

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096
DEVELOPMENT APPLICATION SET
APRIL 2025

Sheet Number	Sheet Name
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002	DEMOLITION PLAN
003	EXCAVATION PLAN
010	DRIVEWAY APPLICATION
050	DRAFT SUBDIVISION PLAN
100	BASEMENT PLAN
101	GROUND FLOOR PLAN
102	FIRST FLOOR PLAN
103	ROOF PLAN
200	NORTH ELEVATION
201	EAST ELEVATION
202	WEST ELEVATION
203	SOUTH ELEVATION
210	NORTH STREET ELEVATION
211	EAST STREET ELEVATION
300	LONG SECTION 1
301	LONG SECTION 2
302	LONG SECTION 3
303	CROSS SECTIONS 1
304	CROSS SECTIONS 2
400	SHADOW DIAGRAMS
500	LANDSCAPE OPEN SPACE
700	EXTERNAL FINISHES SCHEDULE
800	PERSPECTIVES



ALEX BRYDEN
ARCHITECTURE

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NO. 56 GARDNER AVENUE

DETACHED
GARAGE

17
D.P.13915
WINTER SUN

GARDERE

(BITUMEN FORMATION)

GARDNER AVE

NEW CONCRETE
DRIVEWAY

SUMMER BREEZE

COOKSEY AVE

AVENUE

legend

- NEW WALLS
- INTERNAL AREA
- LANDSCAPE AREA

R2.7 ins. to internal framed walls in basement.
R4.0 ins. to conc. floor over basement.
Sl. R4.0 ins. to timber floor where open below.
R6.0 ins. to ceiling & 60mm anticon R1.3 ins. to roof.
Metal roof to be medium colour.
Windows
Group A-Double clear, alum. framed Uw 3.03, SHGC 0.40
Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31
Group A-Double clear, alum. framed Uw 2.6, SHGC 0.55
Group B-Double clear, alum. framed Uw 2.6, SHGC 0.6
Group B-Single low E, alum. framed Uw 4.9 SHGC 0.53
Skiights-Double fixed, Uw 2.6, SHGC 0.53



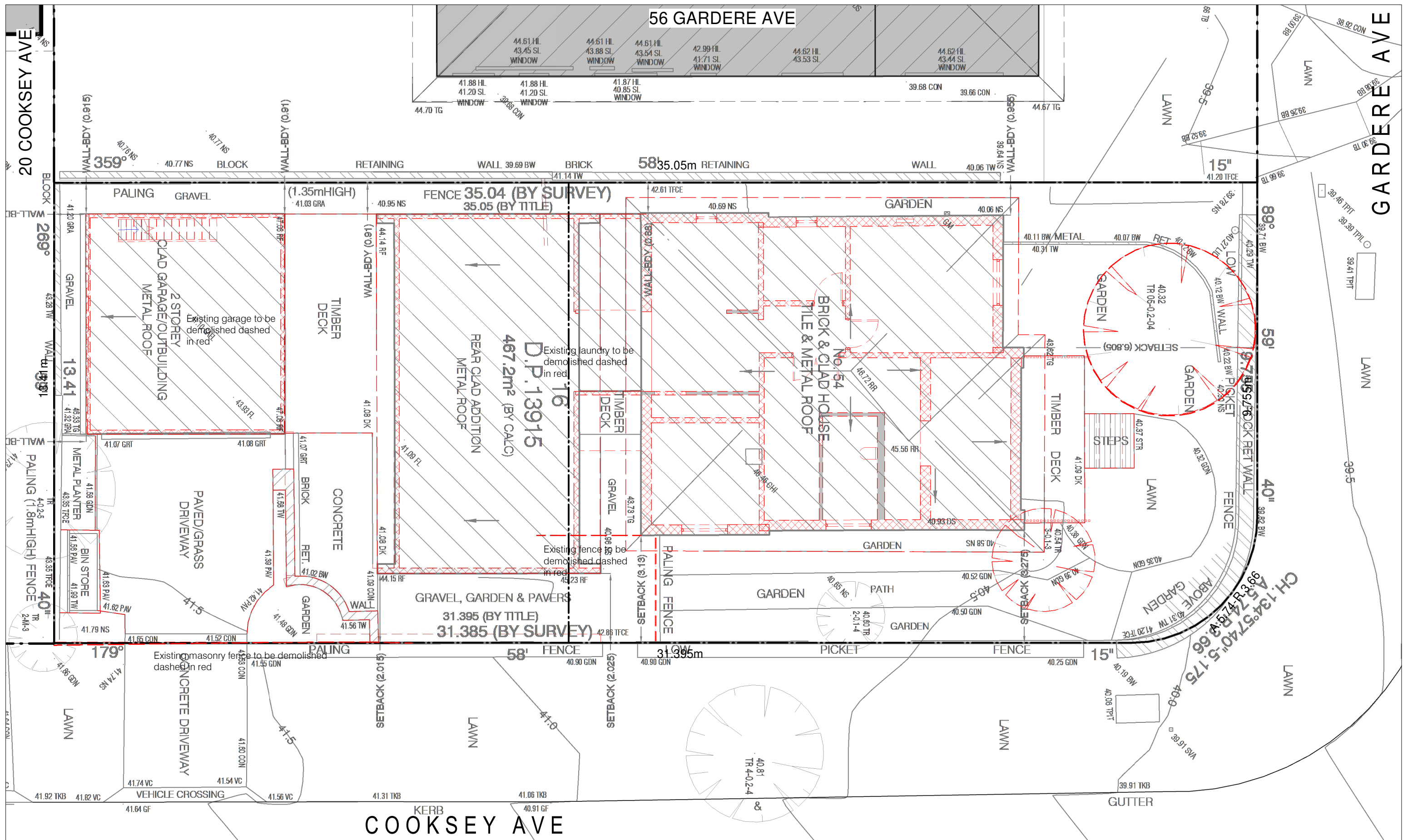
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project      24011
scale        As@ A3
draw         indicated
date         11.04.25

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drawing no. **DA 001**
issue / C

C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



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This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.

C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIN

MR & MRS BRYDEN

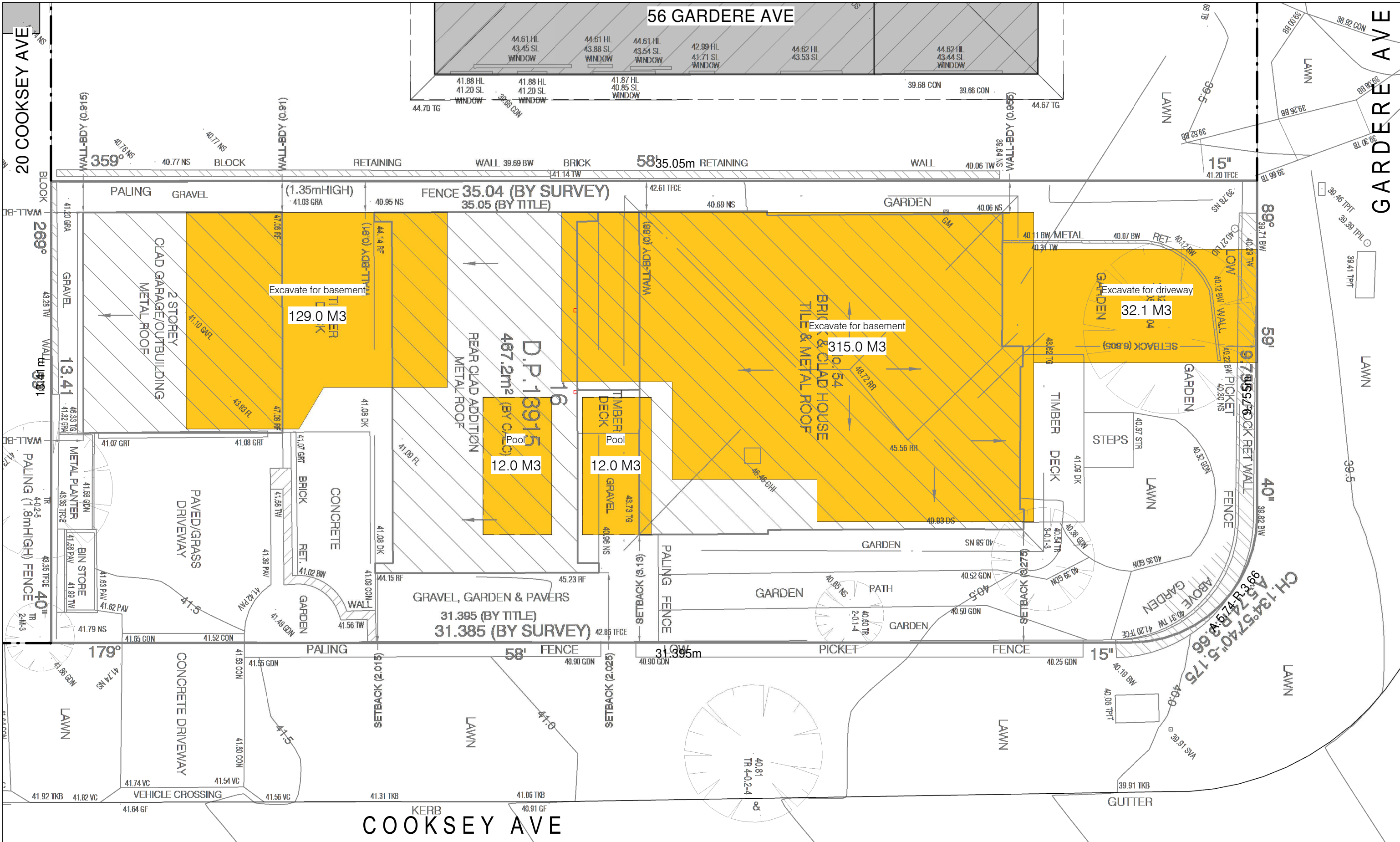
DRAWIN

DEMOLITION PLAN

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project      24011
scale        1 : 100@ A3
draw         AB
date         11.04.25
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drawing no.

DA 002
/ C



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

EXCAVATION PLAN

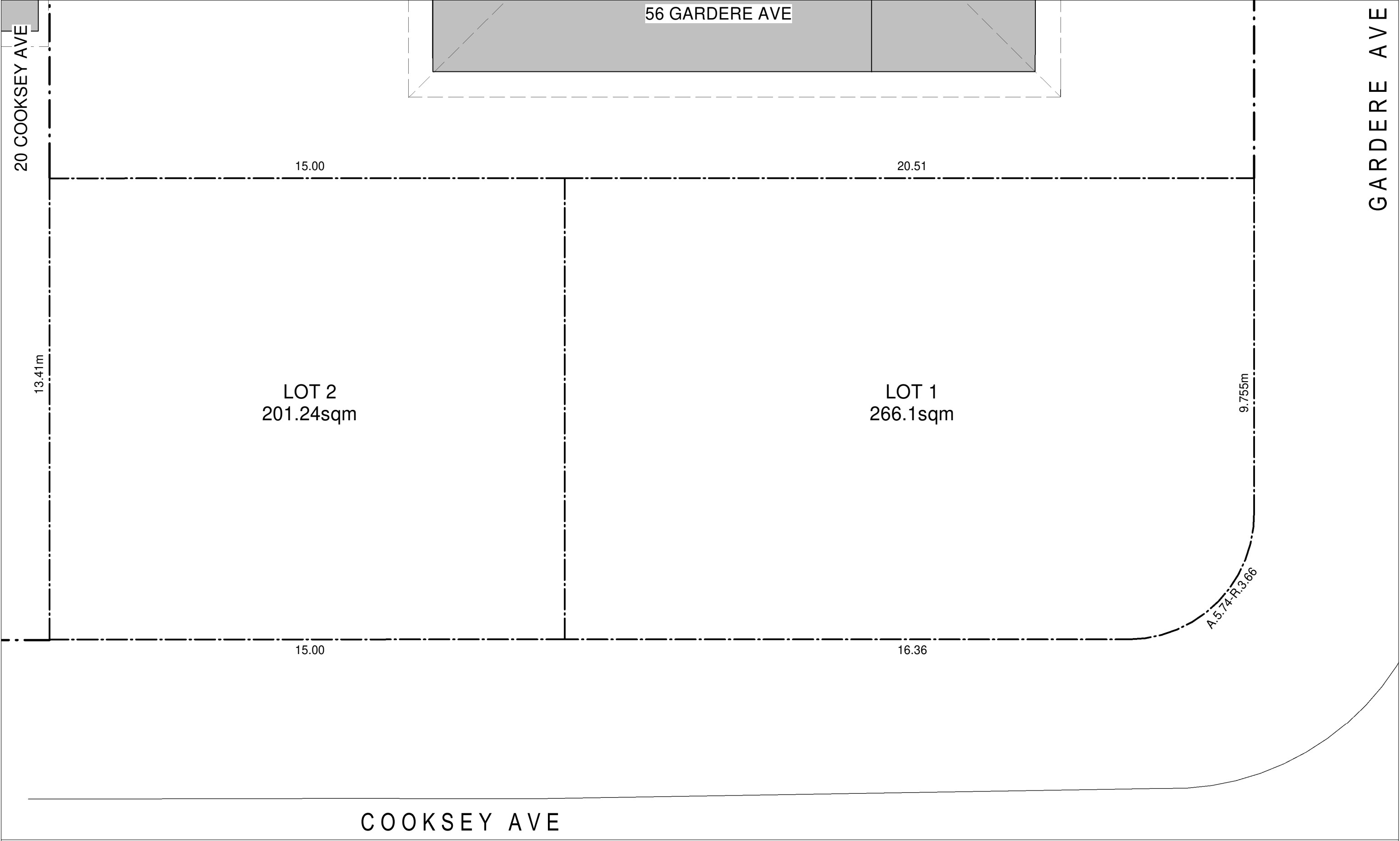
project 24011
scale 1 : 100@ A3
draw AB
date 11.04.25

drawing no.
DA003
issue / C

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C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



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C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision

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PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWIN

DRAFT SUBDIVISION PLAN

project

24011

scale

1 : 100@ A3

draw

AB

date

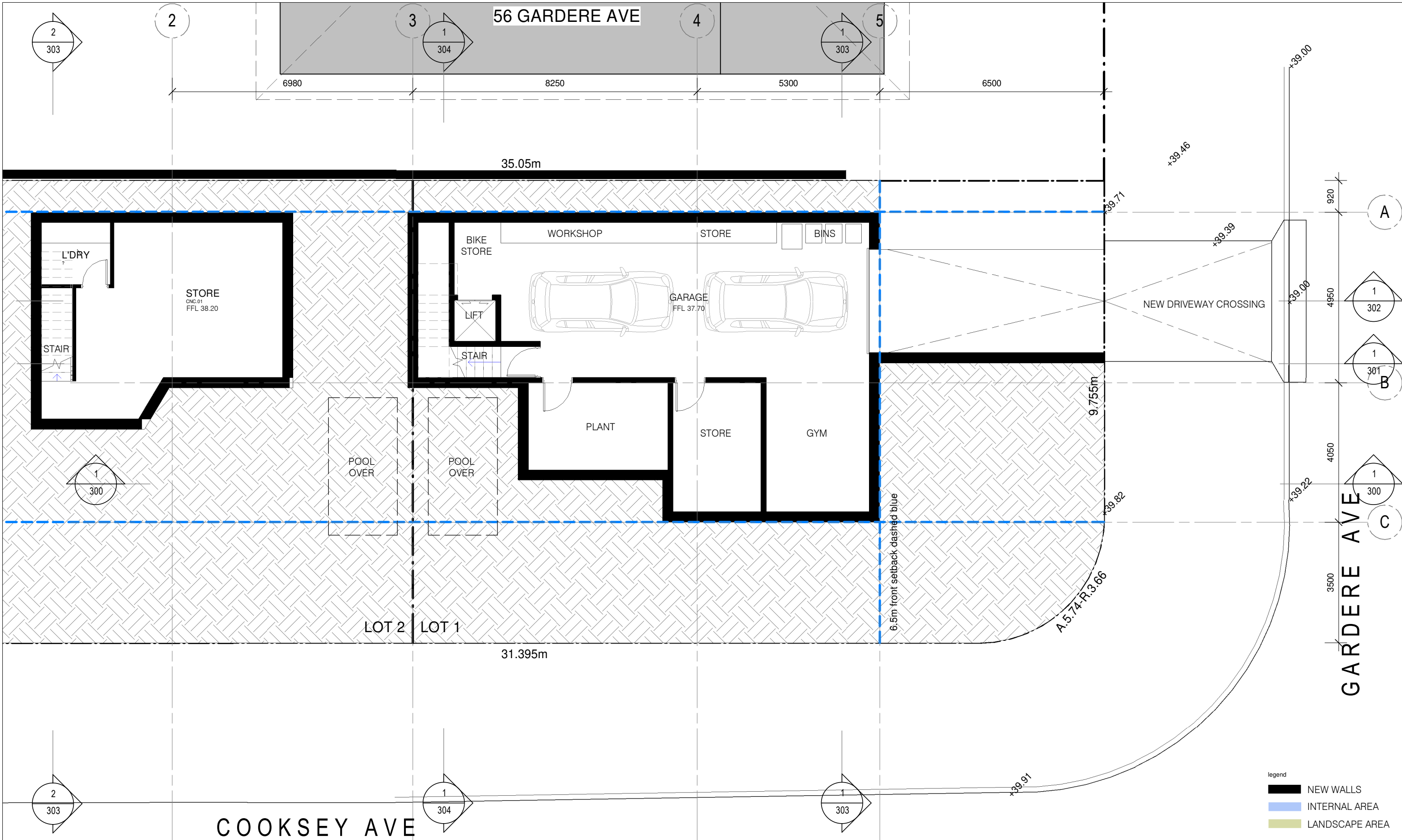
11.04.25

drawing no.

DA 050

issue

/ C



C

11.04.25

FOR DEVELOPMENT APPLICATION

B

02.04.25

FINAL COORDINATION

A

19.02.25

FOR CONSULTANT COORD.

issue

date

revision

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BASIX

Showerheads, toilets and taps to be min. 4* water rating.

Min. 2500L water tank connected to landscape, toilet, pool.

Hot water: Gas instantaneous 5* rating.

Ducted fans to kitchens, bathrooms, laundries. Manual switch.

1-phase AC, 2.5* rating. Natural light to bathrooms + kitchens.

Gas heating to pool, pool pump min. 6* rating.

Gas cooktop, electric oven. Outdoor clothes line.

1.7kW photovoltaic panels.

Lighting: Min. 40% fluro or LED lights.

R2.7 insulation to all external walls.

R2.7 ins. to internal framed walls in basement.

R4.0 ins. to conc. floor over basement.

R4.0 ins. to timber floor where open below.

R6.0 ins. to ceiling & 60mm anticon R1.3 ins. to roof.

Metal roof to be medium colour.

Windows

Group A-Double clear, alum. framed Uw 3.03, SHGC 0.40

Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31

Group A-Double clear, alum. framed Uw 2.6, SHGC 0.55

Group B-Double clear, alum. framed Uw 2.6, SHGC 0.6

Group B-Single low-E, alum. framed Uw 4.9 SHGC 0.53

Skylights-Double fixed, Uw 2.6, SHGC 0.53

A

B

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PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

BASEMENT PLAN

project

24011

drawing no.

scale

1 : 100@ A3

Author

draw

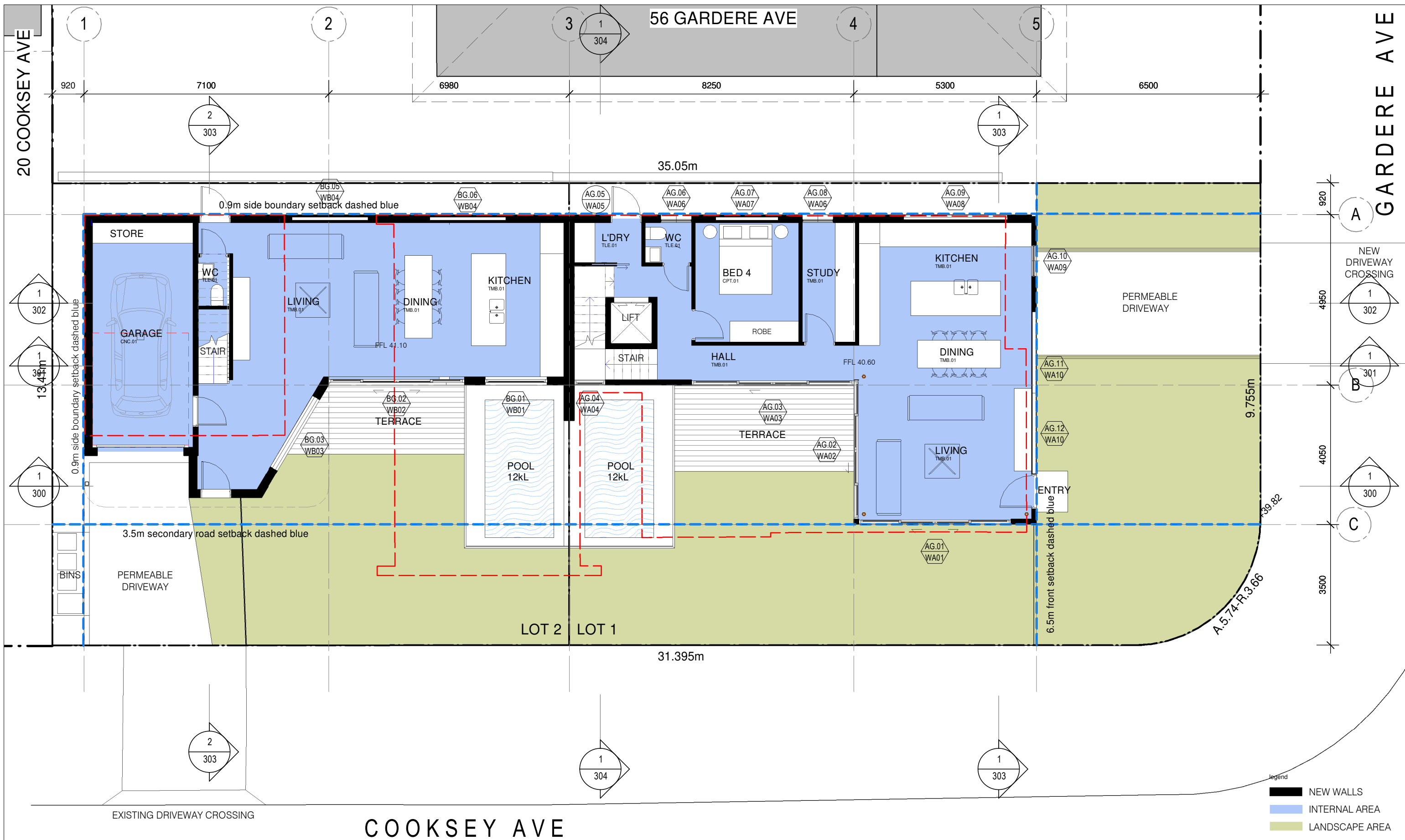
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11.04.25

issue

DA 100

/ C



C

11.04.25

FOR DEVELOPMENT APPLICATION

B

02.04.25

FINAL COORDINATION

A

19.02.25

FOR CONSULTANT COORD.

issue

date

revision

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1-phase AC, 2.5* rating. Natural light to bathrooms + kitchens.

Gas heating to pool, pool pump min. 6* rating. Gas cooktop, electric oven. Outdoor clothes line. 1.7kW photovoltaic panels.

Lighting: Min. 40% fluoro or LED lights. R2.7 insulation to all external walls.

R2.7 ins. to internal framed walls in basement. R4.0 ins. to conc. floor over basement. R4.0 ins. to timber floor where open below. R6.0 ins. to ceiling & 60mm anticon R1.3 ins. to roof. Metal roof to be medium colour.

Windows

Group A-Double clear, alum. framed Uw 3.03, SHGC 0.40

Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31

Group A-Double clear, alum. framed Uw 2.6, SHGC 0.55

Group B-Double clear, alum. framed Uw 2.6, SHGC 0.6

Group B-Single low-E, alum. framed Uw 4.9 SHGC 0.53

Skylights-Double fixed, Uw 2.6, SHGC 0.53

A

B

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PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

GROUND FLOOR PLAN

project

24011

scale

1 : 100@ A3

draw

AB

date

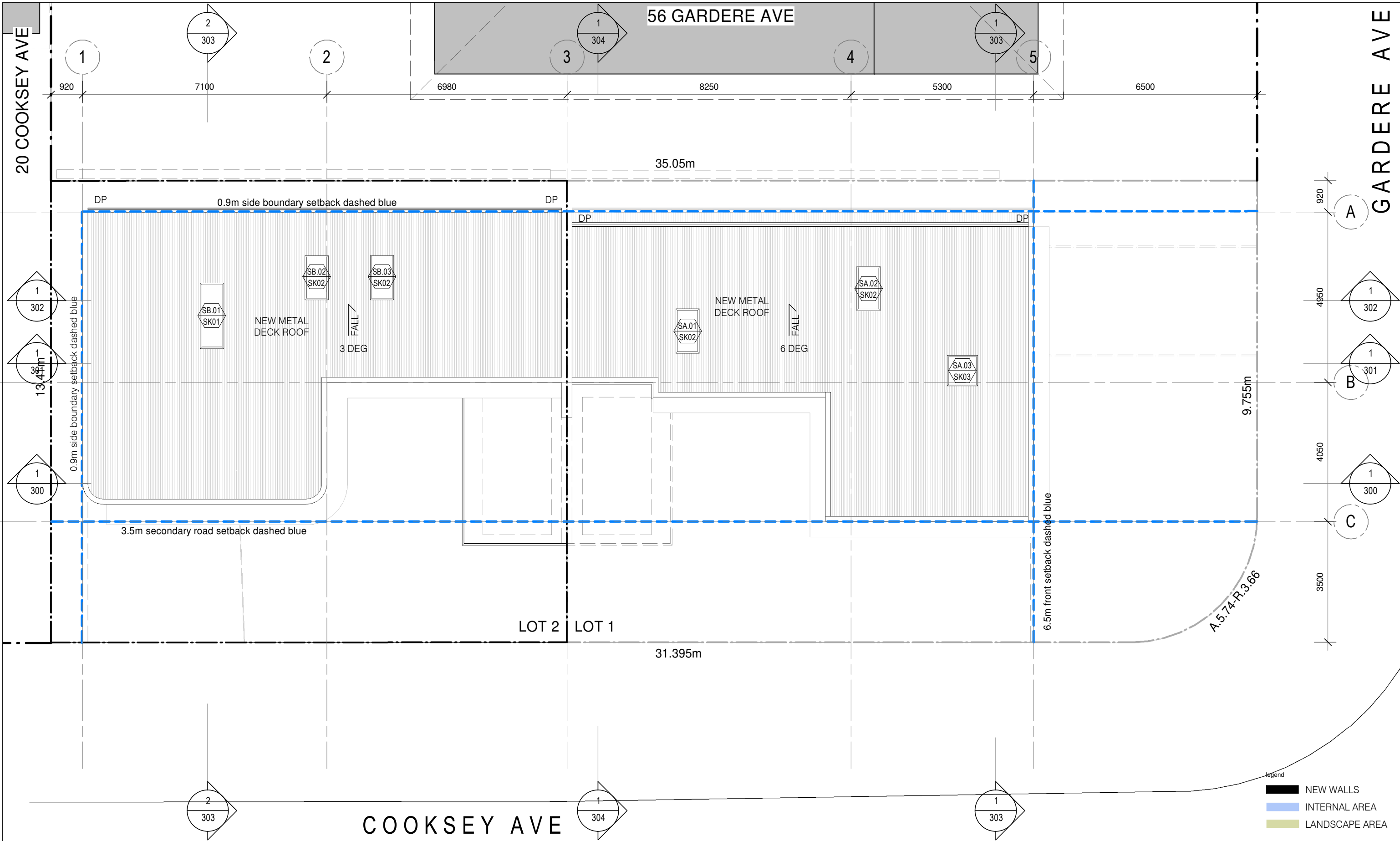
11.04.25



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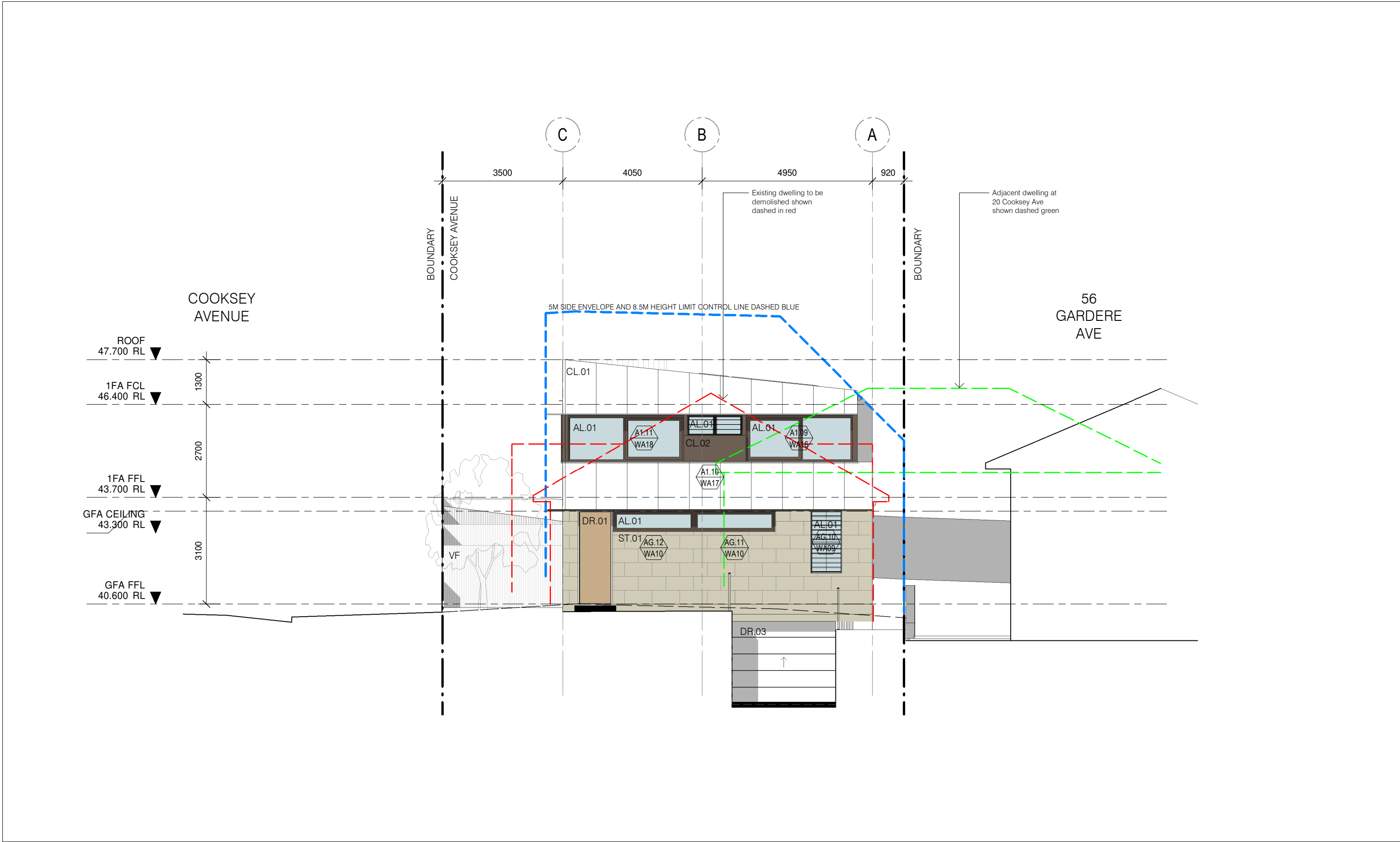
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issue

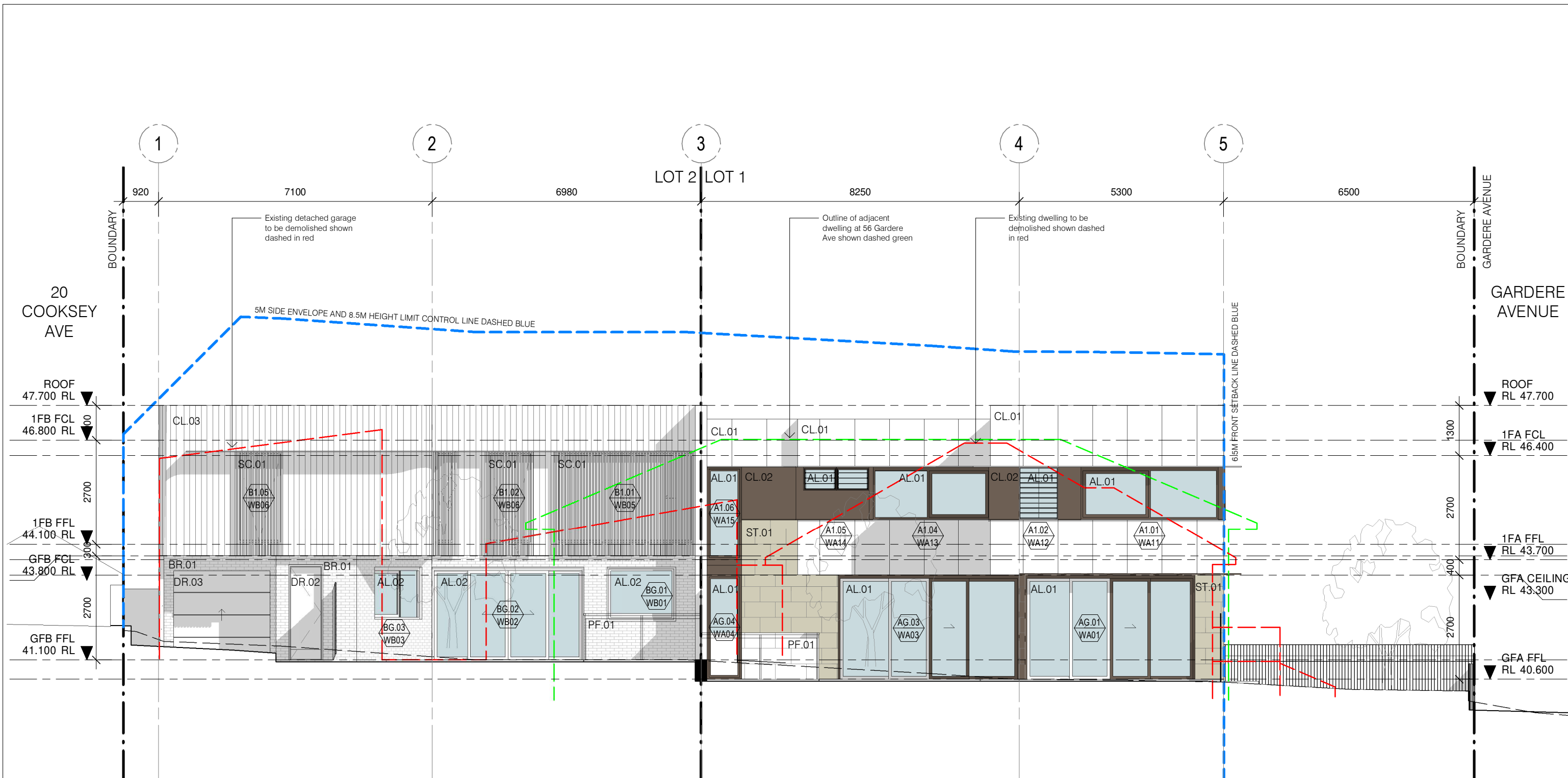
/ C



			<p>Notes</p> <p>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</p> <p>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</p> <p>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</p>			<p>BASIX</p> <p>Showerheads, toilets and taps to be min. 4* water rating. Min. 2500L water tank connected to landscape, toilet, pool. Hot water: Gas instantaneous 5* rating. Ducted fans to kitchens, bathrooms, laundries. Manual switch.</p> <p>1-phase AC, 2.5* rating. Natural light to bathrooms + kitchens.</p> <p>Gas heating to pool, pool pump min. 6* rating. Gas cooktop, electric oven. Outdoor clothes line. 1.7kW photovoltaic panels.</p> <p>Lighting: Min. 40% fluoro or LED lights. R2.7 insulation to all external walls.</p>			<p>R2.7 ins. to internal framed walls in basement. R4.0 ins. to conc. floor over basement. R4.0 ins. to timber floor where open below. R6.0 ins.to ceiling & 60mm anticon R1.3 ins. to roof. Metal roof to be medium colour.</p> <p><u>Windows</u></p> <p>Group A-Double clear, alum. framed Uw 3.03, SHGC 0.40 Group B-Double clear, alum. framed Uw 1.79, SHGC 0.31 Group A-Double clear, alum. framed Uw 2.6, SHGC 0.55 Group B-Double clear, alum. framed Uw 2.6, SHGC 0.6 Group B-Single low-E, alum. framed Uw 4.9 SHGC 0.53 Skylights-Double fixed, Uw 2.6, SHGC 0.53</p>			<div><div></div><div><div>ALEX BRYDEN</div><div>ARCHITECTURE</div></div><div>ALEXANDER BRYDEN · NSW ARB 9693 · Curl Curl NSW M: 0409 954 675 · E: studio@alexanderbryden.com.au ABN: 76 631 848 345</div></div>			<p>PROJECT</p> <p>NEW DUAL OCCUPANCY</p> <p>54 GARDERE AVENUE, CURL CURL NSW 2096</p>			<p>DRAWN</p> <p>ROOF PLAN</p>		
<p>C 11.04.25 FOR DEVELOPMENT APPLICATION</p> <p>B 02.04.25 FINAL COORDINATION</p> <p>A 19.02.25 FOR CONSULTANT COORD.</p> <p>issue date revision</p>						<p>CLIENT</p> <p>MR & MRS BRYDEN</p>			<div><div></div><div>project 24011</div><div>scale 1 : 100@ A3</div><div>draw AB</div><div>date 11.04.25</div></div>			<p>drawing no.</p> <p>DA 103</p> <p>issue / C</p>								



<p>C 11.04.25 FOR DEVELOPMENT APPLICATION</p> <p>B 02.04.25 FINAL COORDINATION</p> <p>A 19.02.25 FOR CONSULTANT COORD.</p> <p>issue date revision</p>			<p>Notes</p> <p>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</p> <p>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</p> <p>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</p>		<p>KEY (SEE SCHEDULES FOR DETAILS)</p> <p>AL.01 - ALUM. FRAMED GLAZING</p> <p>AL.02 - ALUM. FRAMED GLAZING</p> <p>BR.01 - PAINTED BRICKWORK</p> <p>CL.01 - VERTICAL CLADDING 1</p> <p>CL.02 - PANEL CLADDING</p> <p>CL.03 - VERTICAL CLADDING 2</p> <p>DR.0x - VARIOUS DOORS</p> <p>PF.01 - POOL FENCE</p> <p>ST.01 - STONE CLADDING</p> <p>VF.01 - VERTICAL FENCE 1</p> <p>VF.02 - VERTICAL FENCE 2</p>	<p>ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW</p> <p>M: 0409 954 675 . E: studio@alexbyden.com.au</p> <p>ABN: 76 631 848 345</p>	<p>PROJECT</p> <p>NEW DUAL OCCUPANCY</p> <p>54 GARDERE AVENUE, CURL CURL NSW 2096</p> <p>CLIENT</p> <p>MR & MRS BRYDEN</p>		<p>DRAWN</p> <p>NORTH ELEVATION</p> <p>project 24011</p> <p>scale 1 : 100@ A3</p> <p>draw AB</p> <p>date 11.04.25</p>		<p>drawing no.</p> <p>DA200</p> <p>issue / C</p>	
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C11.04.25FOR DEVELOPMENT APPLICATION

B02.04.25FINAL COORDINATION

A19.02.25FOR CONSULTANT COORD.

issue

date

revision

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KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING

AL.02 - ALUM. FRAMED GLAZING

BR.01 - PAINTED BRICKWORK

CL.01 - VERTICAL CLADDING 1

CL.02 - PANEL CLADDING

CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

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PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

EAST ELEVATION

project

24011

scale

1 : 100@ A3

draw

AB

date

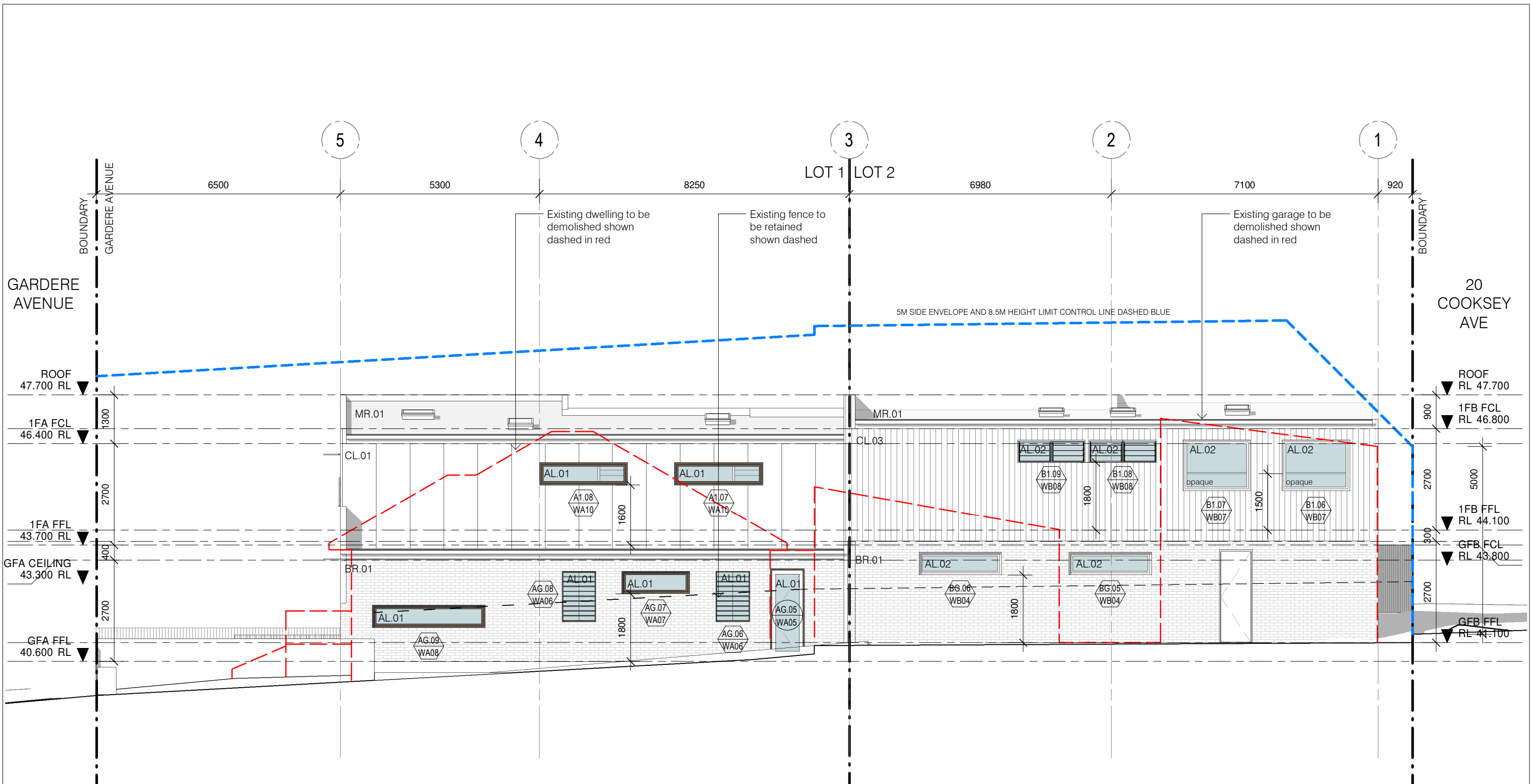
11.04.25

drawing no.

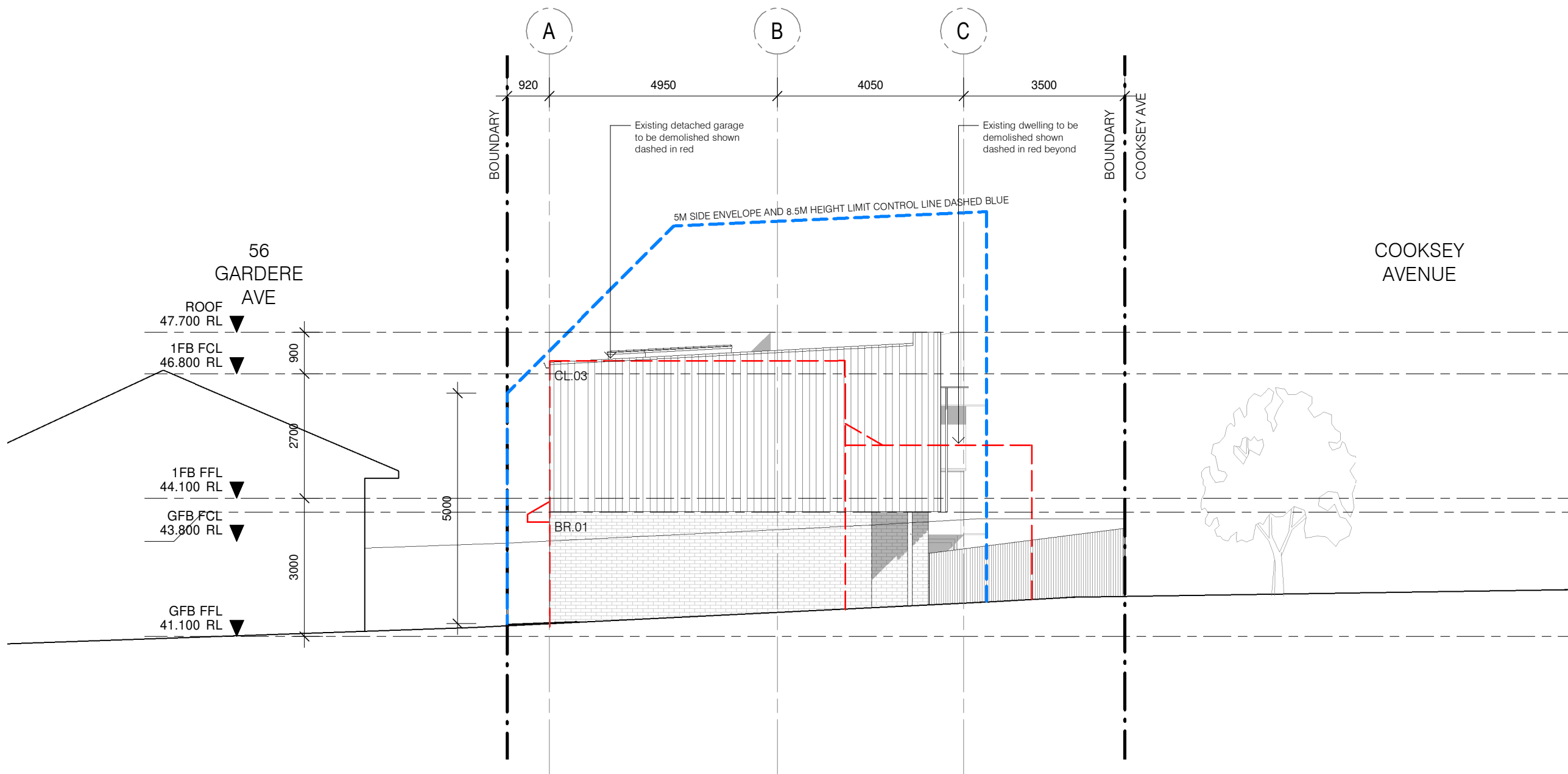
DA201

issue

/ C



<p>C 11.04.25 FOR DEVELOPMENT APPLICATION</p> <p>B 02.04.25 FINAL COORDINATION</p> <p>A 19.02.25 FOR CONSULTANT COORD.</p> <p>issue date revision</p>			<p>Notes</p> <p>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</p> <p>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</p> <p>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</p>		<p>KEY (SEE SCHEDULES FOR DETAILS)</p> <p>AL.01 - ALUM. FRAMED GLAZING</p> <p>AL.02 - ALUM. FRAMED GLAZING</p> <p>BR.01 - PAINTED BRICKWORK</p> <p>CL.01 - VERTICAL CLADDING 1</p> <p>CL.02 - PANEL CLADDING</p> <p>CL.03 - VERTICAL CLADDING 2</p> <p>DR.0x - VARIOUS DOORS</p> <p>PF.01 - POOL FENCE</p> <p>ST.01 - STONE CLADDING</p> <p>VF.01 - VERTICAL FENCE 1</p> <p>VF.02 - VERTICAL FENCE 2</p>	<p>PROJECT</p> <p>NEW DUAL OCCUPANCY</p> <p>54 GARDERE AVENUE, CURL CURL NSW 2096</p> <p>CLIENT</p> <p>MR & MRS BRYDEN</p>		<p>DRAWN</p> <p>WEST ELEVATION</p> <p>project 24011</p> <p>scale 1 : 100@ A3</p> <p>draw AB</p> <p>date 11.04.25</p>		<p>drawing no.</p> <p>DA202</p> <p>issue / C</p>	
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KEY (SEE SCHEDULES FOR DETAILS)

- AL.01 - ALUM. FRAMED GLAZING
- AL.02 - ALUM. FRAMED GLAZING
- BR.01 - PAINTED BRICKWORK
- CL.01 - VERTICAL CLADDING 1
- CL.02 - PANEL CLADDING
- CL.03 - VERTICAL CLADDING 2
- DR.0x - VARIOUS DOORS
- PF.01 - POOL FENCE
- ST.01 - STONE CLADDING
- VF.01 - VERTICAL FENCE 1
- VF.02 - VERTICAL FENCE 2



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWING

SOUTH ELEVATION

project 24011

scale 1 : 100@ A3

draw AB

date 11.04.25

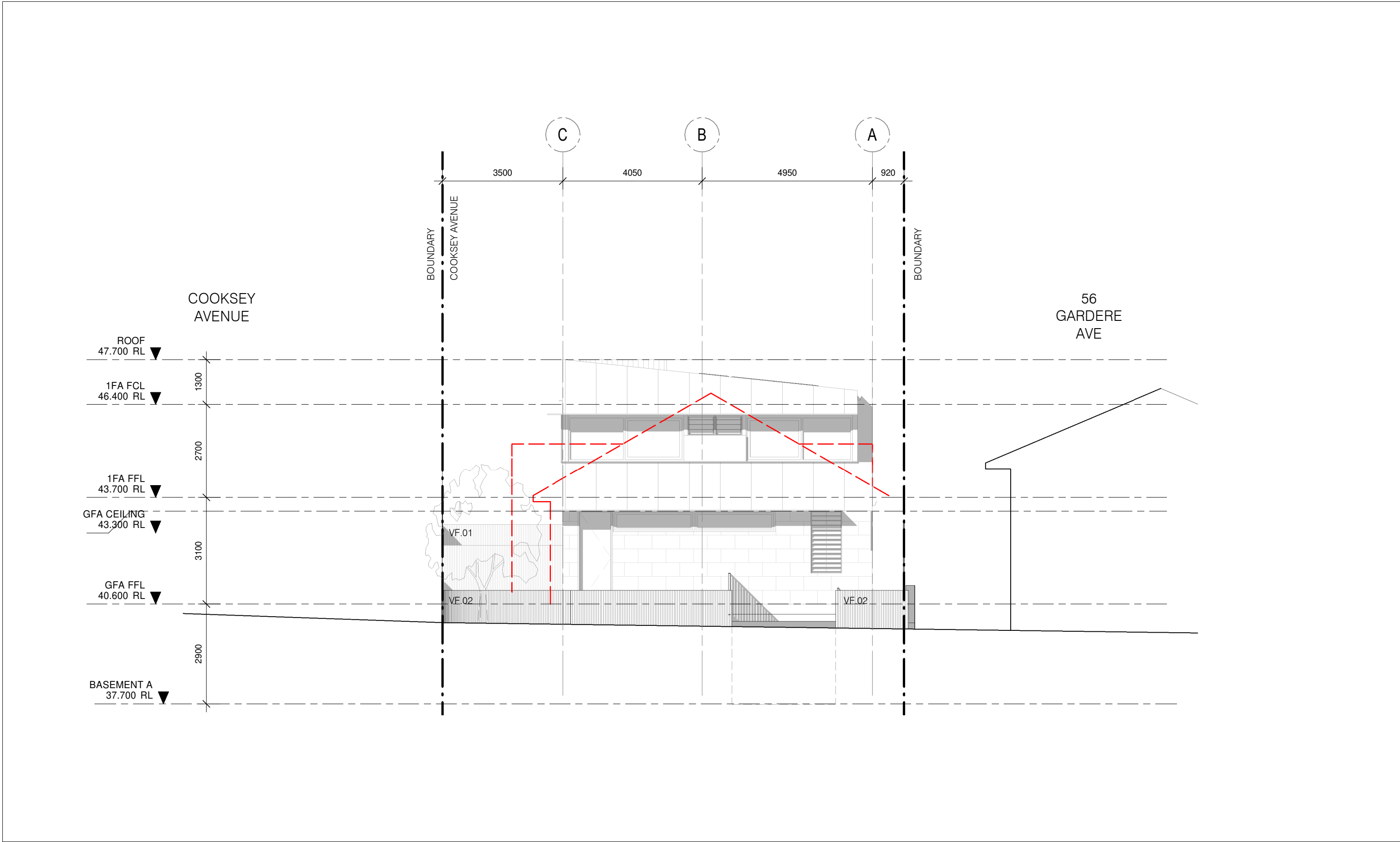
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DA203

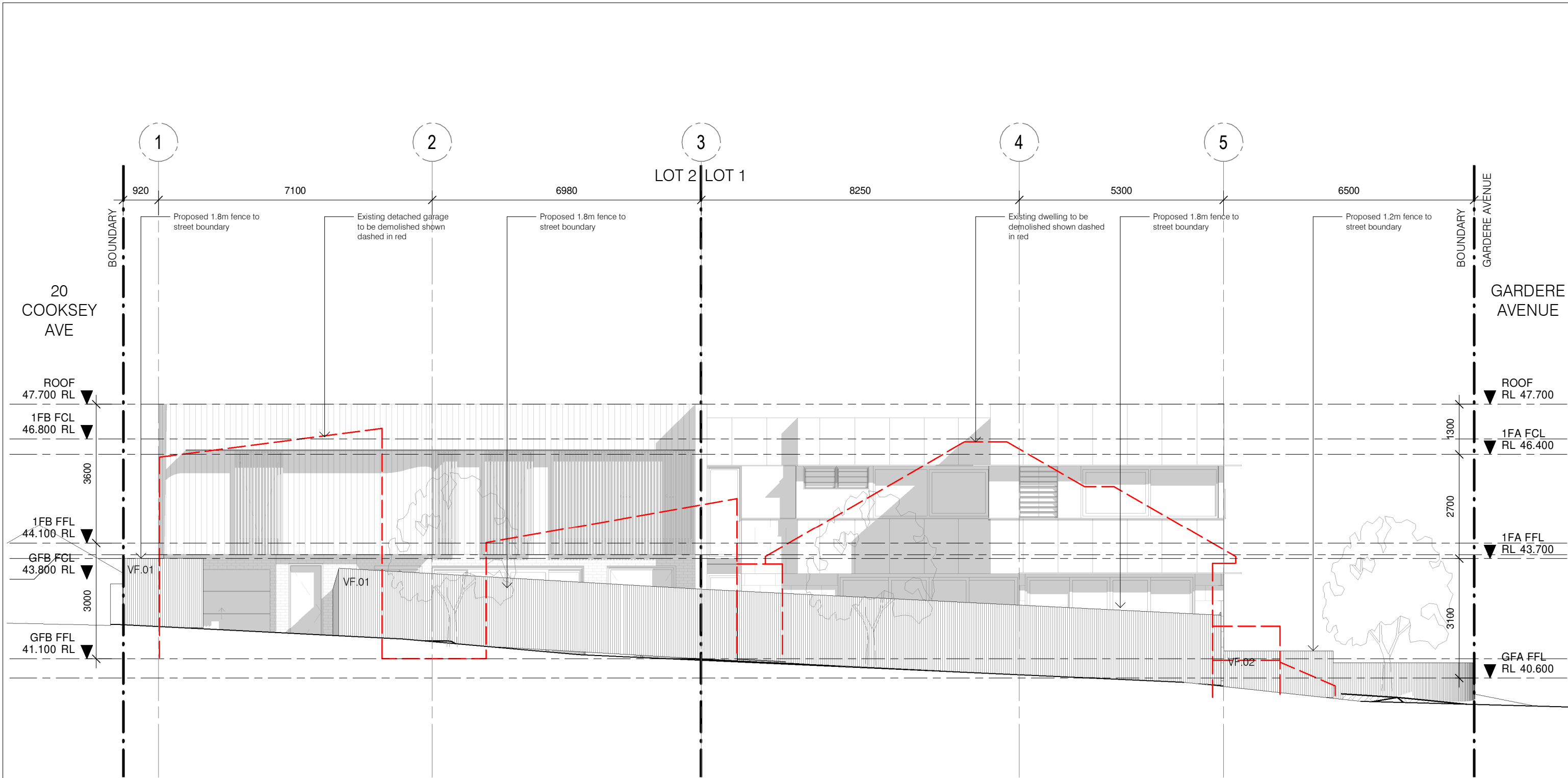
issue

/ C

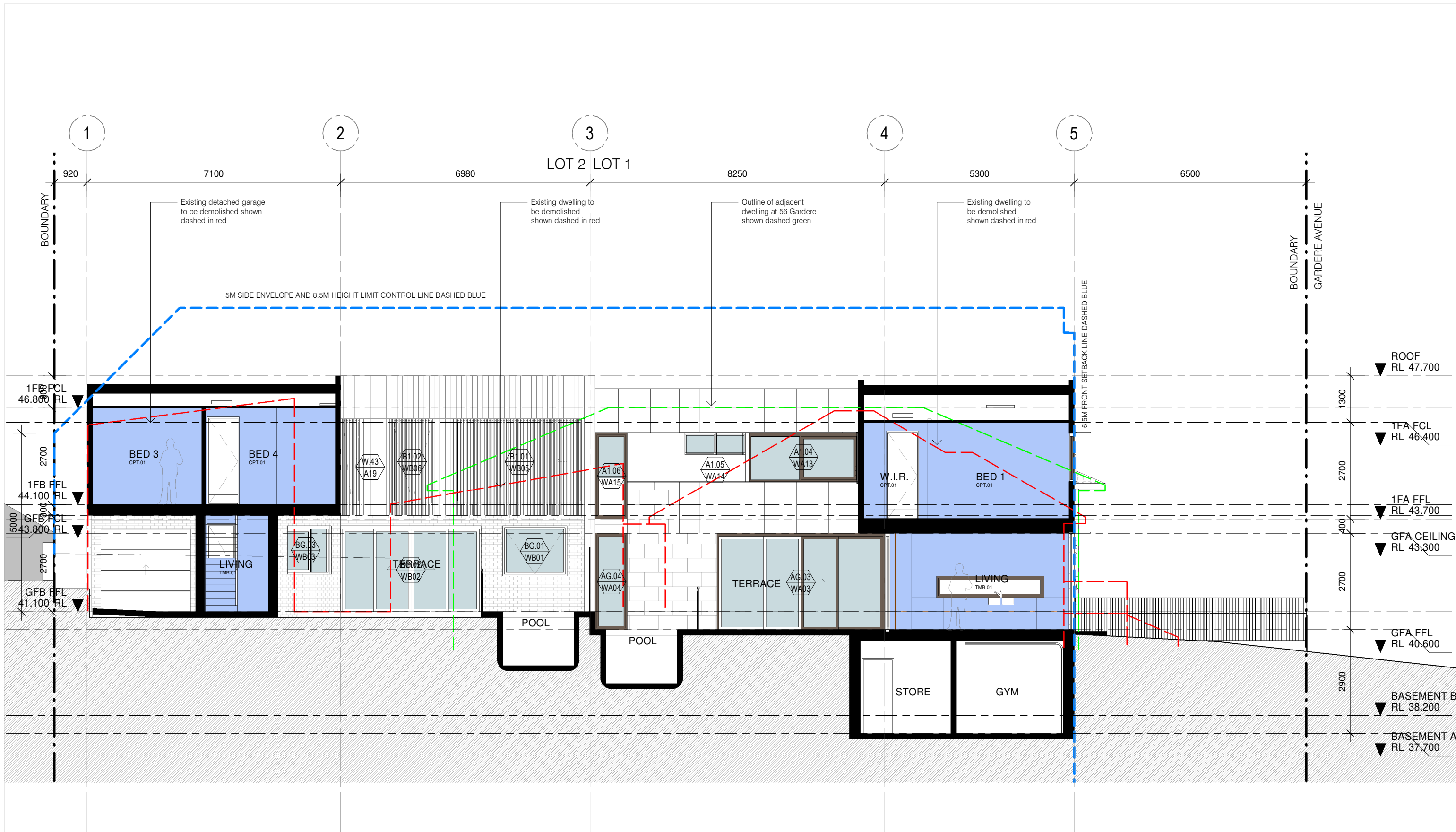
C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



<div>C11.04.25FOR DEVELOPMENT APPLICATION</div> <div>B02.04.25FINAL COORDINATION</div> <div>A19.02.25FOR CONSULTANT COORD.</div> <div>issue date revision</div>			<div>Notes</div> <div>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</div> <div>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</div> <div>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</div>		<div>KEY (SEE SCHEDULES FOR DETAILS)</div> <div>AL.01 - ALUM. FRAMED GLAZING</div> <div>AL.02 - ALUM. FRAMED GLAZING</div> <div>BR.01 - PAINTED BRICKWORK</div> <div>CL.01 - VERTICAL CLADDING 1</div> <div>CL.02 - PANEL CLADDING</div> <div>CL.03 - VERTICAL CLADDING 2</div> <div>DR.0x - VARIOUS DOORS</div> <div>PF.01 - POOL FENCE</div> <div>ST.01 - STONE CLADDING</div> <div>VF.01 - VERTICAL FENCE 1</div> <div>VF.02 - VERTICAL FENCE 2</div>		<div><div></div><div>ALEX BRYDEN ARCHITECTURE</div><div>ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW M: 0409 954 675 . E: studio@alexbyden.com.au ABN: 76 631 848 345</div></div>		<div>PROJECT</div> <div>NEW DUAL OCCUPANCY</div> <div>54 GARDERE AVENUE, CURL CURL NSW 2096</div> <div>CLIENT</div> <div>MR & MRS BRYDEN</div>		<div>DRAWING</div> <div>NORTH STREET ELEVATION</div> <div>project24011</div> <div>scale1 : 100@ A3</div> <div>drawAB</div> <div>date11.04.25</div> <div>drawing no.</div> <div>DA210</div> <div>issue</div> <div>/ C</div>	
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<p>C 11.04.25 FOR DEVELOPMENT APPLICATION</p> <p>B 02.04.25 FINAL COORDINATION</p> <p>A 19.02.25 FOR CONSULTANT COORD.</p> <p>issue date revision</p>			<p>Notes</p> <p>This drawing is copyright and is not to be replicated or used for any purpose without the written consent of Alex Bryden Architecture.</p> <p>Use figured dimensions only - do not scale from this drawing. All dimensions to structure - confirm all dimensions on site.</p> <p>This drawing is to be read in conjunction with all relevant consultant documentation, schedules and specifications.</p>		<p>KEY (SEE SCHEDULES FOR DETAILS)</p> <p>AL.01 - ALUM. FRAMED GLAZING</p> <p>AL.02 - ALUM. FRAMED GLAZING</p> <p>BR.01 - PAINTED BRICKWORK</p> <p>CL.01 - VERTICAL CLADDING 1</p> <p>CL.02 - PANEL CLADDING</p> <p>CL.03 - VERTICAL CLADDING 2</p> <p>DR.0x - VARIOUS DOORS</p> <p>PF.01 - POOL FENCE</p> <p>ST.01 - STONE CLADDING</p> <p>VF.01 - VERTICAL FENCE 1</p> <p>VF.02 - VERTICAL FENCE 2</p>	<p> ALEX BRYDEN ARCHITECTURE</p> <p>ALEXANDER BRYDEN . NSW ARB 9693 . Curl Curl NSW M: 0409 954 675 . E: studio@alexbyden.com.au ABN: 76 631 848 345</p>	<p>PROJECT</p> <p>NEW DUAL OCCUPANCY</p> <p>54 GARDERE AVENUE, CURL CURL NSW 2096</p> <p>CLIENT</p> <p>MR & MRS BRYDEN</p>	<p>DRAWN</p> <p>EAST STREET ELEVATION</p> <p>project 24011</p> <p>scale 1 : 100@ A3</p> <p>draw AB</p> <p>date 11.04.25</p> <p>drawing no. DA211</p> <p>issue / C</p>	
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KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING
AL.02 - ALUM. FRAMED GLAZING
BR.01 - PAINTED BRICKWORK
CL.01 - VERTICAL CLADDING 1
CL.02 - PANEL CLADDING
CL.03 - VERTICAL CLADDING 2
DR.0x - VARIOUS DOORS
PF.01 - POOL FENCE
ST.01 - STONE CLADDING
VF.01 - VERTICAL FENCE 1
VF.02 - VERTICAL FENCE 2

PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

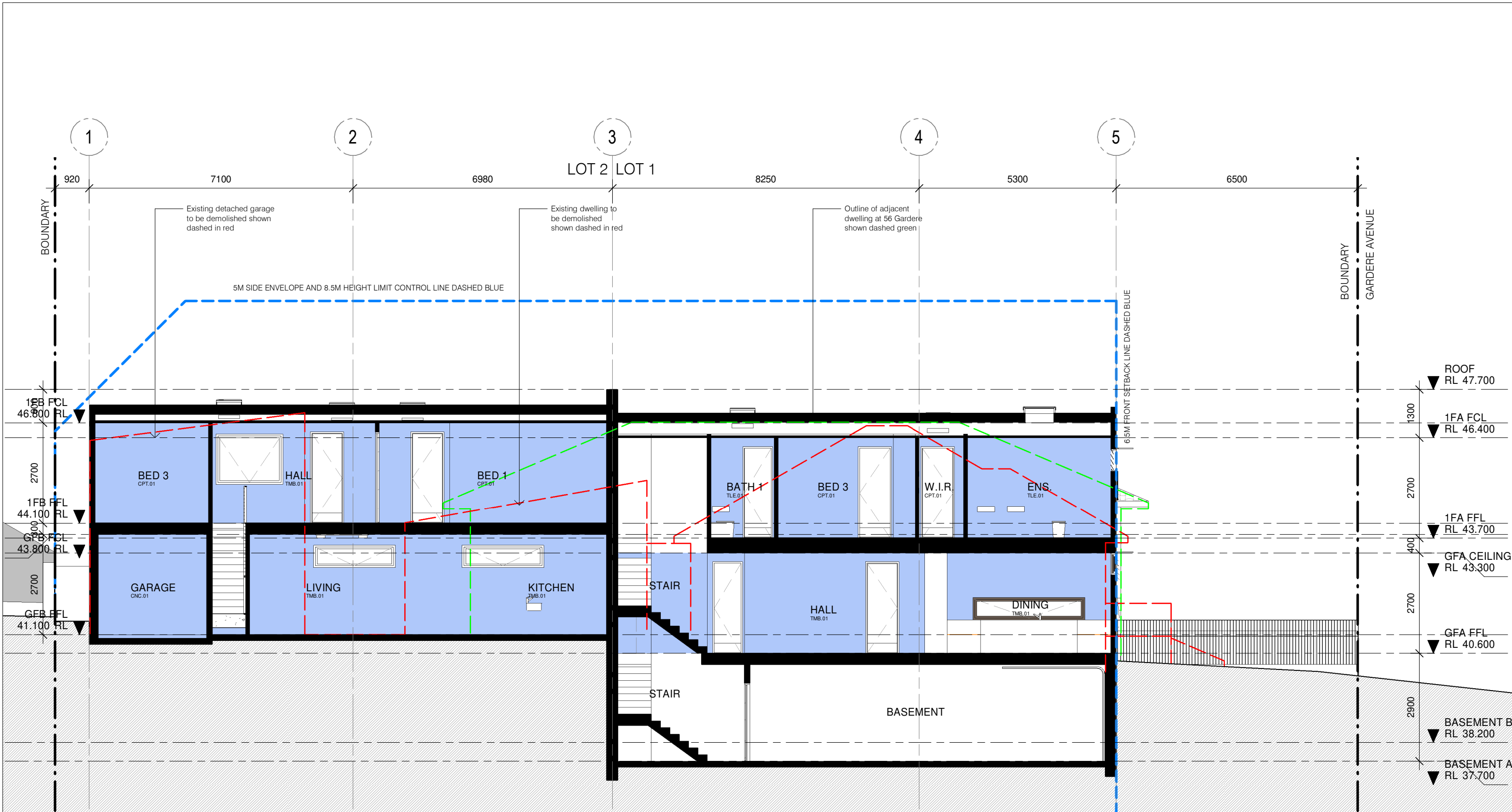
LONG SECTION 1

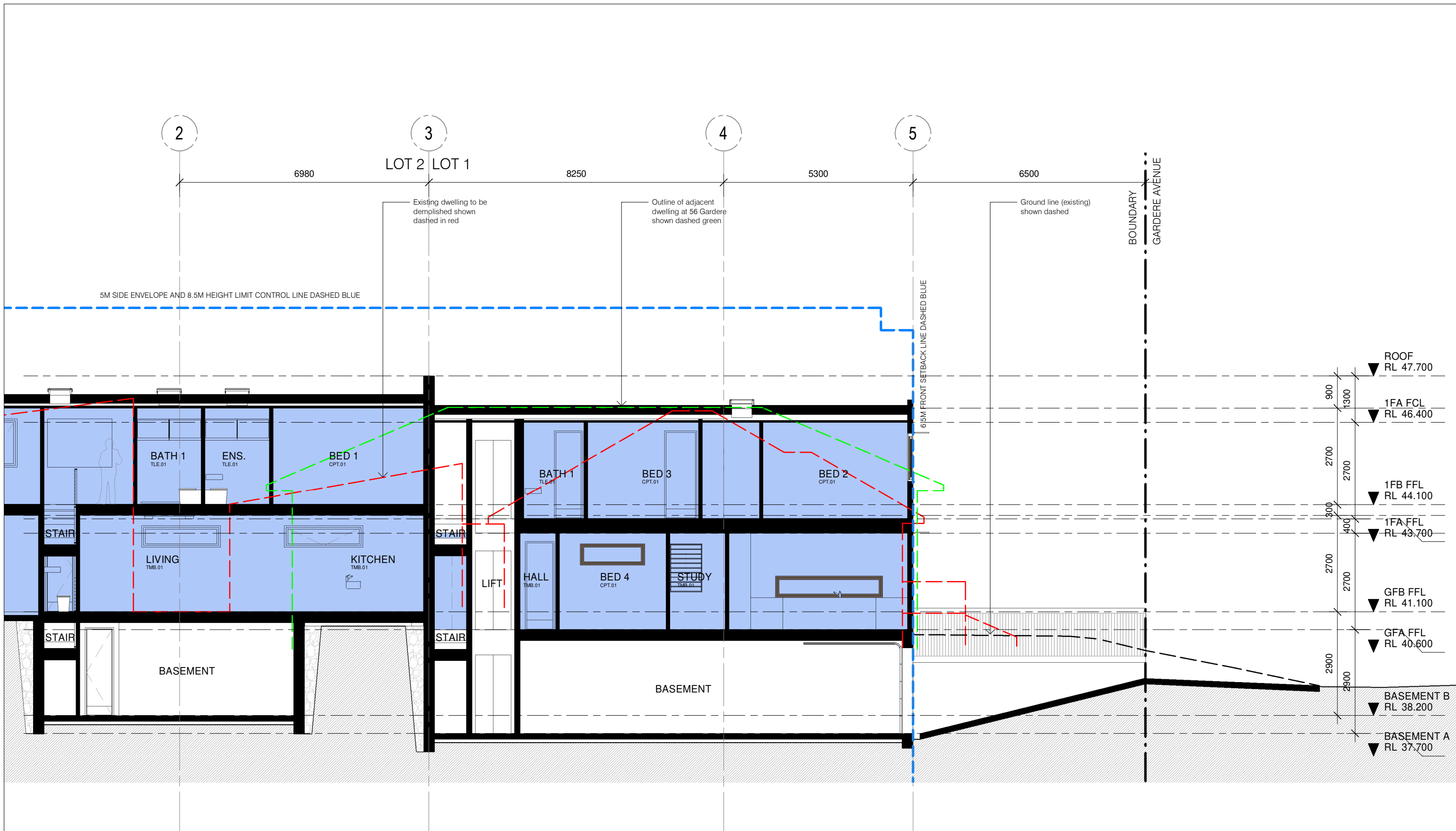
project 24011
scale 1 : 100@ A3
draw AB
date 11.04.25

drawing no. DA300
issue / C

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C11.04.25FOR DEVELOPMENT APPLICATION

B02.04.25FINAL COORDINATION

A19.02.25FOR CONSULTANT COORD.

issue

date

revision

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KEY (SEE SCHEDULES FOR DETAILS)

AL.01 - ALUM. FRAMED GLAZING

AL.02 - ALUM. FRAMED GLAZING

BR.01 - PAINTED BRICKWORK

CL.01 - VERTICAL CLADDING 1

CL.02 - PANEL CLADDING

CL.03 - VERTICAL CLADDING 2

DR.0x - VARIOUS DOORS

PF.01 - POOL FENCE

ST.01 - STONE CLADDING

VF.01 - VERTICAL FENCE 1

VF.02 - VERTICAL FENCE 2

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ALEX BRYDEN

ARCHITECTURE

PROJECT

NEW DUAL OCCUPANCY

54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

LONG SECTION 3

project

24011

scale

1 : 100@ A3

draw

AB

date

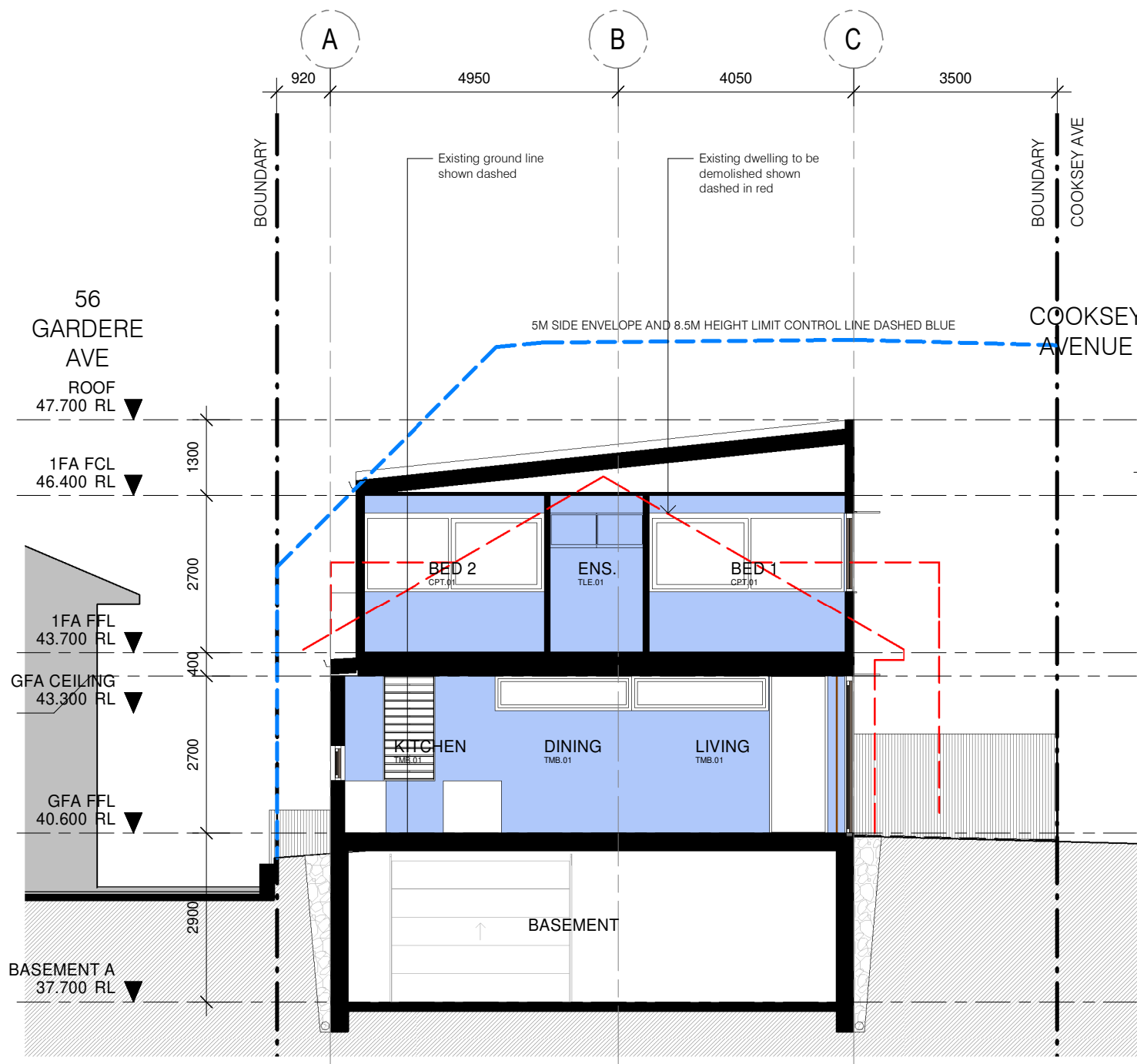
11.04.25

drawing no.

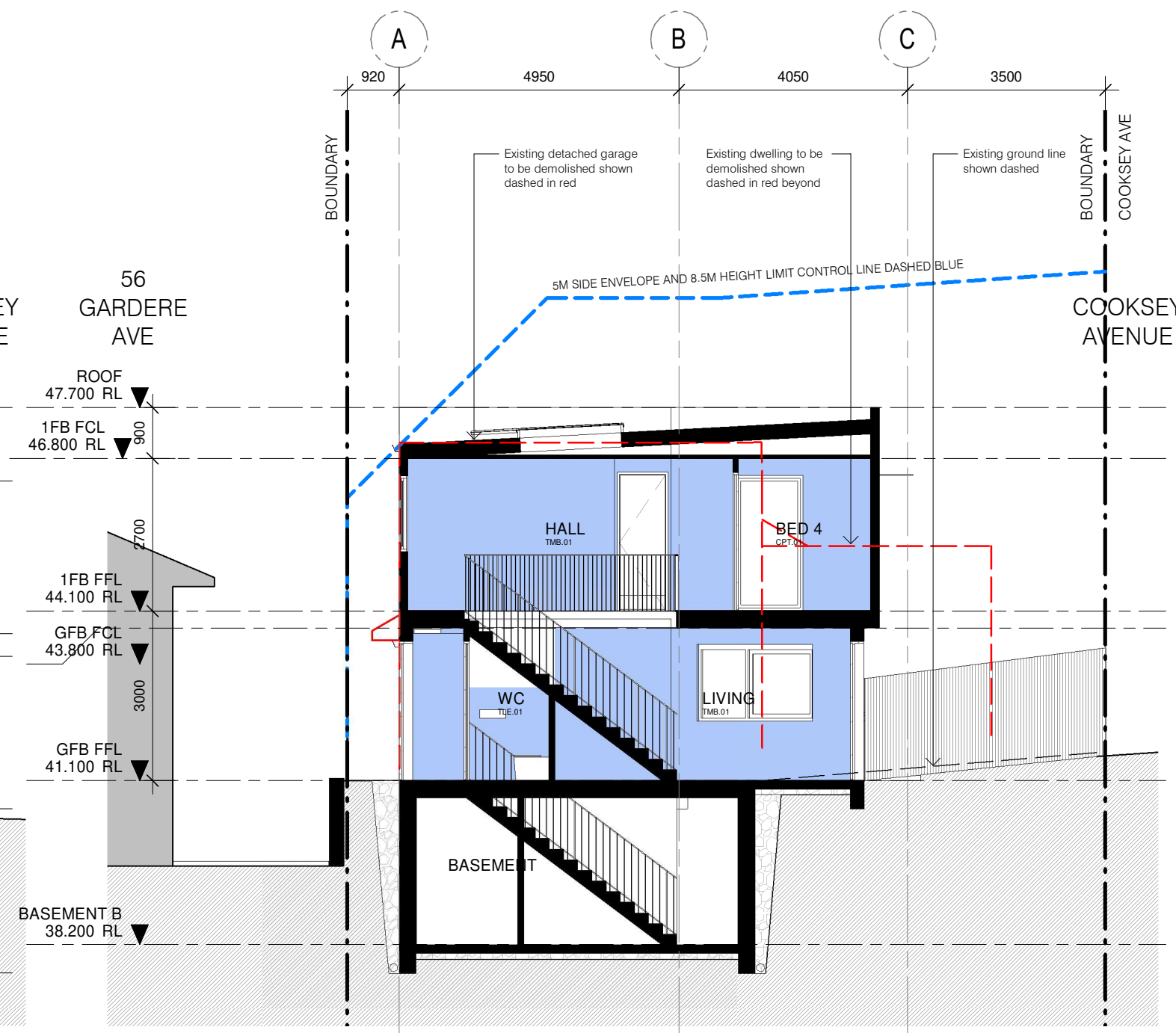
DA302

issue

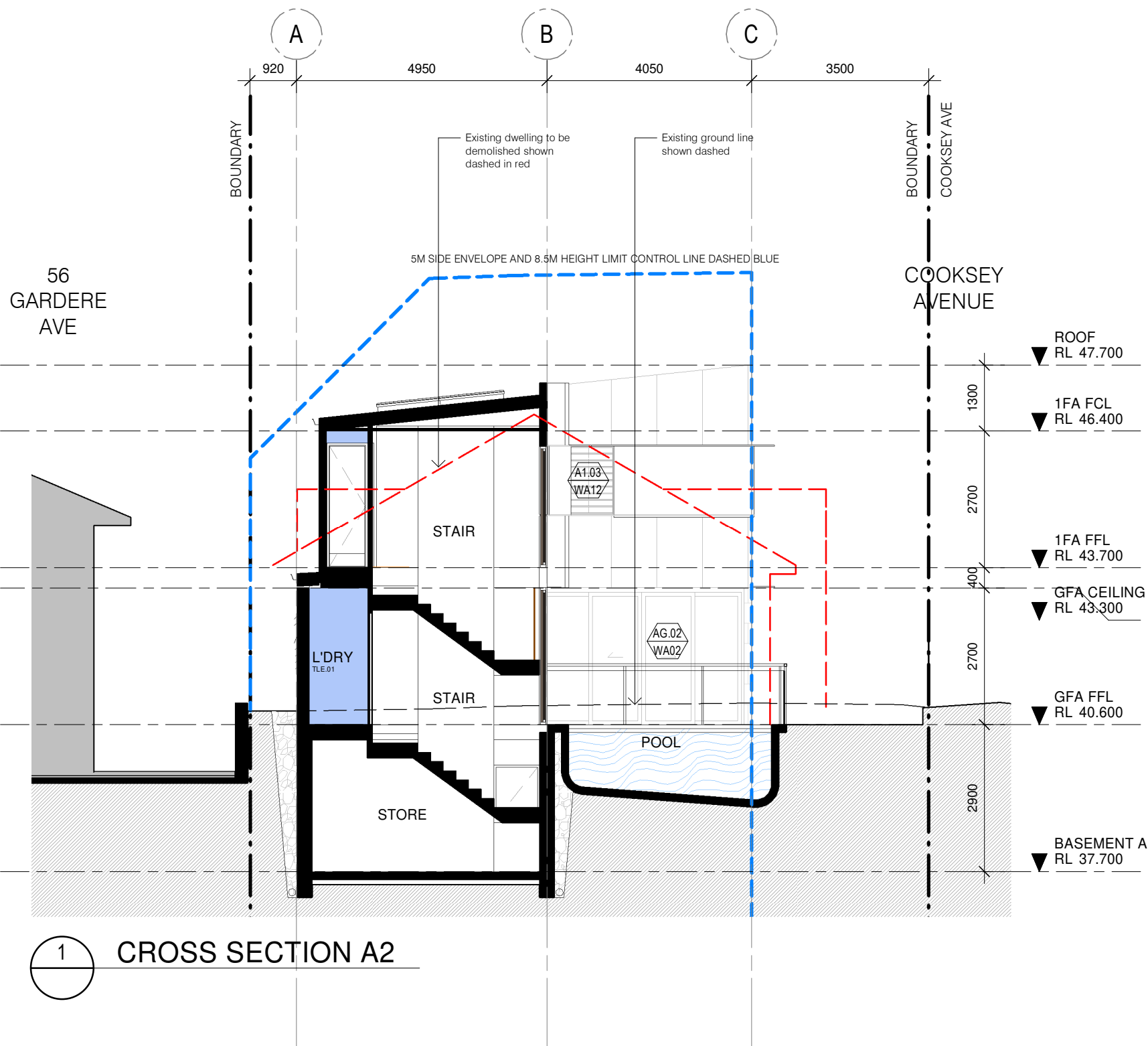
/ C



1 CROSS SECTION A



2 CROSS SECTION B



1 CROSS SECTION A2

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KEY (SEE SCHEDULES FOR DETAILS)

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- BR.01 - PAINTED BRICKWORK
- CL.01 - VERTICAL CLADDING 1
- CL.02 - PANEL CLADDING
- CL.03 - VERTICAL CLADDING 2
- DR.0x - VARIOUS DOORS
- PF.01 - POOL FENCE
- ST.01 - STONE CLADDING
- VF.01 - VERTICAL FENCE 1
- VF.02 - VERTICAL FENCE 2

C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision

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PROJECT	NEW DUAL OCCUPANCY
	54 GARDERE AVENUE, CURL CURL NSW 2096
CLIENT	MR & MRS BRYDEN

DRAWN	CROSS SECTIONS 2
project	24011
scale	1 : 100@ A3
draw	AB
date	11.04.25
drawing no.	DA304
issue	/ C



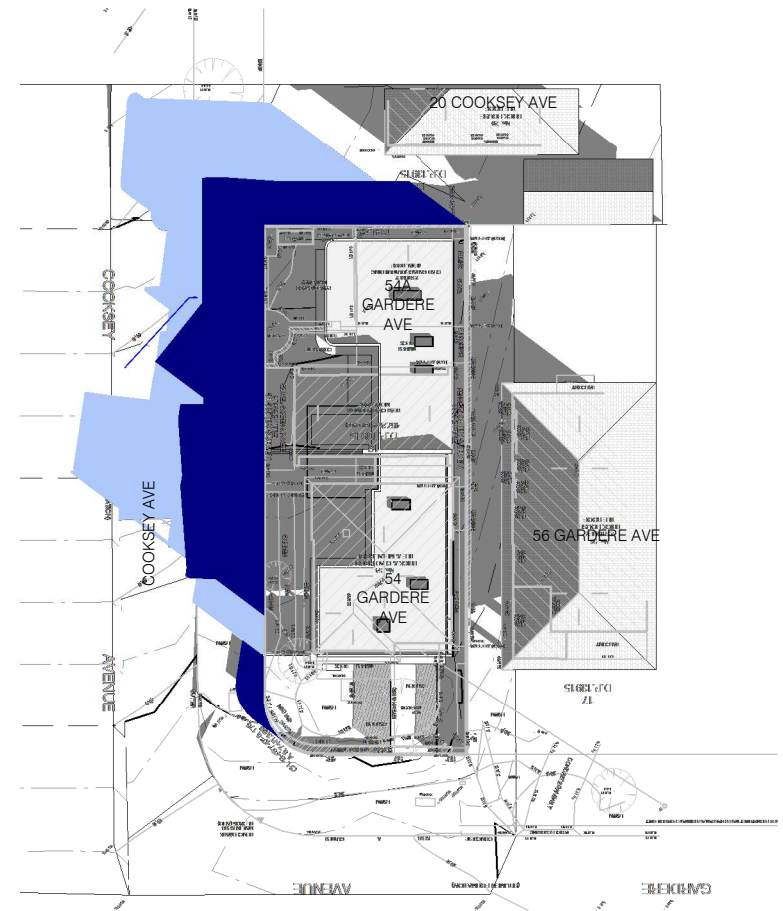
GARDERE AVE

1 JUNE 21 9AM



GARDERE AVE

2 JUNE 21 12PM



GARDERE AVE

3 JUNE 21 3PM

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legend

- SHADOWS CAST BY EXIS
- ADDITIONAL SHADOWS



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

ADDITIONS

MR & MRS BRYDEN

DRAWIN

SHADOW DIAGRAMS

project 24011

scale As@ A3

draw indicated

date 11.04.25

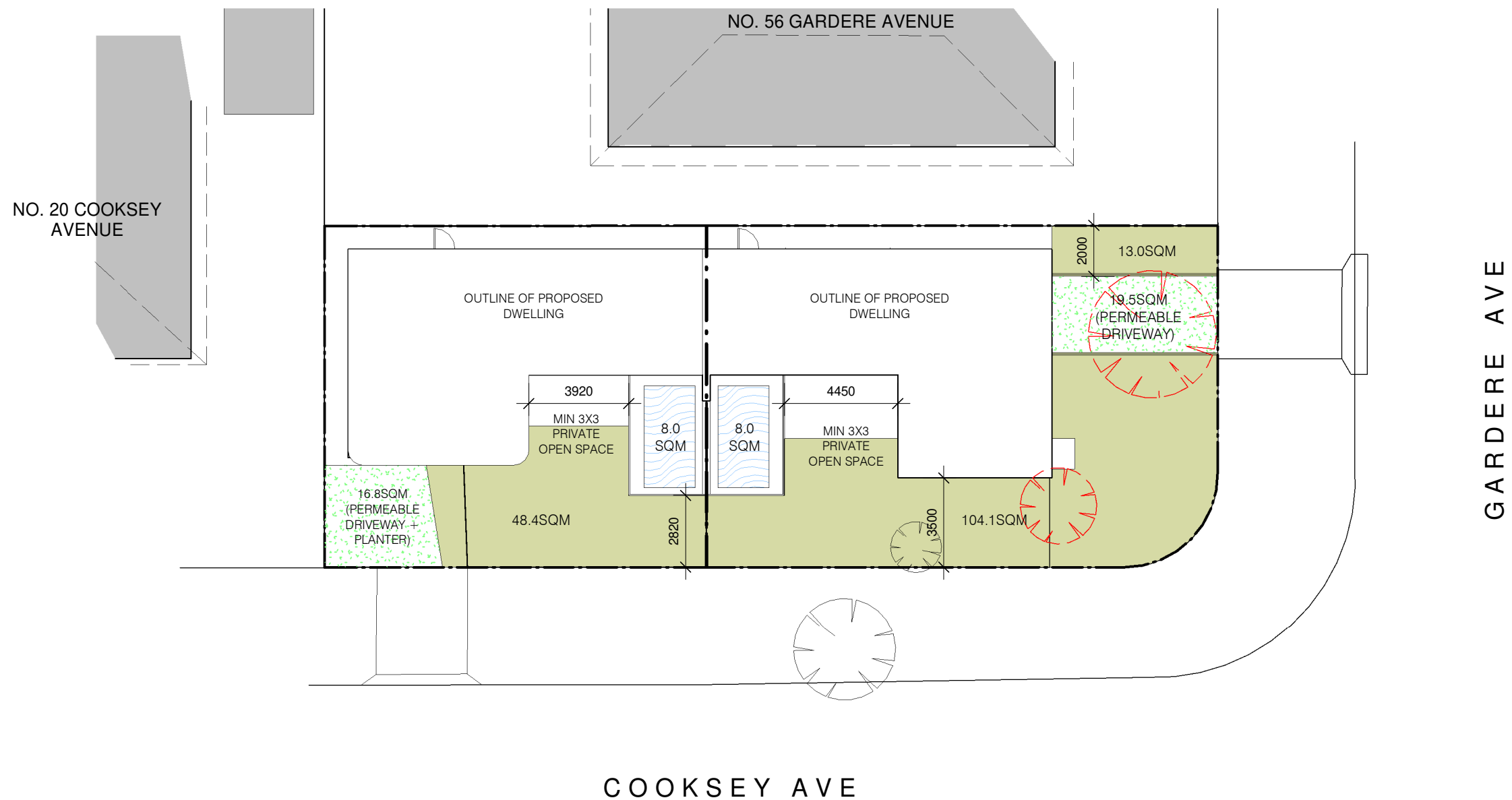
drawing no.

DA400

issue

/ C

C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
A	19.02.25	FOR CONSULTANT COORD.
issue	date	revision



LANDSCAPE OPEN SPACE

SITE AREA
MINIMUM OF 40% LANDSCAPE AREA TO BE PROVIDED
EXISTING LANDSCAPE OPEN SPACE (INC. PERMEABLE DRIVEWAY)
PROPOSED LANDSCAPE OPEN SPACE
PROPOSED PERMEABLE DRIVEWAYS
TOTAL
COMPLIES

= 467.2 sqm
= 186.9 sqm / 40%
= 172.1 sqm / 36.8%
= 181.5 sqm / 38.8%
= 36.3 sqm
= 217.8 / 46.6%
YES

--- EXISTING TREES TO BE REMOVED
--- EXISTING TREES TO BE RETAINED
GRASS OR VEGETATION
PERMEABLE GROUND COVER EG. GRASS PAVERS

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issue	date	revision
C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
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PROJECT
NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT
MR & MRS BRYDEN

DRAWING
LANDSCAPE OPEN SPACE

project 24011
scale As@ A3
draw indicated AB
date 11.04.25

drawing no.
DA500
issue / C

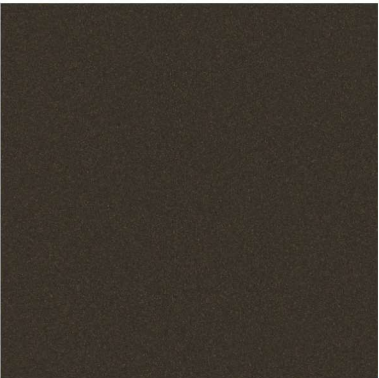
LOT A



AG.01 - ALUM. GLAZING
Powdercoated aluminium with clear glazing



CL.01 - VERTICAL CLADDING
White painted cladding



CL.02 - CLADDING
Bronze painted



ST.01 - STONE CLADDING
White sandstone cladding

LOT B



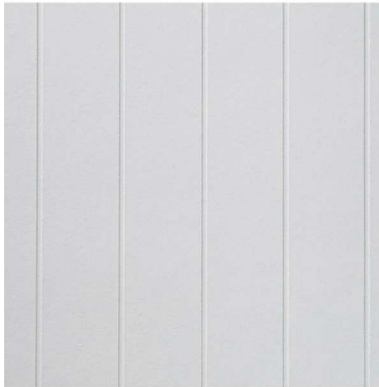
MR.01 - METAL ROOFING
Colorbond Shale Grey



PF.01 - POOL FENCE
Frameless glazed pool fence



SC.01 / VF.01 - SCREEN / FENCE
Vertical timber battens



CL.03 - VERTICAL CLADDING
White painted cladding



BR.01 - PAINTED FINISH
White painted face brick



AG.02 - ALUM. GLAZING
Powdercoated aluminium with clear glazing

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DR.0x - VARIOUS DOORS
PF.01 - POOL FENCE
ST.01 - STONE CLADDING
VF.01 - VERTICAL FENCE 1
VF.02 - VERTICAL FENCE 2



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWN

EXTERNAL FINISHES SCHEDULE

project 24011
scale @ A3
draw AB
date 11.04.25

drawing no.

DA 700
/ C

C	11.04.25	FOR DEVELOPMENT APPLICATION
B	02.04.25	FINAL COORDINATION
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issue	date	revision



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PROJECT

NEW DUAL OCCUPANCY
54 GARDERE AVENUE, CURL CURL NSW 2096

CLIENT

MR & MRS BRYDEN

DRAWING

PERSPECTIVES

project 24011
scale @ A3
draw AB
date 11.04.25

drawing no.

DA 800
/ C