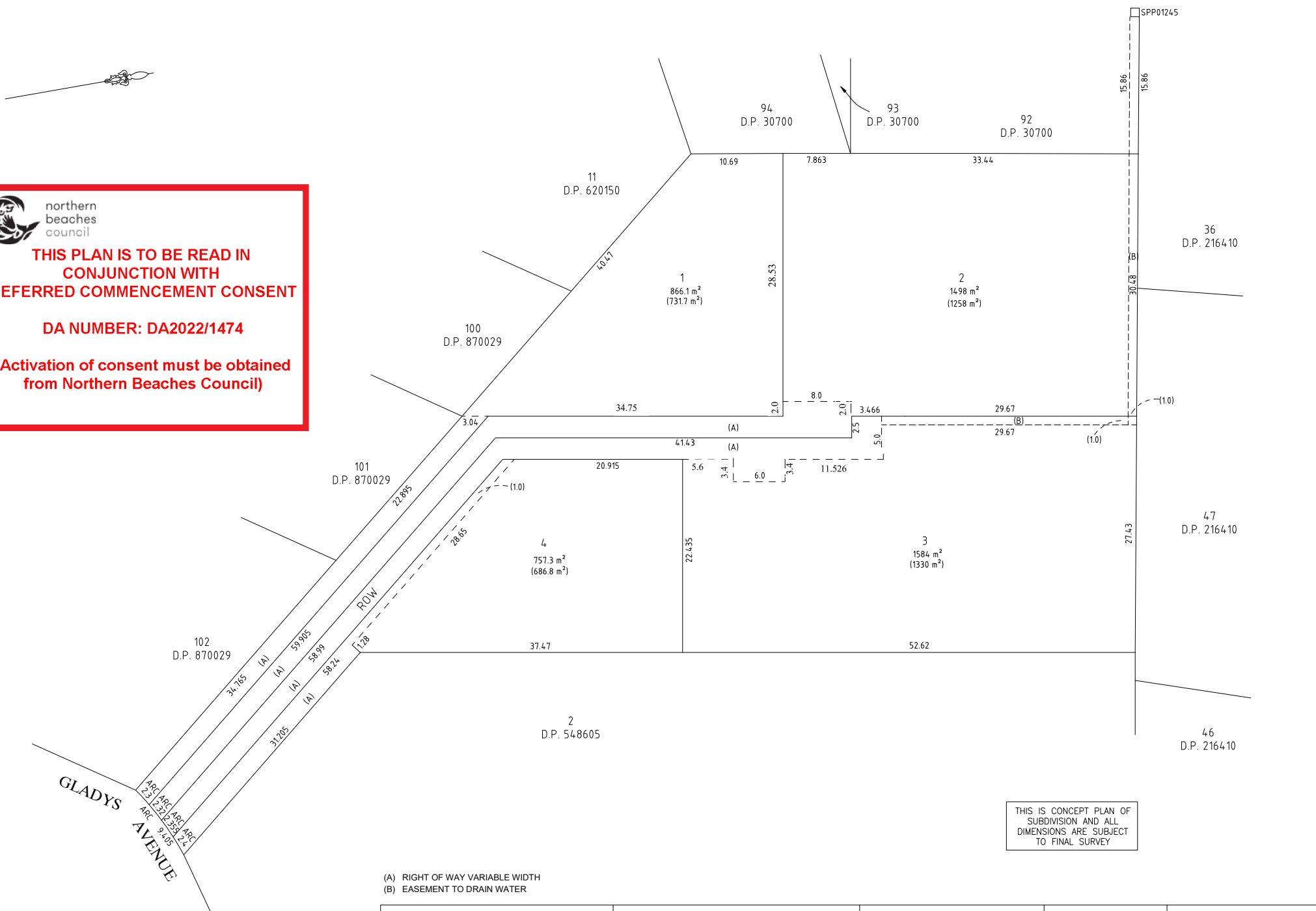


 northern beaches council

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1474

(Activation of consent must be obtained from Northern Beaches Council)



THIS IS CONCEPT PLAN OF SUBDIVISION AND ALL DIMENSIONS ARE SUBJECT TO FINAL SURVEY

SUBDIVISION CONCEPT PLAN
SHEET: 1 OF 1

Surveyor : SIMON PAK YAN HO
Date of Survey :
Surveyor's Ref : 2611
Date : 16-06-2023

PLAN OF SUBDIVISION OF LOT A & LOT B IN D.P. 393276

LGA: WARRINGAH
Locality : FRENCHS FOREST
Subdivision No:
Lengths are in metres. Reduction Ratio 1:250

Registered

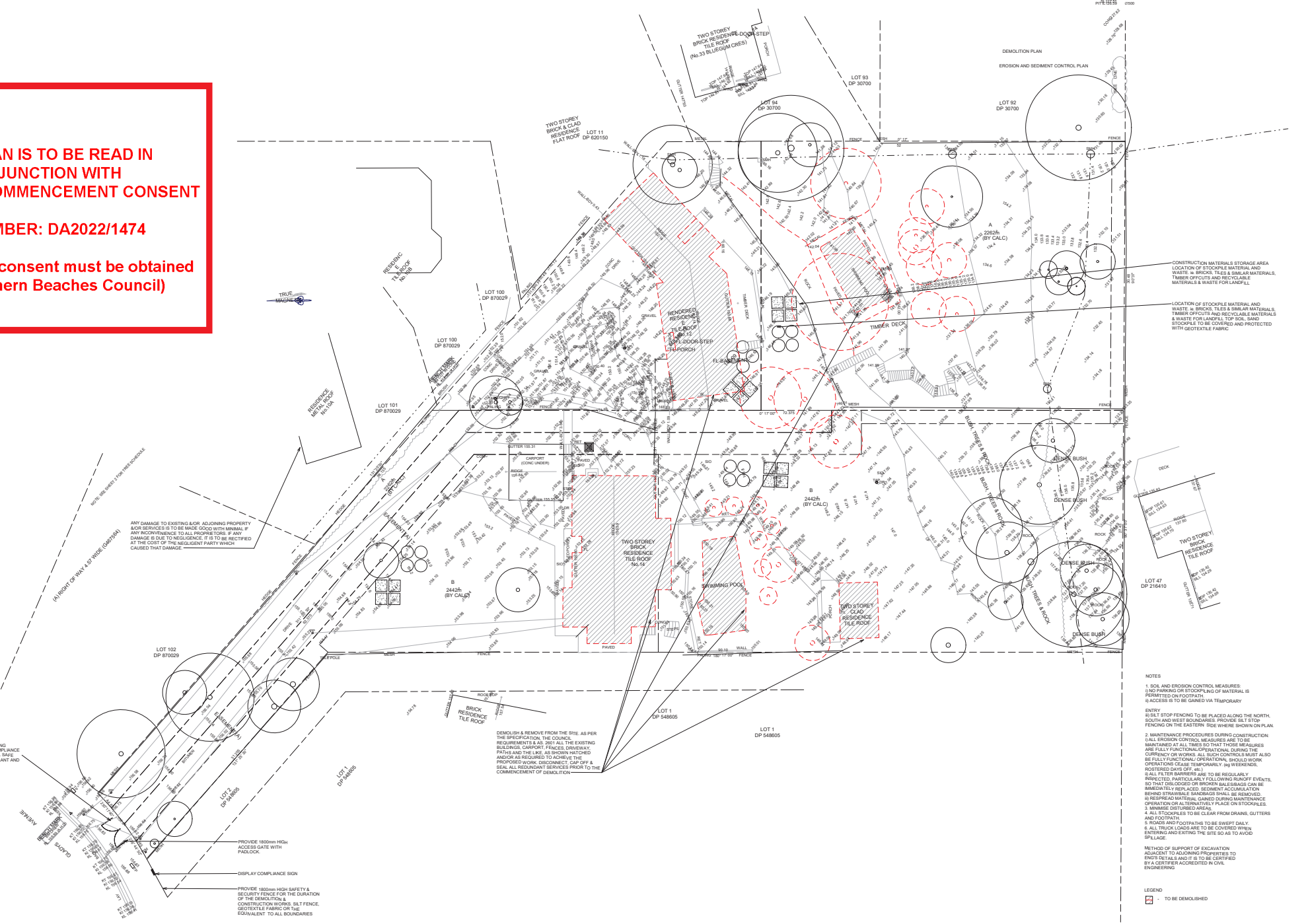
DP DRAFT
Rev. 1

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DA NUMBER: DA2022/1474

(Activation of consent must be obtained from Northern Beaches Council)



DEMOLITION PLAN
1 : 200

ANY DAMAGE TO EXISTING &/OR ADJOINING PROPERTY &/OR SERVICES IS TO BE MADE GOOD WITH MINIMAL IF ANY INCONVENIENCE TO ALL PROPRIETORS IF ANY DAMAGE IS DUE TO NEGLIGENCE, IT IS TO BE RECTIFIED AT THE COST OF THE NEGLIGENT PARTY WHICH CAUSED THAT DAMAGE.

VEHICLES CARRYING LOOSE BUILDING MATERIALS TO BE COVERED IN COMPLIANCE WITH ROAD TRAFFIC REGULATIONS SAFE ACCESS FOR HEAVY EQUIPMENT PLANT AND MATERIALS DELIVERY.

PROVIDE 1800mm HIGH ACCESS GATE WITH PADLOCK.

DISPLAY COMPLIANCE SIGN.

PROVIDE 1800mm HIGH SAFETY & SECURITY FENCE FOR THE DURATION OF THE DEMOLITION & CONSTRUCTION WORKS. SILENT FENCE, GEOTEXTILE FABRIC OR THE EQUIVALENT TO ALL BOUNDARIES.

DEMOLISH & REMOVE FROM THE SITE, AS PER THE SPECIFICATION, THE COUNCIL REQUIREMENTS & AS 3881 ALL THE EXISTING BUILDINGS, CARPORT, FENCES, DRIVEWAY, PATHS AND TILES, AS SHOWN HATCHED THEREIN AS REQUIRED TO ACHIEVE THE PROPOSED WORK, DISCONNECT, CAP OFF & SEAL ALL RESIDUARY SERVICES PRIOR TO THE COMMENCEMENT OF DEMOLITION.

DEMOLITION PLAN
EROSION AND SEDIMENT CONTROL PLAN

CONSTRUCTION MATERIALS STORAGE AREA
LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC.

LOCATION OF STOCKPILE MATERIAL AND WASTE IN BRICKS, TILES & SIMILAR MATERIALS, TIMBER OFFCUTS AND RECYCLABLE MATERIALS TO BE COVERED AND PROTECTED WITH GEOTEXTILE FABRIC.

NOTES

1. SOIL AND EROSION CONTROL MEASURES
1.1 NO PARKING OR STOOPING OF MATERIAL IS PERMITTED ON FOOTPATH.
1.2 ACCESS IS TO BE GAINED VIA TEMPORARY ENTRY.

2. MAINTENANCE PROCEDURES DURING CONSTRUCTION
2.1 ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AT ALL TIMES SO THAT THESE MEASURES ARE FULLY FUNCTIONAL/OPERATIONAL DURING THE DURATION OF WORKS. ALL SUCH MEASURES MUST ALSO BE FULLY FUNCTIONAL/OPERATIONAL, SHOULD WORK OPERATORS BE ABLE TEMPORARILY, WINDSTOPS, ROSTERED DAYS OFF, etc.)
2.2 ALL FILTER BARRIERS ARE TO BE REGULARLY INSPECTED, PARTICULARLY FOLLOWING RAINFALL EVENTS, SO THAT DISLOOSED OR BROKEN SANDBAGS CAN BE BEHIND STRAW BALE SANDBAGS SHALL BE REMOVED.
2.3 MAINTENANCE CHANGING DURING MAINTENANCE OPERATION OR ALTERNATIVELY PLACE ON STOCKPILES.
2.4 ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
2.5 ROADS AND FOOTPATHS TO BE SWEEP DAILY.
2.6 ALL TRUCK LOADS ARE TO BE COVERED WHEN ENTERING AND EXITING THE SITE SO AS TO AVOID SPILLAGE.

METHOD OF SUPPORT OF EXCAVATION
ADJACENT TO ADJOINING PROPERTIES TO BE RETAINED AND IT IS TO BE CERTIFIED BY A CERTIFIER ACCREDITED IN CIVIL ENGINEERING.

LEGEND

□ - TO BE DEMOLISHED

REV	DATE	ISSUE	BY	CHKD	APP'D
01	03/05/22	A	ISSUE FOR CLIENT		
02	03/05/22	B	REVISED		
03	03/05/22	C	ISSUE FOR PRE-DA		
04	12/07/22	D	ISSUE FOR DA		

GENERAL NOTES

All dimensions are to be confirmed on site by the Subcontractor. Any discrepancies must be reported to the Designer before commencement of any work.
No dimensions are to be taken on the boundaries of buildings, structures or trees that have been taken from the Council's survey data. A survey must be carried out to verify the exact boundary location.
The construction method and sequence of a site survey conforming to the site boundaries has been completed. The Contractor is to ensure that the boundary is maintained and that construction is carried out in accordance with the site boundaries.
In the event of any discrepancy, the Contractor is to advise the Designer immediately. The Designer will be notified by the Designer's representative.
All construction is to be carried out in accordance with the Australian Standards, the Council's Engineering Standards, the Building Code of Australia and any other relevant standards.
If a task other than demolition is allowed without written permission from the Designer, the Contractor must be notified in writing and the Designer's representative must be notified.
All construction is to be carried out in accordance with the Australian Standards, the Council's Engineering Standards, the Building Code of Australia and any other relevant standards.
All construction is to be carried out in accordance with the Australian Standards, the Council's Engineering Standards, the Building Code of Australia and any other relevant standards.
All construction is to be carried out in accordance with the Australian Standards, the Council's Engineering Standards, the Building Code of Australia and any other relevant standards.

PROJECT: 6/7 French Street, Manly NSW 1510
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS.
PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT 12-14 GLADYS AVENUE, FRENCH FOREST, NSW, 2086

Client: JACK ZHANG

Scale: 1:200

Sheet: 1 of 1

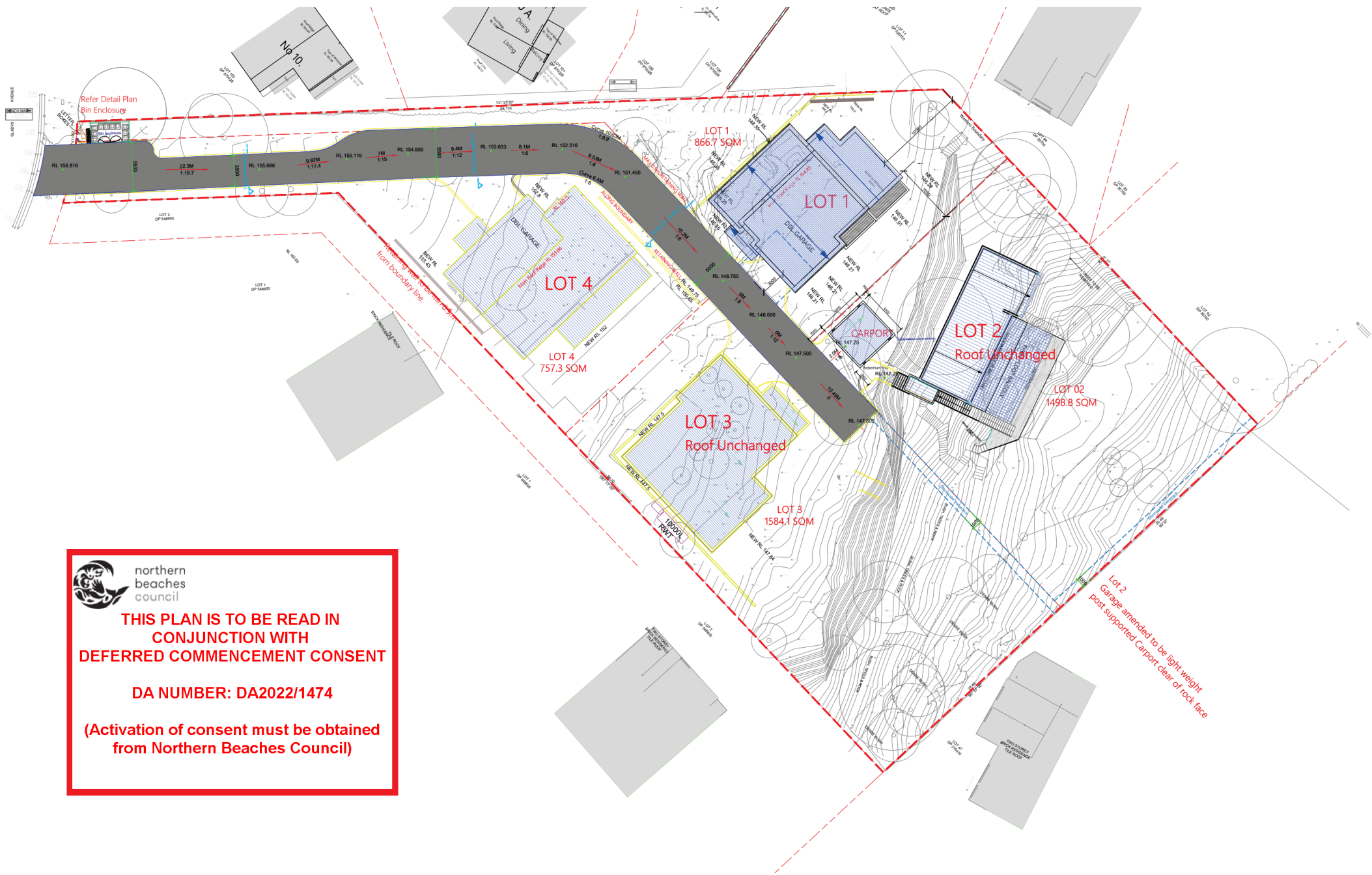
bdca
BUILDING DESIGNER

6/7 French Street, Manly NSW 1510
www.bdca.com.au
02 9393 1977
02 9393 2055
02 9393 2056

Scale: 1:200


JK
DESIGNS

Scale: 1:200




northern beaches council
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2022/1474
(Activation of consent must be obtained from Northern Beaches Council)

VER.	DESCRIPTION	ISSUE DATE	DESIGNED	CHECKED/ APPROVED	
0	INITIAL RELEASE	11/08/2022	A. SHASH	O. OZGUR	
1	UPDATED PER CLIENT COMMENTS	27/06/2023	A. SHASH	O. OZGUR	

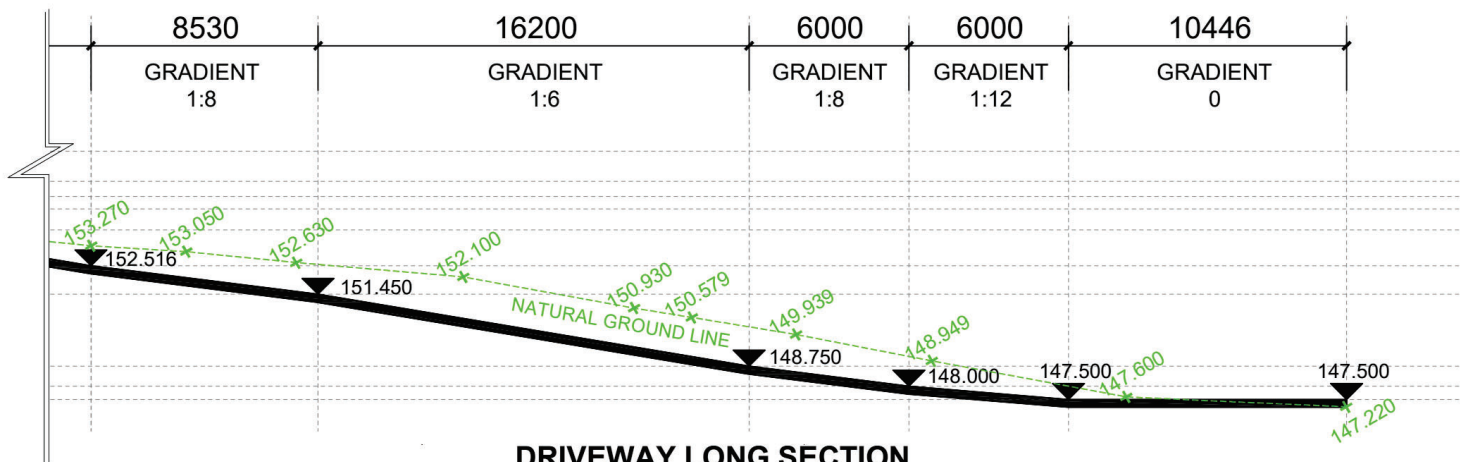
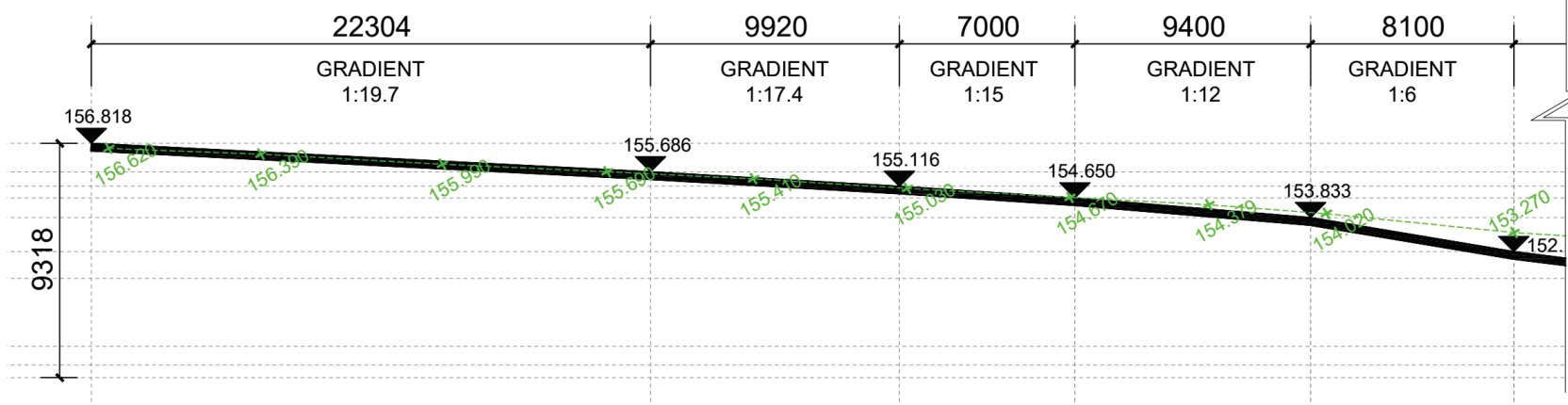

 THIS DOCUMENT IS PRODUCED BY THE TRAFFIC PLANS COMPANY PTY LTD SOLELY FOR THE BENEFIT OF AND USE BY THE CLIENT IN ACCORDANCE WITH THE TERMS OF THE RETAINER. THE TRAFFIC PLANS COMPANY PTY LTD DOES NOT AND SHALL NOT ASSUME ANY RESPONSIBILITY OR LIABILITY WHATSOEVER TO ANY THIRD PARTY ARISING OUT OF ANY USE OR RELIANCE BY THIRD PARTY ON THE CONTENT OF THIS DOCUMENT.

1. TRAFFIC MANAGEMENT PLAN SHOULD BE READ IN CONJUNCTION WITH AUSTRALIAN STANDARDS AS1742.3-2009 AND ROAD MANAGEMENT ACT 2004, CODE OF PRACTICE TO ENSURE CORRECT INSTALLATION OF TRAFFIC CONTROL DEVICES.
2. THE LOCATION OF ANY SIGNS SHOWN ON THE PLAN MAY BE VARIED SLIGHTLY DURING THE IMPLEMENTATION TO IMPROVE VISIBILITY AND EFFECTIVENESS. ANY ALTERATIONS MADE TO THIS PLAN MUST BE IN ACCORDANCE WITH AS 1742.3-2009 AND ROAD MANAGEMENT ACT 2004, CODE OF PRACTICE, TAKING INTO ACCOUNT ANY SITE SPECIFIC REQUIREMENTS OR CONDITIONS.
3. ANY PERMANENT SIGNAGE THAT CONFLICTS WITH THE TEMPORARY TRAFFIC MANAGEMENT SIGNAGE IS TO BE COVERED.
4. AFTER IMPLEMENTATION A DRIVE-THROUGH INSPECTION IS TO BE CONDUCTED AND SIGNS ADJUSTED FOR MAXIMUM EFFECTIVENESS.
5. ALL SIGNAGE TO BE INSPECTED ON A REGULAR BASIS TO ENSURE ALL SIGNAGE IS VISIBLE TO ONCOMING TRAFFIC.
6. POSTED/EXISTING SPEED OF ROADS:



ABN: 21 103 477 742
 22/73 ASSEMBLY DRIVE,
 DANDENONG SOUTH, VIC 3175
 PHONE: (+61 3) 9066 4417
 EMAIL: info@trafficplans.company
 WEB: www.trafficplans.company
 VICROADS PRE-QUALIFIED FOR TMP

CLIENT GLADYS FOREST PTY LTD		CONTACT JACK ZHANG - 0410 063 615	
PROJECT LOCATION 12-14 GLADYS AVE, FRENCHS FOREST NSW 2030	MUNICIPALITY WARINGAH	SITE CLASSIFICATION N/A	
TITLE / DESCRIPTION OF WORKS SITE DRIVEWAY PLAN	DATE 27/06/2023	MAP REF. 238 A4	SHEET 1 OF 2
DRAWING NUMBER TPC-2022-10658-002-V1			

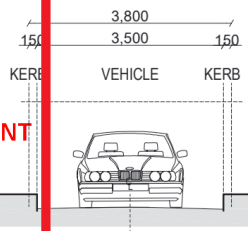


DRIVEWAY LONG SECTION
SCALE 1:200

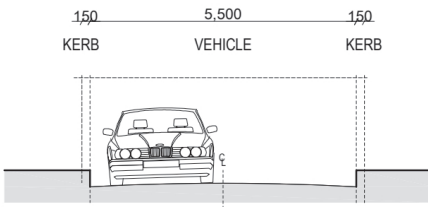
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT

DA NUMBER: DA2022/1474

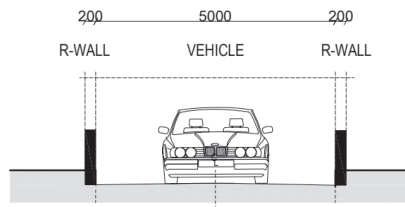
(Activation of consent must be obtained from Northern Beaches Council)



DRIVEWAY CROSS SECTION 1



PASSING BAY CROSS SECTION 2



DRIVEWAY CROSS SECTION 3

TYPICAL CROSS SECTIONS
SCALE 1:100 NOTE: DRIVEWAY SECTION TAKEN THROUGH CENTRELINE

VER.	DESCRIPTION	ISSUE DATE	DESIGNED	CHECKED/ APPROVED
1	UPDATED PER CLIENT COMMENTS	27/06/2023	A. SHASH	O. OZGUR
0	INITIAL RELEASE	11/08/2022	A. SHASH	O. OZGUR

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6. POSTED/EXISTING SPEED OF ROADS.

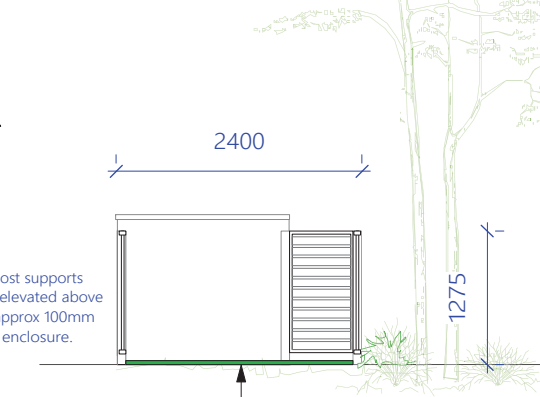
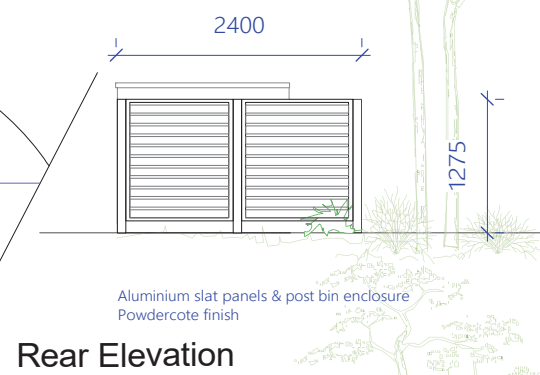
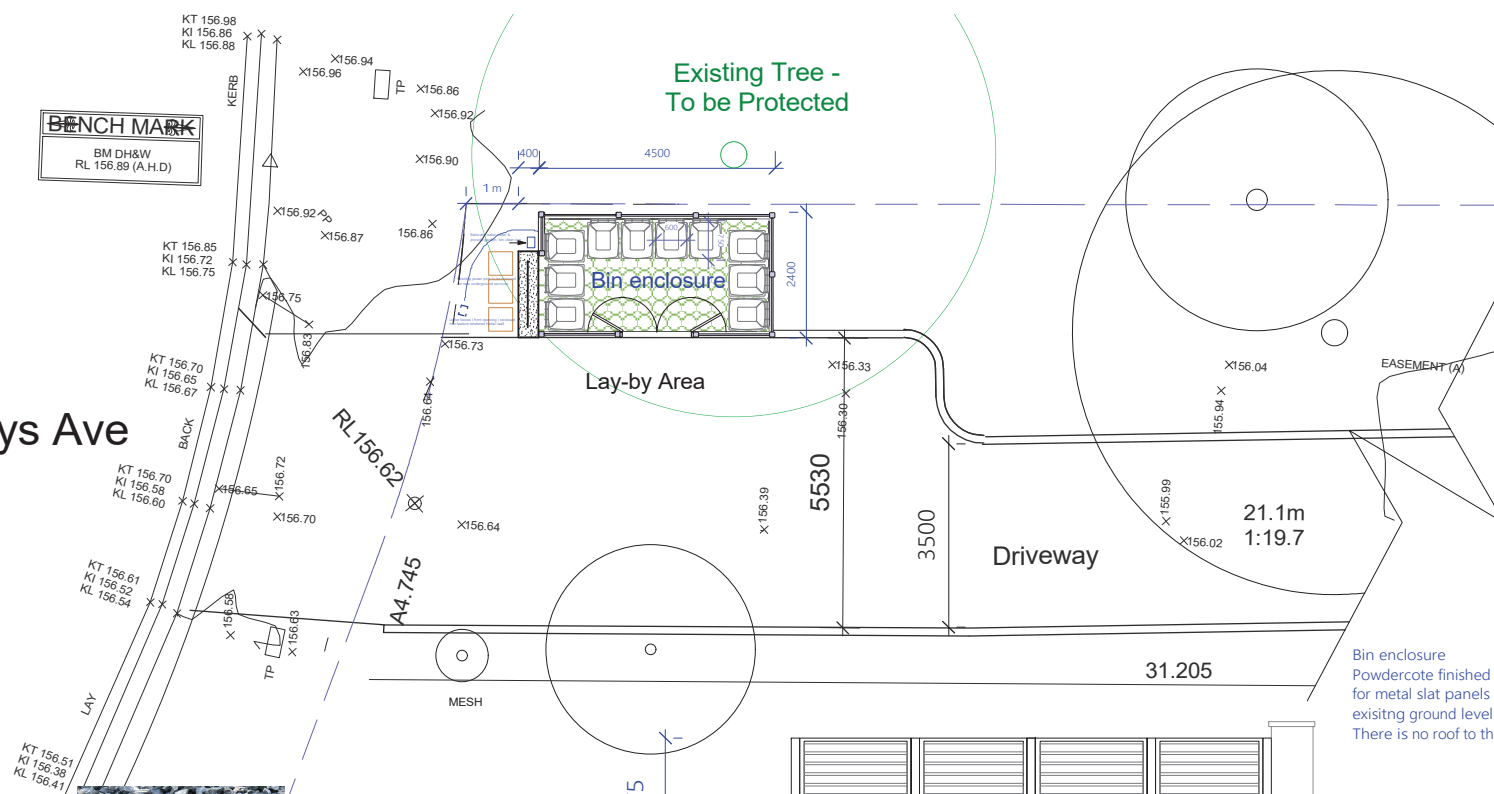
THE TRAFFIC PLANS COMPANY

ABN: 21 103 477 742
22/73 ASSEMBLY DRIVE,
DANDENONG SOUTH, VIC 3175
PHONE: (+61 3) 9066 4417
EMAIL: info@trafficplans.com.au
WEB: www.trafficplans.com.au

VICROADS PRE-QUALIFIED FOR TMP

CLIENT GLADYS FOREST PTY LTD	CONTACT JACK ZHANG - 0410 063 615
PROJECT LOCATION 12-14 GLADYS AVE, FRENCHS FOREST NSW 2030	MUNICIPALITY WARINGAH
TITLE / DESCRIPTION OF WORKS SITE DRIVEWAY SECTION	SITE CLASSIFICATION N/A
DATE 27/06/2023	MAP REF. 238 A4
DRAWING NUMBER TPC-2022-10658-002-V1	SHEET 2 OF 2

Gladys Ave



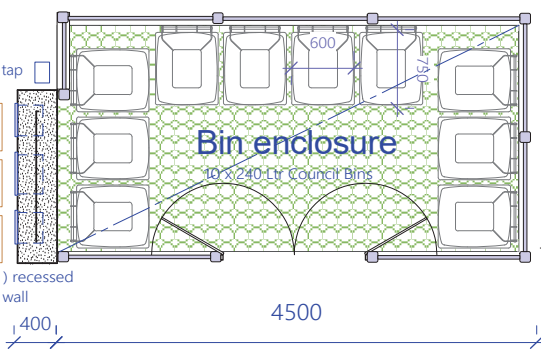
Section
THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2022/1474
(Activation of consent must be obtained from Northern Beaches Council)



Bin enclosure floor
 EconoGrid40 (or similar)
 Rigid cell honeycomb porous paving system
 infilled with gravel to allow natural rain absorption for existing tree roots
 Laid on top of existing Grd Level.

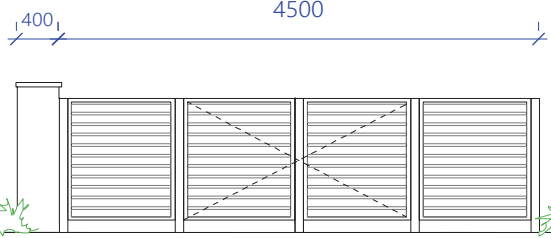
Relocated water meter
 Provide garden / bin clean tap

Paver path

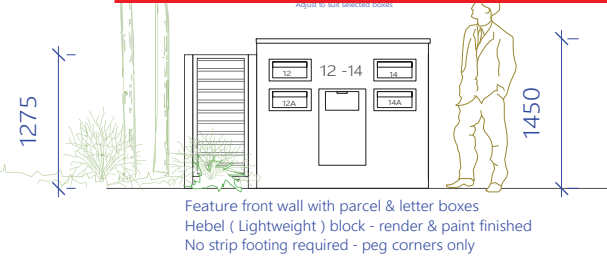
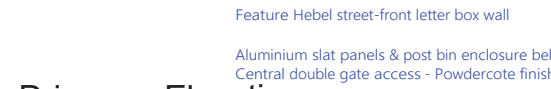


Letter boxes (front opening) recessed into feature rendered Hebel wall

Boundary Elevation

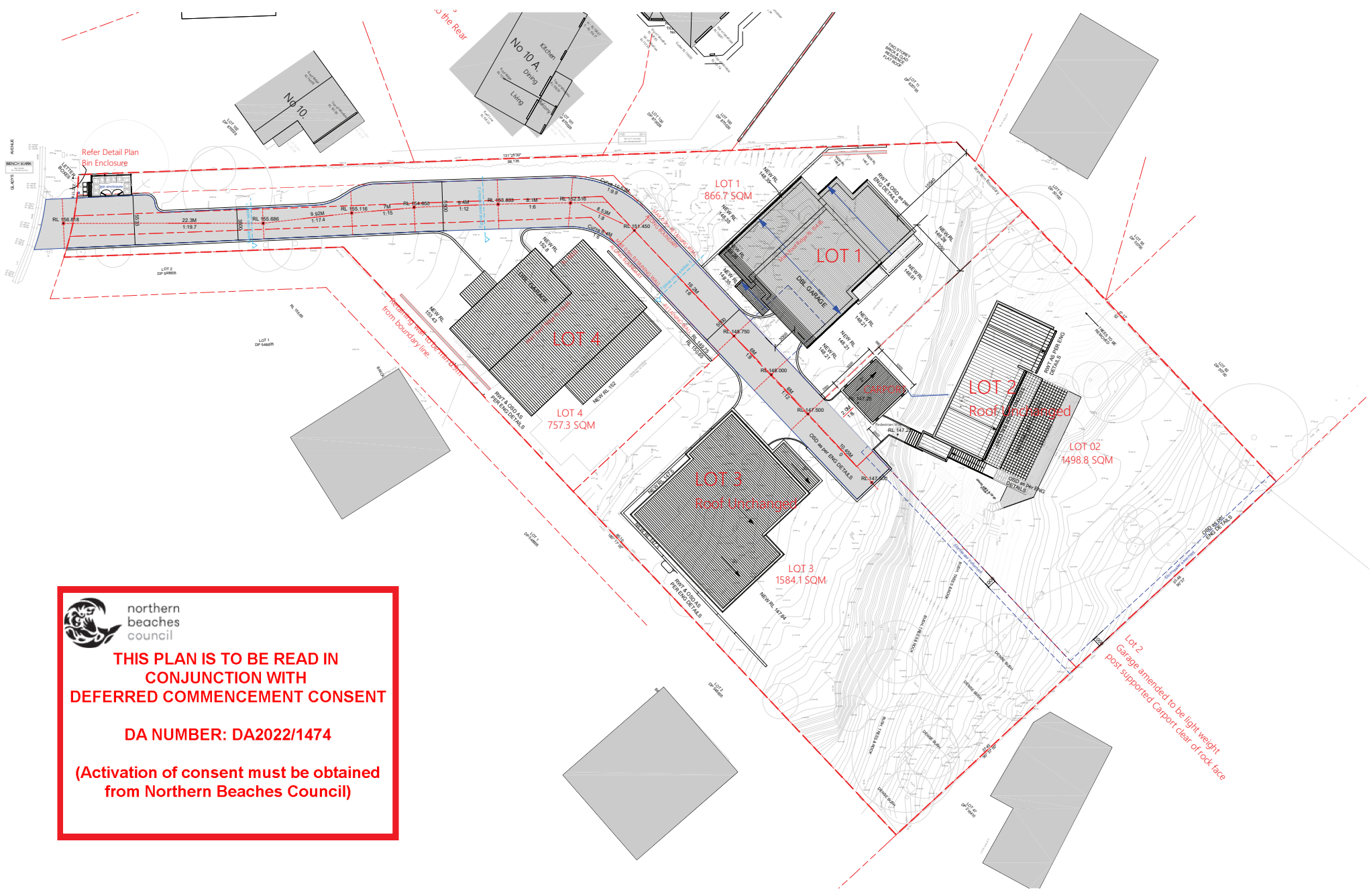


Driveway Elevation



Street Elevation

Amendments	Date	Issue	No.12 - 14 Gladys Ave, Frenchs Forest Proposed Subdivision and New Dwellings	Diana Prowse Reg. 5740 - Nominated Architect	Drawing No.
			Mr Jack Zhang	Di-Signed Architectural Solutions 96A Pacific Highway, Roseville PO Box 408 Roseville, NSW 2069 Email - diana@archsolutions.net.au Mob 0414 931 018	Scale




northern beaches council
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DA NUMBER: DA2022/1474
(Activation of consent must be obtained from Northern Beaches Council)

REVISION HISTORY:

DATE	COMMENT	REV.
21.07.22	Previous DESIGN	0
26.06.23	Updated roof & driveway	1
4.08.23	Updated OSD location	2

GENERAL NOTES:
 ■ These plans are subject copyright and must not be used, copied or reproduced without the authority of the designer.
 ■ The Builder is to verify dimensions prior to commencement.
 ■ If any discrepancies arise they are to be reported to the designer prior to the commencement of the works.
 ■ Do not scale, use figured dimensions only. If a dimension is not shown or is required consult with the designer.
 ■ Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer.

DRAWING:
ROOF & SITE PLAN



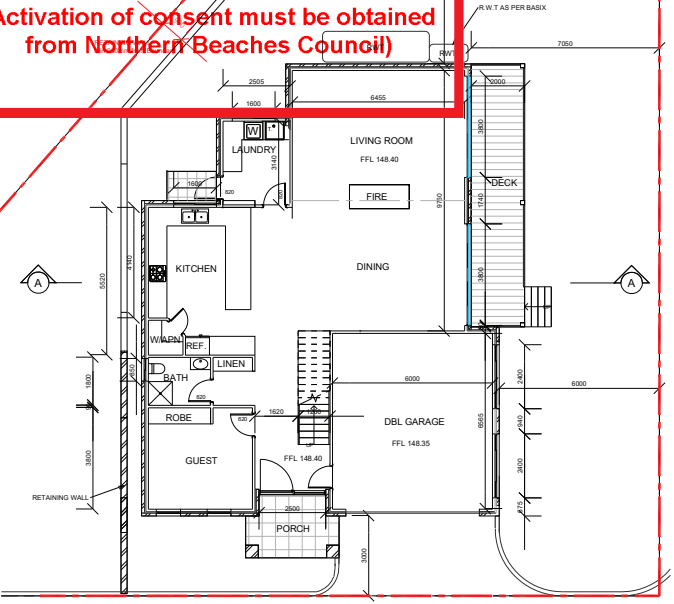
SCALE:
@ A3
 DRAWING NO.
DA301



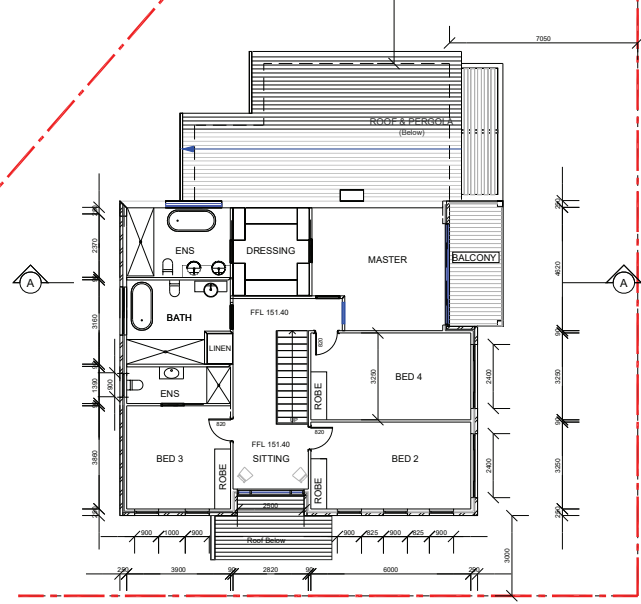
**THIS PLAN IS TO BE READ IN
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DA NUMBER: DA2022/1474

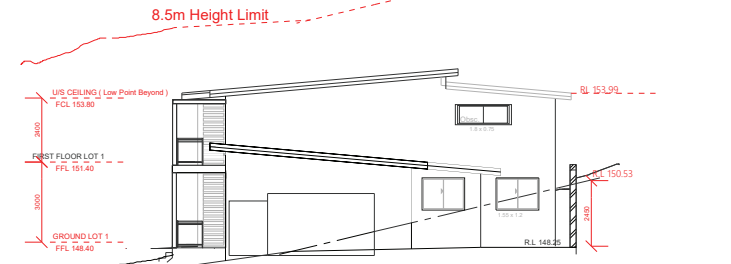
**(Activation of consent must be obtained
from Northern Beaches Council)**



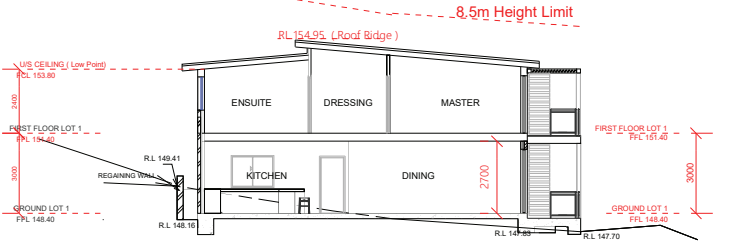
1 GROUND LOT 1



2 FIRST FLOOR LOT 1



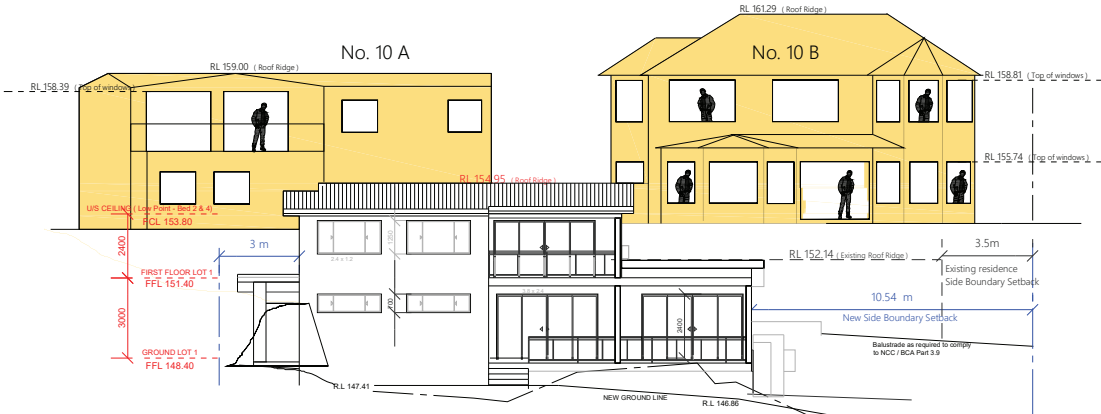
Lot 1 - West Elevation



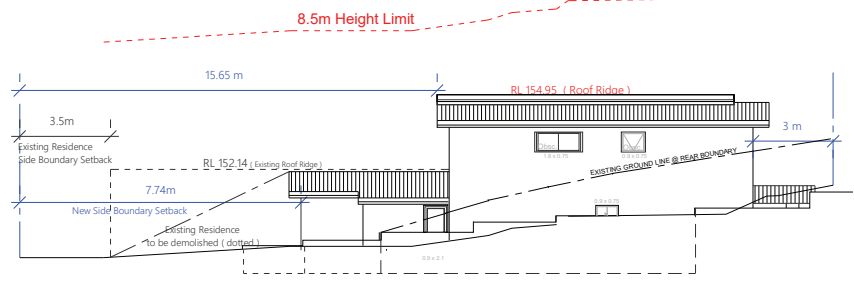
Lot 1 - Section A



Lot 1 - East Elevation



Lot 1 - North Elevation



Lot 1 - South Elevation
(Facing No 10 B & 10 A)



CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
SUBDIV. OF LAND, 2 LOTS INTO 4 LOTS,
PROP.CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030

REVISION HISTORY:

DATE	ISSUE FOR CLIENT	REV.
03/05/22	ISSUE FOR CLIENT	A
18/05/22	REVISION B	B
08/05/22	ISSUE FOR PRE DA - PRG Changes	C
21/07/22	ISSUE FOR DA - PRG Changes	D
27/04/23	HEAVY REDUCTIONS - Upper Floor Ceilings and Roof Formatted	E
27/06/23	Final Floor Slab (M&E) - Reworked to include Recessed Lighting	F
07/08/23	Added window dimensions - CIV Architecture Pty Ltd	G

GENERAL NOTES:

All dimensions are to be confirmed on site by the builder/subcontractor, any incongruities must be reported to the Designer before commencement of any work. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The survey work must be performed by a registered surveyor. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

DRAWING:
Lot 1



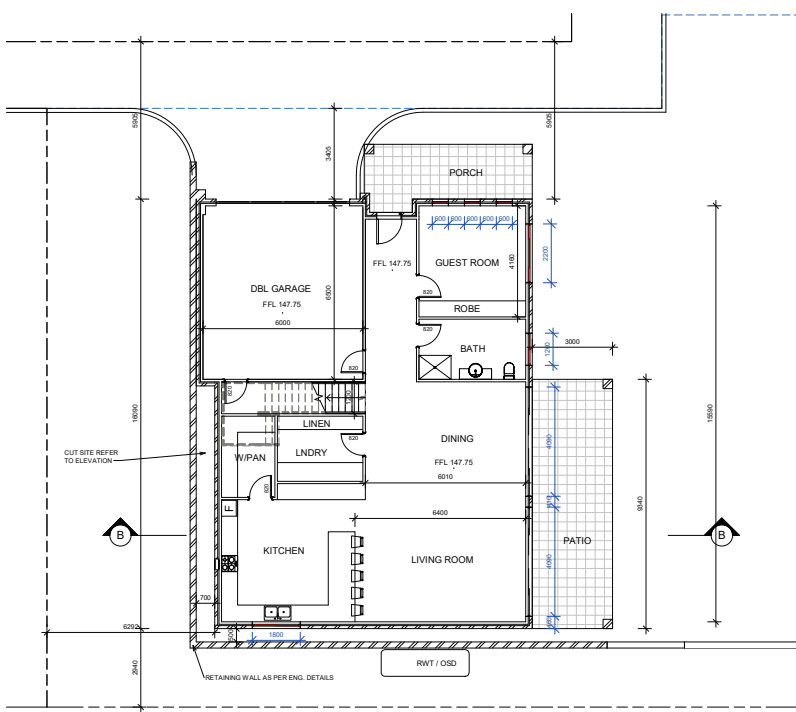
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1:100@ A3

DRAWING NO.
DA 01

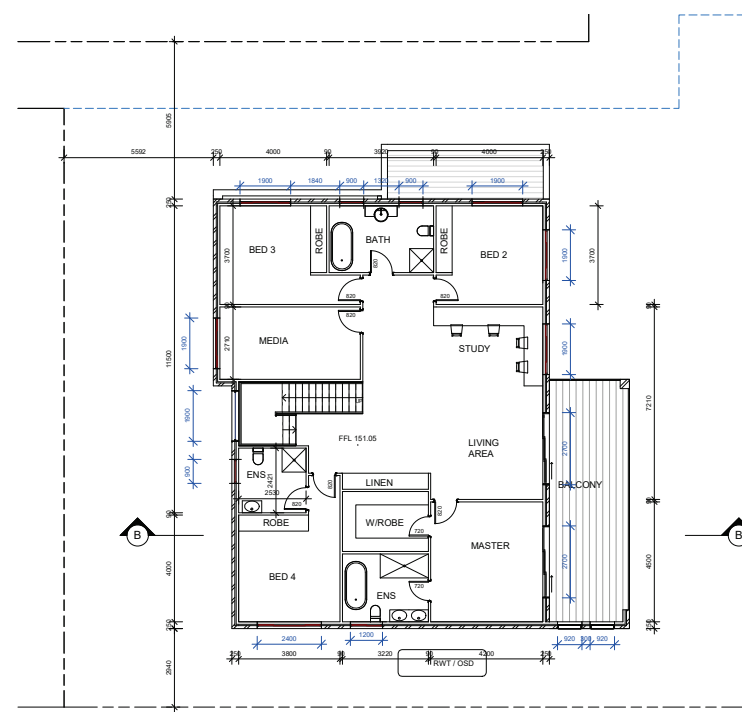
**THIS PLAN IS TO BE READ IN
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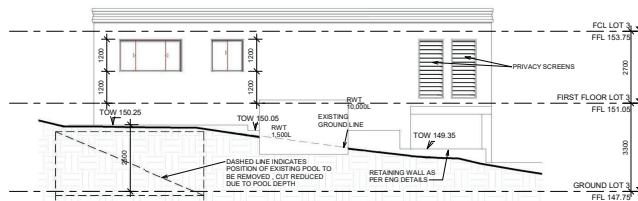
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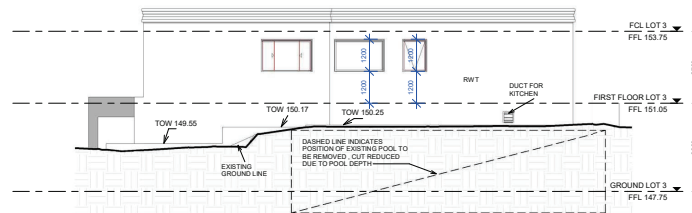
1 GROUND LOT 3
1: 100



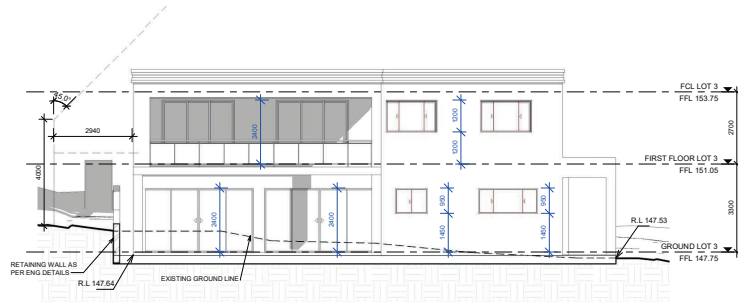
2 FIRST FLOOR LOT 3
1: 100



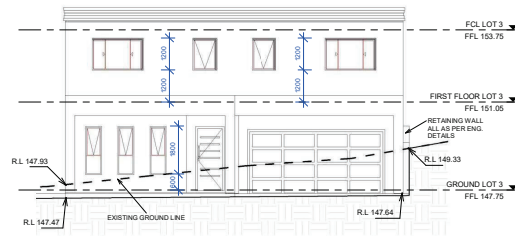
3 EAST ELEVATION L3
1: 100



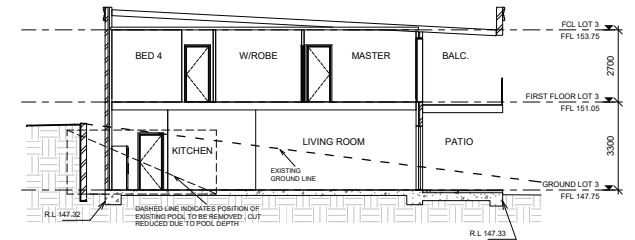
5 SOUTH ELEVATION L3
1: 100



4 NORTH ELEVATION L3
1: 100



6 WEST ELEVATION L3
1: 100



7 SECTION B - B
1: 100

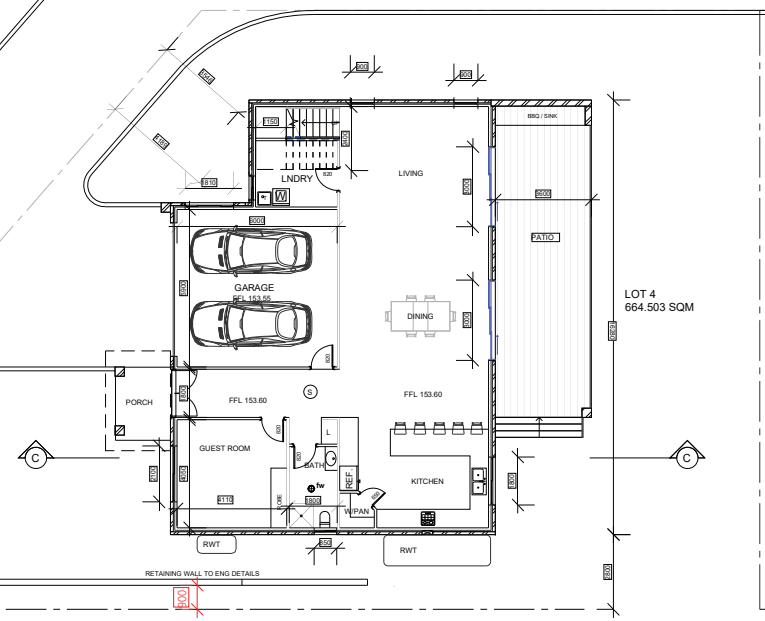
GENERAL NOTES
 1. All dimensions shall be confirmed on site by the subdivider/contractor, any discrepancies must be reported to the Designer before commencement of any work.
 2. All dimensions shall be taken to the face of the building, unless otherwise stated. All bearings and areas shall be taken from the control survey pins. It is recommended that the contractor confirm the site boundaries has been completed. The contractor is to ensure that the boundaries are correct and that the site is correctly surveyed and that the site boundaries are correct.
 3. In the event of any discrepancy, the contractor shall be responsible for the discrepancy. The Designer shall be notified in writing of any discrepancy as soon as it is identified.
 4. All construction shall be in accordance with the Australian Standards and the Building Code of Australia (BCA) unless otherwise stated.
 5. All construction shall be in accordance with the Australian Standards and the Building Code of Australia (BCA) unless otherwise stated.
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 10. All construction shall be in accordance with the Australian Standards and the Building Code of Australia (BCA) unless otherwise stated.

Issue	Date	Issue	Amendment
03/05/22	A	ISSUE FOR CLIENT	
03/05/22	B	REVISED	
03/05/22	C	ISSUE FOR PRE-DA	
03/05/22	D	ISSUE FOR DA	

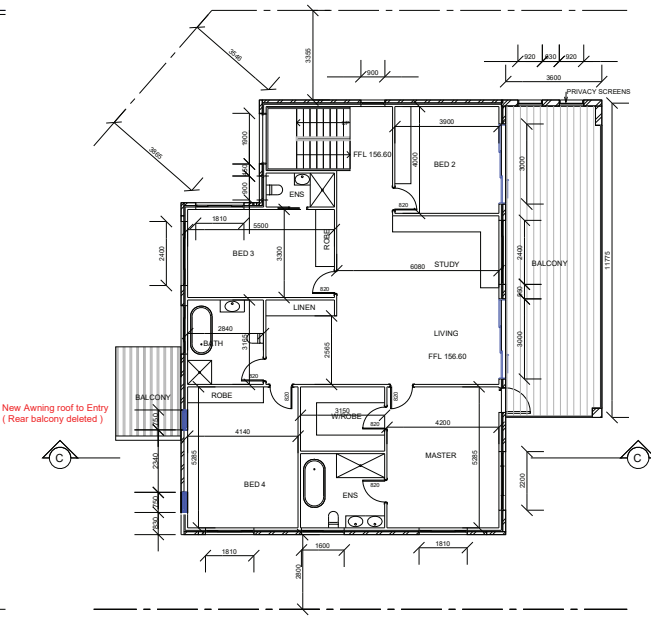
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 PROP. CONSTRUCT. OF 3 X 2 STRY DWELLINGS AT
 12-14 GLADYS AVENUE, FRENCHS FOREST, NSW, 2086

bdaa
 ARCHITECTURE & BUILDING DESIGNER
 07 Pines Street
 Frenchs Forest NSW 2150
 www.bdaa.com.au
 02 9533 4727
 02 9533 4727
 02 9533 4727

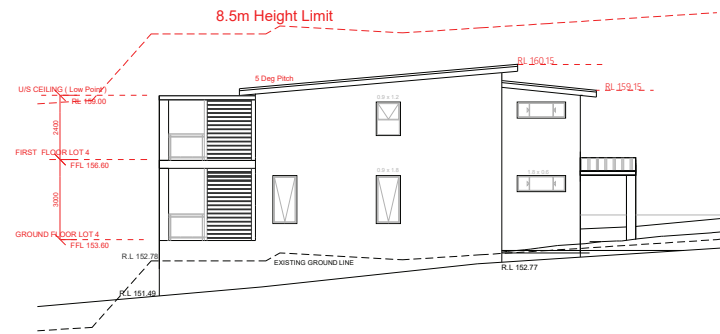
Client: JACK ZHANG
 Date north: 19/03/2022
 Drawing: LOT 3
 Scale: 1:100
 Project No: 03/05/22
 Issue No: 3
 Issue Date: 03/05/22
 Issue By: JZ
 Issue For: DA



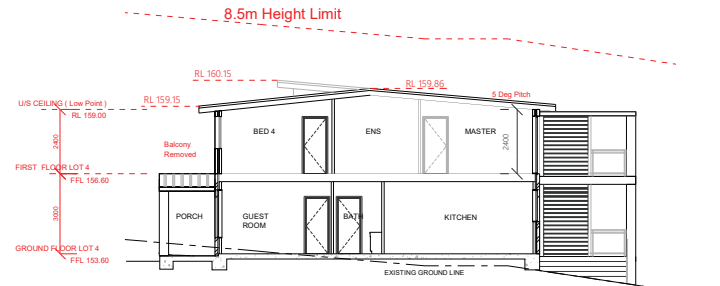
GROUND LOT 4



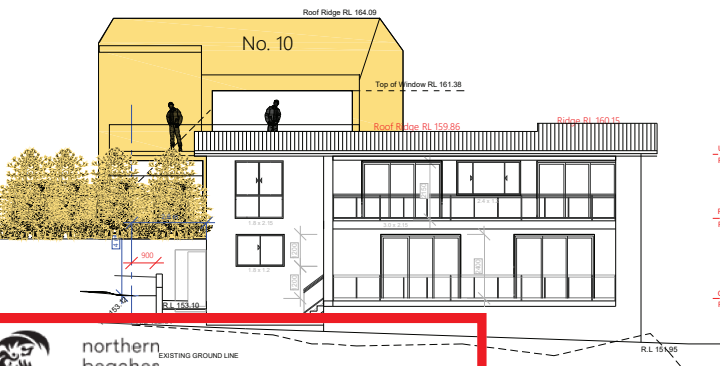
FIRST FLOOR LOT 4



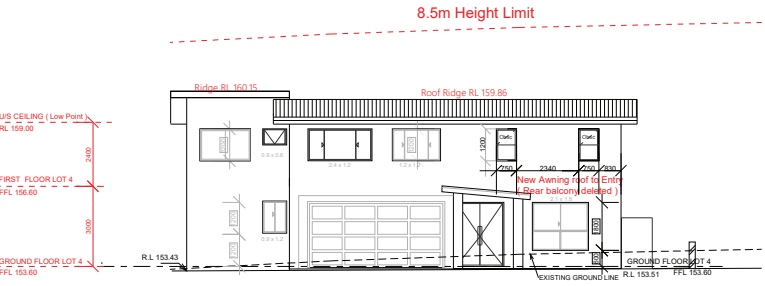
Lot 4 - West Elevation



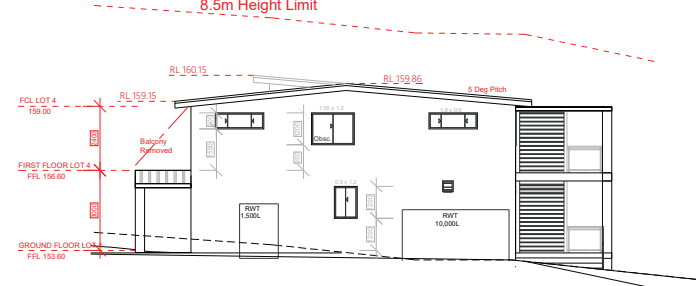
Lot 4 - Section A



Lot 4 - North Elevation



Lot 4 - South Elevation



Lot 4 - East Elevation

Main Roof Lowered by 1.85m

northern beaches council

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EA ARCHITECTURE

(Activation of consent must be obtained from Northern Beaches Council)

ADN: 40 664 932 245
ACN: 646 932 245
Nominations: 02 9394 6666
www.ea-architect.com.au
Architecture | Development | Interior | Landscape | Consultancy
COPYRIGHT: Eric Architecture Pty Ltd 2023

CLIENT: **MR JACK ZHANG**

PROJECT ADDRESS: **Subdiv. of Lot 4, 2 Lots into 4 Lots, Construct. of 3 x 2 Stray Dwellings at No. 12-14 Gladys Avenue, Frenchs Forest NSW 2030**

REVISION HISTORY:

DATE	ISSUE FOR CLIENT	COMMENT	REV.
18/05/22	ISSUE FOR CLIENT	A	B
18/05/22	REVISION B	C	B
18/06/22	ISSUE FOR PRE DA	D	B
21/07/22	ISSUE FOR DA	D	B
27/04/23	ISSUE REQUESTED - Upper Floor Lowered and Rear Balcony Deleted	E	B
27/06/23	Structural Review - window to engineer's printing removed	F	B
07/06/23	Added window dimension - Eric Architecture Pty Ltd	G	B

GENERAL NOTES:

All dimensions are to be confirmed on site by the builder/subcontractor, any inaccuracies must be reported to the Designer before commencement of any work. No Survey has been made on the boundaries, all bearings, distances and areas have been taken from the contour survey plan. A Survey must be carried out to confirm the exact boundary locations.

No construction work shall commence until a site survey confirming the site boundaries has been completed. The contractor is to ensure that the boundary setbacks are confirmed and used, the boundary setbacks take precedence over all other dimensions. The Survey work must be performed by a registered Surveyor. In the event of encountering any discrepancies on these drawings, specification or subsequent instructions issued, the Builder/Subcontractor shall contact the designer before proceeding further with any work.

All construction, control joints and expansion joints in the wall, floors, other locations shall be in strict accordance with the Structural Engineering details. No joints or breaks other than specified, are allowed without written permission from the Engineer.

Measurements for the fabrication of secondary components such as, windows, doors, internal frames, structural steel components and the like, are not to be taken from these documents. Measurements must be taken on site to suit the work as constructed.

All structural components shall be in strict accordance to details and specifications as prepared by a structural engineer.

All existing structures need to be examined for structural adequacy, and it is the Contractor's responsibility to ensure that a certificate of structural adequacy is available prior to the start of any work.

DRAWING: **Lot 4**



SCALE: **1:100@ A3**

DRAWING NO. **DA 04**

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 1, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Puppy



ROOF

Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Caraway



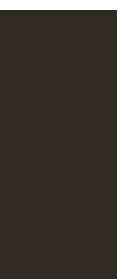
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



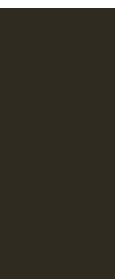
ALUMINIUM FRAME WINDOWS & SLIDING DOOR


Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal



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DA NUMBER: DA2022/1474

(Activation of consent must be obtained from Northern Beaches Council)



Suite 6, 7 Parkes Street
Parramatta NSW 2150
02 9633 4797
www.rkdesigns.com.au
admin@rkdesigns.com.au

1/08/2022

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
CONSTRUCTION OF 2 STOREY DWELLING AT LOT 3, 12-14 GLADYS AVENUE, FRENCHS FOREST,
NSW, 2086**

EXTERNAL WALLS

Finish Paint Finish
Manufacturer Dulux
Colour Charter Grey



ROOF

Type Flat roof
Manufacturer Colorbond
Colour Babyon
Finish Metal



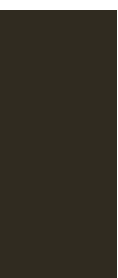
GUTTERS, DOWNPIPES AND FASCIA

Colour Paint Finish
Finish Dulux
Colour Dark Metal



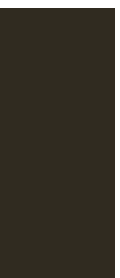
ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish Paint Finish
Paint manufacturer Dulux
Colour Dark Metal



POST AND RAILING

Finish Paint Finish
Manufacturer Dulux
Colour Dark Metal

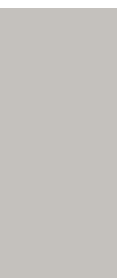


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DA NUMBER: DA2022/1474
(Activation of consent must be obtained from Northern Beaches Council)

**PROPOSED EXTERNAL MATERIAL AND COLOUR FINISHES SCHEDULE FOR THE
 CONSTRUCTION OF 2 STOREY DWELLING AT LOT 4, 12-14 GLADYS AVENUE, FRENCHS FOREST,
 NSW, 2086**

EXTERNAL WALLS

Finish	Paint Finish
Manufacturer	Dulux
Colour	Subdue



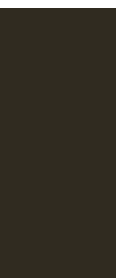
ROOF

Type	Pitched Roof
Manufacturer	Tiles
Colour	Monier concrete
Finish	Babylon



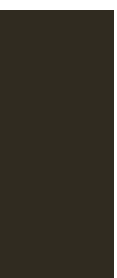
GUTTERS, DOWNPIPES AND FASCIA

Colour	Paint Finish
Finish	Dulux
Colour	Dark Metal



ALUMINIUM FRAME WINDOWS & SLIDING DOOR

Finish	Paint Finish
Paint manufacturer	Dulux
Colour	Dark Metal



POST AND RAILING

Finish	Paint Finish
Manufacturer	Dulux
Colour	Dark Metal

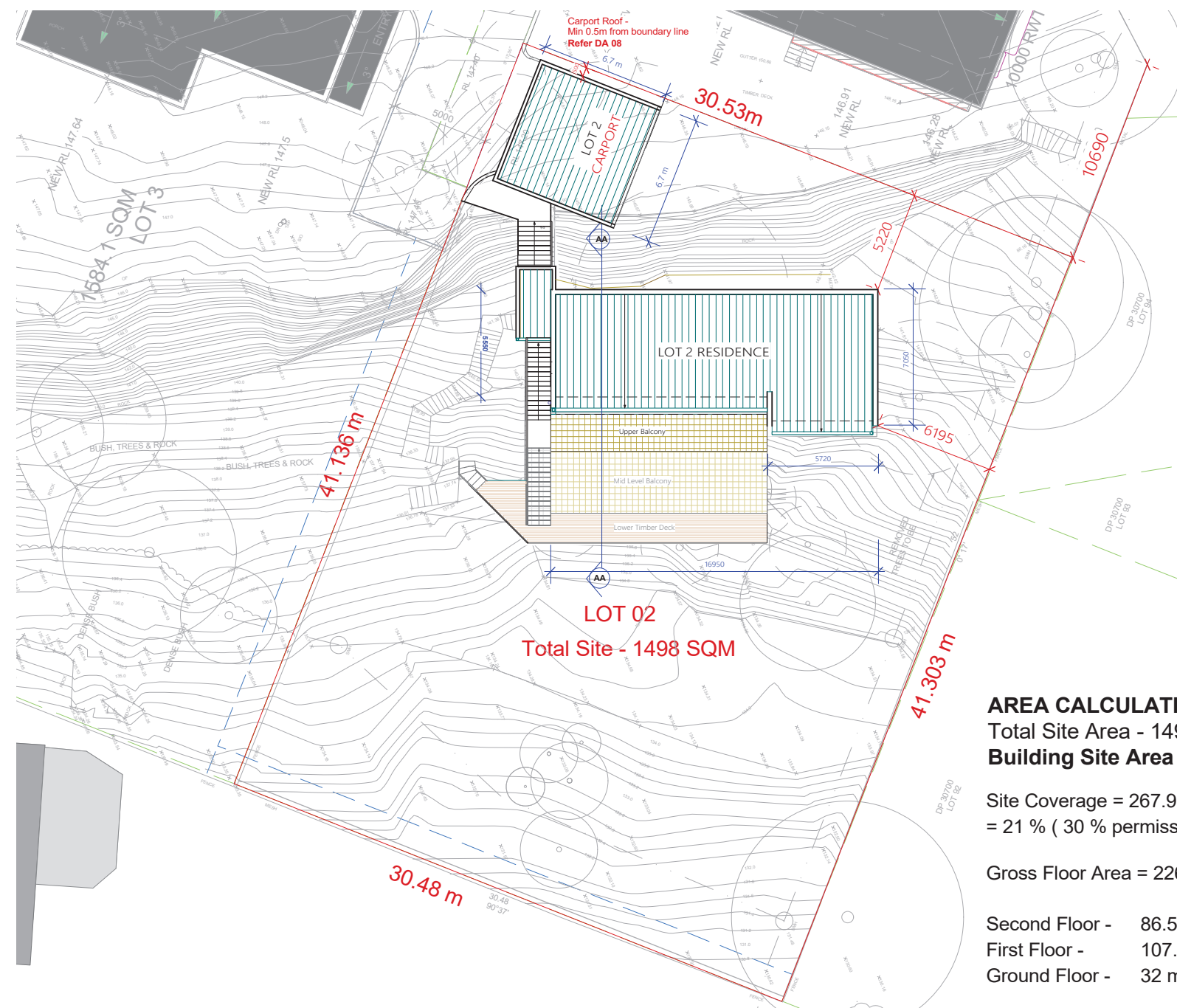


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AREA CALCULATIONS -
 Total Site Area - 1498 m² - (Includes Driveway Easement)
Building Site Area = 1257.5 m²
 Site Coverage = 267.9 m² (Residence + Garage + Decks + Stairs & Path)
 = 21 % (30 % permissible)
 Gross Floor Area = 226.5m² :- FSR 0.18 : 1 (0.6 : 1 Permissible)
 Second Floor - 86.55 m² (Excl Stair)
 First Floor - 107.95 m² (Incl Stair)
 Ground Floor - 32 m²



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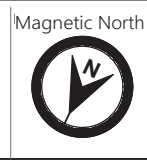
CLIENT:
MR JACK ZHANG
PROJECT ADDRESS:
No. 12-14 GLADYS AVENUE,
FRENCHS FOREST NSW 2030

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

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 ■ is not shown or is required consult with the designer
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DRAWING:
LOT 2 - PROPOSED SITE & ROOF PLAN



SCALE:
 1: 200 @ A3
DRAWING NO.
DA 01



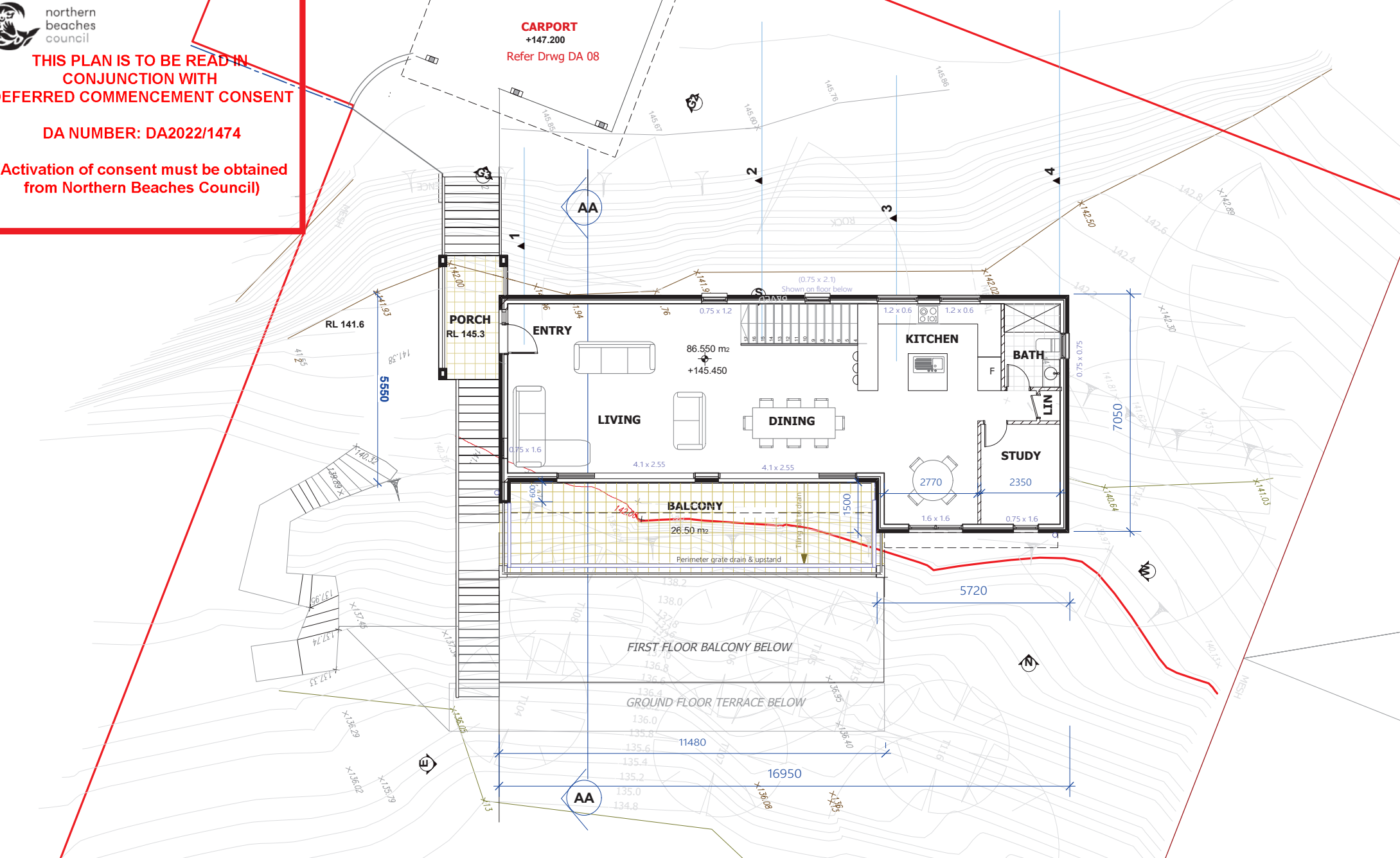
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CARPORT
+147.200
Refer Drwg DA 08



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CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

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DRAWING:
LOT 2 - PROPOSED SECOND FLOOR PLAN



NORTH

SCALE:
1:100 @ A3

DRAWING NO.
DA 02

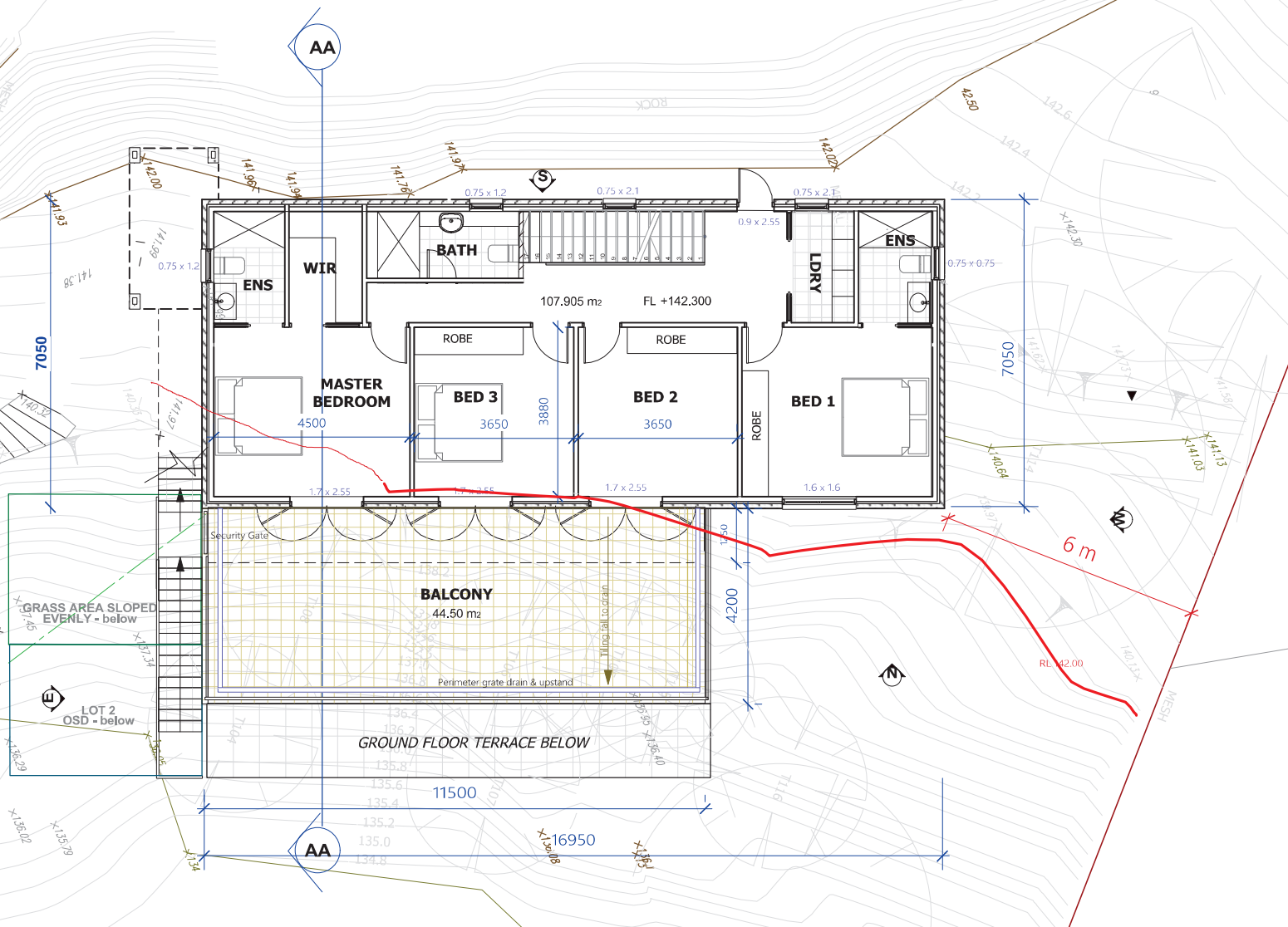


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CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
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FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B

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DRAWING:

LOT 2 - PROPOSED FIRST FLOOR PLAN

Magnetic North



SCALE:
1:100 @ A3

DRAWING NO.
DA 03

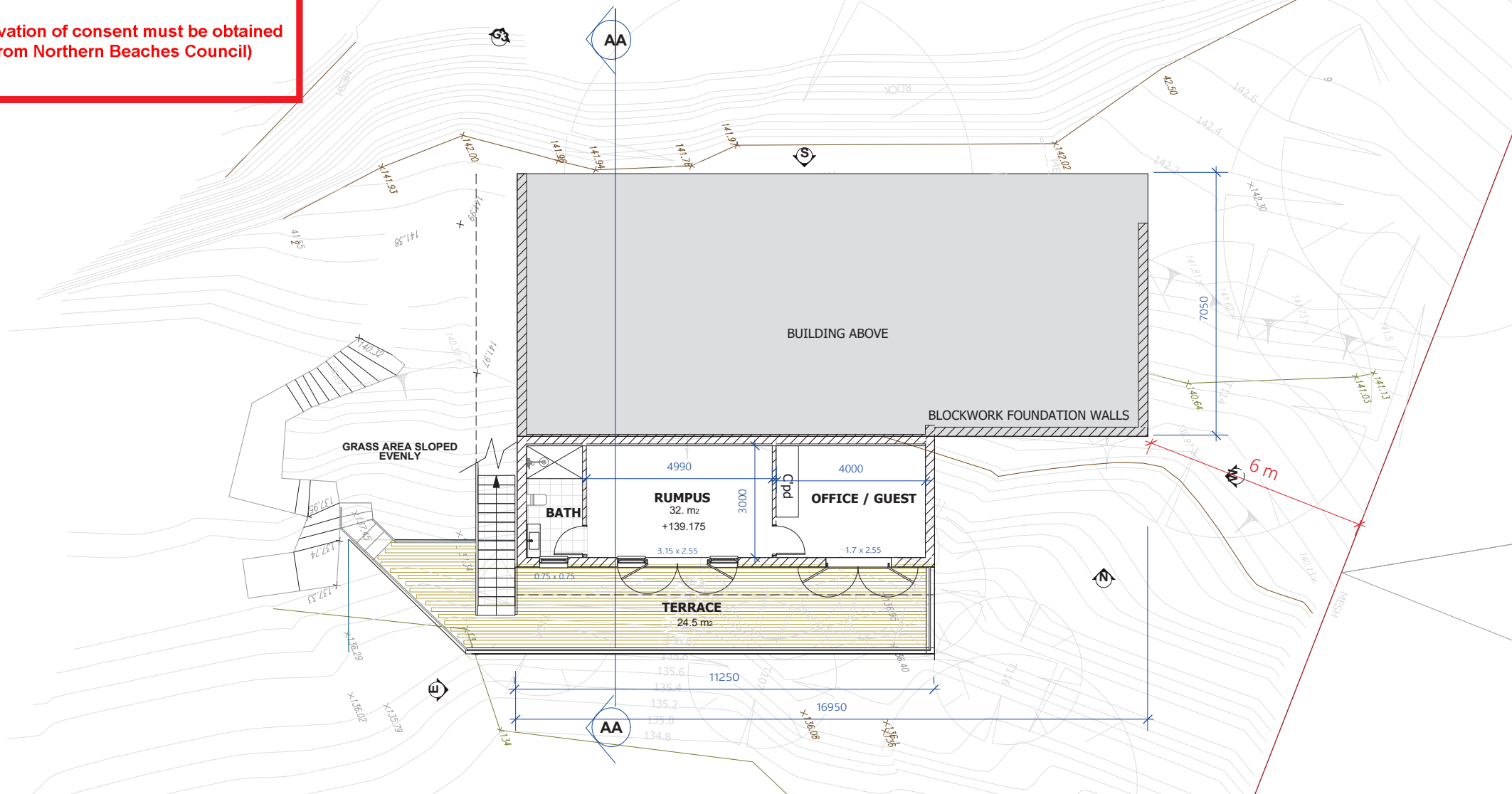


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CLIENT:
MR JACK ZHANG

PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B
12.03.2023	Amended for Council	C

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DRAWING:

LOT 2 - PROPOSED GROUND FLOOR PLAN

NORTH



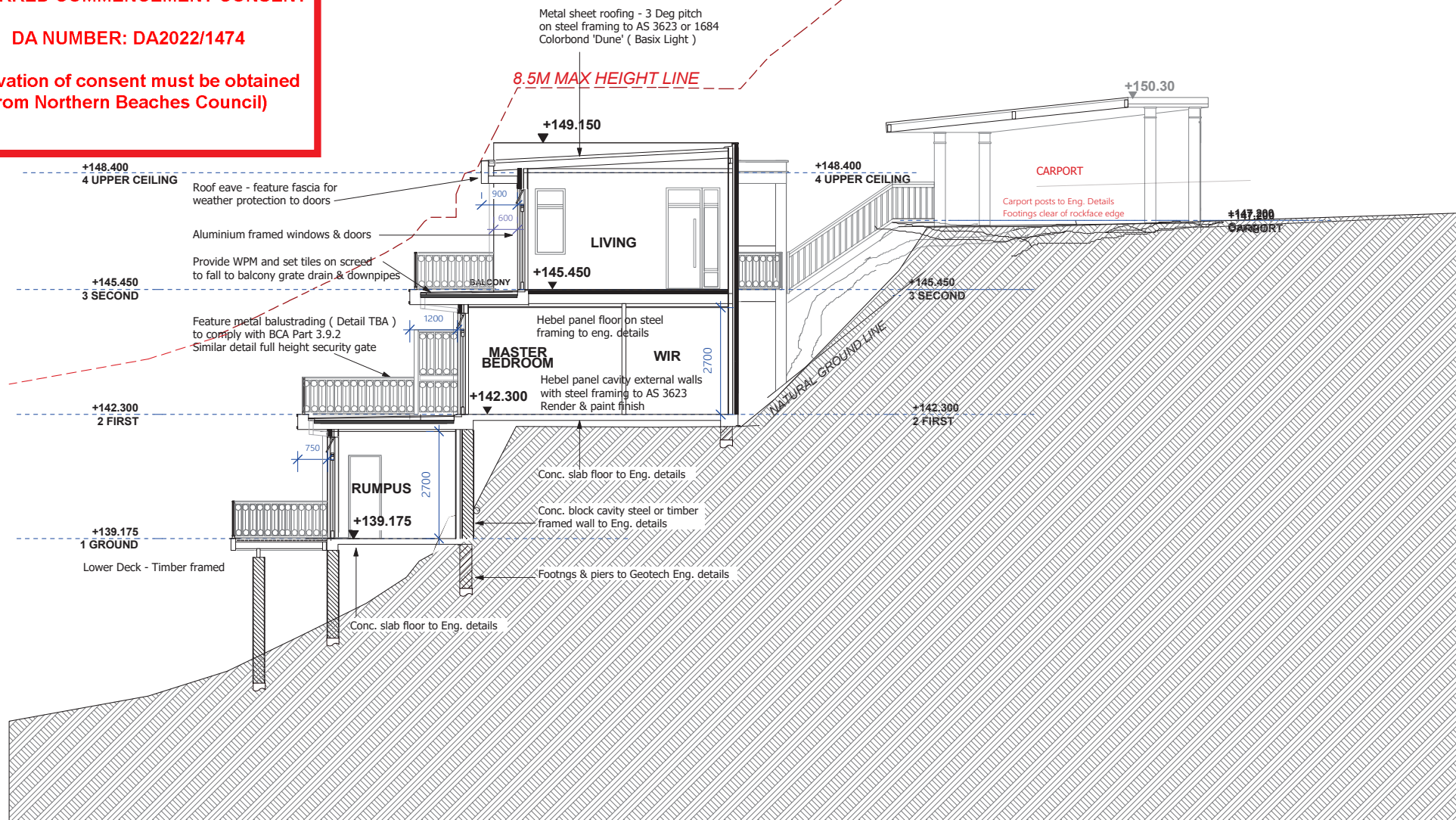
SCALE:
1:100 @ A3

DRAWING NO.
DA 04

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DA NUMBER: DA2022/1474

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REVISION HISTORY:

DATE	COMMENT	REV.
18.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug.22	Consultant check - DA	A
15 Aug.22	Issued for DA	B
27 April 23	Garage deleted for Carport	C

GENERAL NOTES:

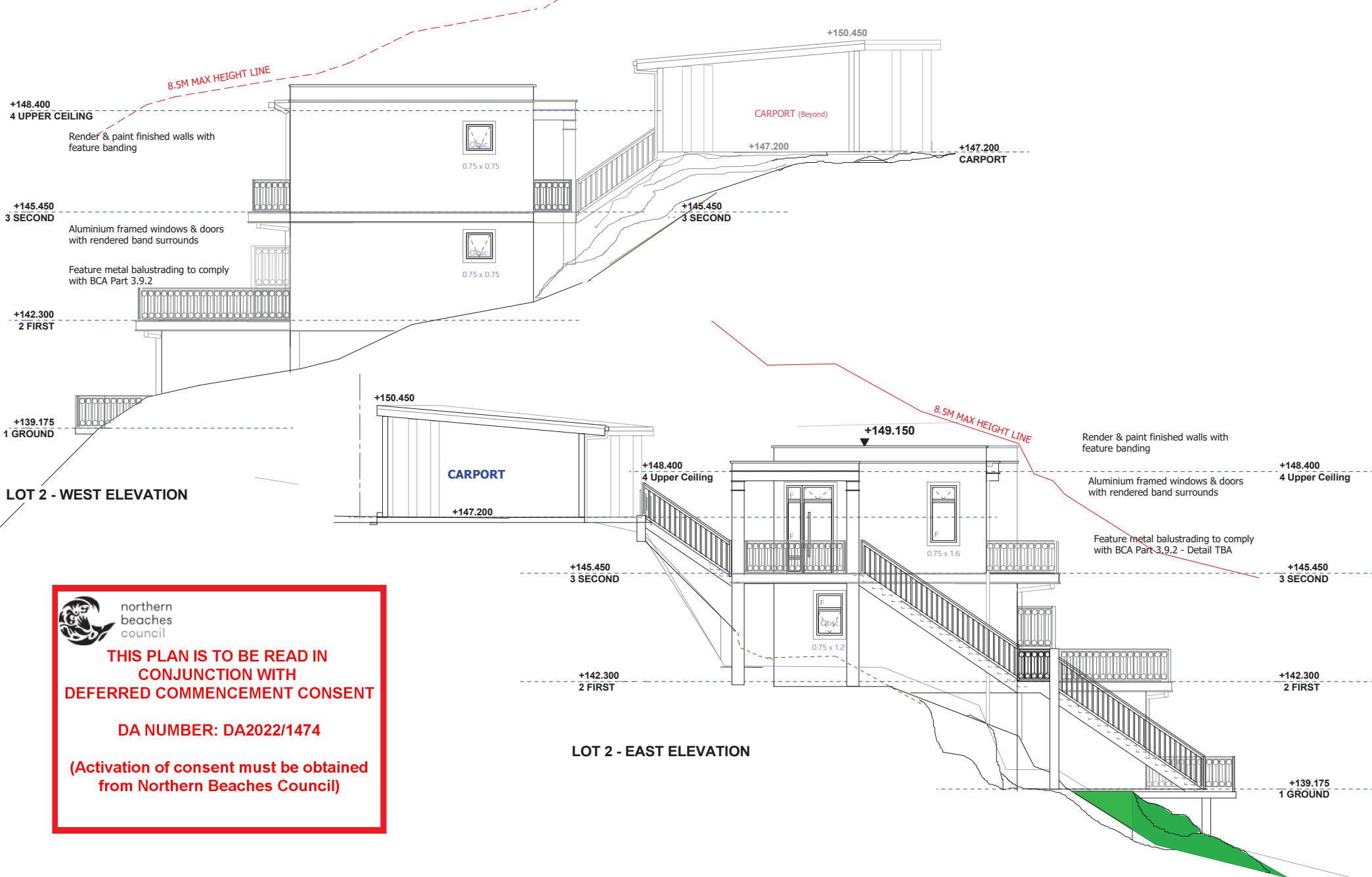
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DRAWING:

LOT 2 - PROPOSED SECTION A-A

SCALE:
1:100 @ A3

DRAWING NO.
DA 05




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	<p>NKP ARCHITECTURE NSW ARB No. 10425 BEVERLY HILLS SYDNEY NSW 2209 M: 04 2072 5400 E: neil@nkparchitecture.com.au W: nkparchitecture.com.au</p>	<p>CLIENT: MR JACK ZHANG</p> <p>PROJECT ADDRESS: No. 12-14 GLADYS AVENUE, FRENCHS FOREST NSW 2030</p>	<p>REVISION HISTORY:</p> <table border="1"> <thead> <tr> <th>DATE</th> <th>COMMENT</th> <th>REV.</th> </tr> </thead> <tbody> <tr> <td>16.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>23.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>30.03.22</td> <td>FOR CONSULTANTS</td> <td>A</td> </tr> <tr> <td>15 Aug 22</td> <td>Issued for DA</td> <td>B</td> </tr> <tr> <td>27 April 23</td> <td>Garage deleted for Carport</td> <td>C</td> </tr> </tbody> </table>	DATE	COMMENT	REV.	16.03.22	FOR CONSULTANTS	A	23.03.22	FOR CONSULTANTS	A	30.03.22	FOR CONSULTANTS	A	15 Aug 22	Issued for DA	B	27 April 23	Garage deleted for Carport	C	<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> These plans are subject copyright and must not be used copied or reproduced without the authority of the designer The Builder is to verify dimensions prior to commencement If any discrepancies arise they are to be reported to the designer prior to the commencement of the works Do not scale figured dimensions & dimension is not shown or is required consult with the designer Do not alter the design either architecturally or structurally without prior consultation with the designer or engineer 	<p>DRAWING: LOT 2 - EAST & WEST ELEVATION</p>	<p>NORTH</p>	<p>SCALE: 1:100 @ A3</p> <p>DRAWING NO. DA 06</p>
DATE	COMMENT	REV.																							
16.03.22	FOR CONSULTANTS	A																							
23.03.22	FOR CONSULTANTS	A																							
30.03.22	FOR CONSULTANTS	A																							
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27 April 23	Garage deleted for Carport	C																							

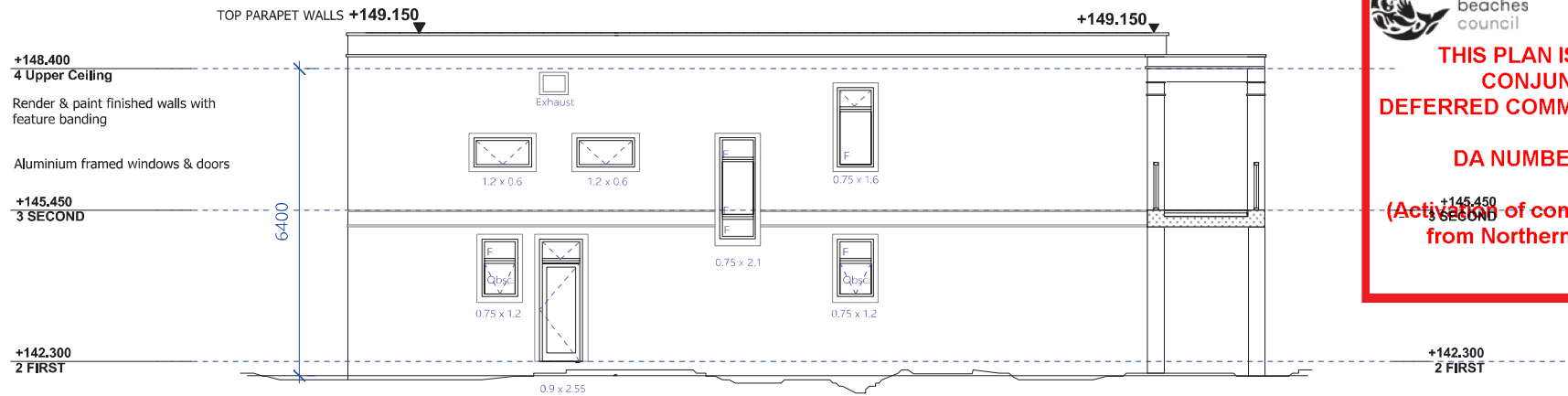


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DA NUMBER: DA2022/1474

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LOT 2 - SOUTH ELEVATION



LOT 2 - NORTH ELEVATION



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CLIENT:
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PROJECT ADDRESS:
**No. 12-14 GLADYS AVENUE,
FRENCHS FOREST NSW 2030**

REVISION HISTORY:

DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A1
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A
15 Aug 22	Issued for DA	B

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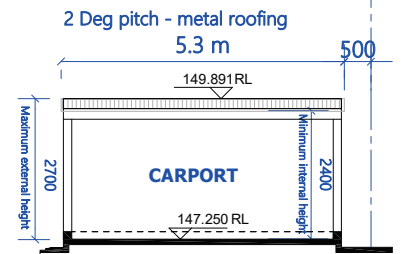
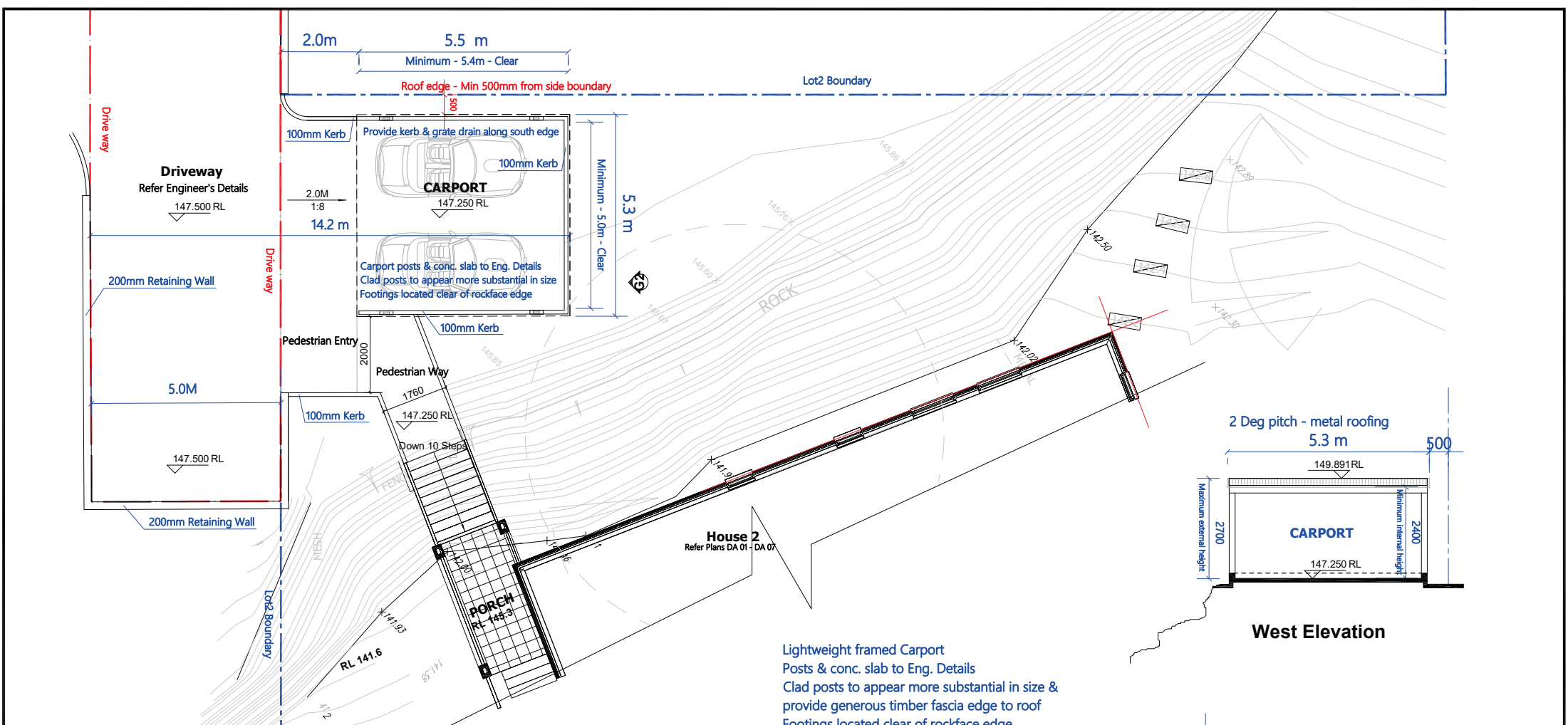
DRAWING:

LOT 2 - NORTH & SOUTH ELEVATION

NORTH

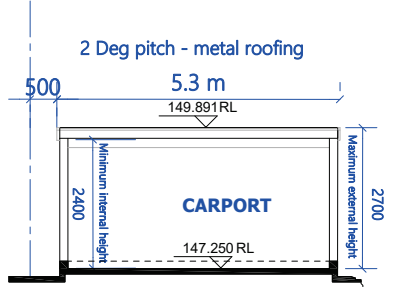
SCALE:
1:100 @ A3

DRAWING NO.
DA 07

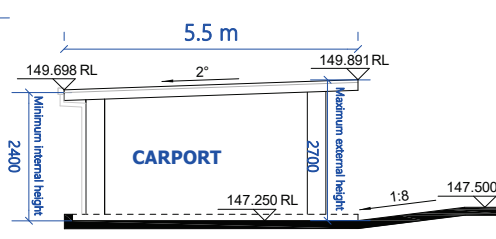


West Elevation

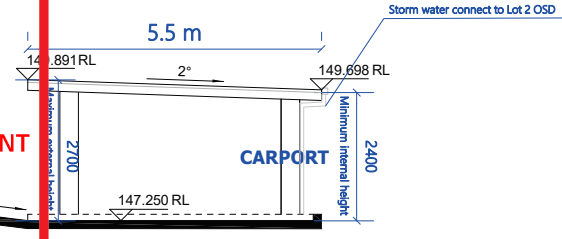
Lightweight framed Carport
 Posts & conc. slab to Eng. Details
 Clad posts to appear more substantial in size &
 provide generous timber fascia edge to roof
 Footings located clear of rockface edge



East Elevation



South Elevation



North Elevation

THIS PLAN IS TO BE READ IN CONJUNCTION WITH DEFERRED COMMENCEMENT CONSENT
DA NUMBER: DA2022/1474
(Activation of consent must be obtained from Northern Beaches Council)

REVISION HISTORY:		
DATE	COMMENT	REV.
20.09.23	CONCEPT DESIGN	A

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- Do not scale, use figured dimensions only. If a dimension is not shown or is required consult with the designer.
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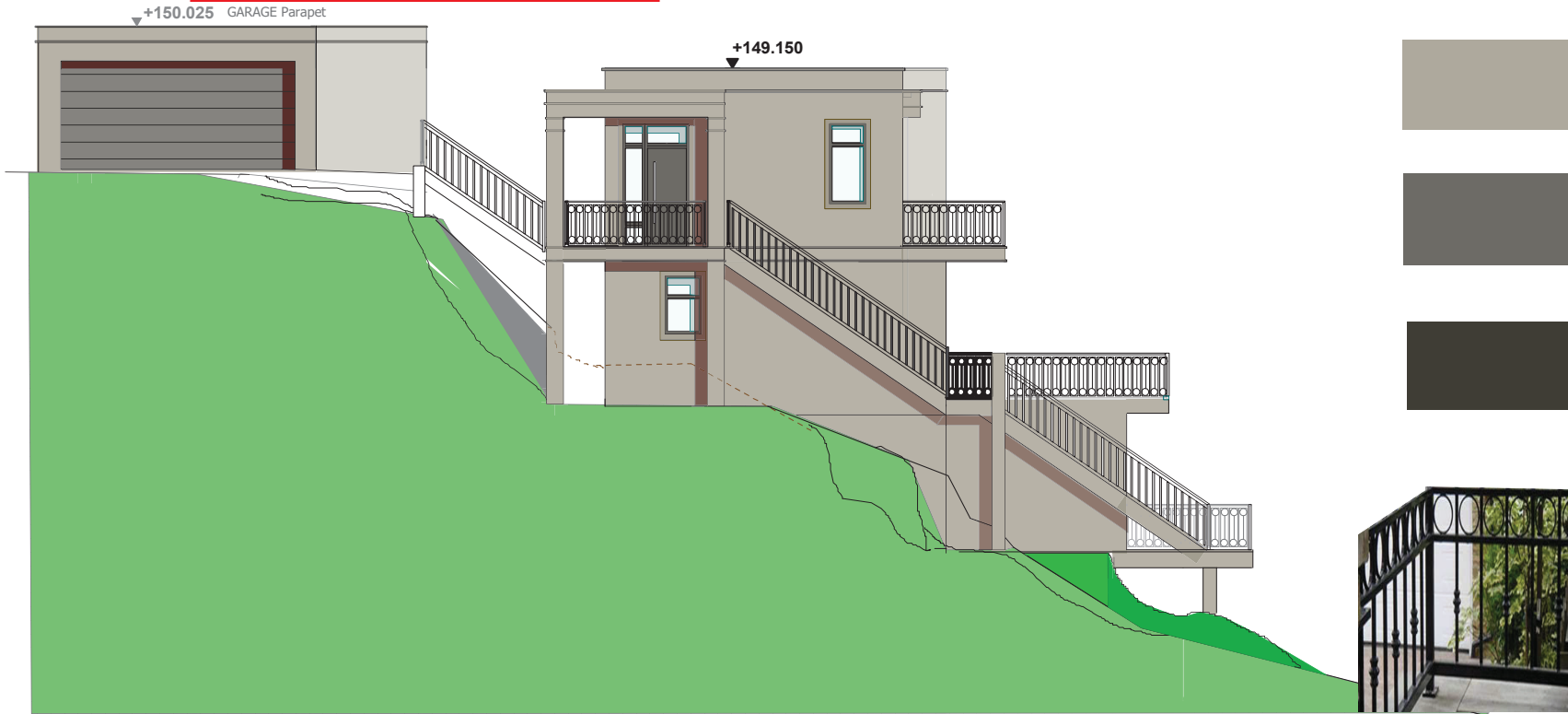
DRAWING:
 Lot 2 Carport

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DA NUMBER: DA2022/1474

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LOT 2 - PROPOSED FINISHES - DARK EARTH COLOURS



Roof
Sheet Metal (3 Deg Pitch)
Dulux Colorbond "Dune"



External Walls
Rendered Hebel panel with paint finish
Paint downpipes to match wall
Dulux "Water Rock"



Garage & Front Door
Dulux Colorbond "Wallaby"



Aluminium framed Windows & Doors
Dulux Powdercote "Dark Metal"



Feature wrought iron balustrades
Dulux Powdercote "Dark Metal"

REVISION HISTORY:		
DATE	COMMENT	REV.
16.03.22	FOR CONSULTANTS	A
23.03.22	FOR CONSULTANTS	A
30.03.22	FOR CONSULTANTS	A

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DRAWING:
LOT 2 - PROPOSED COLOURS & FINISHES

SCALE:
1:100 @ A3

DRAWING NO.
**Colours & Finishes
Schedule**