DRAWING No.

DA1000

DA1001

DA1002

DA1003

DA1004

DA1005

DA1006

DA1007

DA1008

DA1009

DA1010

DA2001

DA2002

DA2003

DA2004

DA2005

DA2006

DA3000

DA3001

DA3002

DA3003

DA3004

DA4000

DA4001

DA4002

DA4003

DA5000

DA5001

DA5002 DA5003

DA5004

DA5005

DA5006

DA5007

DA5008

DESCRIPTION

Cover Sheet

SITE SURVEY 1

SITE SURVEY 2

SITE PLAN

A4 NOTIFICATION PLAN

Demolition Ground Floor Plan

Landscape Open Space Plan Proposed

Excavation & Fill Plan

Sediment & Erosion Plan

Waste Management Plan

LOWER GROUND FLOOR

SECONDARY DWELLING

GROUND FLOOR SOUTH

GROUND FLOOR NORTH

FIRST FLOOR

SECTION 1

SECTION 2

SECTION DRIVE 1

SECTION DRIVE 2

SECTION POOL

ELEVATIONS 1

ELEVATIONS 2

ELEVATIONS GF 1

ELEVATIONS GF 2

PERSPECTIVE 1

PERSPECTIVE 2

Basix Primary Dwelling

Basix Secondary Dwelling

SHADOW PLAN 21st June 9am

SHADOW PLAN 21st June 12pm

SHADOW PLAN 21st June 3pm

WALL ELEVATION SHADOWS No.84

WALL ELEVATION SHADOWS No.88

MATERIAL & COLOUR SAMPLE BOARD

Landscape Plan

Rapíd Plans www.rapídplans.com.au

P.O. Box 6193 Frenchs Forest DC NSW 2086

Fax: (02) 9905-8865 Mobile: 0414-945-024

Email: gregg@rapidplans.com.au



New Primary & Secondary Dwellings

For Mick & Patrice Clues

86 Quirk Street Dee Why

Lot 3 D.P.10683

Project Number: RP0520CLU



Curl Curl



ISSUED DATE

16-7-2020

16-7-2020 16-7-2020

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- 16-7-2020

Nationwide House Energy Rating Scheme NatHERS Certificate No. 0004978078

Generated on 03 Jul 2020 using BERS Pro v4.4.0.1 (3.21)

3/10683 NCC Class

Brookvale

6.2 HOUS 49.5 MJ/m

Abbott Rd

Nationwide House Energy Rating Scheme NatHERS Certificate No. 0004978060 ted on 03 Jul 2020 using BERS Pro v4.4.0.1 (3.21)

NCC Clas

HOUS

65.1 MJ/m

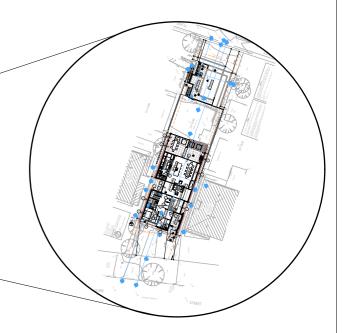
BASIX*Certificate

BASIX Certificate

Single Dwelling





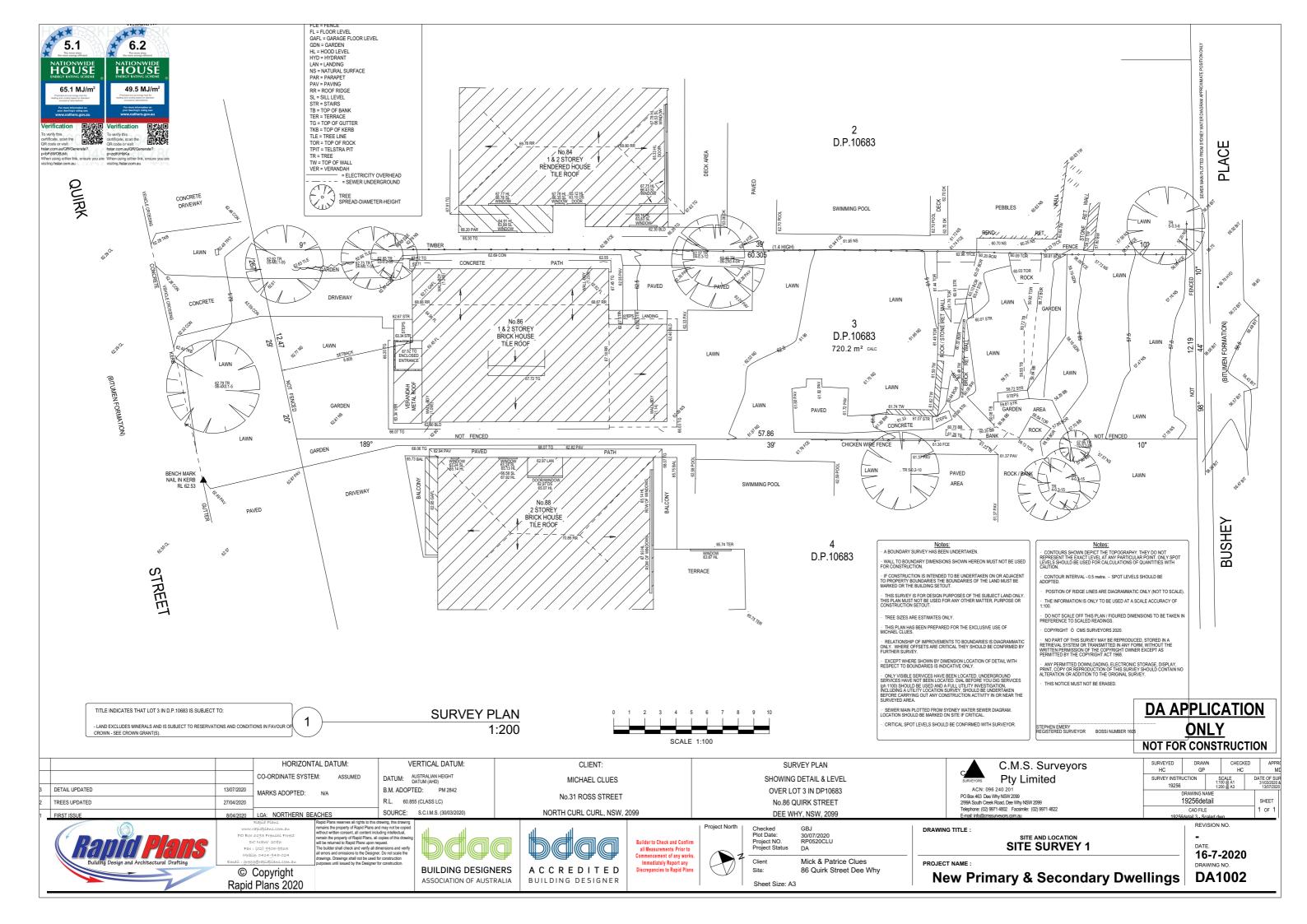


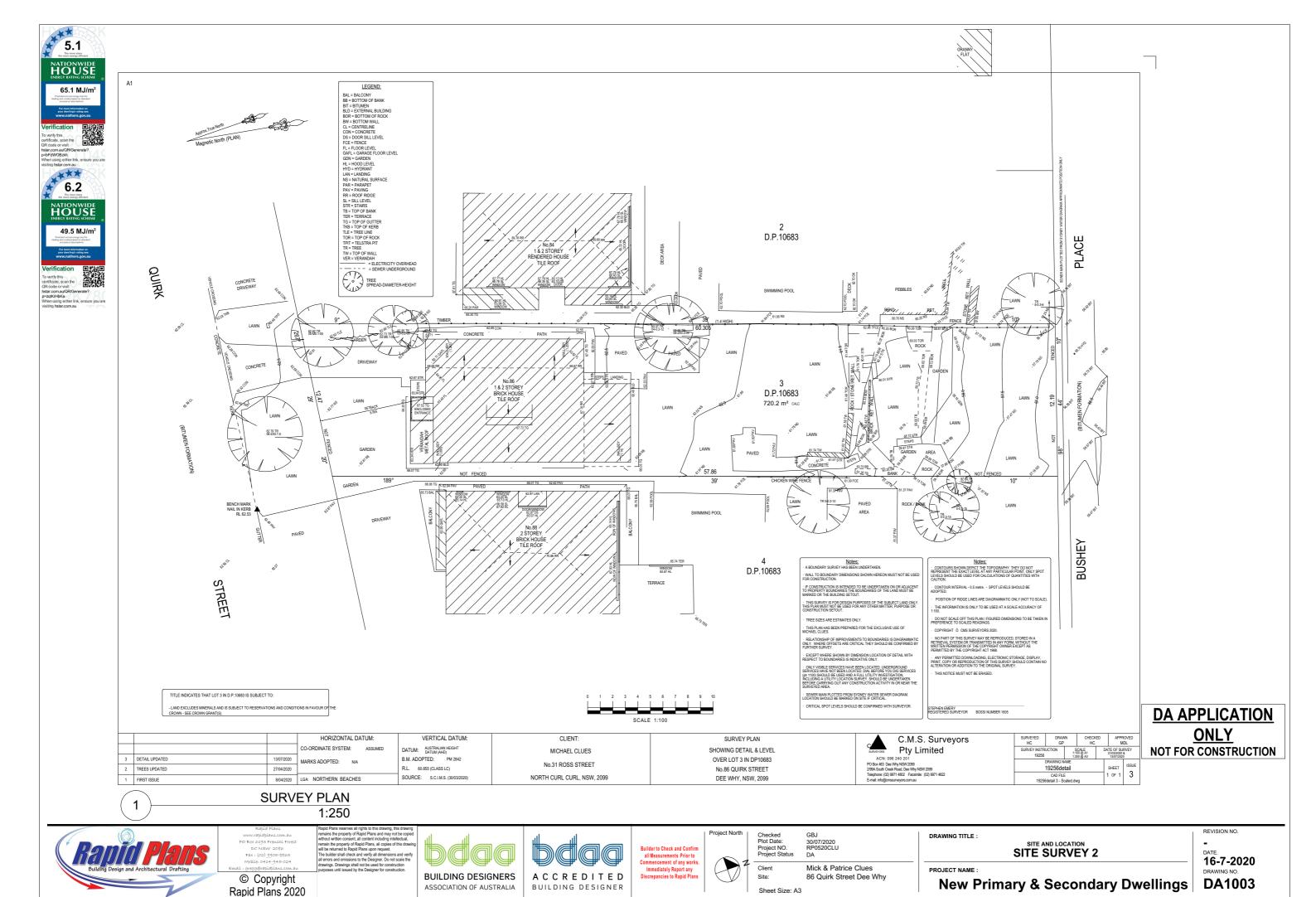
86 Quirk Street Dee Why 2099			
Northern Beaches Council			
deposited 10683			
3			
-	-		
separate dwelling house			
5			
✓ 40	Target 40		
✓ Pass	Target Pass		
✓ 86	Target 50		
	Northern Beaches Coun deposited 10883 3 - separate dwelling house 5 40 Pass		

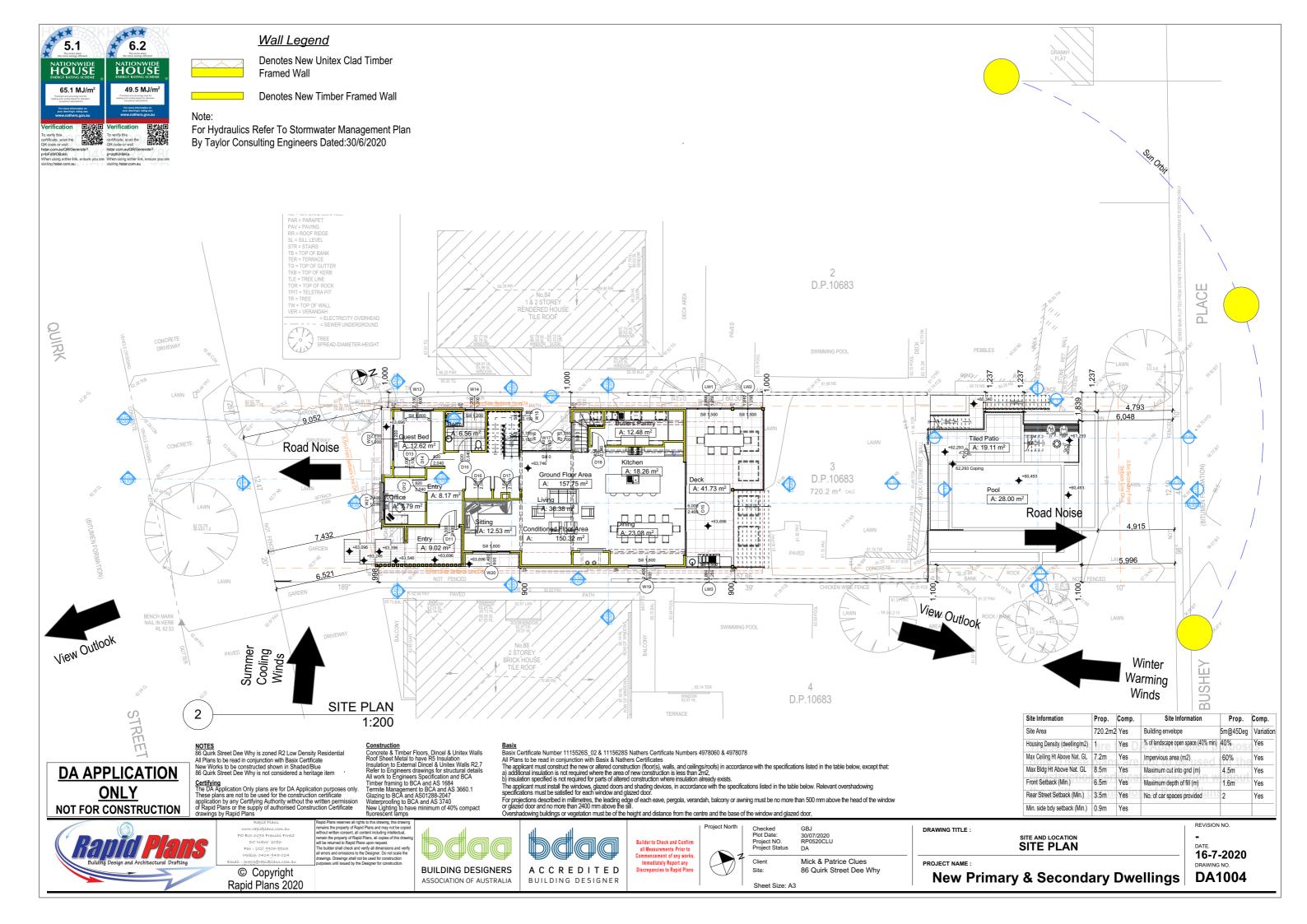
Certificate Prepa	red by	
Name / Company Name	: Rapid Plans	
ABN (if applicable): 431	50064592	

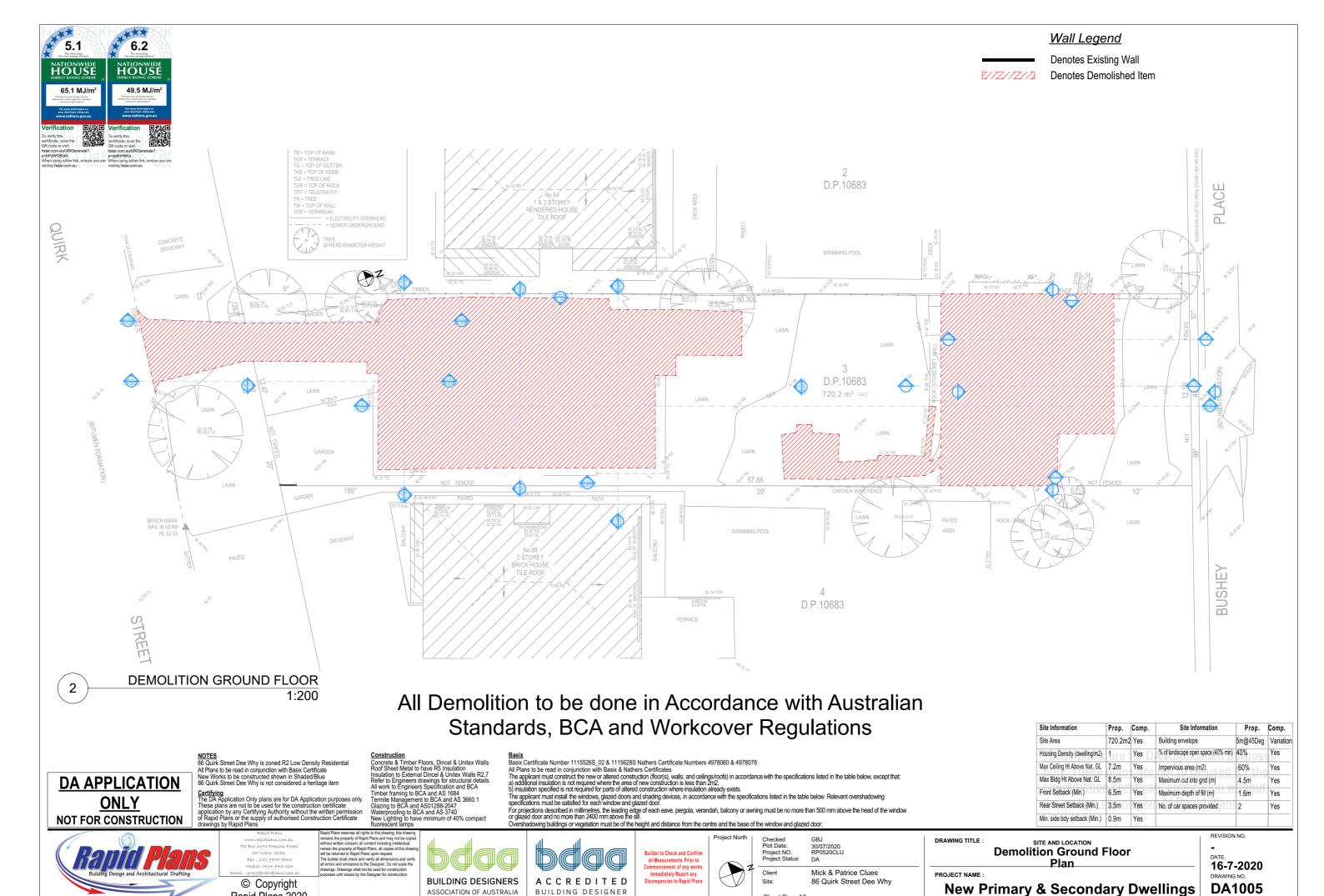
Project summary		
Project name	Clues-Secondary	
Street address	86 Quirk Street Dee	Why 2099
Local Government Area	Northern Beaches (Council
Plan type and plan number	deposited 10683	
Lot no.	3	
Section no.	-	
Project type	separate dwelling h	ouse
No. of bedrooms	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass

C	Certificate Prepared by
N	ame / Company Name: Rapid Plans
A	BN (if applicable): 43150064592





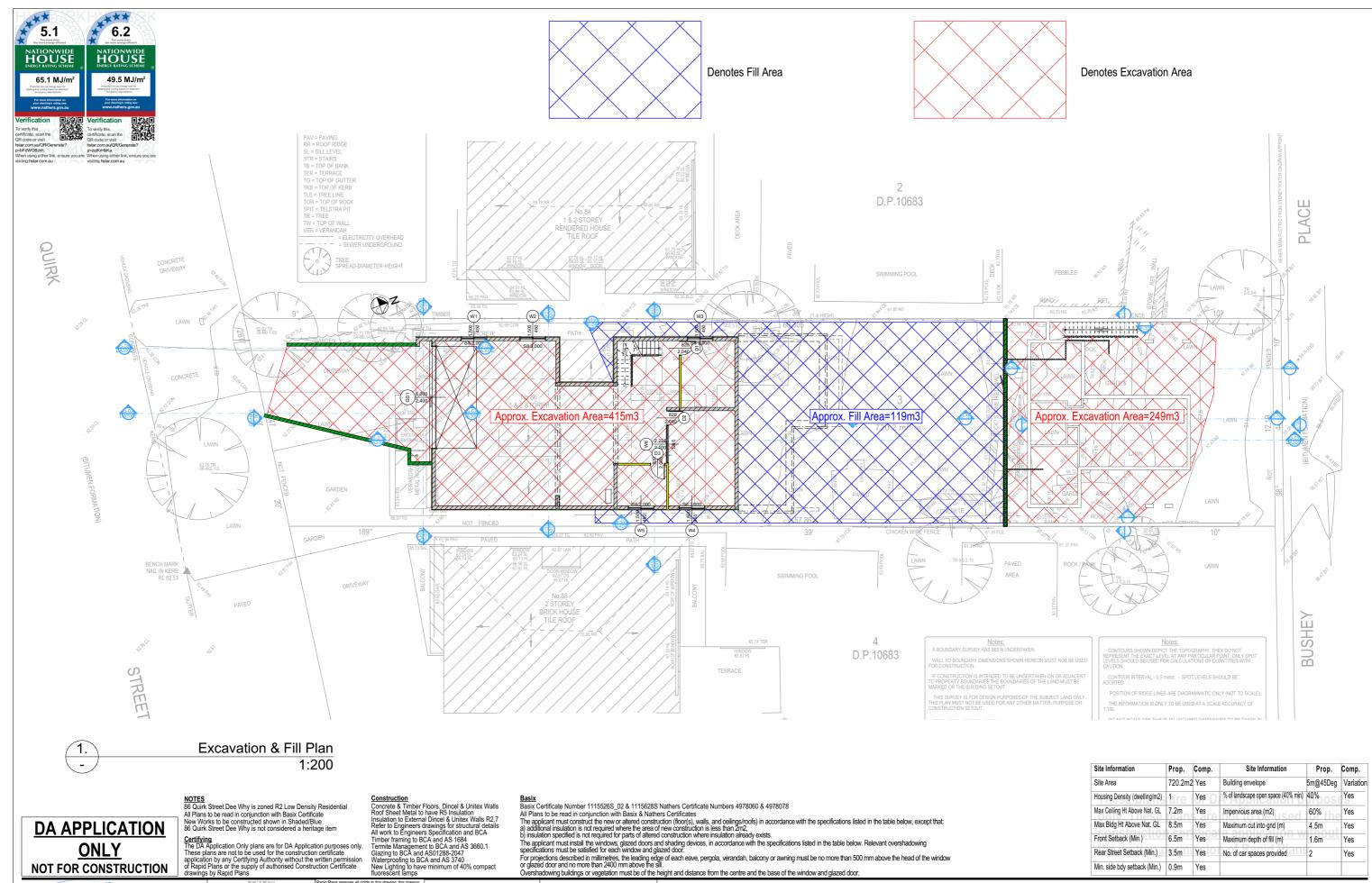




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BUILDING DESIGNER



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Builder to Check and Confirm all Measurements Prior to ommencement of any works Immediately Report any Discrepancies to Rapid Plans



Checked Plot Date: Project NO. Project Status Client Site:

30/07/2020 RP0520CLU DA

Mick & Patrice Clues 86 Quirk Street Dee Why

Sheet Size: A3

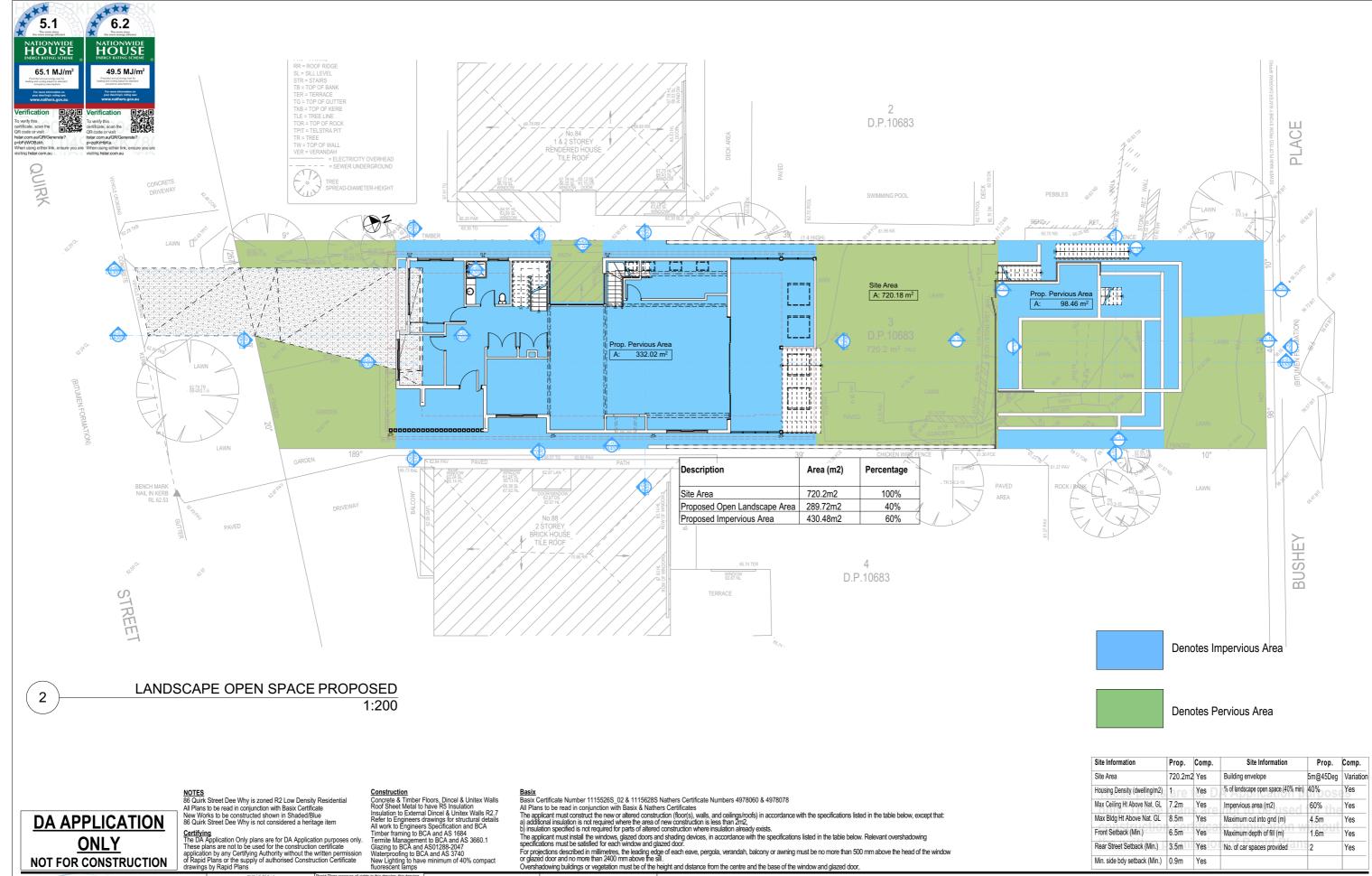
DRAWING TITLE :

SITE AND LOCATION

Excavation & Fill Plan

REVISION NO. 16-7-2020 **DA1006**

New Primary & Secondary Dwellings



NOT FOR CONSTRUCTION

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ACCREDITED BUILDING DESIGNER

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	Plot Da Projec Projec
7	Client
/	Citar

30/07/2020 RP0520CLU DA

Mick & Patrice Clues 86 Quirk Street Dee Why

Sheet Size: A3

DRAWING TITLE :

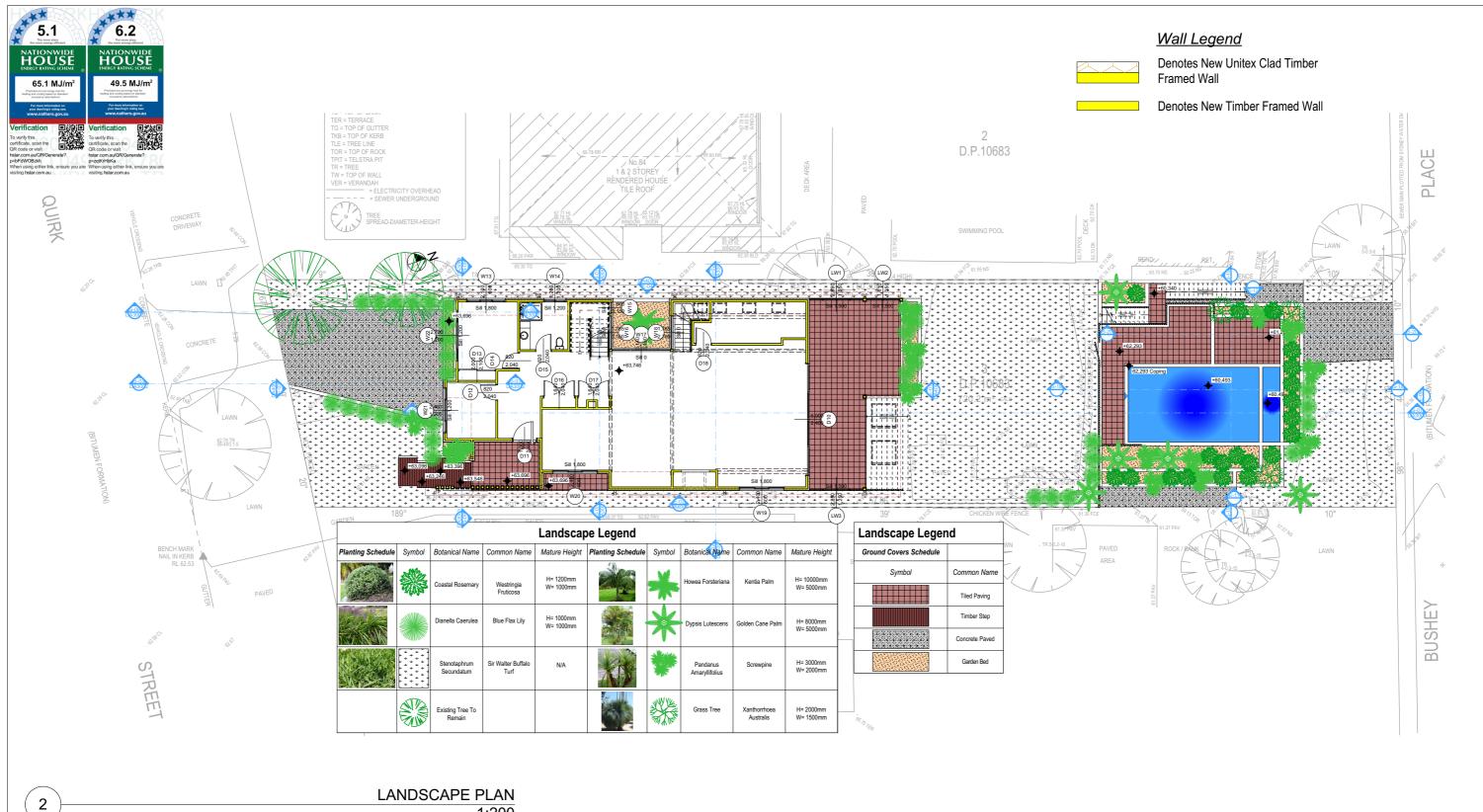
SITE AND LOCATION Landscape Open Space Plan

Proposed

REVISION NO.

New Primary & Secondary Dwellings

16-7-2020 **DA1007**



1:200

DA APPLICATION ONLY NOT FOR CONSTRUCTION NOTES
86 Quirk Street Dee Why is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
86 Quirk Street Dee Why is not considered a heritage item

Certifying
The DA Application Only plans are for DA Application purposes only. These plans are not to be used for the construction certificate application by any Certifying Authority without the written permission of Rapid Plans or the supply of authorised Construction Certificate drawings by Rapid Plans

Construction
Concrete & Timber Floors, Dincel & Unitex Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Dincel & Unitex Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and A\$ 1684
Termite Management to BCA and A\$ 3660.1
Glazing to BCA and A\$01288-2047
Waterproofing to BCA and A\$ 3740
Welterproofing to BCA and A\$ 3740
New Lighting to have minimum of 40% compact
fluorescent lamps

Basix Certificate Number 1115526S 02 & 1115628S Nathers Certificate Numbers 4978060 & 4978078

All Plans to be read in conjunction with Basix & Nathers Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
a) additional insulation is not required where the area of new construction is less than 2m2,
b) insulation specified is not required for parts of altered construction where insulation already exists.

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

Special and the second of the window or glazed door, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,



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Builder to Check and Confirm Discrepancies to Rapid Plans



	Checked Plot Date: Project NO Project Sta
1	Client
	Site:

DA

Mick & Patrice Clues 86 Quirk Street Dee Why

Sheet Size: A3

Rear Street Setback (Min.) 3.5m Yes Min. side bdy setback (Min.) 0.9m Yes

DRAWING TITLE : SITE AND LOCATION Landscape Plan

Front Setback (Min.)

Housing Density (dwelling/m2)

Max Ceiling Ht Above Nat. GL 7.2m

Max Bldg Ht Above Nat. GL 8.5m

New Primary & Secondary Dwellings

Prop. Comp.

720.2m2 Yes

6.5m Yes

REVISION NO.

60%

4.5m

1.6m

% of landscape open space (40% min) 40%

Maximum depth of fill (m)

No. of car spaces provided

Prop. Comp.

5m@45Deg Variation

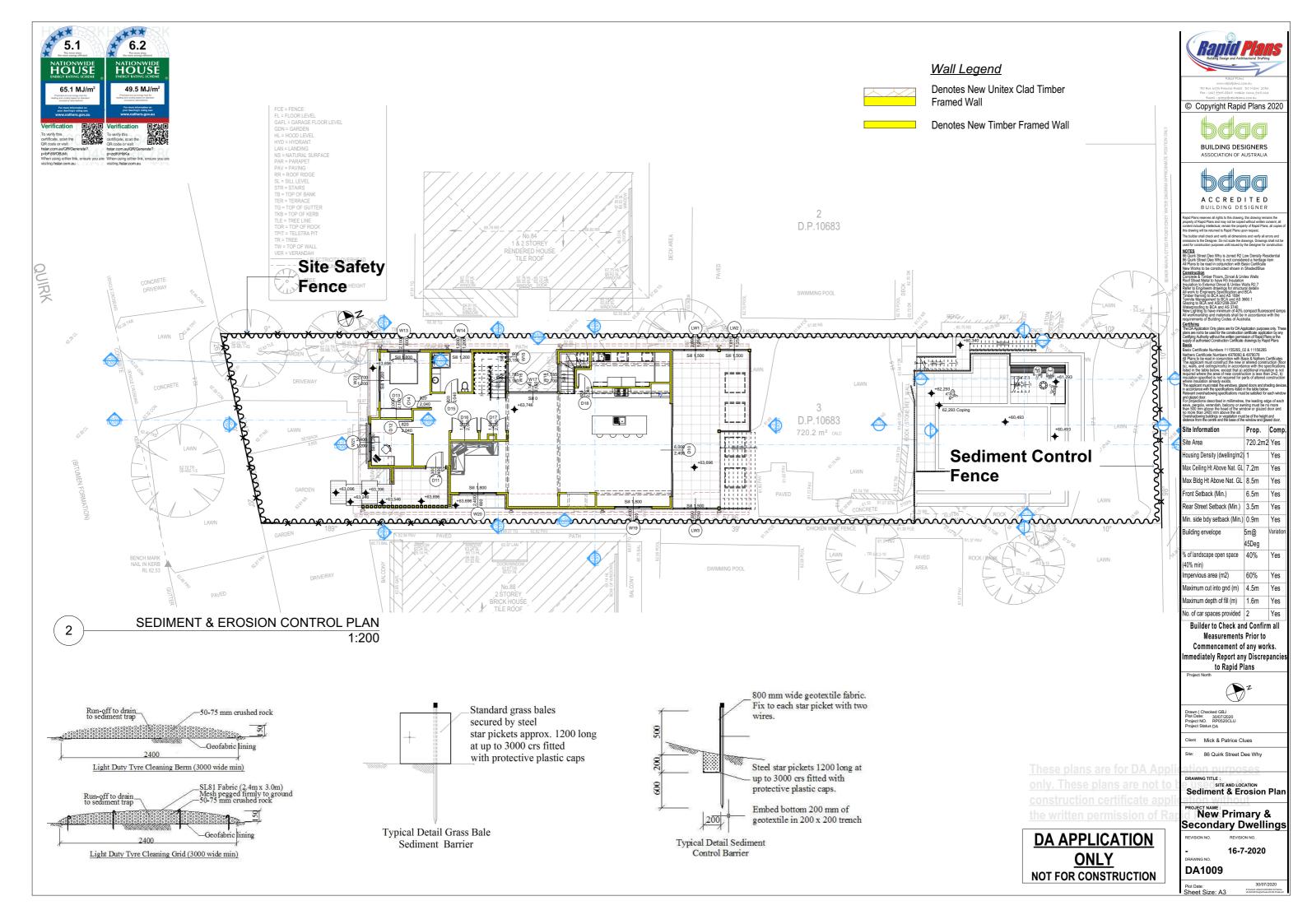
Yes

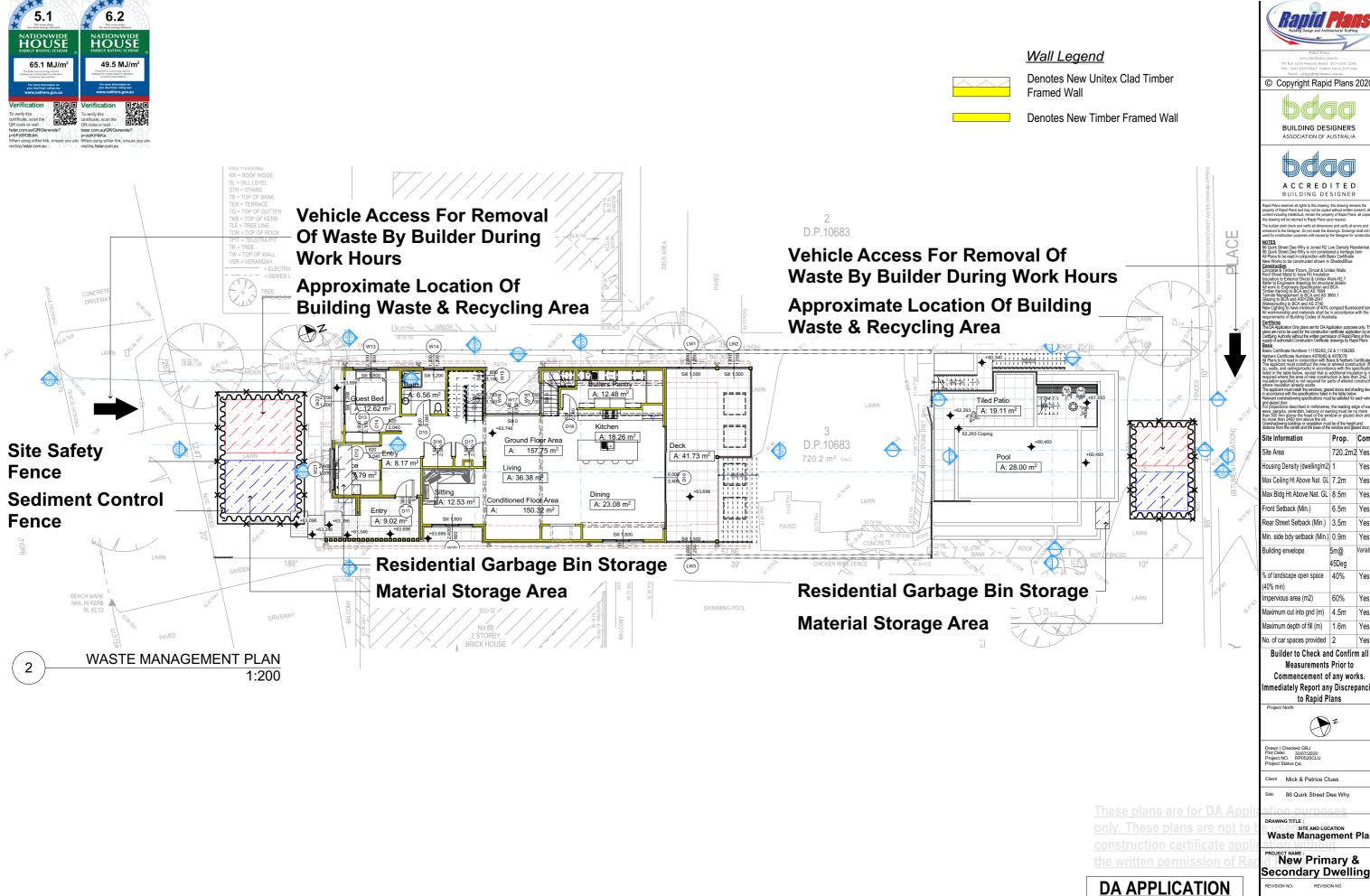
Yes

Yes

Yes

16-7-2020 **DA1008**





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720.2m2 Yes Min. side bdv setback (Min.) 0.9m 45Deg of landscape open space 40%

Measurements Prior to Commencement of any works. nmediately Report any Discrepanc to Rapid Plans



Site: 86 Quirk Street Dee Why

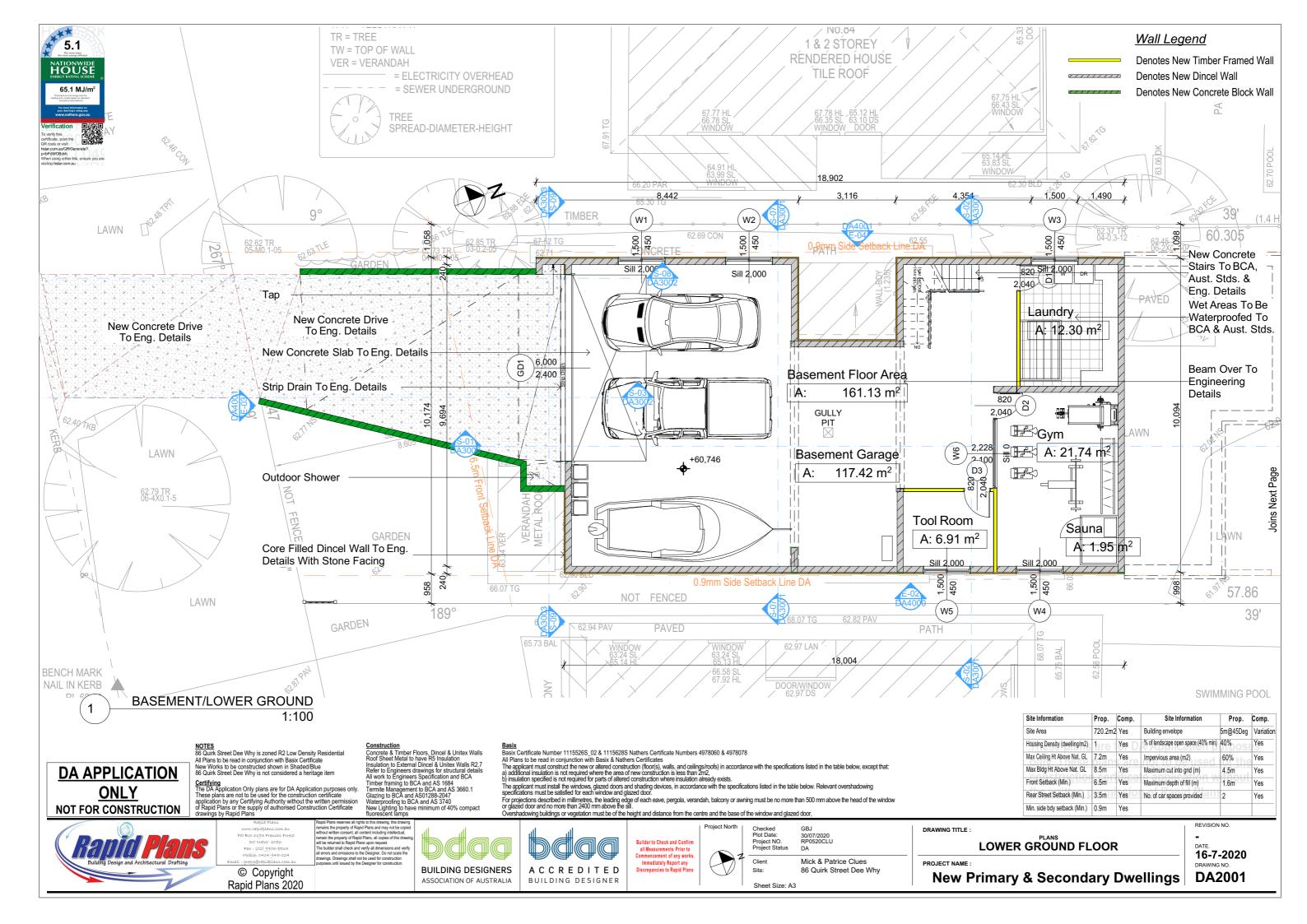
DRAWING TITLE:
SITE AND LOCATION
Waste Management Plan

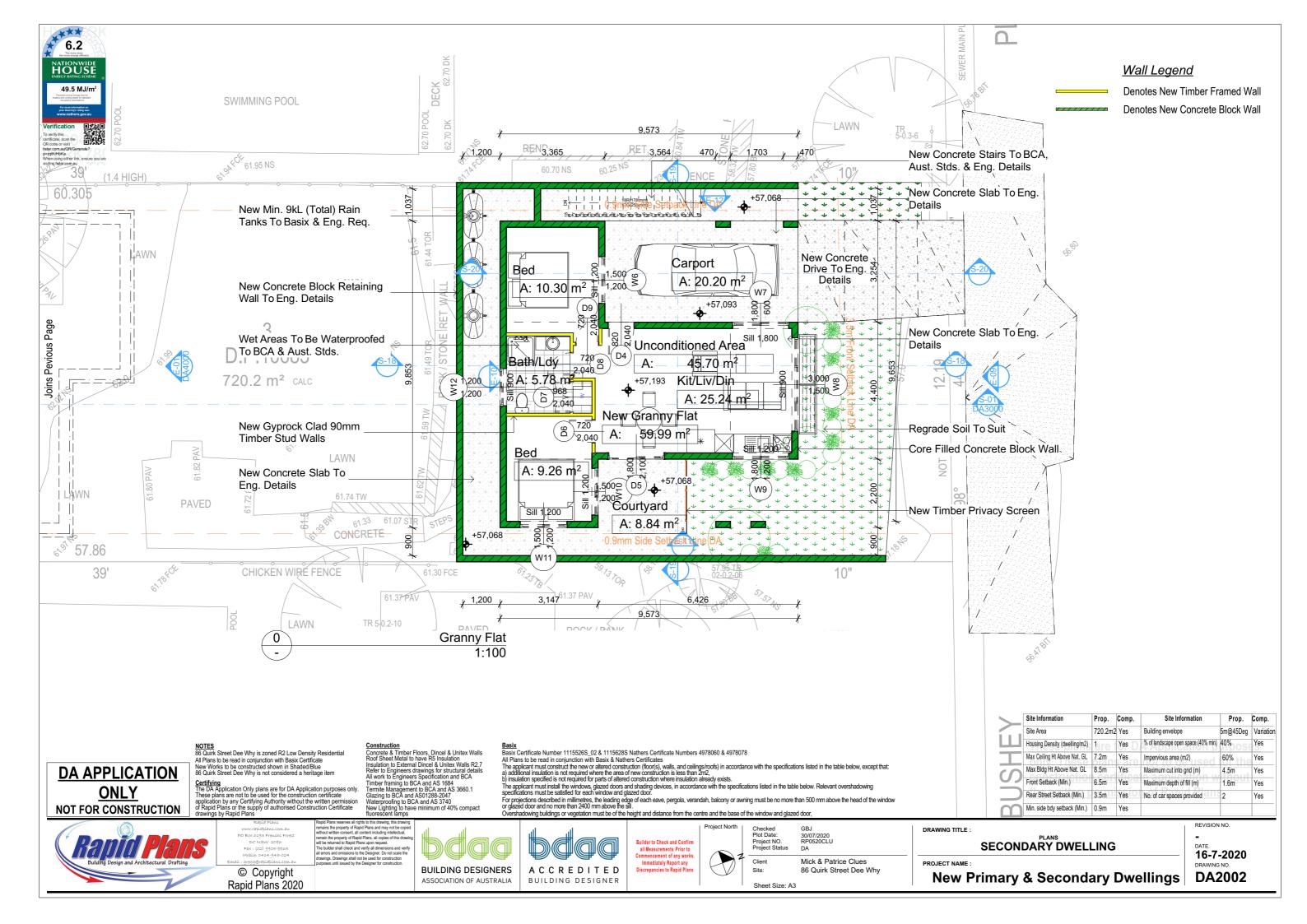
New Primary &
Secondary Dwellings

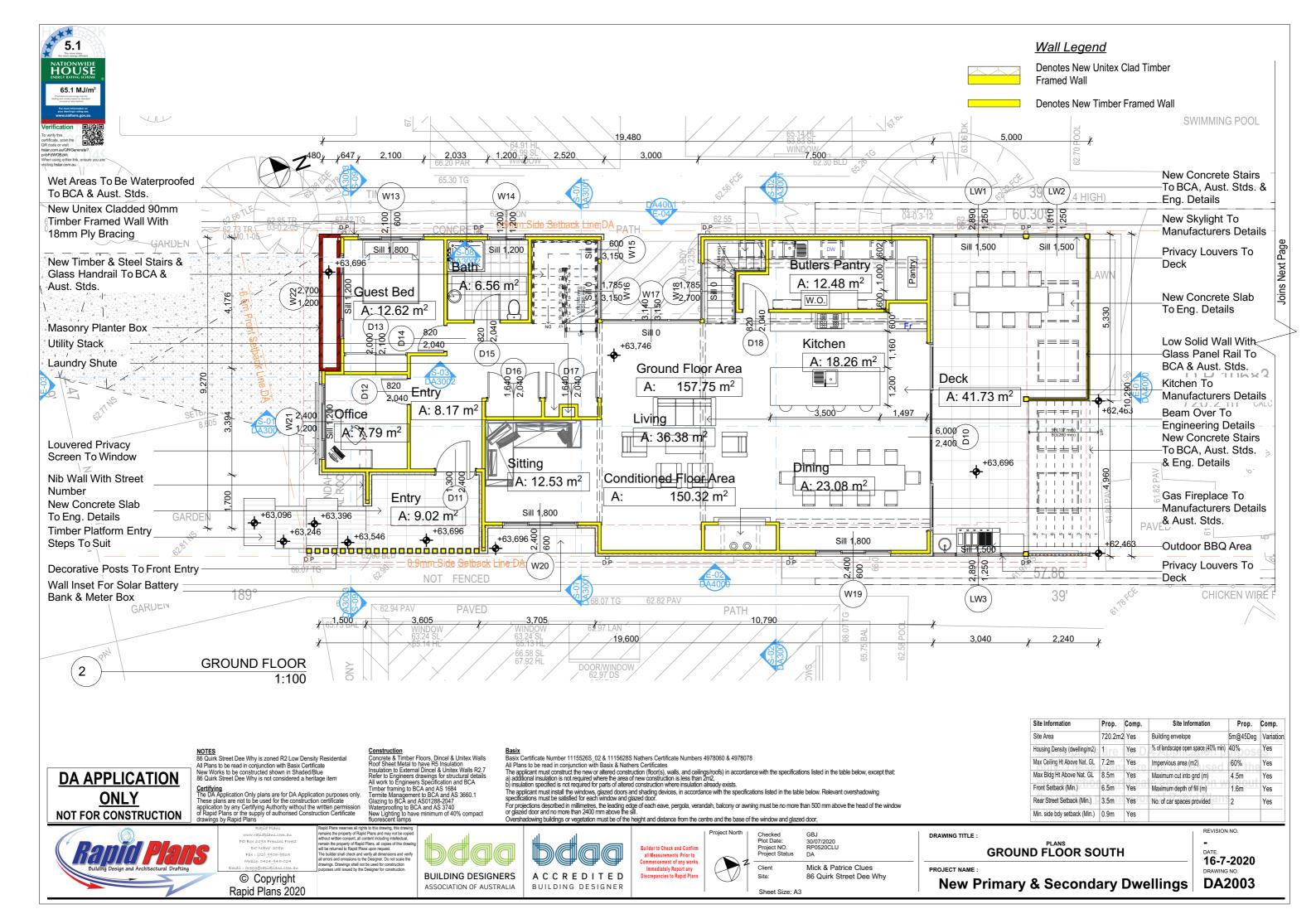
ONLY

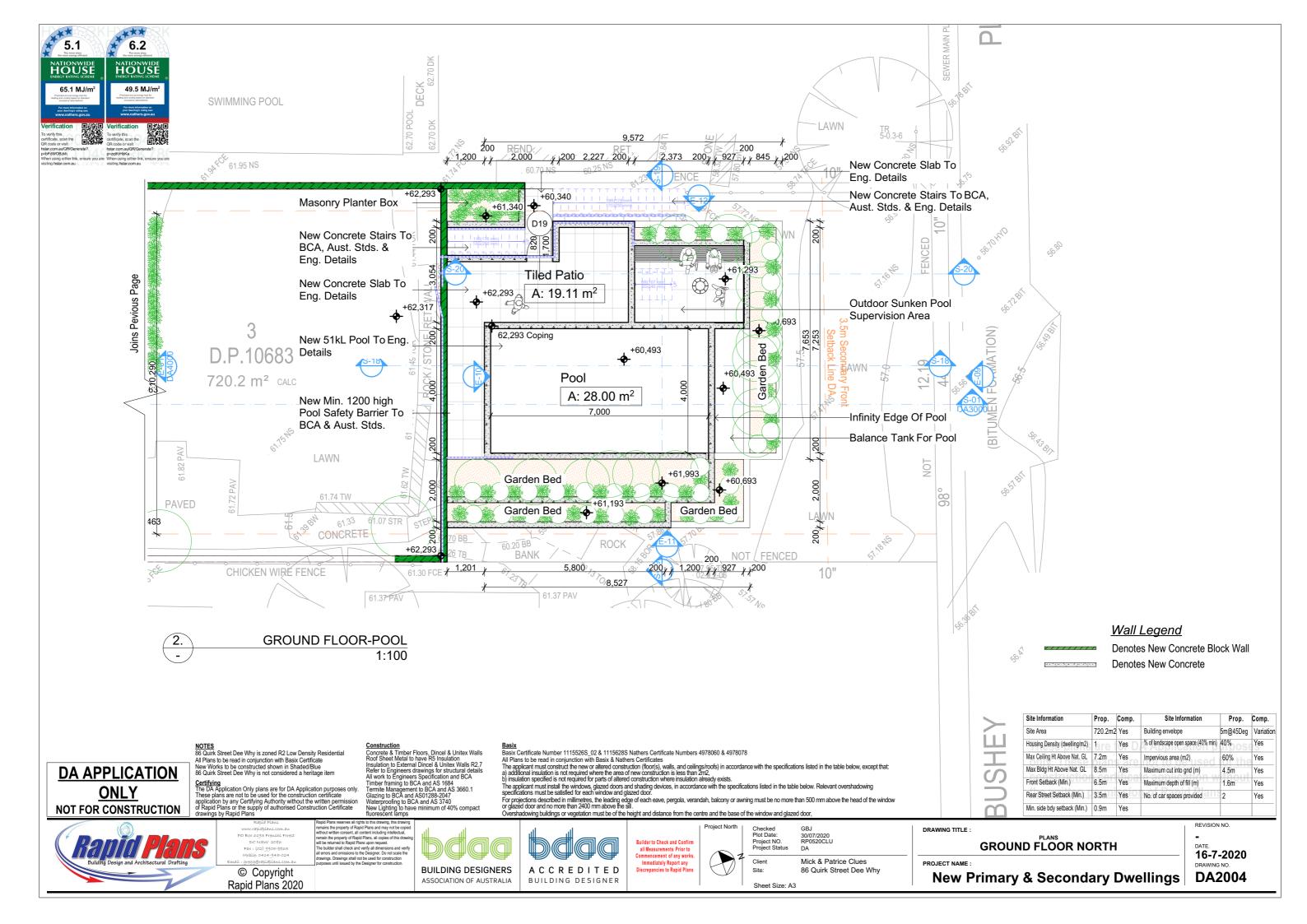
NOT FOR CONSTRUCTION

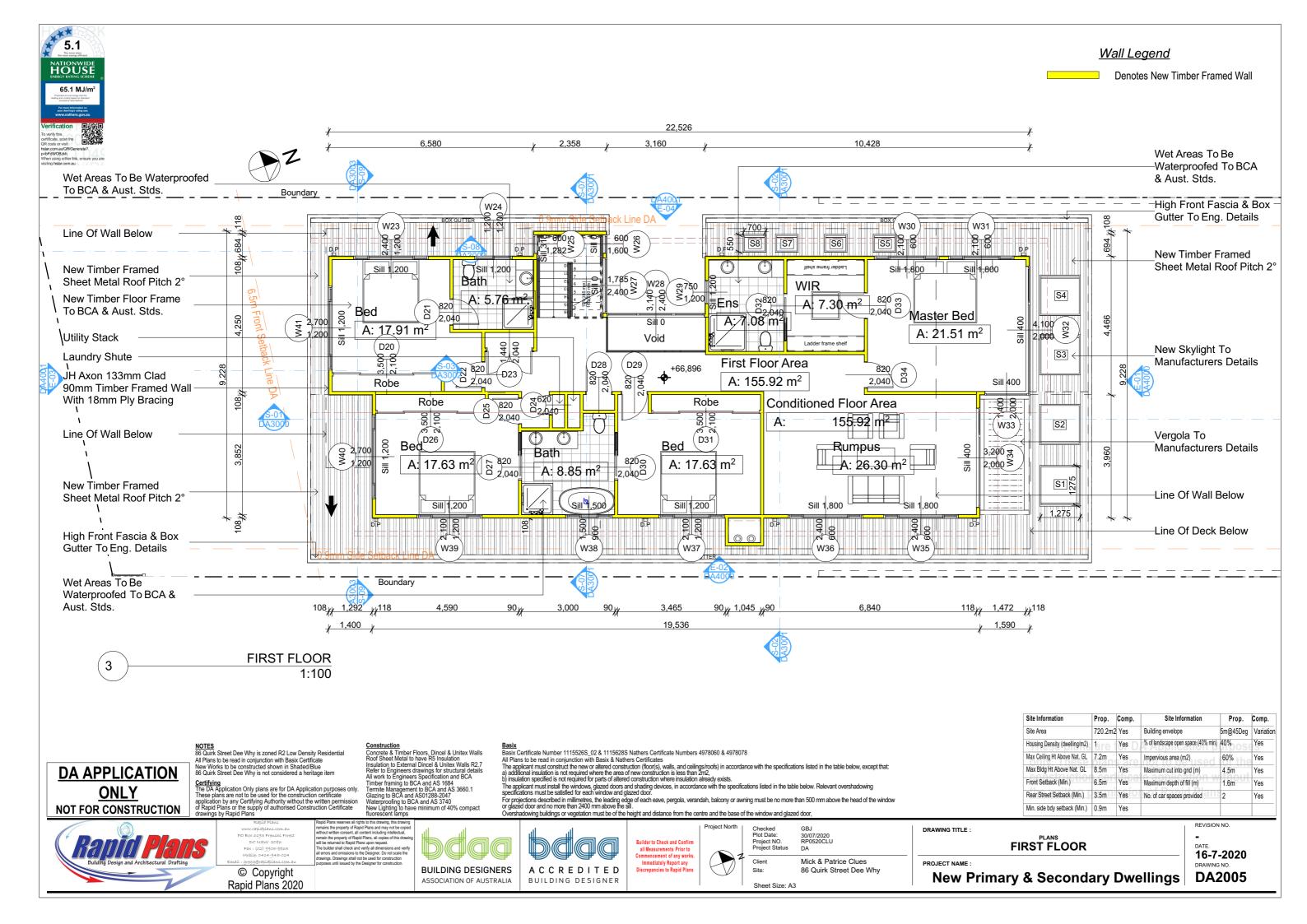
16-7-2020

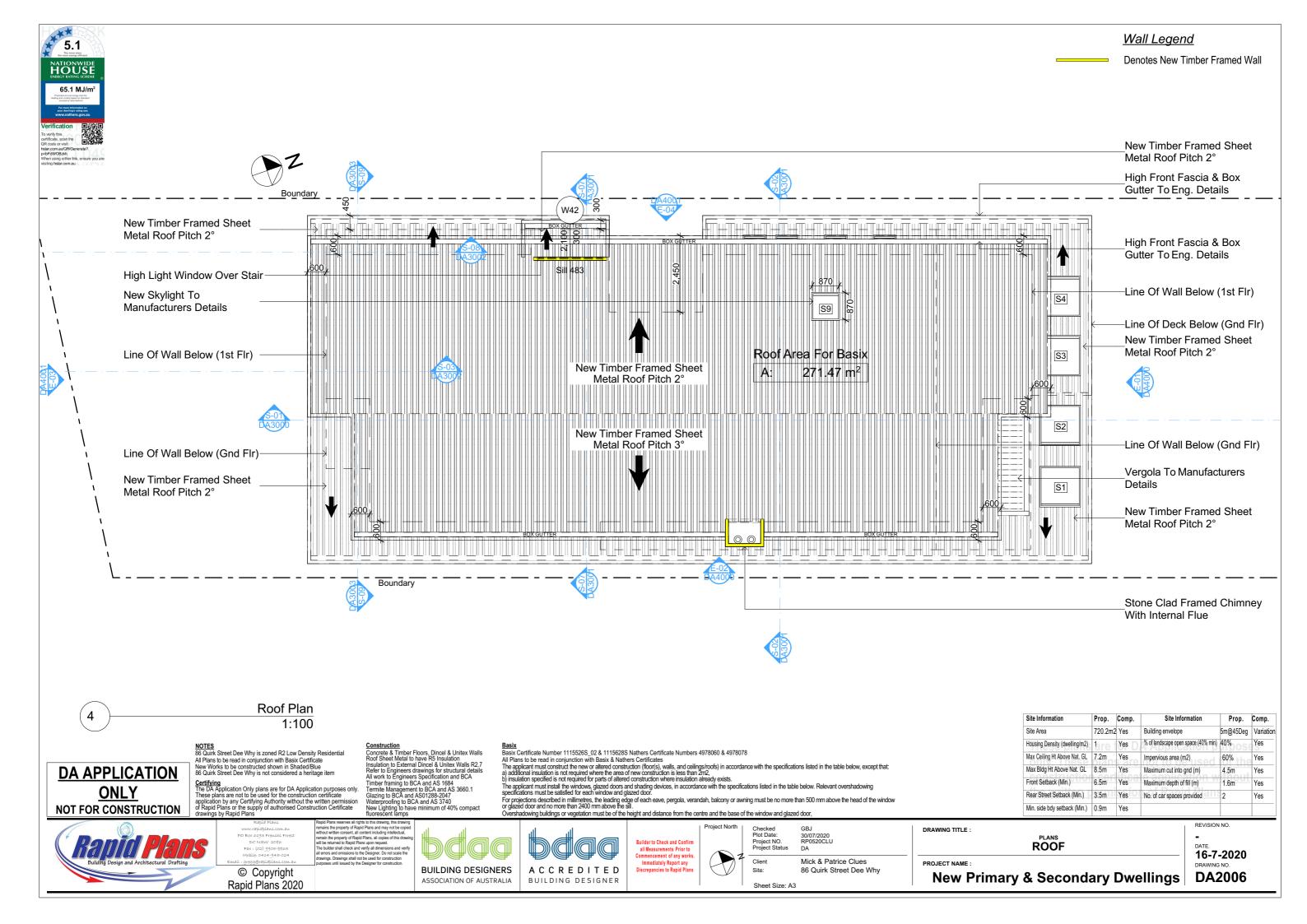


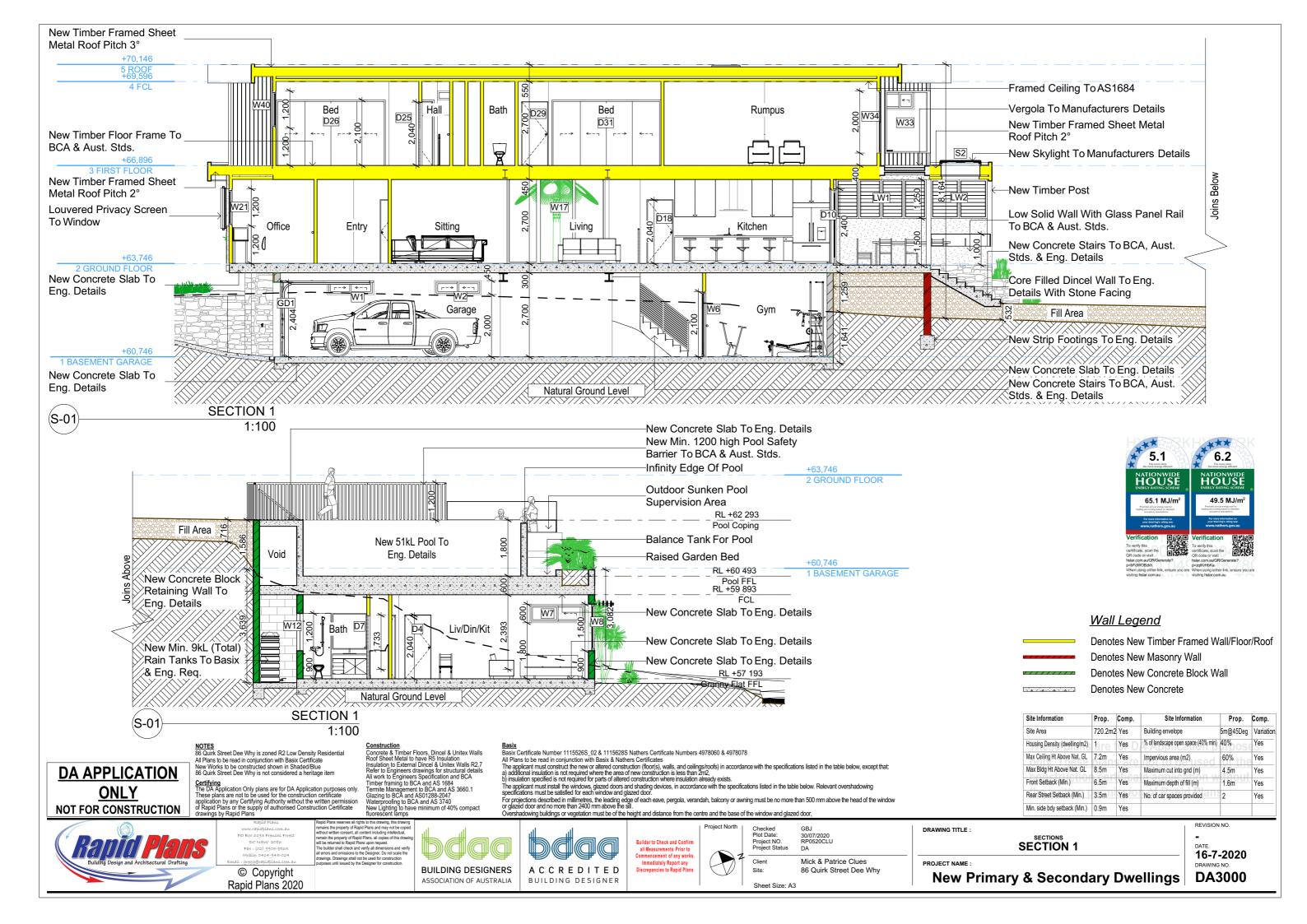




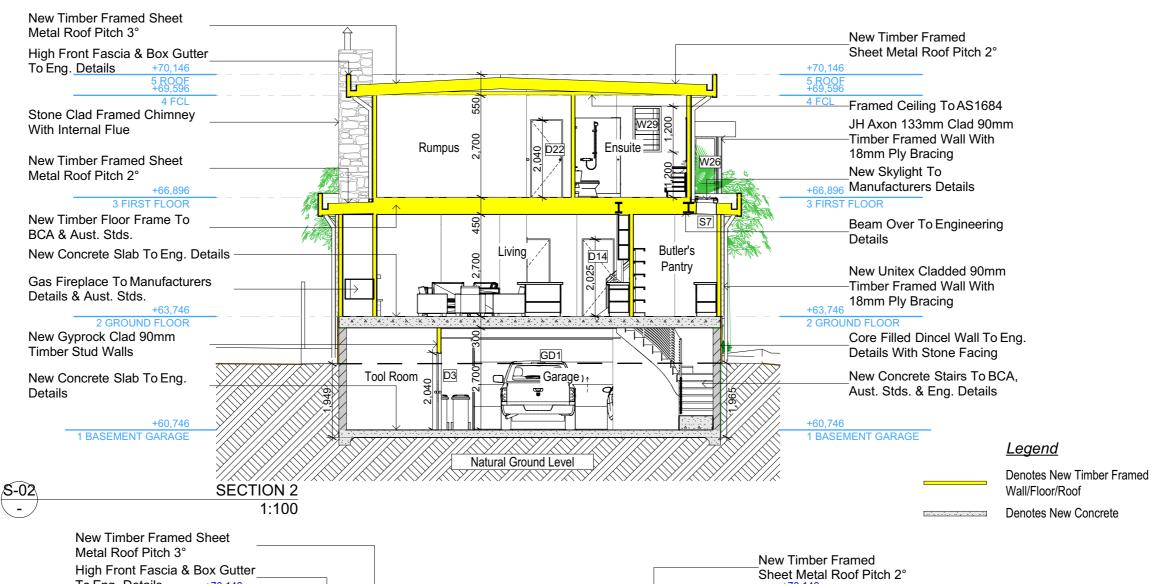


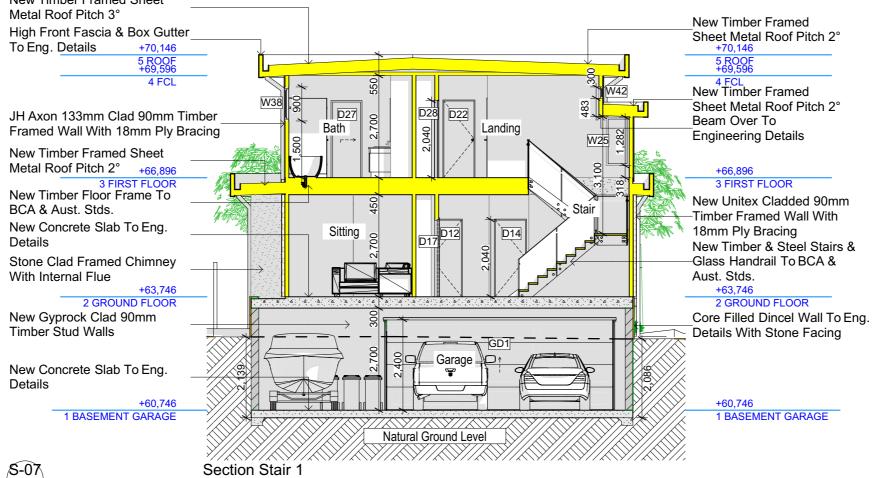












1:100

These plans are for DA Ap only. These plans are not construction certificate ap the written permission of l

DA APPLICATION
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720.2m2 Yes

6.5m

45Dea

using Density (dwelling/m2) 1

ax Ceiling Ht Above Nat. GL 7.2m

ax Bldg Ht Above Nat. GL 8.5m

Rear Street Setback (Min.) 3 5m

Min. side bdy setback (Min.) 0.9m

6 of landscape open space 40%

o. of car spaces provided 2

Orawn | Checked GBJ Plot Date: 30/07/2020 Project NO. RP0520CLI

DA3001

ent Mick & Patrice Clues

Site: 86 Quirk Street Dee Why

SECTIONS
SECTION 2

New Primary &

Secondary Dwellings

16-7-2020

Builder to Check and Confirm all

Measurements Prior to

Commencement of any works.

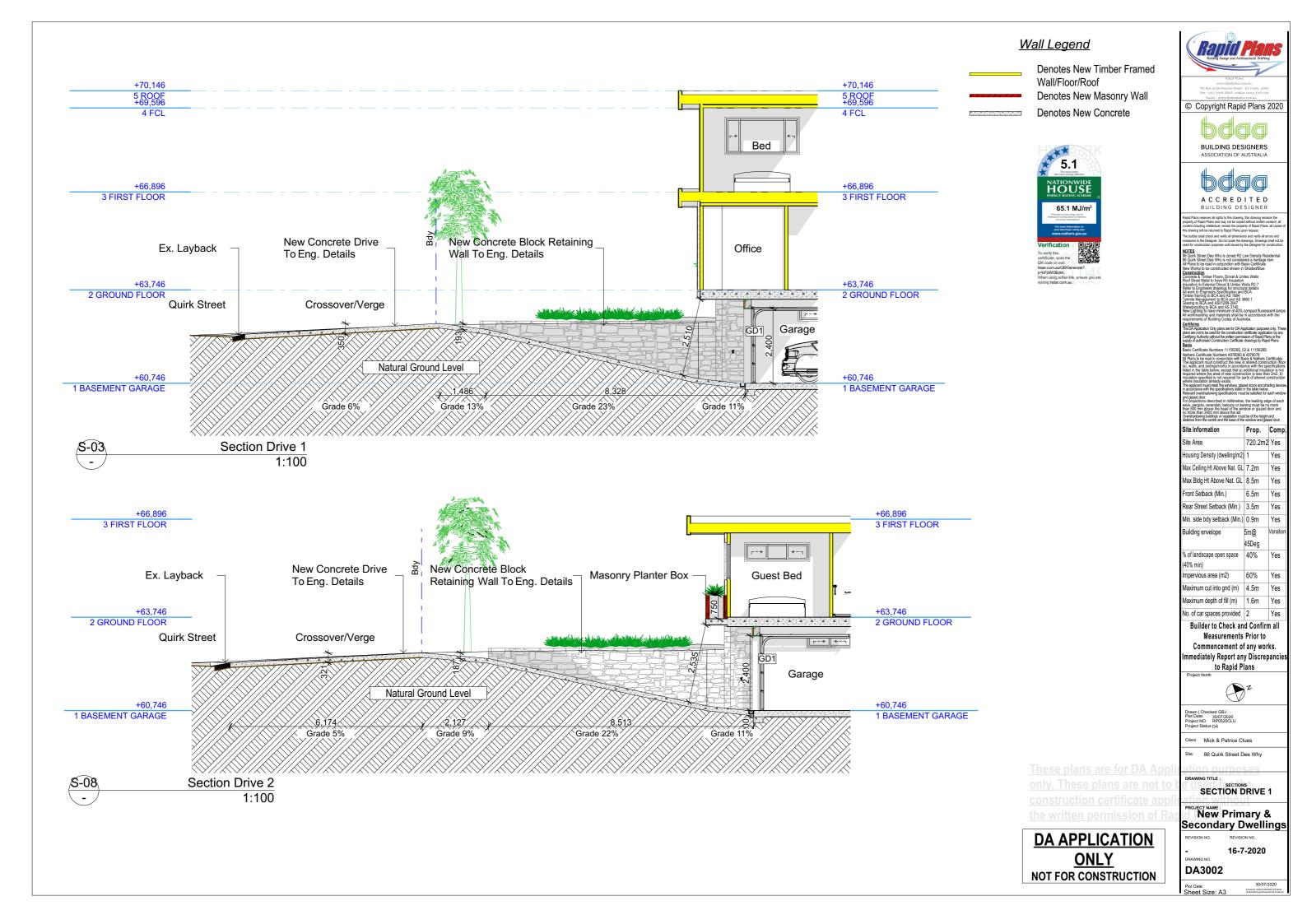
nmediately Report any Discrepanci

to Rapid Plans

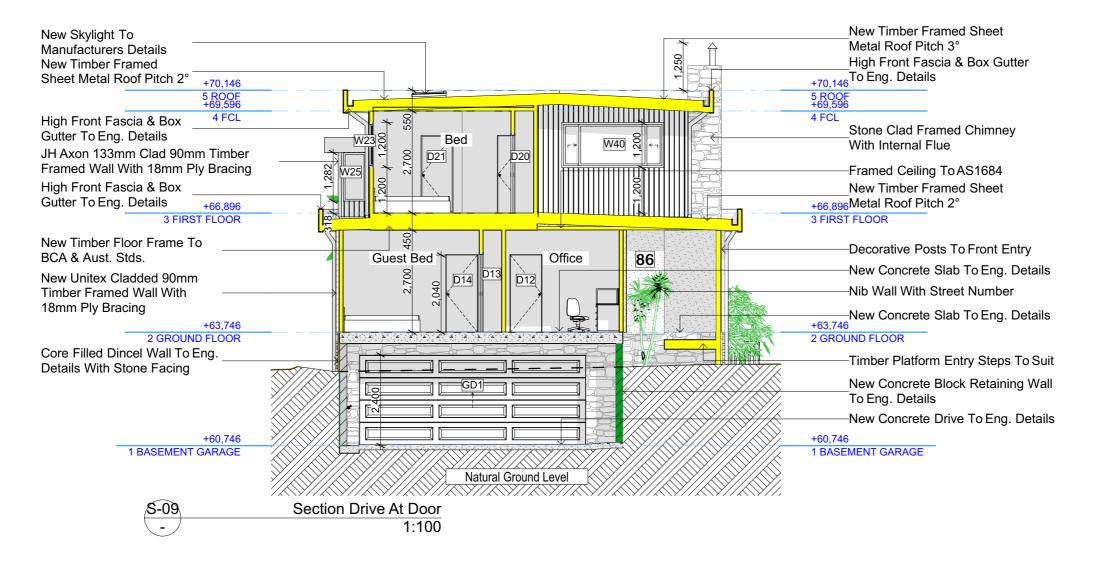
ont Setback (Min.)

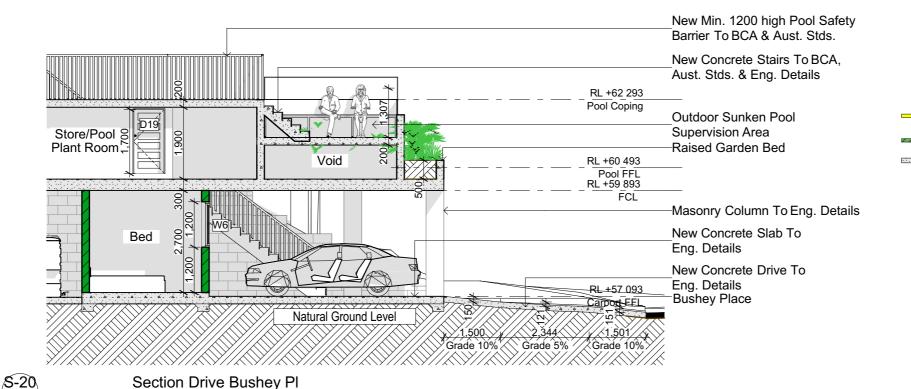
pervious area (m2)

40% min)









1:100

Wall Legend

Denotes New Timber Framed Wall/Floor/Roof Denotes New Concrete Block Wall **Denotes New Concrete**

DA APPLICATION ONLY **NOT FOR CONSTRUCTION**



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Prop. Com 720.2m2 Yes usina Density (dwellina/m2) 1 Max Ceiling Ht Above Nat. GL 7.2m ax Bldg Ht Above Nat. GL 8.5m ont Setback (Min.) 6.5m Yes Yes Rear Street Setback (Min.) 3 5m Min. side bdy setback (Min.) 0.9m 45Deg 6 of landscape open space 40% 40% min) pervious area (m2) aximum cut into gnd (m) 4.5m

> Builder to Check and Confirm all Measurements Prior to Commencement of any works. mediately Report any Discrepancie to Rapid Plans

o. of car spaces provided 2



Orawn | Checked GBJ Plot Date: 30/07/2020 Project NO. RP0520CLU Project Status DA

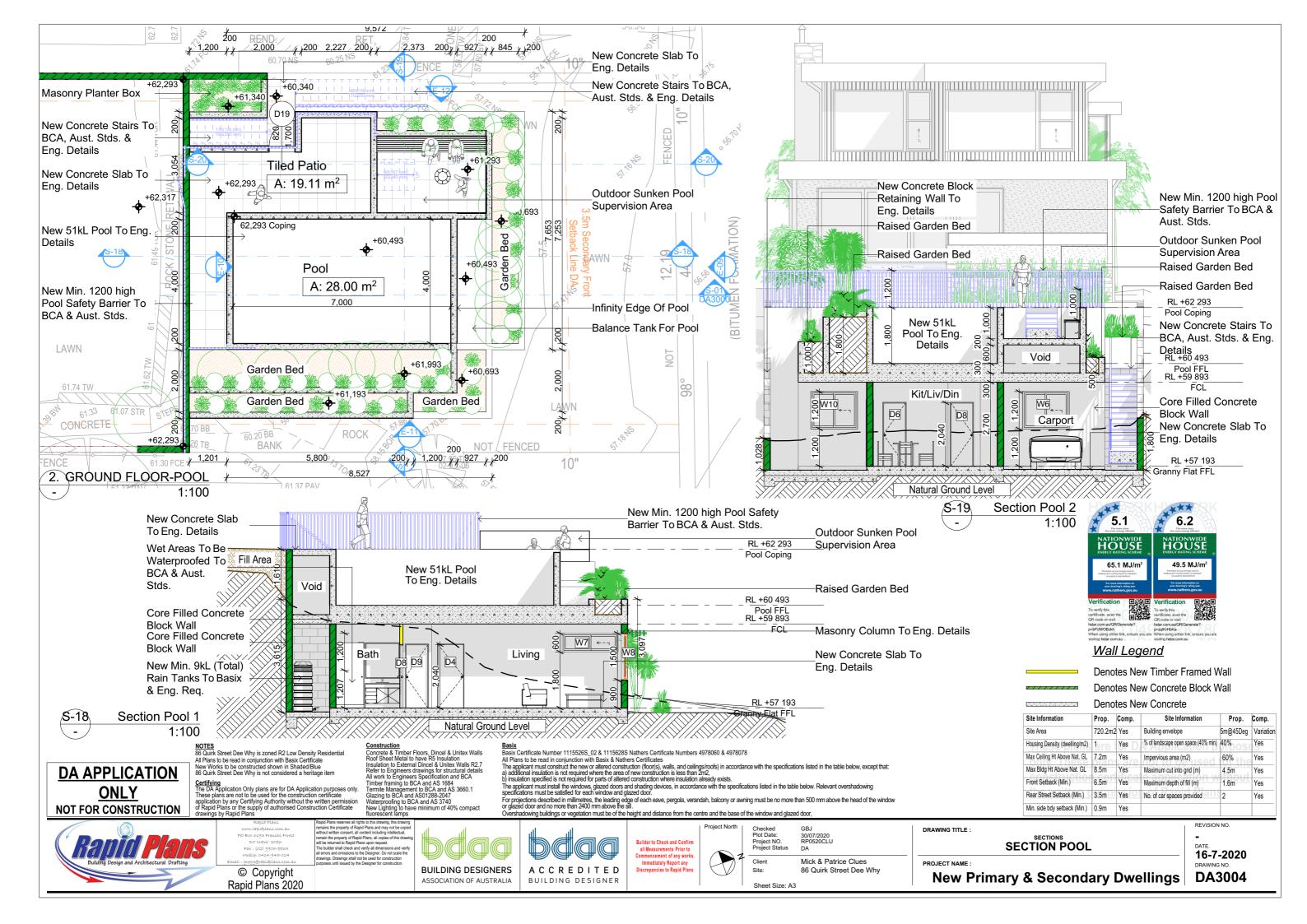
ient Mick & Patrice Clues

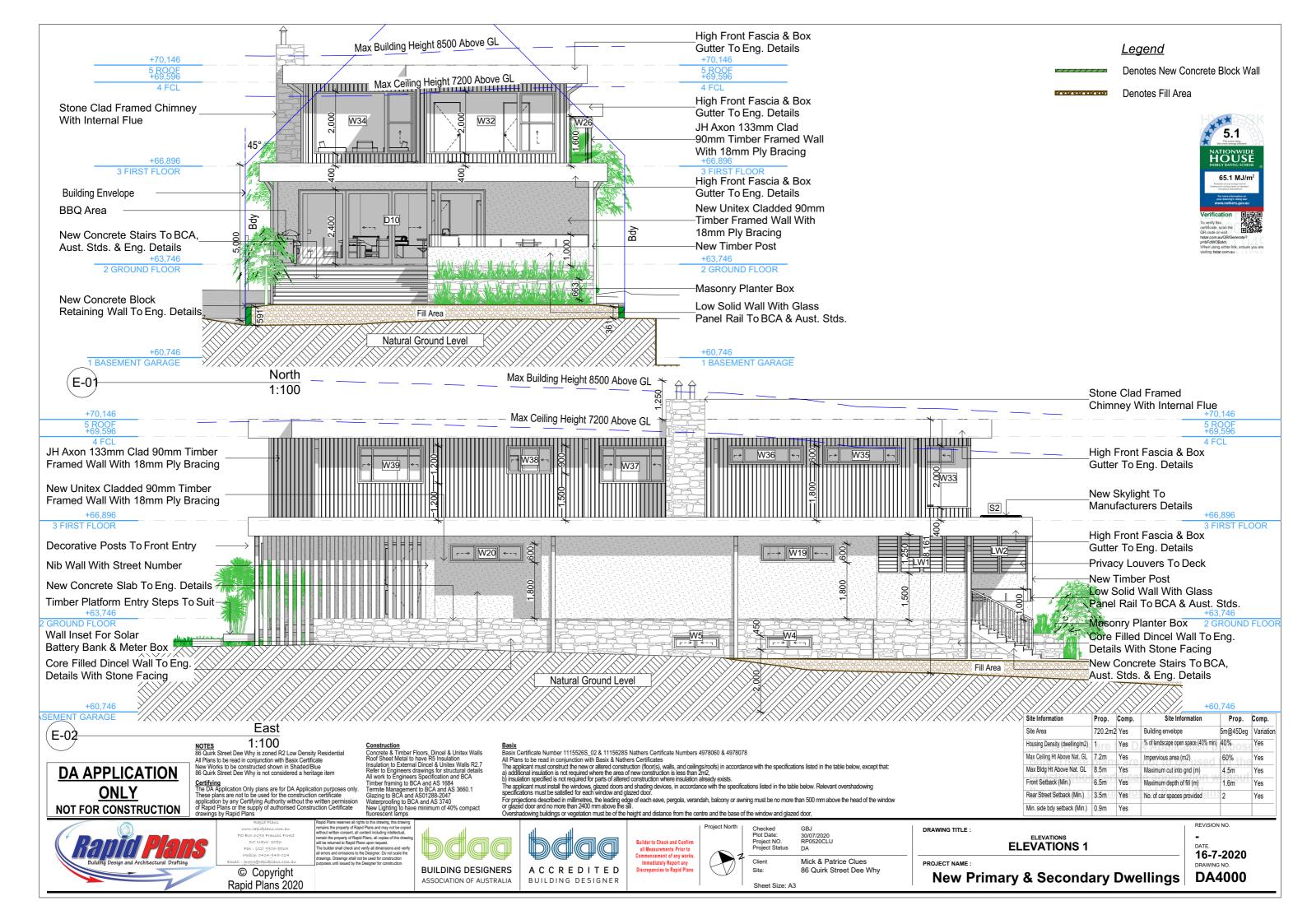
Site: 86 Quirk Street Dee Why

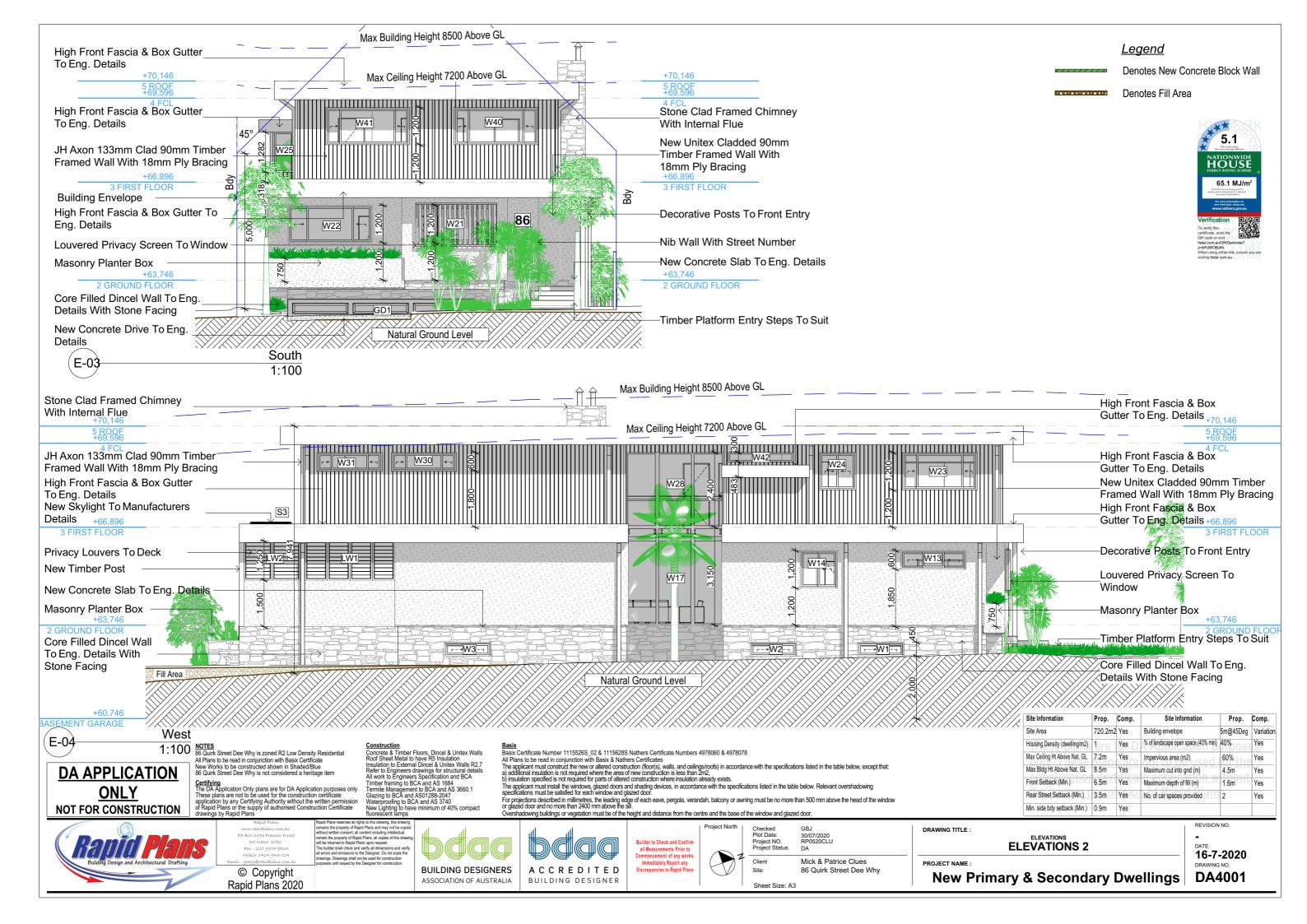
WING TITLE : SECTION DRIVE 2

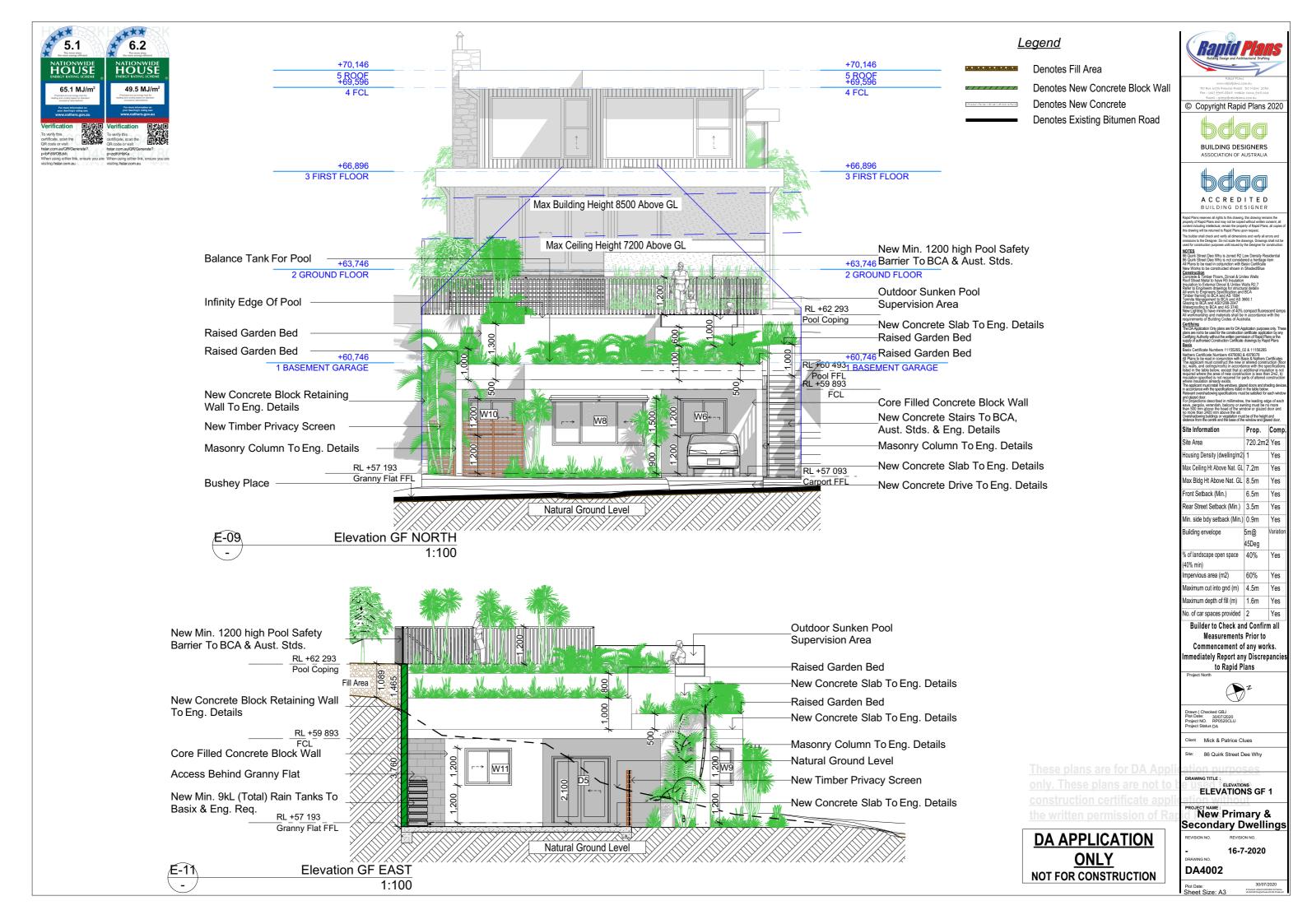
New Primary & Secondary Dwellings

16-7-2020





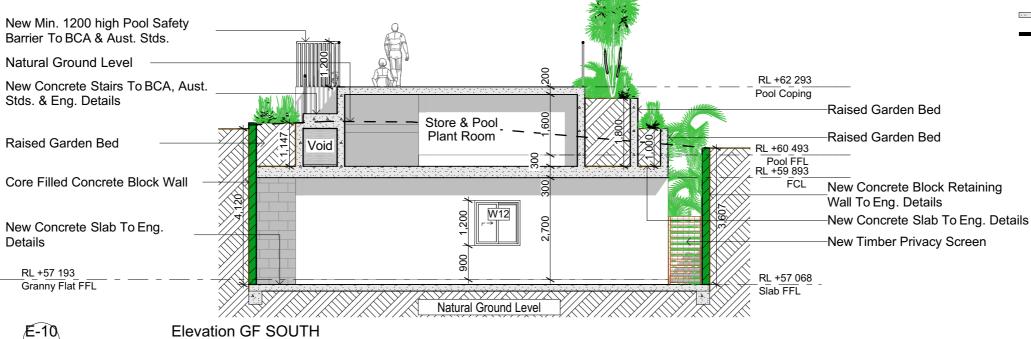


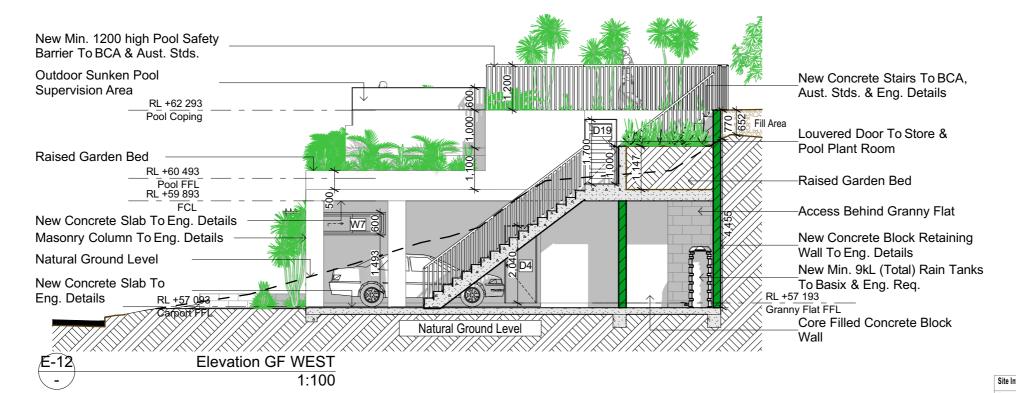




Legend

Denotes Fill Area Denotes New Concrete Block Wall **Denotes New Concrete** Denotes Existing Bitumen Road





DA APPLICATION ONLY

NOTES
86 Quirk Street Dee Why is zoned R2 Low Density Residential
All Plans to be read in conjunction with Basix Certificate
New Works to be constructed shown in Shaded/Blue
86 Quirk Street Dee Why is not considered a heritage item

Certifying
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Rapid Plans 2020

Construction
Concrete & Timber Floors, Dincel & Unitex Walls
Roof Sheet Metal to have R5 Insulation
Insulation to External Dincel & Unitex Walls R2.7
Refer to Engineers drawings for structural details
All work to Engineers Specification and BCA
Timber framing to BCA and AS 1684
Termite Management to BCA and AS 3660.1
Glazing to BCA and AS 3740
Waterproofing to BCA and AS 3740
West Lighting to have principum of 40% compact New Lighting to have minimum of 40% compact fluorescent lamps

Basix Certificate Number 1115526S 02 & 1115628S Nathers Certificate Numbers 4978060 & 4978078

All Plans to be read in conjunction with Basix & Nathers Certificates
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that:
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Special and the second of the window or glazed door, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sil.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door,

NOT FOR CONSTRUCTION drawings	ĺ
Pullding Design and Architectural Drafting	

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Discrepancies to Rapid Plan



Checked Plot Date: Project NO. Project Status

DA

Mick & Patrice Clues 86 Quirk Street Dee Why Site:

Sheet Size: A3

DRAWING TITLE :

ELEVATIONS GF 2

Prop. Comp.

720 2m2 Yes

6.5m Yes

REVISION NO. 16-7-2020

Prop. Comp. 5m@45Deg Variation

60%

4.5m

1.6m

Yes

Yes

Yes

Yes

New Primary & Secondary Dwellings

Housing Density (dwelling/m2)

Max Ceiling Ht Above Nat. GL 7.2m

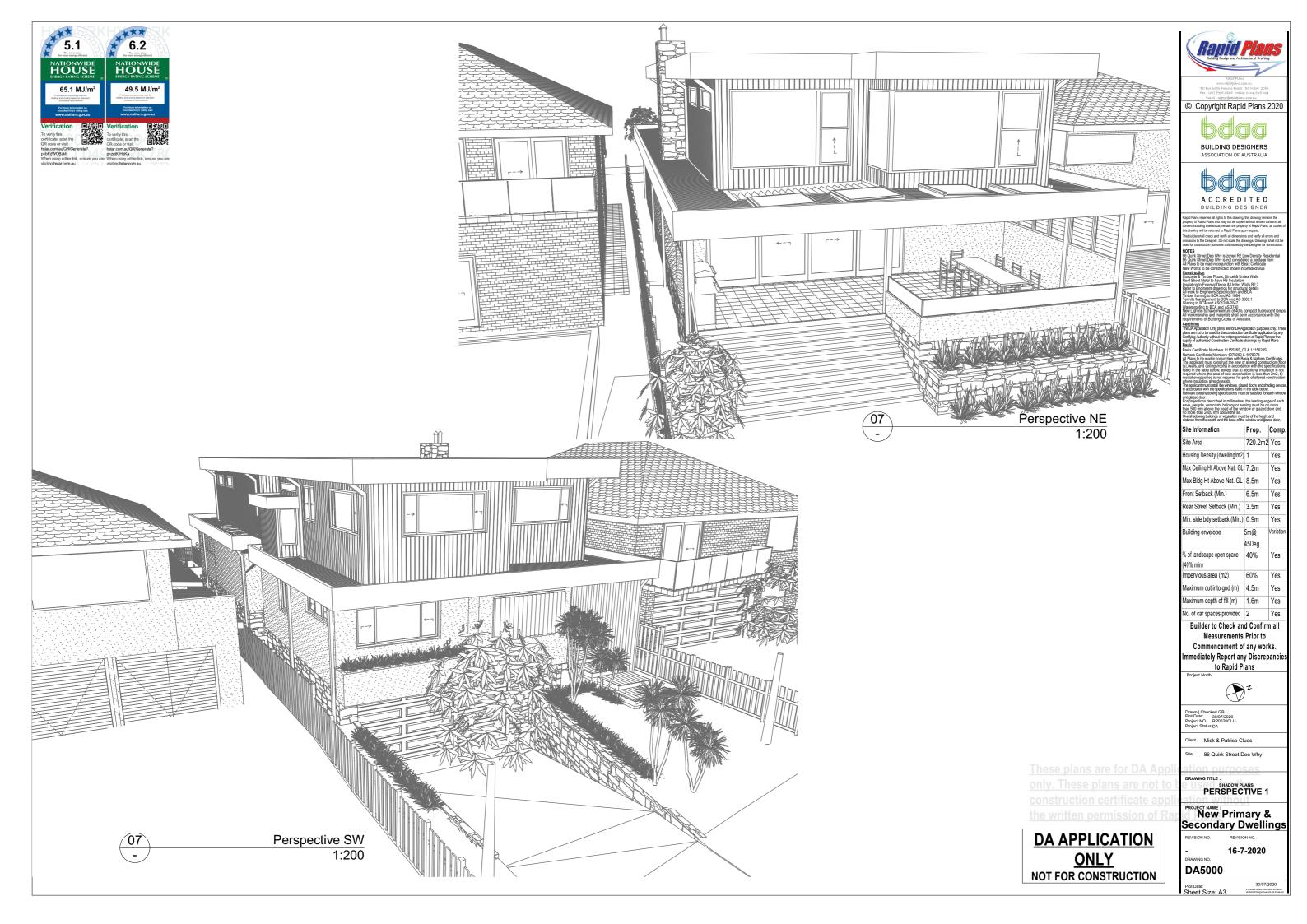
Max Bldg Ht Above Nat. GL 8.5m

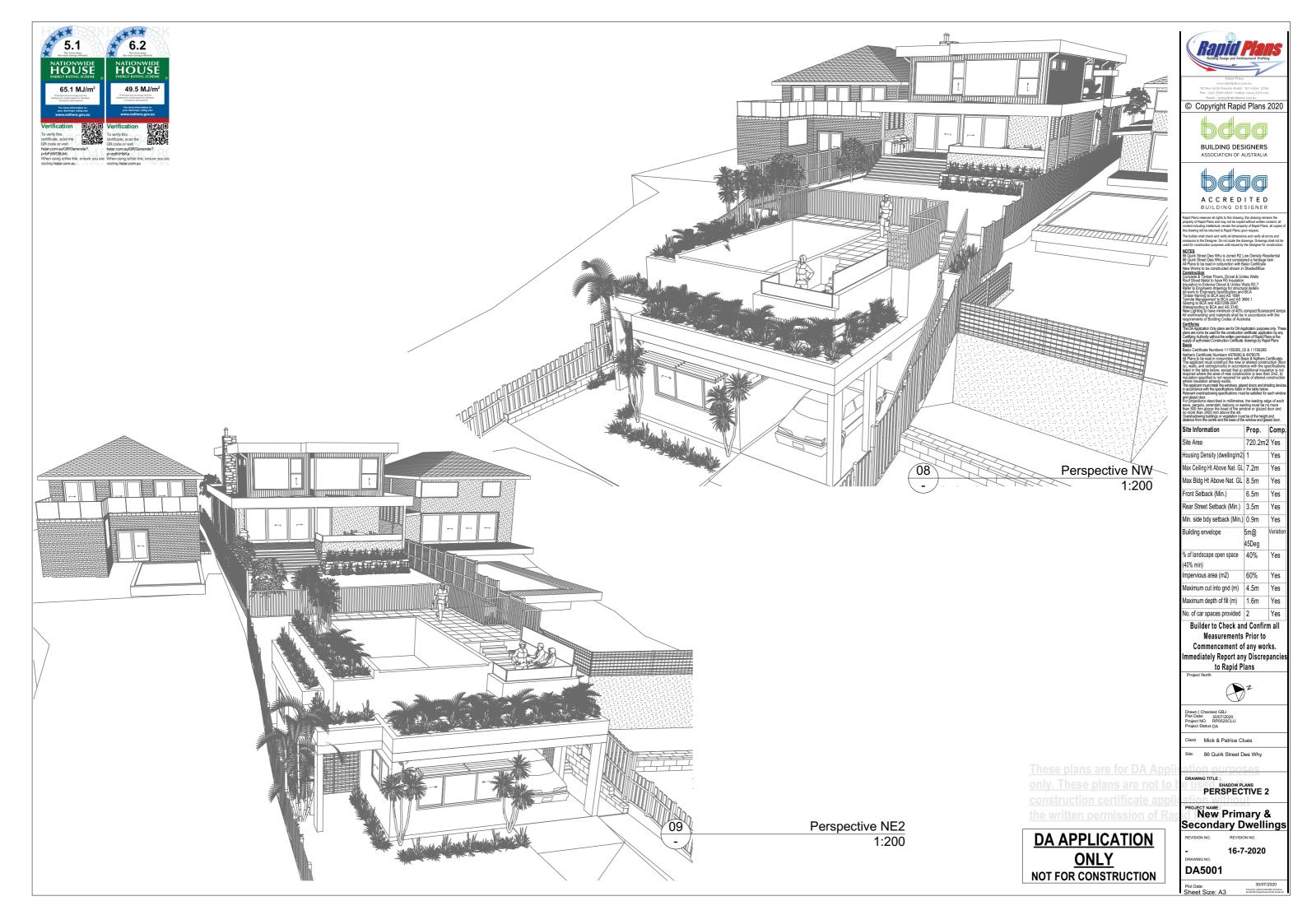
Rear Street Setback (Min.) 3.5m Yes

Min. side bdy setback (Min.) 0.9m Yes

DA4003

No. of car spaces provided





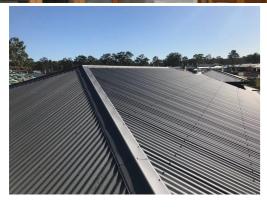


Denotes High Parapet Fascia With Concealed Gutters (Typical). Owner To Confirm Colour





Denotes Axon Cladded Wall (Typical). Owner To Confirm Colour



Denotes Sheet Metal (Typical). Owner To Confirm Colour

Denotes Stone Clad Wall (Typical). Owner To Confirm Colour



Denotes Core Filled Concrete Block Wall (Typical). Owner To Confirm Colour



Denotes Foam Clad Wall & Alloy Windows/Doors (Typical). Owner To Confirm Colour





Denotes Masonry Planter Boxes (Typical). Owner To Confirm Colour



Denotes Concrete Drive (Typical). Owner To Confirm Colour

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Mick & Patrice Clues 86 Quirk Street Dee Why DRAWING TITLE :

SHADOW PLANS
MATERIAL & COLOUR SAMPLE BOARD

REVISION NO. 16-7-2020

New Primary & Secondary Dwellings



Single Dwelling

Certificate number: 1115526S 02

Secretary
Date of issue: Friday, 03 July 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.

Description of project



Project name	Clues-Primary 02	
Street address	86 Quirk Street Dee	Why 2099
Local Government Area	Northern Beaches C	ouncil
Plan type and plan number	deposited 10683	
Lot no.	3	
Section no.	-	
Project type	separate dwelling ho	use
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pas
Energy	₩ 86	Tarnet 50

Certificate Prepared by	
Name / Company Name: Rapid Plans	
ABN (if applicable): 43150064592	

Project address	
Project name	Clues-Primary_02
Street address	86 Quirk Street Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and plan number	Deposited Plan 10683
Lot no.	3
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	5
Site details	
Site area (m²)	720
Roof area (m²)	271
Conditioned floor area (m2)	327.0
Unconditioned floor area (m2)	19.0
Total area of garden and lawn (m2)	430

Assessor number	10056	
Certificate number	0004978060	
Climate zone	56	
Area adjusted cooling load (MJ/m².year)	25	
Area adjusted heating load (MJ/m².year)	40	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 86	Target 50

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifi
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 430 square metres of the site.	~		
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.			-
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		~	-
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		_	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	-
The applicant must configure the rainwater tank to collect rain runoff from at least 271.47 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	-
The applicant must connect the rainwater tank to:			
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		-	-
a tap that is located within 10 metres of the swimming pool in the development			
Swimming pool			

Vater Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
he swimming pool must be outdoors.	~	~	

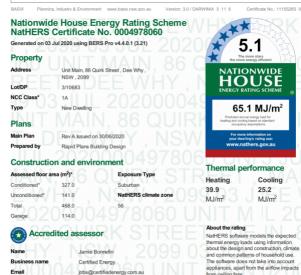
IX	Planning. Industry & Environment	www.basix.nsw.gov.au	Version: 3.0 / DARWINIA 3 11 6	Certificate No.: 1115526S 02	Friday, 03	July 2020	D
The	rmal Comfort Commitmer	nts			Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Sim	ulation Method						
Certif	icate") to the development applic ing for a complying development	ation and construction ce certificate for the propose	essor Details* on the front page of this rtificate application for the proposed (ed development, to that application). ate for the proposed development.	development (or, if the applicant is			
The /	Assessor Certificate must have be	een issued by an Accredit	led Assessor in accordance with the	Thermal Comfort Protocol.			
	details of the proposed developme icate, including the Cooling and H		ficate must be consistent with the del re front page of this certificate.	ails shown in this BASIX			
Asse Asse certifi	ssor Certificate requires to be sho ssor to certify that this is the case icate (or complying development	own on those plans. Those. The applicant must sho certificate, if applicable),	opment application for the proposed of e plans must bear a stamp of endors w on the plans accompanying the ap- all thermal performance specifications were used to calculate those specific	ement from the Accredited plication for a construction s set out in the Assessor	•	~	~
Certif		se aspects of the develop	ith all thermal performance specificat oment application or application for a			~	~
The a	applicant must construct the floors	s and walls of the dwelling	g in accordance with the specification	s listed in the table below.	~	_	~

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres
oor - suspended floor above garage	All or part of floor area

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 5 star (average zone)		~	-
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: gas fixed flued heater; Energy rating: 3 Star		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 5 star (average zone)		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		-	•
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		~	•
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	•
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the olitoring rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or ight emitting diode (LED) lamps:			
at least 5 of the bedrooms / study; dedicated		_	-
at least 2 of the living / dining rooms; dedicated		_	-
the kitchen; dedicated			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
all bathrooms/toilets; dedicated		_	-
the laundry; dedicated			
all hallways; dedicated			
Natural lighting		·	
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	~	~	-
The applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	~	~	~
Swimming pool			
The development must not incorporate any heating system for the swimming pool.		~	
The applicant must install a timer for the swimming pool pump in the development.		~	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 5 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	~	~	~
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.			
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		~	
The applicant must install a fixed outdoor clothes drying line as part of the development.			

Plannino Industry & Environment www.hasix.nsw.nov.au Version: 3.0 / DARWINIA 3.11.6 Cartificate No.: 1115526S. 02	Friday 03 July 2020 page
gend	
these commitments, "applicant" means the person carrying out the development.	
mmiltments identified with a win the "Show on DA plans" column must be shown on the plans accompanying the development application is to be lodged for the proposed development).	lication for the proposed development (if a
mmiltments identified with a w in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications ac tifficate / complying development certificate for the proposed development.	ccompanying the application for a construction
mmitments identified with a 🥡 in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, befo	ore a final occupation certificate(either interim or
al) for the development may be issued.	



DA APPLICATION ONLY NOT FOR CONSTRUCTION

BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA





Checked Plot Date: Project NO. Project Status

Mick & Patrice Clues 86 Quirk Street Dee Why DRAWING TITLE :

SHADOW PLANS
Basix Primary Dwelling

REVISION NO. 16-7-2020

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New Primary & Secondary Dwellings DA5003

BASIX Certificate

Single Dwelling

Certificate number: 1115628S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitment have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at

Secretary
Date of issue: Friday, 03 July 2020
To be valid, this certificate must be lodged within 3 months of the date of issue.

Description of project

86 Quirk Street Dee Why 2099

Deposited Plan 10683

The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the developme The applicant must install taps with a minimum rating of 4 star in the kitchen in the development

The applicant must install a rainwater tank of at least 1000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)

The applicant must configure the rainwater tank to collect rain runoff from at least 45 square metres of the roof area of the developmen (excluding the area of the roof which drains to any stormwater tank or private dam).

The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development



Street address

Site details

Roof area (m²)

Conditioned floor area (m2)

Total area of garden and lawn (m2)

Schedule of BASIX commitments

Plan type and plan numb

Project summary		
Project name	Clues-Secondary	
Street address	86 Quirk Street Dee	Why 2099
Local Government Area	Northern Beaches (Council
Plan type and plan number	deposited 10683	
Lot no.	3	
Section no.	-	
Project type	separate dwelling h	ouse
No. of bedrooms	2	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass

Certificate Prepared by
Name / Company Name: Rapid Plans
ABN (if applicable): 43150064592

Target 50

V

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Version: 3.0 / DARWINIA 3 11 6 Certificate No.: 1115628S Friday, 03 July 2020

Thermal Comfort

www.basix.nsw.gov.au Version: 3.0 / DARWINIA 3 11 6 Certificate No.: 1115628S

Area adjusted cooling load (MJ/m².vear) 10

Area adjusted heating load (MJ/m².year) 40

i roject summary	
Project name	Clues-Secondary
Street address	86 Quirk Street Dee Why 2099
Local Government Area	Northern Beaches Council
Plan type and plan number	deposited 10683
Lot no.	3
Section no.	-
Project type	separate dwelling house
No. of bedrooms	2
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ Pass Target Pass
Energy	✓ 53 Target 50

Floor and wall construction	Area
floor - concrete slab on ground	All or part of floor area square metres

011/	Discrict Industry & Section 1994		V	0-45-4-10		
SIX	Planning, Industry & Environment	www.basix.nsw.gov.au	Version: 3.0 / DARWINIA 3 11 6	Certificate No.		
Ene	ergy Commitments					
Hot	water					
The insta	applicant must install the following ntaneous with a performance of 5	hot water system in the stars.	development, or a system with a higher	er energy rating: ç		
Coc	poling system					

The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below

The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfi The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The living areas must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		~	~
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		•	~
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		~	-
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		~	~
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		-	-
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a		-	-
Laundry: natural ventilation only, or no laundry; Operation control: n/a		-	-
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
at least 2 of the bedrooms / study; dedicated		-	-
at least 1 of the living / dining rooms; dedicated		-	-
the kitchen; dedicated			-

Planning, Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA 3 11 6 Certificate No.: 1115628S inergy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
all bathrooms/toilets; dedicated	DA pians	pians & specs	CHECK
the laundry; dedicated			Ŭ
all hallways; dedicated			
latural lighting			<u> </u>
he applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		_	
he applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.		~	_
Other			
he applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
he applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX effinitions.		~	
he applicant must install a fixed outdoor clothes drying line as part of the development.		_	

Legend

In these commitments, "applicant" means the person carrying out the development

development application is to be lodged for the proposed development).

Show on DA plans Show on CC/CDC Certifier check

~

Nationwide House Energy Rating Scheme NatHERS Certificate No. 0004978078

Generated on 03 Jul 2020 using BERS Pro v4.4.0.1 (3.21)

miltments identified with a 🥠 in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the applic

Commitments identified with a 🥡 in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occ

Property

Plans

Unit Sec, 86 Quirk Street , Dee Why , NSW, 2099

Lot/DP 3/10683 NCC Class* 1A

Type New Dwelling

Main Plan Rev A Issued on 30/06/2020 Rapid Plans Building Design

Construction and environment Thermal performance

Assessed floor area (m²)*		Exposure Type	Illelillai
		Exposure Type	Heating
Conditioned*	46.0	Suburban	39.8
Unconditioned*	5.0	NatHERS climate zone	MJ/m ²
Total	51.0	56	IVIJ/III
Garage	0.0		

Accredited assessor

Jamie Bonnefin Certified Energy

1300 443 674 10056

NatHERS software models the expected thermal energy loads using information about the design and construction, clima and common patterns of household use. The software does not take into account

XXX

NATIONWIDE HOUSE

49.5 MJ/m²

Cooling

9.7 MJ/m²

About the rating

Verification

To verify this certificate, scan the QR code or visit hstar.com.auQR/Generate? p=zqt/rHb/Ka. When using either link, ensure you are visiting hstar.com.au

The NCC's requirements for Nath/ERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and epartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited for insulation installation methods, themat beness, building sealing, water heating and upniping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at www.abcb.gov.au. State and territory variations and additions to the NCC may also apply.

> **DA APPLICATION** ONLY NOT FOR CONSTRUCTION



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BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA



BASIX Planning Industry & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA 3 11 6 Certificate No.: 1115628S

Builder to Check and Confirm all Measurements Prior to ommencement of any works Discrepancies to Rapid Plans



Client

Checked Plot Date: Project NO. Project Status

Sheet Size: A3

Friday, 03 July 2020

30/07/2020 RP0520CLU

Mick & Patrice Clues 86 Quirk Street Dee Why

DRAWING TITLE :

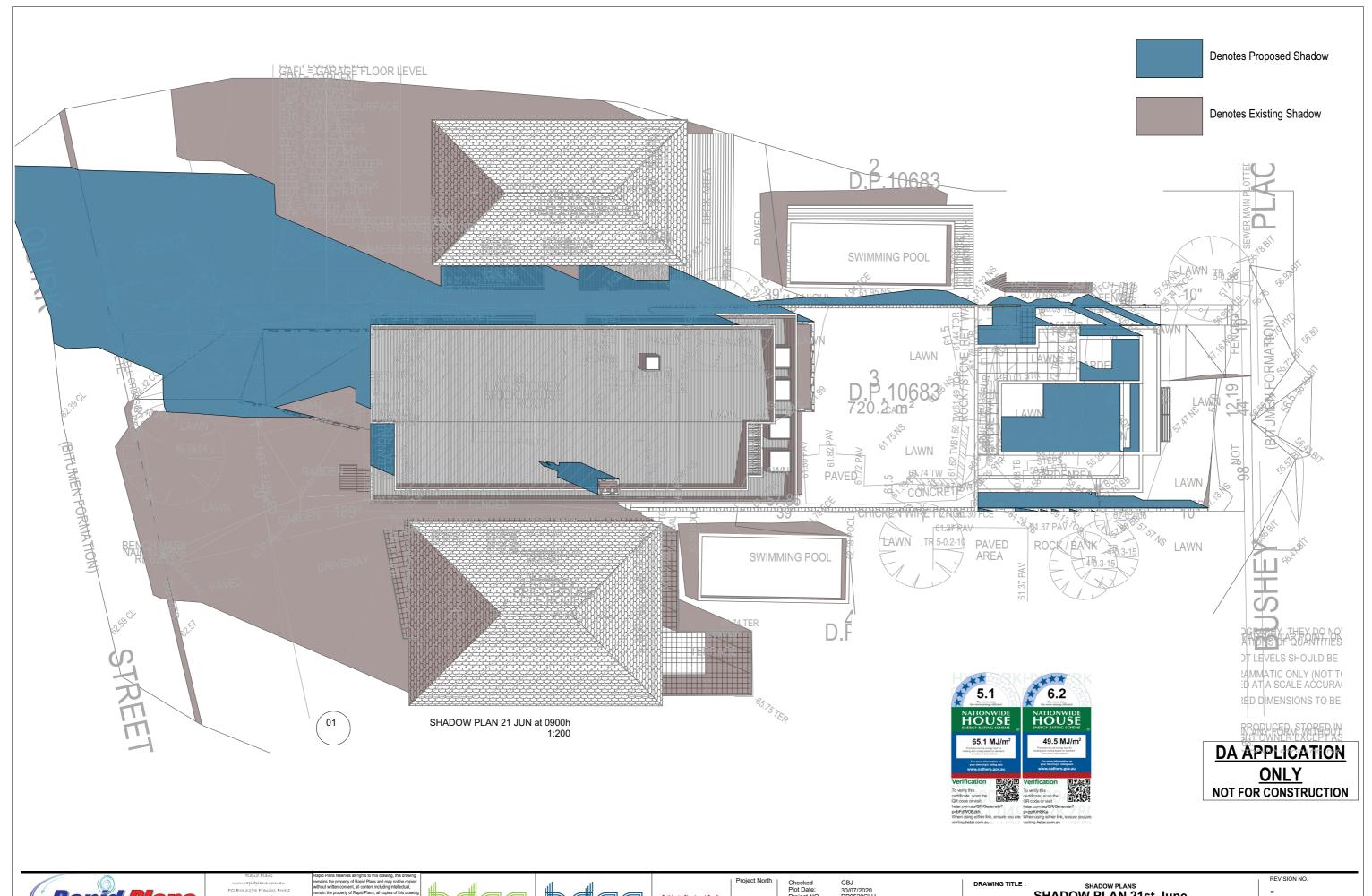
Basix Secondary Dwelling

New Primary & Secondary Dwellings

REVISION NO.

16-7-2020







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Mick & Patrice Clues 86 Quirk Street Dee Why

SHADOW PLAN 21st June 9am

DATE. 16-7-2020

New Primary & Secondary Dwellings DA5005

