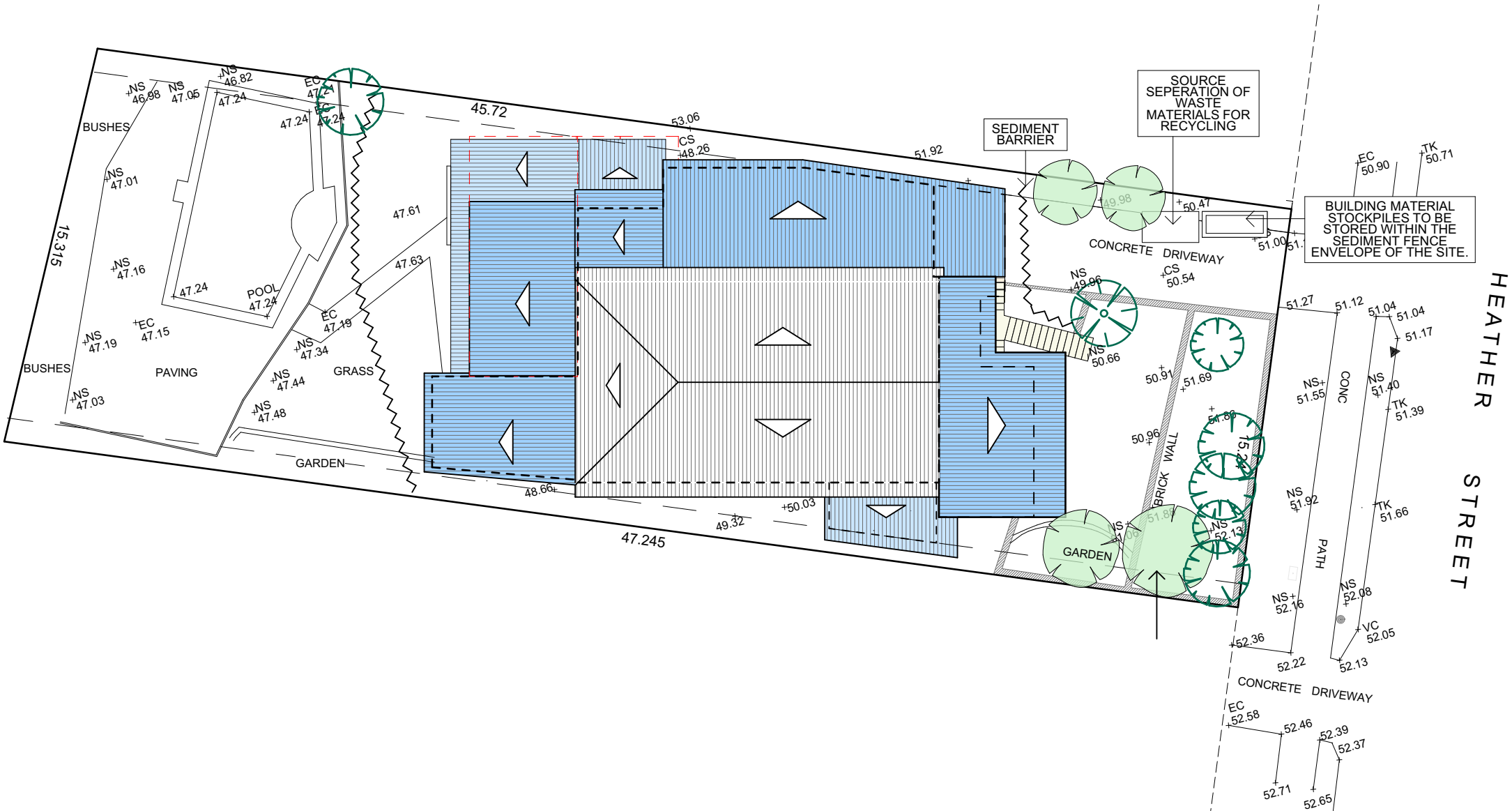
WHERE A SEDIMENT FENCE IS NOT USED APPROPRIATE SEDIMENT TRAPS SHOULD BE LOCATED AT ALL POINTS WHERE STORMWATER LEAVES THE CONSTRUCTION SITE OR LEAVES THE GUTTER AND ENTERS THE DRAINAGE SYSTEM. A COMMON TECHNIQUE IS THE GRAVEL SAUSAGE.

DIVERSION CHANNELS

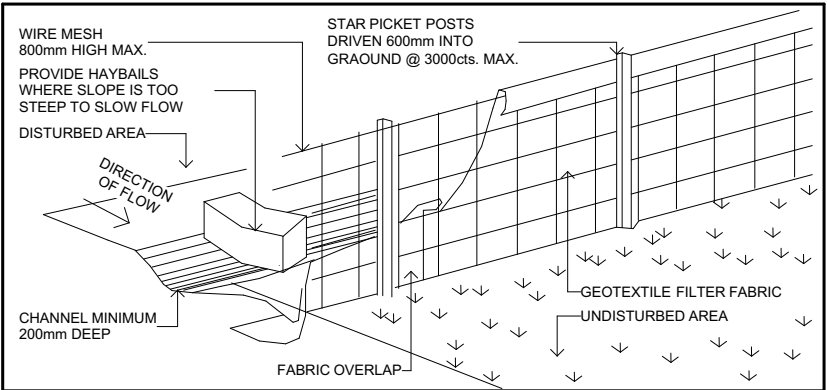
A DIVERSION CHANNEL IS AN EXCAVATED EARTH DITCH OR PATH. THESE STRUCTURES ARE USED TO INTERCEPT AND DIRECT RUN-OFF TO A DESIRED LOCATION WHERE POSSIBLE. ALL STORMWATER RUN-OFF FLOWING ONTO DISTURBED AREAS, INCLUDING STOCKPILES, MUST BE INTERCEPTED, DIVERTED AND/OR SAFELY DISPOSED OF. THIS CAN BE ACHIEVED BY CONSTRUCTING A TEMPORARY EARTH BANK AROUND THE UPSLOPE EXTENT OF THE CONSTRUCTION SITE WHERE THE DIVERSION DOES NOT AFFECT THE NEIGHBOURING PROPERTIES.

VEHICLE MOVEMENTS

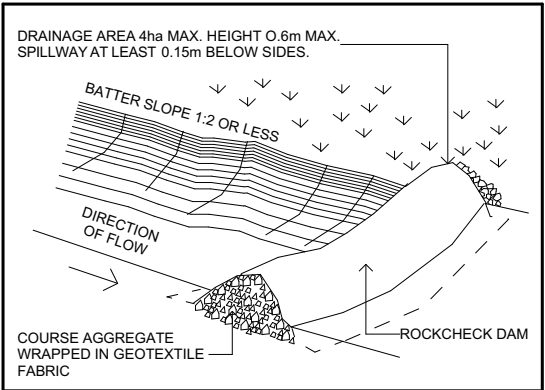
TO LIMIT DISTURBANCE TO THE SITE AND TRACKING OF MATERIAL ONTO THE STREET ALL VEHICLES AND PLANT EQUIPMENT ARE TO USE A SINGLE ENTRY/EXIT POINT UNLESS COUNCIL HAS APPROVED ALTERNATIVE ARRANGEMENTS. ACCESS POINTS AND PARKING AREAS ARE TO BE STABILISED WITH COMPACTED SUB-GRADE ASAP AFTER THEIR FORMATION. IF SPILLAGE DOES OCCUR IT IS TO BE CONTAINED IMMEDIATELY AND CAREFULLY REMOVED. THE AREA AFFECTED IS TO BE RESTORED TO A STANDARD EQUAL TO OR BETTER THAN ITS PREVIOUS CONDITION. ALL VEHICLES ARE TO BE WASHED PRIOR TO EXISTING THE SITE. THIS SERVES THE PURPOSE OF REMOVING SITE MATERIAL ON THE VEHICLE AND PREVENTS IT FROM BEING DEPOSITED ON THE ROAD NETWORK ADJACENT TO THE SITE AND THUS, THE STORMWATER SYSTEM. NO VEHICLE ASSOCIATED WITH THE WORK IS TO BE PARKED ON A FOOTPATH OR PUBLIC RESERVE. ALL VEHICLES VISITING THE SITE DURING DEMOLITION, EXCAVATION AND/OR CONSTRUCTION WORKS, ARE TO COMPLY WITH THE PARKING REQUIREMENTS IN THAT AREA.



EROSION & SEDIMENT CONTROL/WASTE MANAGEMENT

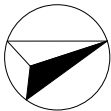


TYPICAL SEDIMENT FENCE - nts



TYPICAL DIVERSION CHANNEL - nts

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39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:  
EROSION & SEDIMENT CONTROL / WASTE MANAGEMENT  
PLAN

DATE:  
NOVEMBER/19

JOB No:  
757/19

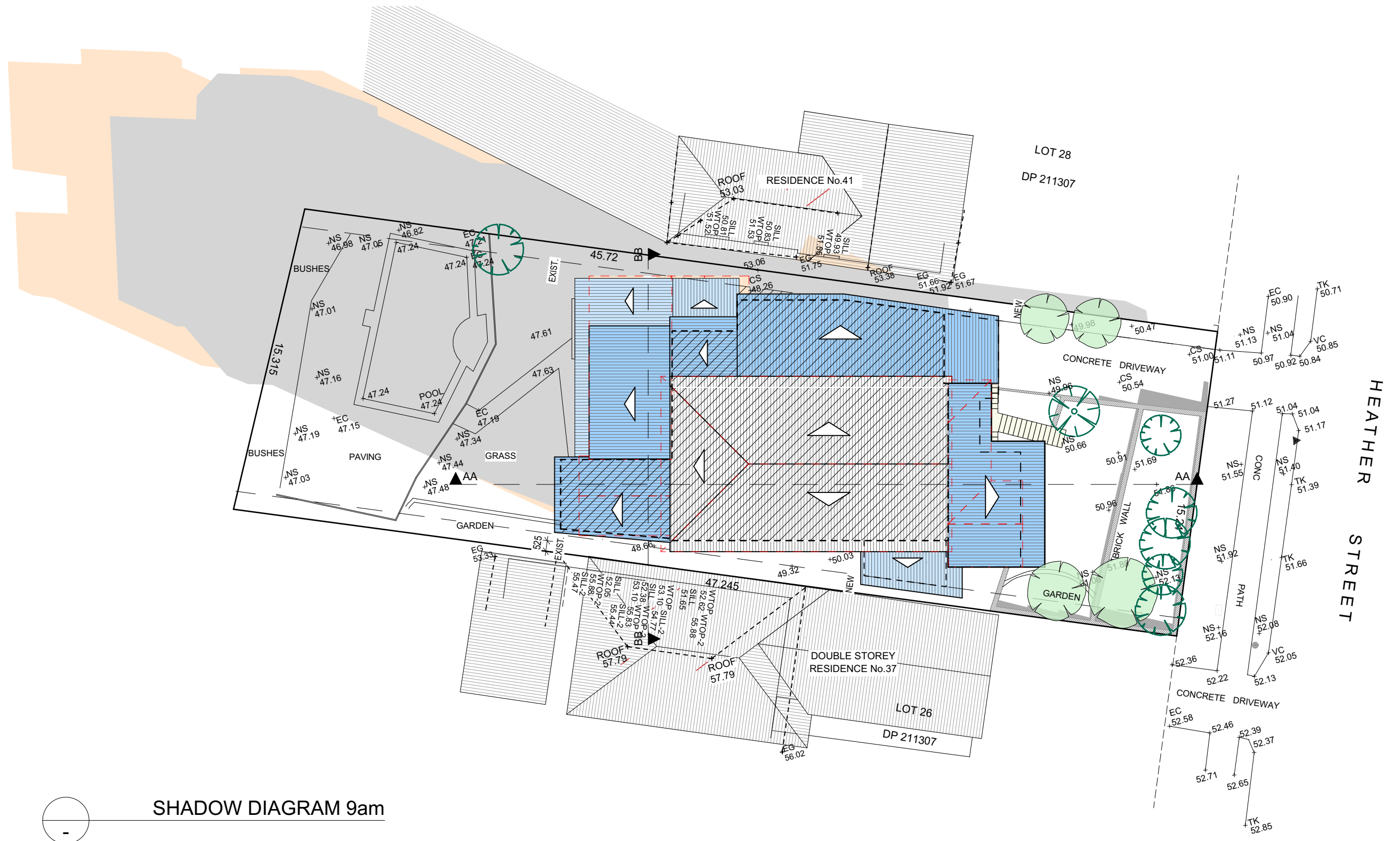
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LB

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DRAWING No:  
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SHADOW DIAGRAM 9am

SHADOW DIAGRAM LEGEND

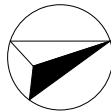
EXISTING SHADOWS



NEW SHADOWS



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SHADOW DIAGRAM 0900

DATE:  
NOVEMBER/19

JOB No:  
757/19

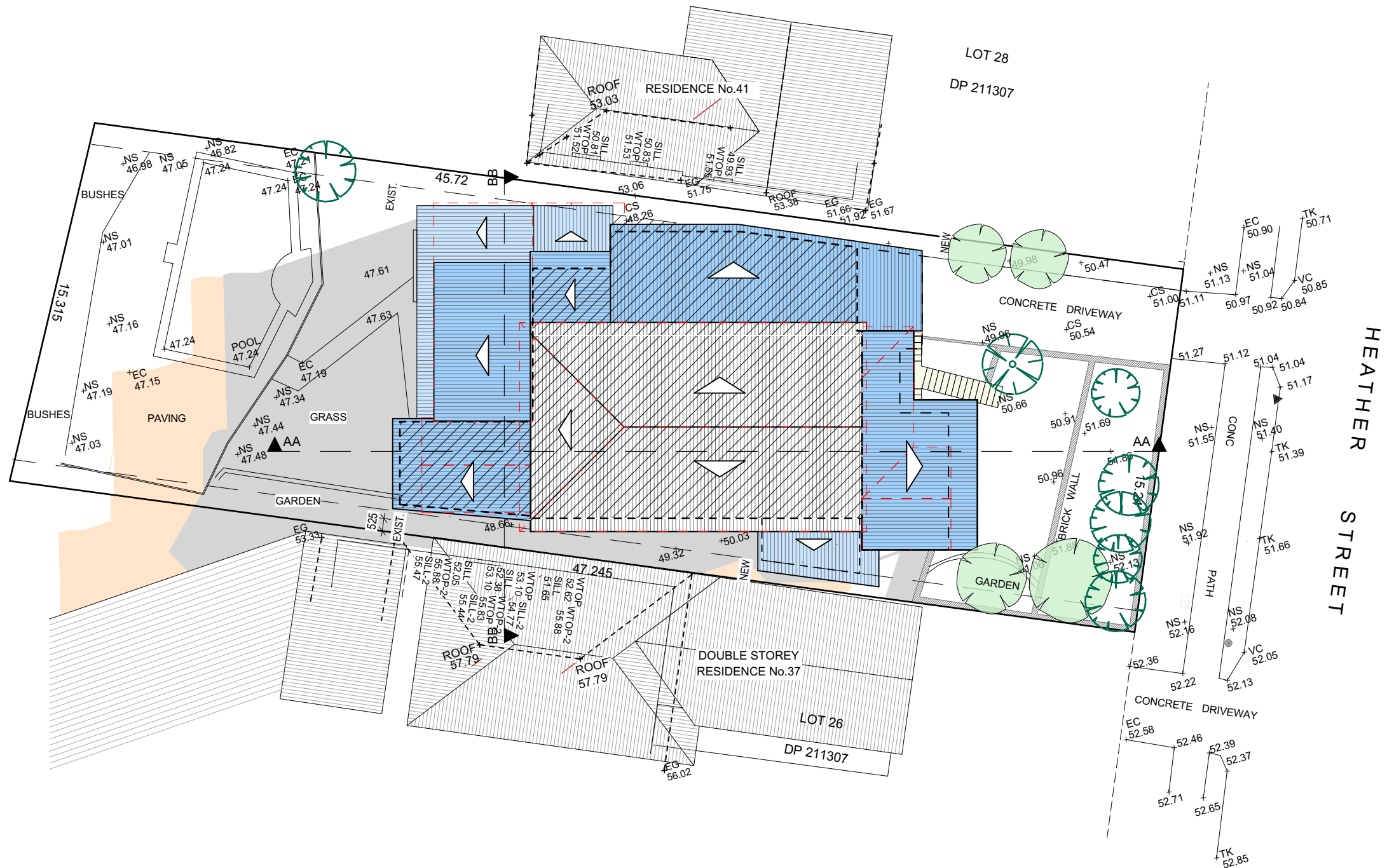
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JJ

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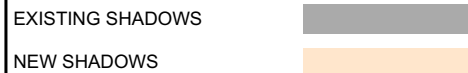
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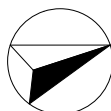


SHADOW DIAGRAM 12noon

SHADOW DIAGRAM LEGEND



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DRAWING TITLE:

SHADOW DIAGRAM 1200

DATE:

NOVEMBER/19

DRAWN BY:

LB

SCALE:

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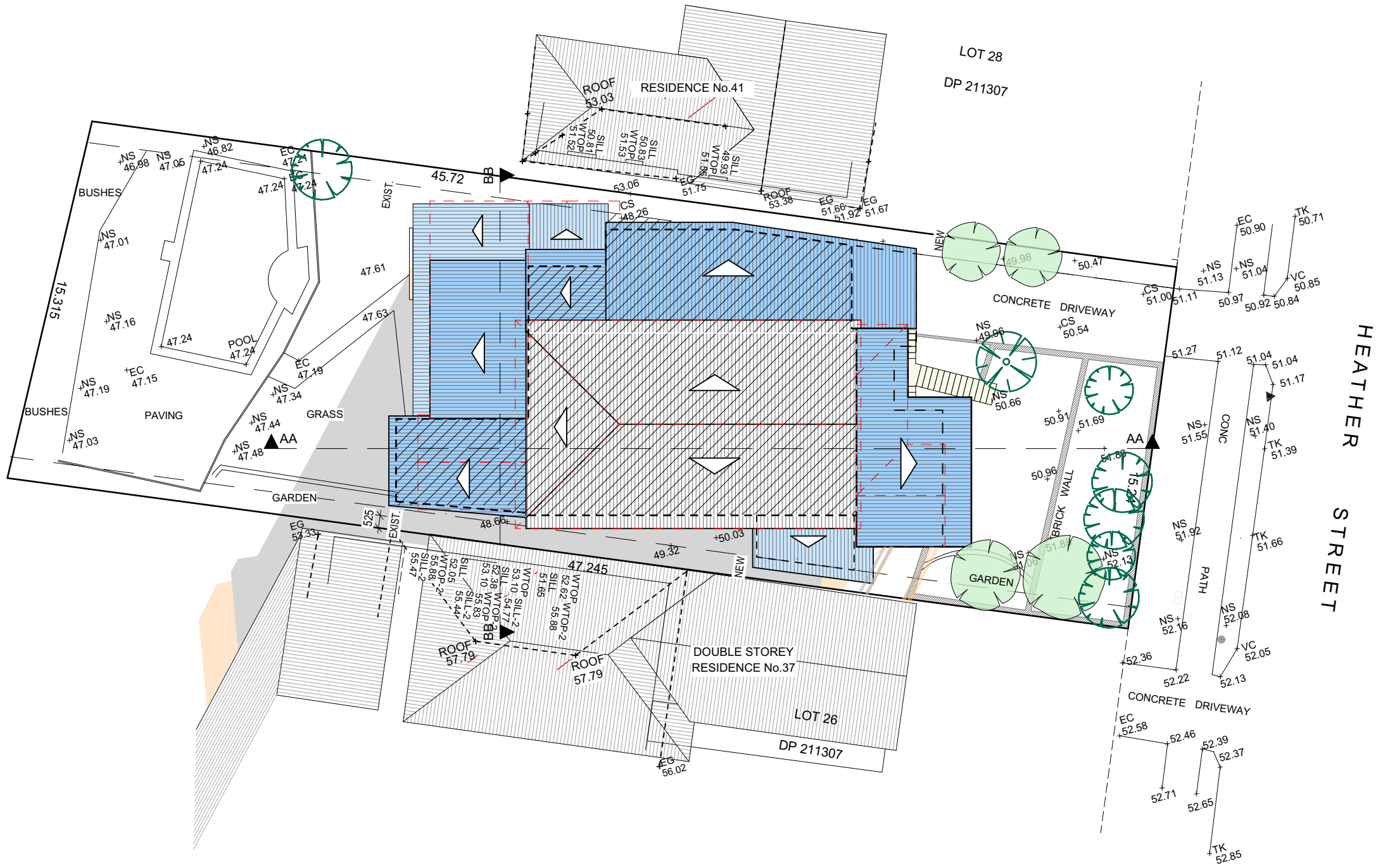
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JJ

DRAWING No:

**DA.19**



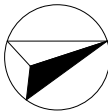
SHADOW DIAGRAM 3pm

SHADOW DIAGRAM LEGEND

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NEW SHADOWS

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SHADOW DIAGRAM 1500

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NOVEMBER/19

DRAWN BY:

LB

SCALE:

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JOB No:

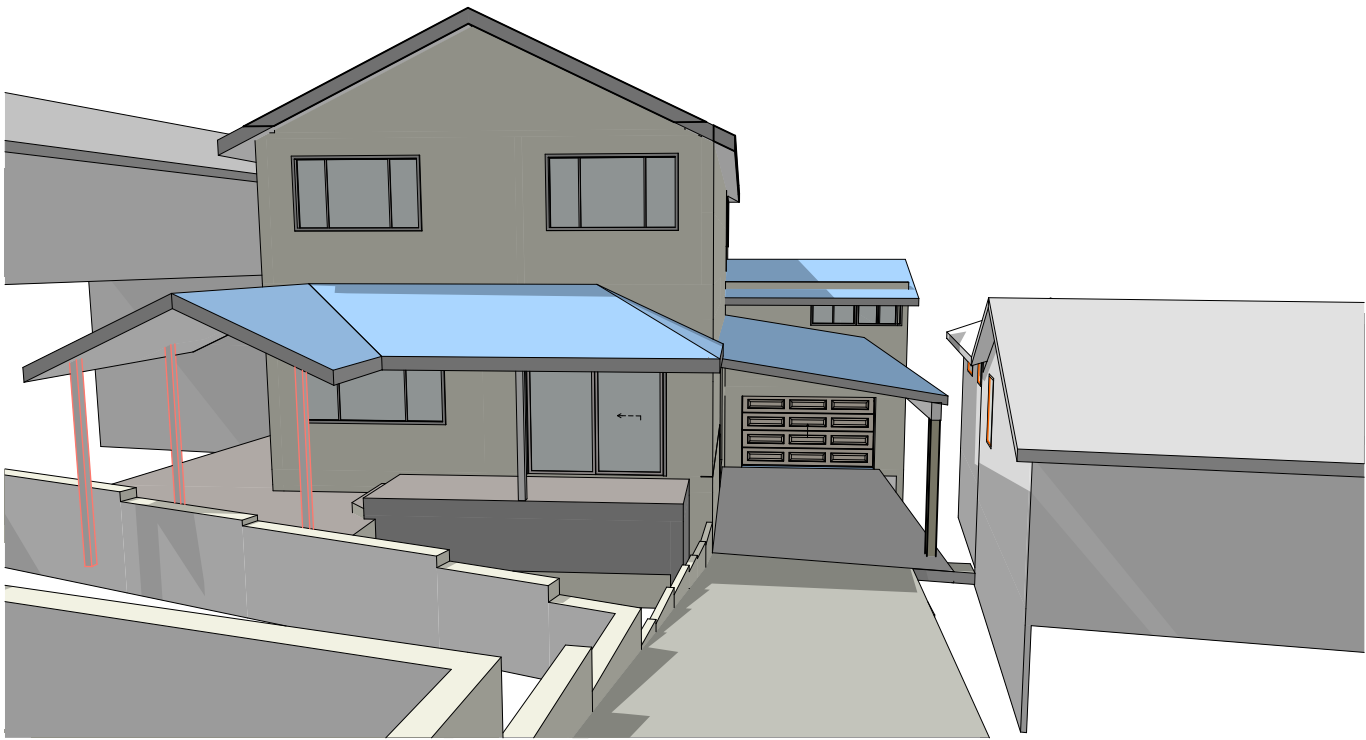
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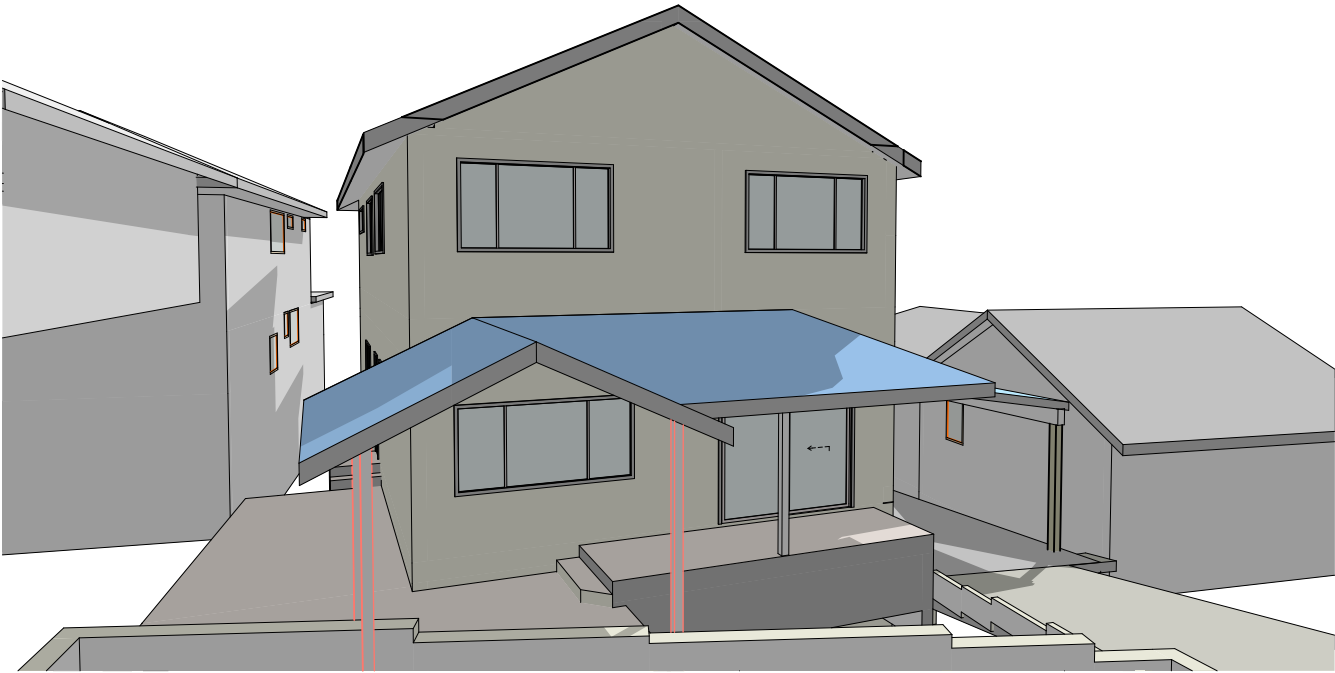
JJ

DRAWING No:

DA.20



JUNE 21\_9am EXIST. ELEVATION SHADOW DIAGRAM



JUNE 21\_3pm EXIST. ELEVATION SHADOW DIAGRAM



JUNE 21\_9AM NEW ELEVATION SHADOW DIAGRAM



JUNE 21\_3pm NEW ELEVATION SHADOW DIAGRAM

NOTES:

- All structures including stormwater & drainage to engineer's details.
- Do not obtain dimensions by scaling drawings.
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*JJ Drafting*

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[www.jjdrafting.com.au](http://www.jjdrafting.com.au)

REV:	DATE:	DESCRIPTION:
B	04.08.20	AMENDMENTS
C	10.08.20	AMENDMENTS
D	12.08.20	FRONT ENSUITE ROOF AMENDED
E	18.08.20	FRONT ENSUITE ROOF AMENDED
F	20.08.20	CLIENT AMENDMENTS
E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING

PROJECT DETAILS:  
PROPOSED ALTERATIONS AND ADDITIONS  
39 HEATHER ST - WHEELER HEIGHTS

DRAWING TITLE:  
SHADOW ELEVATION DIAGRAM 9AM

DATE:  
NOVEMBER/19

JOB No:  
757/19

DRAWN BY:  
LB

CHECKED BY:  
JJ

NO SCALE

DRAWING No:  
**DA.21**





8.5m BUILDING ENVELOPE CUT PLAN\_TOP VIEW



8.5m BUILDING ENVELOPE CUT PLAN\_RIGH SIDE FRONT VIEW



8.5m BUILDING ENVELOPE CUT PLAN\_LEFT SIDE FRONT VIEW



8.5m BUILDING ENVELOPE CUT PLAN\_BACK VIEW

	<div>NOTES:</div> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a></div> <div><a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a></div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>B</td><td>04.08.20</td><td>AMENDMENTS</td></tr><tr><td>C</td><td>10.08.20</td><td>AMENDMENTS</td></tr><tr><td>D</td><td>12.08.20</td><td>FRONT ENSUITE ROOF AMENDED</td></tr><tr><td>E</td><td>18.08.20</td><td>FRONT ENSUITE ROOF AMENDED</td></tr><tr><td>F</td><td>20.08.20</td><td>CLIENT AMENDMENTS</td></tr><tr><td>E</td><td>27.08.20</td><td>AMENDMENTS AS PER COUNCIL MEETING</td></tr></table>	REV:	DATE:	DESCRIPTION:	B	04.08.20	AMENDMENTS	C	10.08.20	AMENDMENTS	D	12.08.20	FRONT ENSUITE ROOF AMENDED	E	18.08.20	FRONT ENSUITE ROOF AMENDED	F	20.08.20	CLIENT AMENDMENTS	E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING	<div>PROJECT DETAILS:</div> <div>PROPOSED ALTERATIONS AND ADDITIONS</div> <div>39 HEATHER ST - WHEELER HEIGHTS</div>	<div>DATE:</div> <div>NOVEMBER/19</div>	<div>DRAWN BY:</div> <div>LB</div>	<div>SCALE:</div> <div>@ A3</div>
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E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING																										
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3D PERSPECTIVES



3D PERSPECTIVES





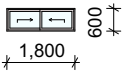


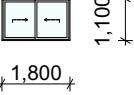
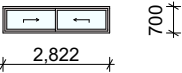
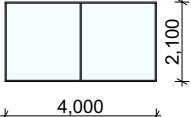
3D PERSPECTIVES

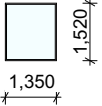
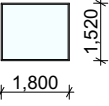
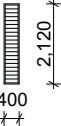


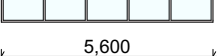
	<div>NOTES:</div> <ul style="list-style-type: none"><li>• All structures including stormwater &amp; drainage to engineer's details.</li><li>• Do not obtain dimensions by scaling drawings.</li><li>• All dimensions are to be checked on site prior to starting work.</li><li>• These drawings are to be read in conjunction with all other consultant's drawings and specifications.</li><li>• All workmanship &amp; materials shall be in accordance with the requirements of current editions including amendments of the relevant SAA Codes of Practice, the Building Code of Australia and local council requirements.</li><li>• New materials are to be used throughout unless otherwise noted.</li><li>• Concrete footings, slab, structural beams or any other structural members are to be designed by a practicing engineer.</li></ul>	<div>JJ Drafting</div> <div>174 Garden St, North Narrabeen, NSW, 2101</div> <div>PO Box 687, Dee Why, NSW, 2099</div> <div>Mob. 0414 717 541</div> <div>Email. <a href="mailto:jjdraft@tpg.com.au">jjdraft@tpg.com.au</a></div> <div><a href="http://www.jjdrafting.com.au">www.jjdrafting.com.au</a></div>	<table><tr><th>REV:</th><th>DATE:</th><th>DESCRIPTION:</th></tr><tr><td>B</td><td>04.08.20</td><td>AMENDMENTS</td></tr><tr><td>C</td><td>10.08.20</td><td>AMENDMENTS</td></tr><tr><td>D</td><td>12.08.20</td><td>FRONT ENSUITE ROOF AMENDED</td></tr><tr><td>E</td><td>18.08.20</td><td>FRONT ENSUITE ROOF AMENDED</td></tr><tr><td>F</td><td>20.08.20</td><td>CLIENT AMENDMENTS</td></tr><tr><td>E</td><td>27.08.20</td><td>AMENDMENTS AS PER COUNCIL MEETING</td></tr></table>	REV:	DATE:	DESCRIPTION:	B	04.08.20	AMENDMENTS	C	10.08.20	AMENDMENTS	D	12.08.20	FRONT ENSUITE ROOF AMENDED	E	18.08.20	FRONT ENSUITE ROOF AMENDED	F	20.08.20	CLIENT AMENDMENTS	E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING	<table><tr><td>PROJECT DETAILS:</td></tr><tr><td>PROPOSED ALTERATIONS AND ADDITIONS</td></tr><tr><td>39 HEATHER ST - WHEELER HEIGHTS</td></tr></table>	PROJECT DETAILS:	PROPOSED ALTERATIONS AND ADDITIONS	39 HEATHER ST - WHEELER HEIGHTS	<table><tr><td>DATE:</td></tr><tr><td>NOVEMBER/19</td></tr></table>	DATE:	NOVEMBER/19	<table><tr><td>DRAWN BY:</td></tr><tr><td>LB</td></tr></table>	DRAWN BY:	LB	<table><tr><td>SCALE:</td></tr><tr><td>@ A3</td></tr></table>	SCALE:	@ A3
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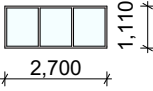
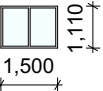

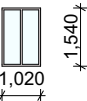


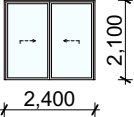
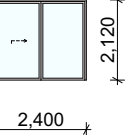

3D PERSPECTIVES

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			<div>F20.08.20CLIENT AMENDMENTS</div>				
			<div>E27.08.20AMENDMENTS AS PER COUNCIL MEETING</div>				

LABEL ID	02	03	05	07	09	11
ELEVATION						
LOCATION	GROUND FLOOR - ENSUITE	GROUND FLOOR - ENSUITE	FIRST FLOOR - BATHROOM	FIRST FLOOR - BEDROOM 3	FIRST FLOOR - OFFICE	FIRST FLOOR - ENSUITE
TYPE	SLIDING WINDOW	AWNING WINDOW	AWNING WINDOW	SLIDING WINDOW	SLIDING WINDOW	FIXED GLASS
GLAZING AND FRAME MATERIAL	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)

LABEL ID	12	13	14	15	16	17
ELEVATION						
LOCATION	FIRST FLOOR - ENSUITE	FIRST FLOOR - ENSUITE	FIRST FLOOR - ENSUITE	FIRST FLOOR - ENSUITE	FIRST FLOOR - ENSUITE	FIRST FLOOR - INTERNAL STAIR
TYPE	EXISTING WINDOW RE-USED	EXISTING WINDOW RE-USED	LOUVRE WINDOW	EXISTING WINDOW RE-USED	SLIDING WINDOW	FIXED GLASS
GLAZING AND FRAME MATERIAL	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE PYROLYTIC LOW-E, (or U-value: 5.7, SHGC: 0.47)

LABEL ID	E18	E19	E20	E21
ELEVATION				
LOCATION	FIRST FLOOR - ENSUITE	FIRST FLOOR - SITTING ROOM	FIRST FLOOR - BATHROOM	FIRST FLOOR - BEDROOM 4
TYPE	EXISTING WINDOW RE-USED	EXISTING WINDOW RE-USED	EXISTING WINDOW RE-USED	EXISTING WINDOW RE-USED
GLAZING AND FRAME MATERIAL	EXISTING GLAZING * External adjustable louvres as per basix	EXISTING GLAZING * External adjustable louvres as per basix	EXISTING GLAZING * External adjustable louvres as per basix	EXISTING GLAZING * External adjustable louvres as per basix

LABEL ID	06	08	10
ELEVATION			
LOCATION	FIRST FLOOR - STUDYSITTING ROOM	FIRST FLOOR - SITTING ROOM	FIRST FLOOR - OFFICE
TYPE	SLIDING DOOR	SLIDING DOOR	SLIDING DOOR
GLAZING / FRAME MATERIAL	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)	STANDARD ALUMINIUM, SINGLE CLEAR, (or U-value: 7.63, SHGC: 0.75)

-

DOOR LIST

-

WINDOW LIST

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E	18.08.20	FRONT ENSUITE ROOF AMENDED
F	20.08.20	CLIENT AMENDMENTS
E	27.08.20	AMENDMENTS AS PER COUNCIL MEETING

PROJECT DETAILS: PROPOSED ALTERATIONS AND ADDITIONS 39 HEATHER ST - WHEELER HEIGHTS	DRAWING TITLE: WINDOW AND DOOR SCHEDULE
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DATE: NOVEMBER/19	DRAWN BY: LB	SCALE: 1:1 @ A3
JOB No: 757/19	CHECKED BY: JJ	DRAWING No: DA.26